



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	HM/A-24:39	SUBJECT PROPERTY:	10 Robins Avenue, Hamilton
ZONE:	"R1a" (Low Density Residential – Small Lot)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owners: K. Shaikh & A. Maqbool
Applicant: Pamir Rafiq

The following variances are requested:

1. A minimum setback of 3.0 metres shall be permitted to the front lot line, instead of the minimum 4.0 metre setback required; [as per Section 15.2.2.1(c) and amending By-law No. 24-051, not final and binding];
2. A minimum setback of 0.80 metres shall be permitted to the southerly interior side lot line, instead of the minimum 0.9 metre setback required [as per Section 15.2.2.1(d)].
3. A maximum building height of 10.60 metres shall be permitted, instead of the maximum permitted building of 10.5 metres;
4. An eave or gutter shall be permitted to project 0.80 metres into the required northerly interior side yard, 0.65 metres into the required rear yard, and shall be permitted to project the full width of the southerly interior side yard and be as close as 0.0 metres lot line, instead of the maximum 0.6 metre projection permitted; [as per Section 4.6(a)]
5. One (1) parking space shall be permitted, instead of the two (2) parking spaces required [as per Section 5.5(c)].
6. No electric vehicle parking spaces shall be provided, instead of the requirement that all parking spaces are to be provided as electric vehicle parking spaces [as per Section 5.7.4(a) and amending By-law No. 24-052, not final and binding].

PURPOSE & EFFECT: So as to permit the development of a Single Detached Dwelling containing an Additional Dwelling Unit, notwithstanding:

Notes:

- i. Please note that the submitted application indicates that the proposed development contains two dwelling units; note that a Dwelling Unit is defined as “a room or suite of rooms used or intended to be used by one or more persons living together as one household, in which cooking and sanitary facilities are provided for the exclusive use of the household, and to which an independent entrance is provided from outside the building or from a common interior hallway, vestibule or stairway”. Based on the floor plans provided, it appears only one set of cooking facilities are being proposed within the basement level. However, as the submitted application indicates two dwelling units are being proposed, the proposed development has been reviewed as a Single Detached Dwelling with an Additional Dwelling Unit, as indicated in the application. Should the use be other than a Single Detached Dwelling with an Additional Dwelling Unit additional variances may be required.
- ii. Be advised that By-law No. 24-051 was recently approved, which modified sections of the “R1a” Zone regulations, including Section 15.2.2.1(c) applicable to the minimum setback from the front lot line. Note that the approved regulation establishes a minimum setback of 4.0 metres from the front lot line, unless the lot is identified on Figure 36 of Schedule “F” – Special Figures that a building may be erected within 10 percent of the average setback from the front lot line of the two adjacent dwellings. The subject lot is identified on Figure 36 of Schedule “F” – Special Figures, however, insufficient information was provided to confirm compliance. Therefore, a variance to the approved regulation has been added i.e. Variance No.1, which was not indicated in the applicants submission materials.
- iii. Please note that Section 15.2.2.1(h)(i) as per amending By-law No. 24-051, indicates a minimum landscaped area of 30% shall be provided. Insufficient information was provided to confirm compliance. Additional variances may be required if compliance with Section 15.2.2.1(h)(i) cannot be achieved.
- iv. Should the variance requested to Section 15.2.2.1(d) to permit a minimum southerly side yard of 0.80 metres, the proposed eaves/troughs shall be permitted to project a maximum of 0.4 metres into the side yard. Therefore, a variance to Section 4.6(a) for the southerly side yard has been included as the eaves/troughs are indicated to extend the full width of the southerly side yard i.e. 0.80 metres.
- v. Please note that Section 4.35(a) indicates that on a lot containing a single detached dwelling, a minimum of 50% landscaped area shall be provided in the front yard. Insufficient information was provided to confirm compliance. Additional variances may be required if compliance with Section 4.35(a) cannot be achieved.
- vi. Please note that the submitted Site Plan indicates one (1) parking space is to be provided in an attached garage. However, the Floor Plan drawings do not appear to indicate an attached garage is being proposed. Please note that Section 5.1(b)(viii) indicates that for a dwelling with an attached garage, the finished floor level of the garage shall be a minimum 0.3 metres above grade. Insufficient information was provided to confirm compliance. Additional variances may be required if compliance with Section 5.1(b)(viii) cannot be achieved. Further, variance No. 5 has been written as requested by the applicant, as it is unclear if a parking space is being proposed within an

HM/A-24:39

attached garage.

- vii. Be advised that By-law No. 24-052 was recently approved which repealed and replaced Section 5: Parking, of Hamilton Zoning By-law No. 05-200. As By-law No. 24-052 is not yet final, at present, all proposed development is reviewed under both the existing and proposed Zoning By-laws regulations with the more restrictive zoning regulations being applied. Therefore, Variance No.6, which was not indicated in the applicants submission materials, was added to Section 5.7.4(a) as per amending By-law No. 24-052, as the Site Plan indicates one (1) parking space is being provided on the lot.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, June 11, 2024
TIME:	3:00 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon June 7, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon June 10, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-24:39, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written

HM/A-24:39

request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: May 23, 2024

**Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment**

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

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City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

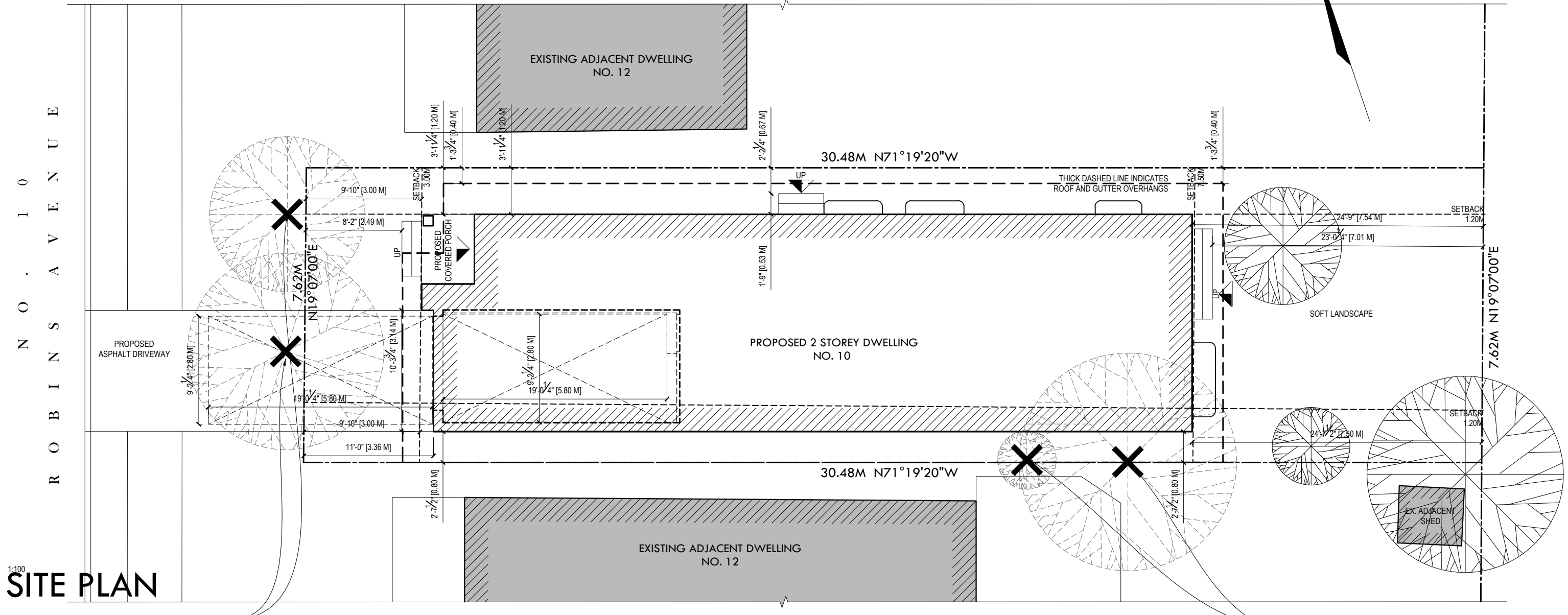
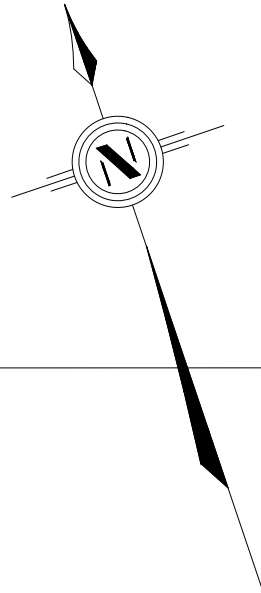
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-977-1654.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SITE STATISTICS			
ZONING:	R1a		
LOT AREA:	232.25 SQM		
MAX HEIGHT:	10.5m		
PROPOSED HEIGHT:	10.84m		
		LOT COVERAGE	
		PROPOSED DWELLING:	110.23 SQM
		PROPOSED COVERED PORCH:	2.46 SQM
		TOTAL:	112.69 SQM 48.52%
		GFA CALCULATION	
		PROPOSED GROUND FLOOR:	90.27 SQM
		PROPOSED SECOND FLOOR:	98.08 SQM
		PROPOSED THIRD FLOOR:	102.10 SQM
		TOTAL:	290.45 SQM 125.06%



1:100
SITE PLAN

CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

POINT LOADS FROM GIRDER TRUSSES NOT SHOWN ON DRAWINGS. MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM GIRDER TRUSSES IN LVL DESIGNS

ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 4"

ALL STEEL COLUMNS TALLER THAN 12'-0" SHALL BE STRAPPED TO WOOD STUDS

ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY

LUCID HOMES INC.
CUSTOM HOME AND RENOVATION DESIGN
1435 CORNWALL RD - UNIT D2
OAKVILLE ON - L6J 7T5
T: 416.566.6588 E: INFO@LUCIDHOMES.CA
WWW.LUCIDHOMES.CA

GENERAL NOTES

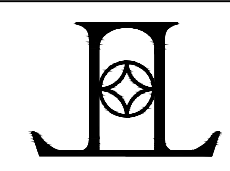
DRAWINGS ARE TO BE READ NOT SCALED. DESIGN AND CONSTRUCTION OF THIS BUILDING SHALL COMPLY WITH ONTARIO BUILDING CODE, AS AMENDED. DRAWINGS NOT INTENDED FOR PERMIT OR CONSTRUCTION UNLESS SIGNED BY DESIGNER OR ENGINEER. DO NOT BEGIN CONSTRUCTION UNTIL DESIGNER OR PROJECT MANAGER HAS BEEN NOTIFIED. CONTRACTOR TO SITE VERIFY DIMENSIONS AND ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THE DRAWINGS AND DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF LUCID HOMES INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT CONSENT OF THE DESIGNER.

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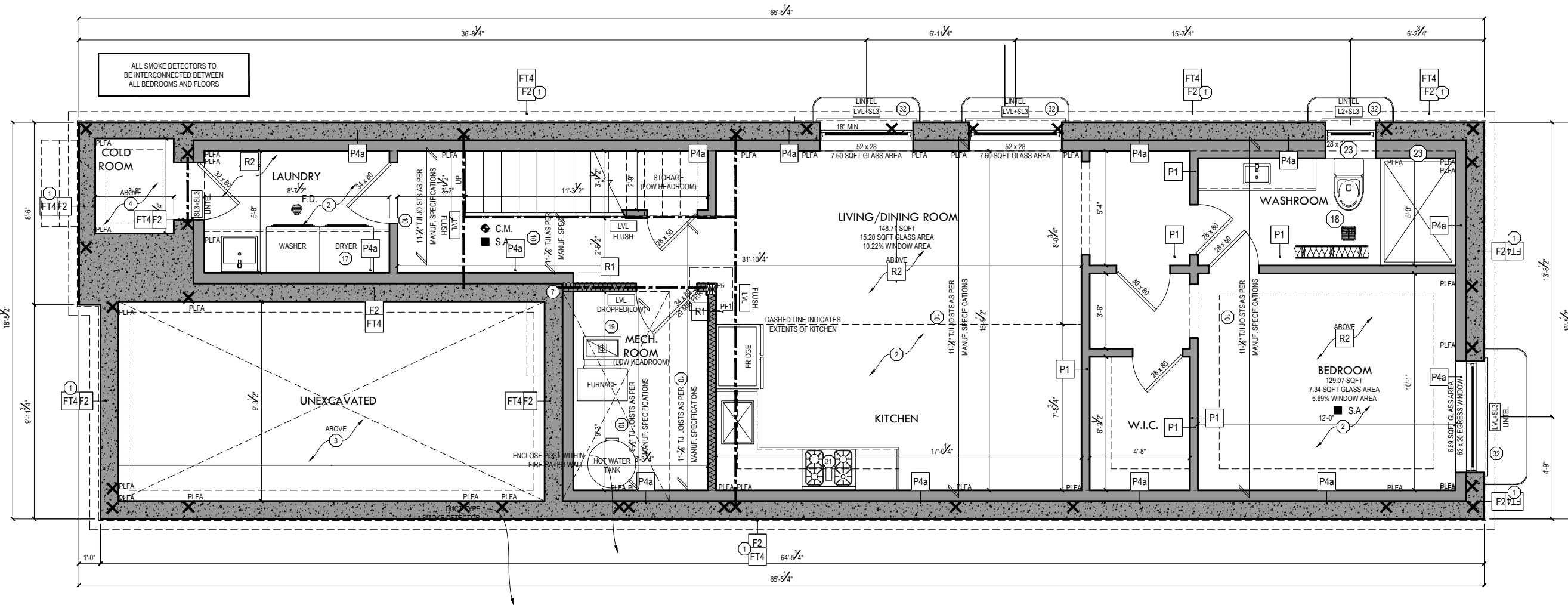
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DRAWING TITLE: SITE PLAN
DRAWN BY: PR
ADDRESS: 10 ROBINS AVE, HAMILTON
PROJECT NO: 2023-012
SHEET NO.: SP
SCALE: 1:100



1:100 PROPOSED BASEMENT FLOOR PLAN

CONSTRUCTION NOTES

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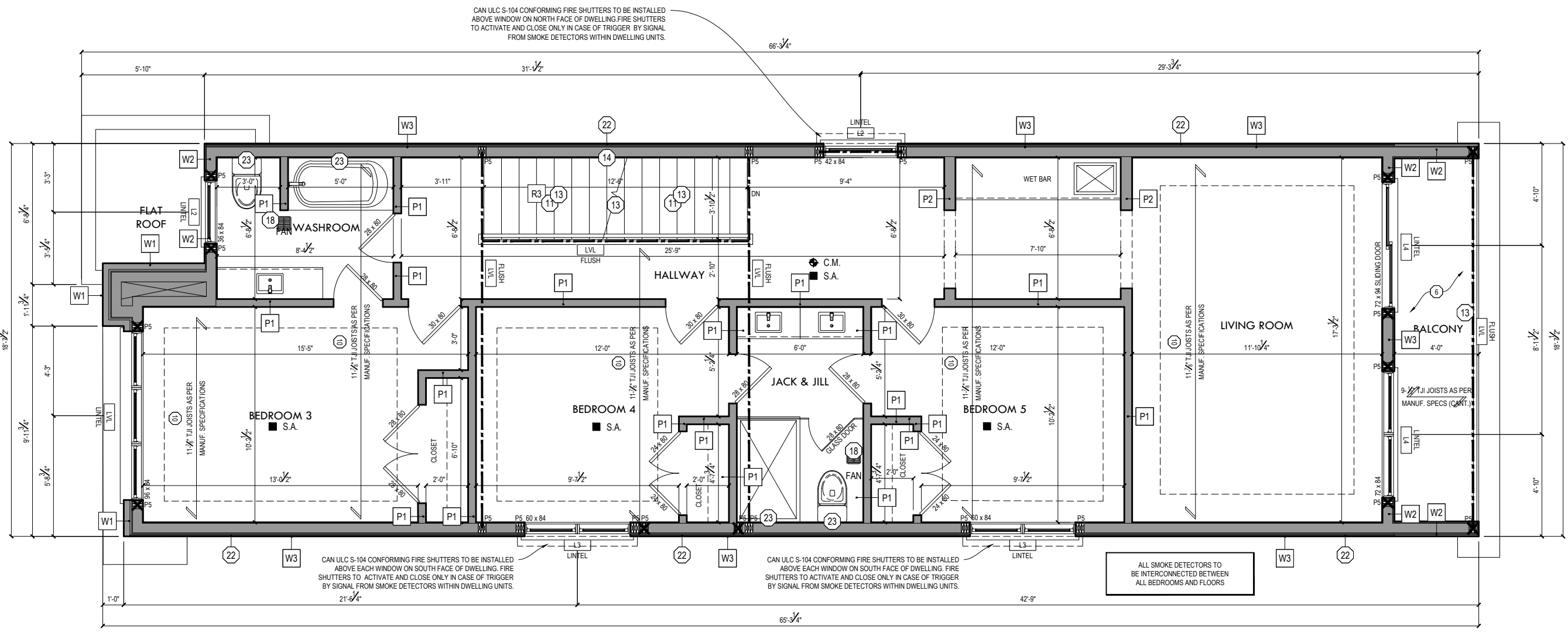
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DRAWING TITLE: PROPOSED BASEMENT PLAN
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 10 ROBINS AVE, HAMILTON
PROJECT NO: 2023-012 **SCALE:** 3/16"=1'-0"
SHEET NO. **A100**



EGRESS WINDOW

- CLEAR OPENING TO BE MIN. 3.8 SQFT [0.35 SQM]
 - ACTUAL WINDOW SIZE MAY VARY, SEE PLANS & ELEVATIONS.
 - EGRESS REQUIREMENTS SHALL COMPLY WITH OBC. 9.9.10

R1 INTERIOR PARTITION WALL W/ 45 MIN. FRR & 51 STC AS PER SB-3, TABLE 1, W-4a

- 1/2" TYPE-X GYPSUM WALL BOARD INTERIOR FINISH
 - 2" x 4" WOOD STUDS (NON LOAD BEARING) @ 16" O.C.
 - W/ 5 M.L. POLY UNDER BOTTOM PLATE
 - SOUND INSULATION B/W STUD CAVITY
 - RESILIENT CHANNEL @ 16" O.C.
 - 2 LAYERS OF 1/2" GYPSUM WALL BOARD INTERIOR FINISH

R2 FULL HEIGHT CEILING W/ 45H FRR & 53 STC SEPARATION AS PER SB-3, TABLE 2, F9h

- FLOOR JOISTS
 - 6" SOUND INSULATION
 - RESILIENT CHANNEL @ 24" O.C.
 - 2 LAYERS OF 1/2" TYPE-X GYPSUM WALL BOARD INTERIOR FINISH

R3 BULKHEAD/STAIR CEILING W/ 45 MIN FIRE SEPARATION (SB-2) OBC [11.5.1.1.C:12/11/22]

- 2 LAYERS OF 1/2" TYPE-X GYPSUM WALL BOARD
 NOTE: NO OPENINGS PERMITTED THIS MEMBRANE ONLY FIRE SEPARATION

STAIR SEPARATION

2" x 4" @ 16" O.C. B/W STAIR RISERS TO SUPPORT CEILING W/ 3/4" SOUND INSULATION

NOTE: INTERIOR DOORS BETWEEN DWELLINGS MUST BE RATED MIN. 20 MIN F.R.R. AND EQUIPPED WITH SELF-CLOSING DEVICE.

NOTE: DUCT TYPE SMOKE DETECTOR MUST BE INSTALLED IN SUPPLY OR RETURN AIR DUCT SYSTEM AND WILL COMPLETELY TURN OFF FUEL AND ELECTRICAL SUPPLY TO THE HEATING SYSTEM UPON ACTIVATION IF EXISTING FURNACE SERVES BOTH DWELLING UNITS.

1:100 PROPOSED GROUND FLOOR PLAN

CONSTRUCTION NOTES

- CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES
- POINT LOADS FROM GIRDER TRUSSES NOT SHOWN ON DRAWINGS. MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM GIRDER TRUSSES IN LVL DESIGNS
- ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 4"
- ALL STEEL COLUMNS TALLER THAN 12'-0" SHALL BE STRAPPED TO WOOD STUDS
- ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY

LUCID HOMES INC.
 CUSTOM HOME AND RENOVATION DESIGN
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 OAKVILLE ON - L6J 7T5
 T: 416.566.6588 E: INFO@LUCIDHOMES.CA
 WWW.LUCIDHOMES.CA

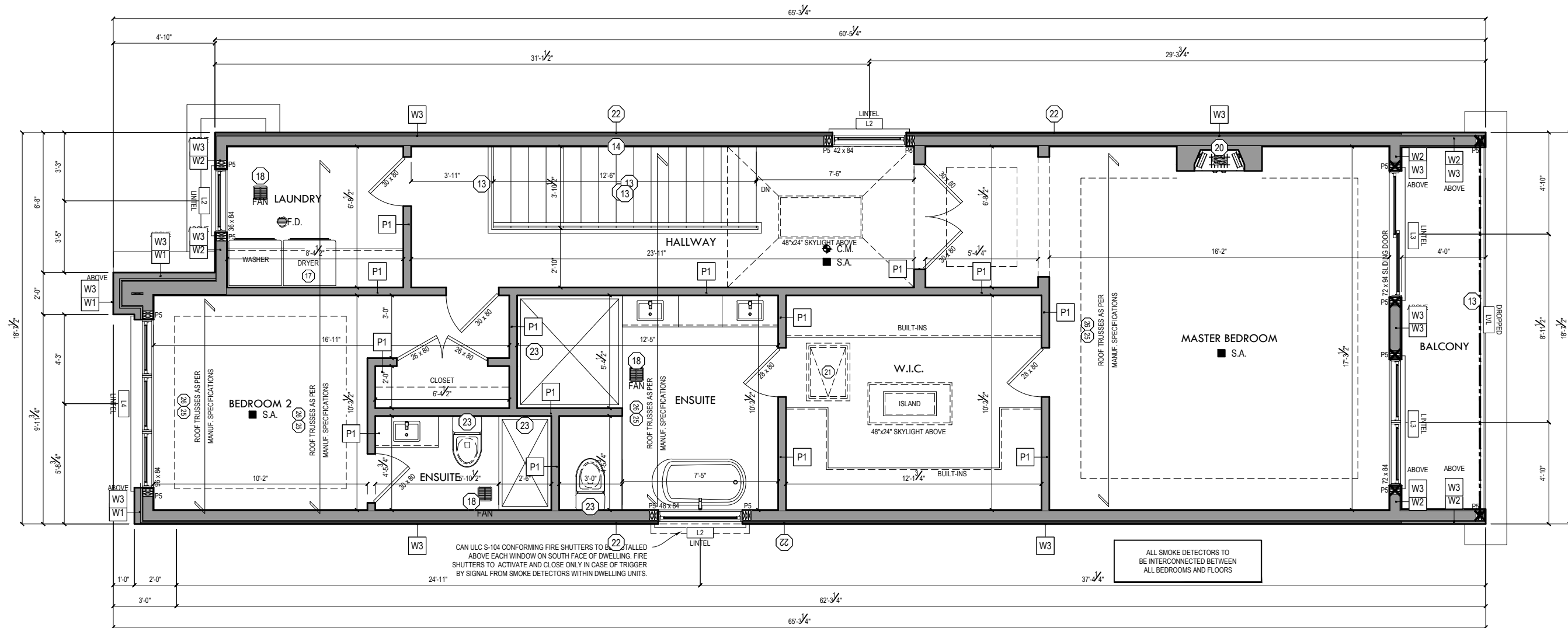
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DRAWING TITLE: PROPOSED GROUND FLOOR PLAN
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 10 ROBINS AVE, HAMILTON
PROJECT NO: 2023-012 **SCALE:** 3/16"=1'-0"
SHEET NO. **A101**



EGRESS WINDOW

15" MIN.

- CLEAR OPENING TO BE MIN. 3.8 SQFT (0.35 SQM)
- ACTUAL WINDOW SIZE MAY VARY, SEE PLANS & ELEVATIONS.
- EGRESS REQUIREMENTS SHALL COMPLY WITH OBC. 9.9.10

R1 INTERIOR PARTITION WALL W/ 45 MIN. FRR & 51 STC AS PER SB-3, TABLE 1, W-4a

- 1/2" TYPE-X GYPSUM WALL BOARD INTERIOR FINISH
- 2" x 4" WOOD STUDS (NON LOAD BEARING) @ 16" O.C.
- W/ 6 MIL. POLY UNDER BOTTOM PLATE
- SOUND INSULATION B/W STUD CAVITY
- RESILIENT CHANNEL @ 16" O.C.
- 2 LAYERS OF 1/2" GYPSUM WALL BOARD INTERIOR FINISH

R2 FULL HEIGHT CEILING W/ 45H FRR & 53 STC SEPARATION AS PER SB-3, TABLE 2, F9h

- FLOOR JOISTS
- 6" SOUND INSULATION
- RESILIENT CHANNEL @ 24" O.C.
- 2 LAYERS OF 1/2" TYPE-X GYPSUM WALL BOARD INTERIOR FINISH

R3 BULKHEAD/STAIR CEILING W/ 45 MIN FIRE SEPARATION (SB-2) OBC [11.5.1.1.C:C121/122]

- 2 LAYERS OF 1/2" TYPE-X GYPSUM WALL BOARD
NOTE: NO OPENINGS PERMITTED THIS MEMBRANE ONLY FIRE SEPARATION

STAIR SEPARATION

2" x 4" @ 16" O.C. B/W STAIR RISERS TO SUPPORT CEILING W/ 3/4" SOUND INSULATION

NOTE: INTERIOR DOORS BETWEEN DWELLINGS MUST BE RATED MIN. 20 MIN F.R.R. AND EQUIPPED WITH SELF-CLOSING DEVICE.

NOTE: DUCT TYPE SMOKE DETECTOR MUST BE INSTALLED IN SUPPLY OR RETURN AIR DUCT SYSTEM AND WILL COMPLETELY TURN OFF FUEL AND ELECTRICAL SUPPLY TO THE HEATING SYSTEM UPON ACTIVATION IF EXISTING FURNACE SERVES BOTH DWELLING UNITS.

3/16"=1'-0" PROPOSED SECOND FLOOR PLAN

CONSTRUCTION NOTES

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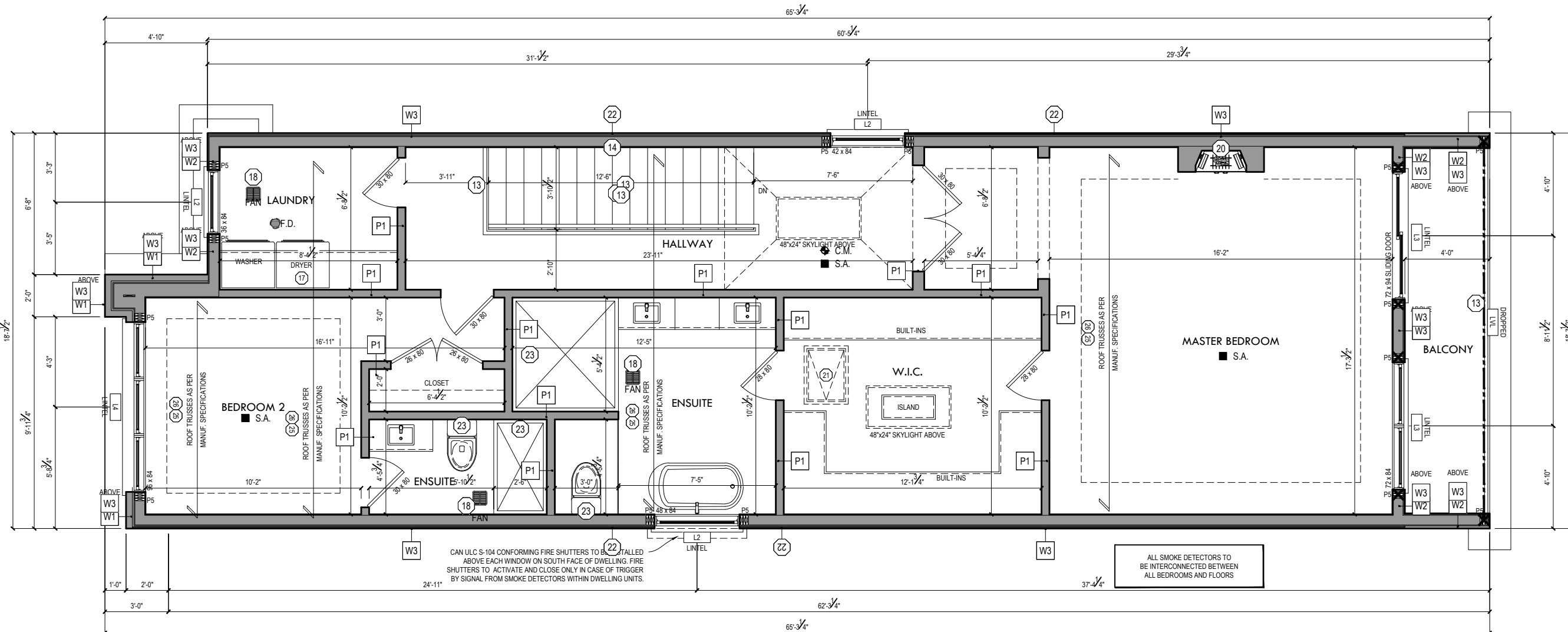
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DRAWING TITLE: PROPOSED SECOND FLOOR PLAN
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 10 ROBINS AVE, HAMILTON
PROJECT NO: 2023-012 **SCALE:** 3/16"=1'-0"
SHEET NO. **A102**



EGRESS WINDOW

15" MIN.

- CLEAR OPENING TO BE MIN. 3.8 SQFT (0.35 SOM)
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R2 FULL HEIGHT CEILING W/ 45H FRR & 53 STC SEPARATION AS PER SB-3, TABLE 2, F9h

- FLOOR JOISTS
- 6" SOUND INSULATION
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STAIR SEPARATION

2" x 4" @ 16" O.C. B/W STAIR RISERS TO SUPPORT CEILING W/ 3/4" SOUND INSULATION

NOTE: INTERIOR DOORS BETWEEN DWELLINGS MUST BE RATED MIN. 20 MIN F.R.R. AND EQUIPPED WITH SELF-CLOSING DEVICE.

NOTE: DUCT TYPE SMOKE DETECTOR MUST BE INSTALLED IN SUPPLY OR RETURN AIR DUCT SYSTEM AND WILL COMPLETELY TURN OFF FUEL AND ELECTRICAL SUPPLY TO THE HEATING SYSTEM UPON ACTIVATION IF EXISTING FURNACE SERVES BOTH DWELLING UNITS.

CAN ULC S-104 CONFORMING FIRE SHUTTERS TO BE INSTALLED ABOVE EACH WINDOW ON SOUTH FACE OF DWELLING. FIRE SHUTTERS TO ACTIVATE AND CLOSE ONLY IN CASE OF TRIGGER BY SIGNAL FROM SMOKE DETECTORS WITHIN DWELLING UNITS.

ALL SMOKE DETECTORS TO BE INTERCONNECTED BETWEEN ALL BEDROOMS AND FLOORS

PROPOSED THIRD FLOOR PLAN

CONSTRUCTION NOTES

- CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES
- POINT LOADS FROM GIRDER TRUSSES NOT SHOWN ON DRAWINGS. MANUFACTURER TO ACCOUNT FOR POINT LOADS FROM GIRDER TRUSSES IN LVL DESIGNS
- ALL BEAMS SHALL HAVE A MINIMUM BEARING OF 4"
- ALL STEEL COLUMNS TALLER THAN 12'-0" SHALL BE STRAPPED TO WOOD STUDS
- ANY DISCREPANCIES DISCOVERED SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY

LUCID HOMES INC.
 CUSTOM HOME AND RENOVATION DESIGN
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 OAKVILLE ON - L6J 7T5
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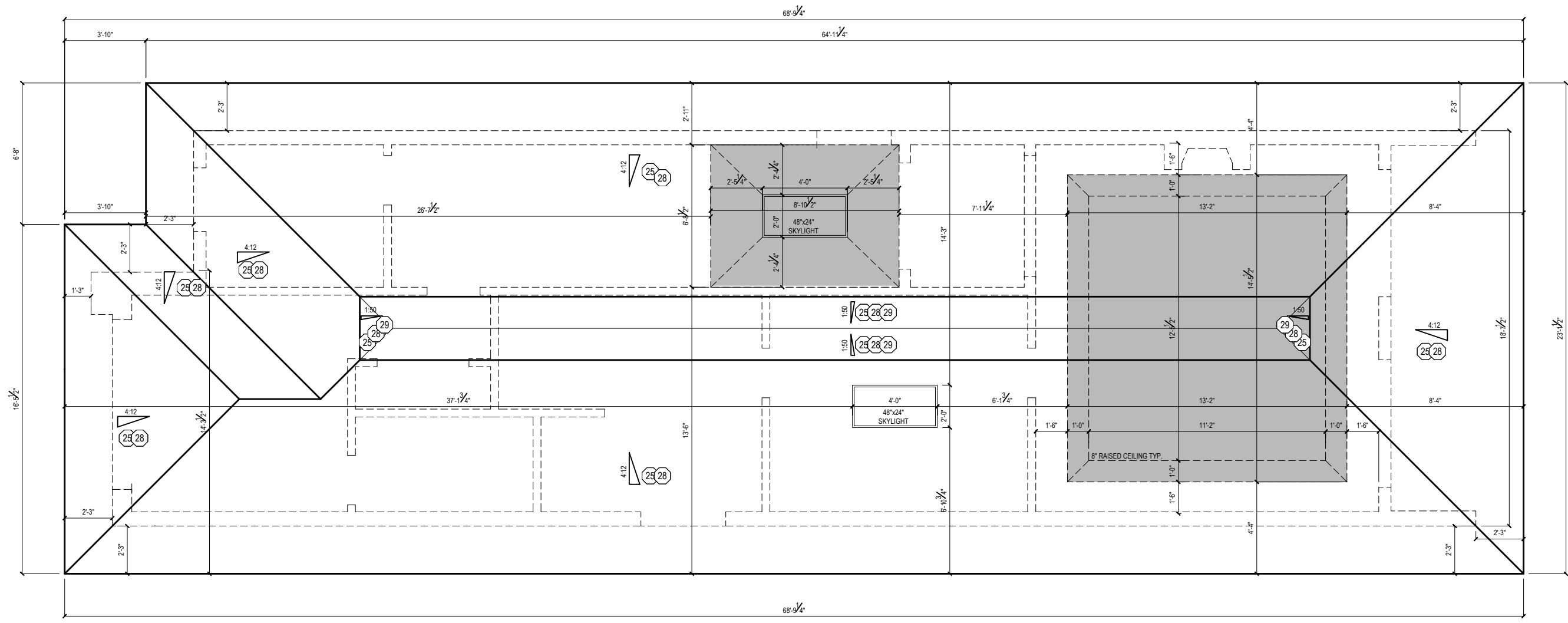
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DRAWING TITLE: PROPOSED THIRD FLOOR PLAN
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 10 ROBINS AVE, HAMILTON
PROJECT NO: 2023-012 **SCALE:** 3/16"=1'-0"
SHEET NO. **A103**



3/16"=1'-0"
PROPOSED ROOF PLAN

CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

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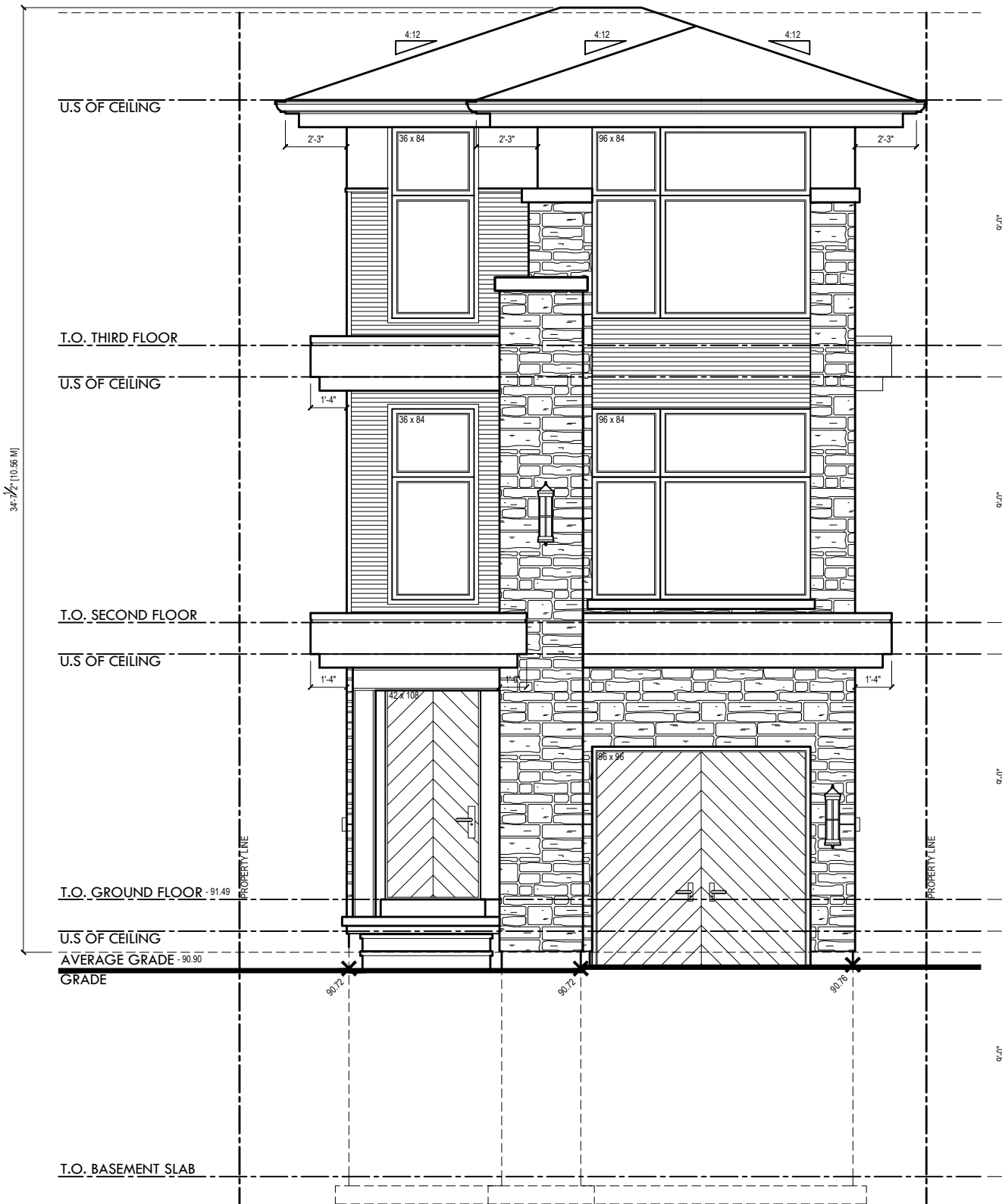
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DRAWING TITLE: PROPOSED ROOF PLAN
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 10 ROBINS AVE, HAMILTON
PROJECT NO: 2023-012 **SCALE:** 3/16"=1'-0"
SHEET NO. **A104**



3/16"=1'-0"
FRONT ELEVATION

CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

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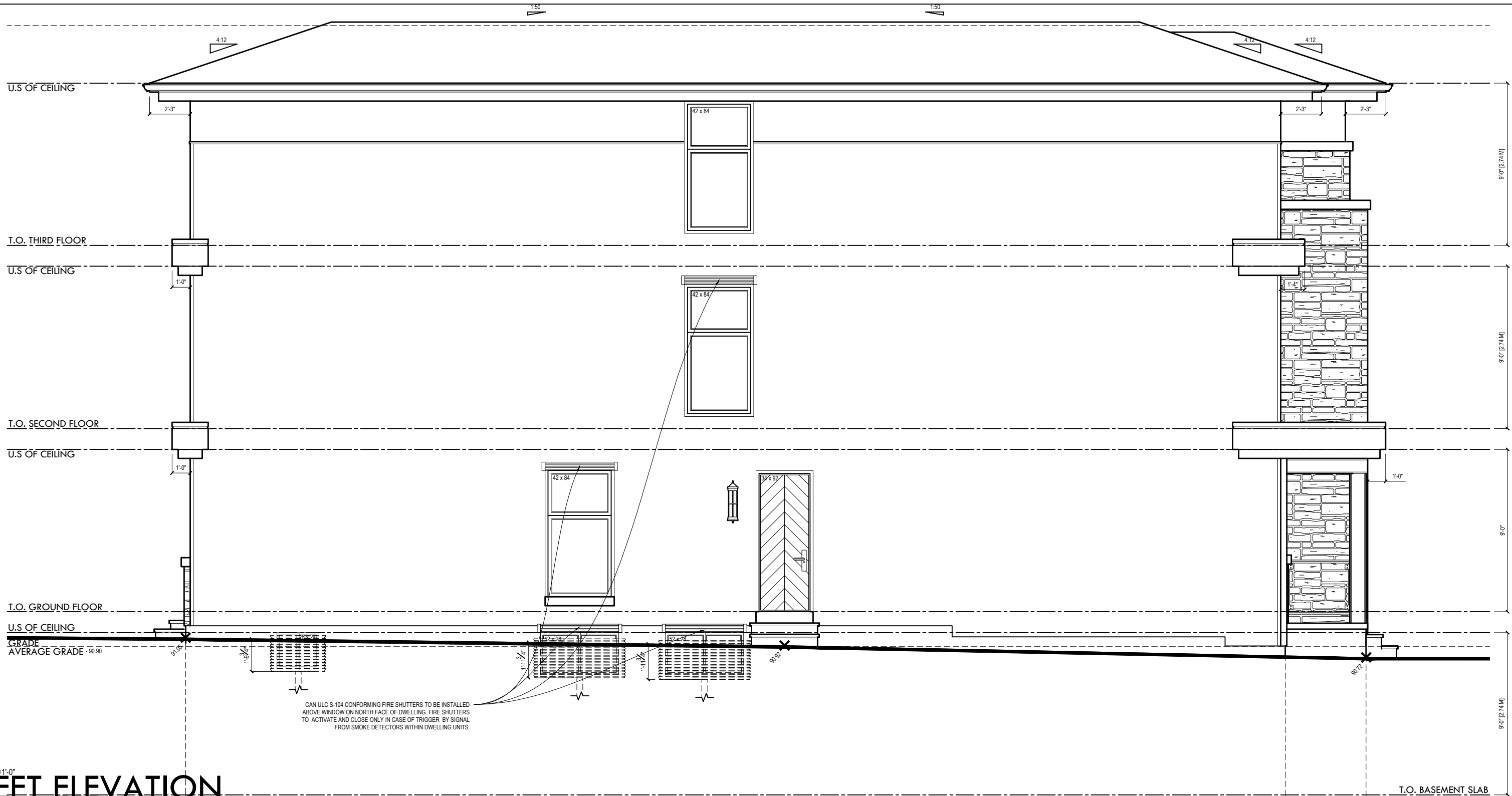
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DRAWING TITLE: FRONT ELEVATION
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 10 ROBINS AVE, HAMILTON
PROJECT NO: 2023-012 **SCALE:** 3/16"=1'-0"
SHEET NO. **A201**



3/16"=1'-0"
LEFT ELEVATION

CONSTRUCTION NOTES

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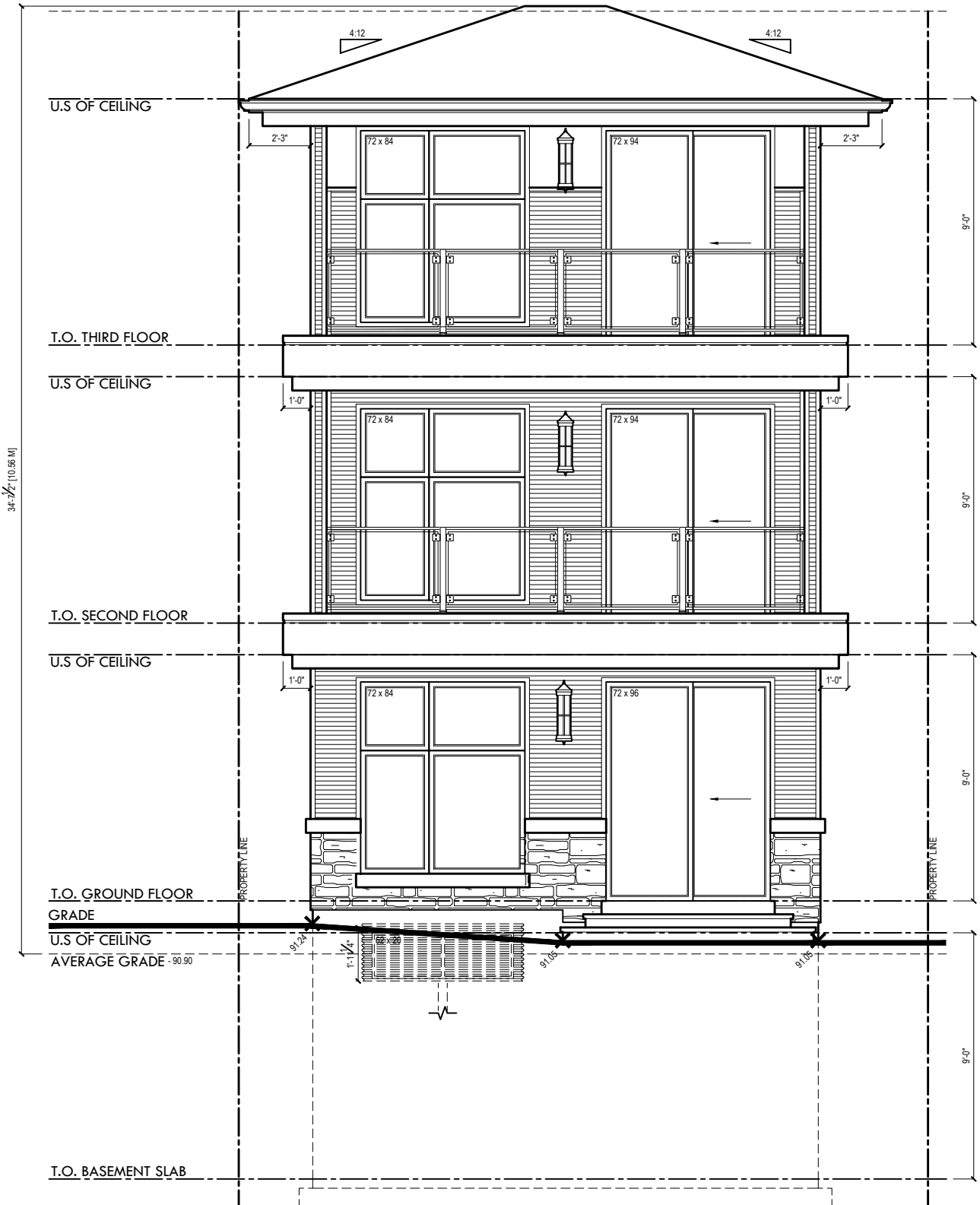
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DRAWING TITLE: LEFT ELEVATION
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 10 ROBINS AVE, HAMILTON
PROJECT NO: 2023-012 **SCALE:** 3/16"=1'-0"
SHEET NO. **A202**



3/16"=1'-0"
REAR ELEVATION

CONSTRUCTION NOTES

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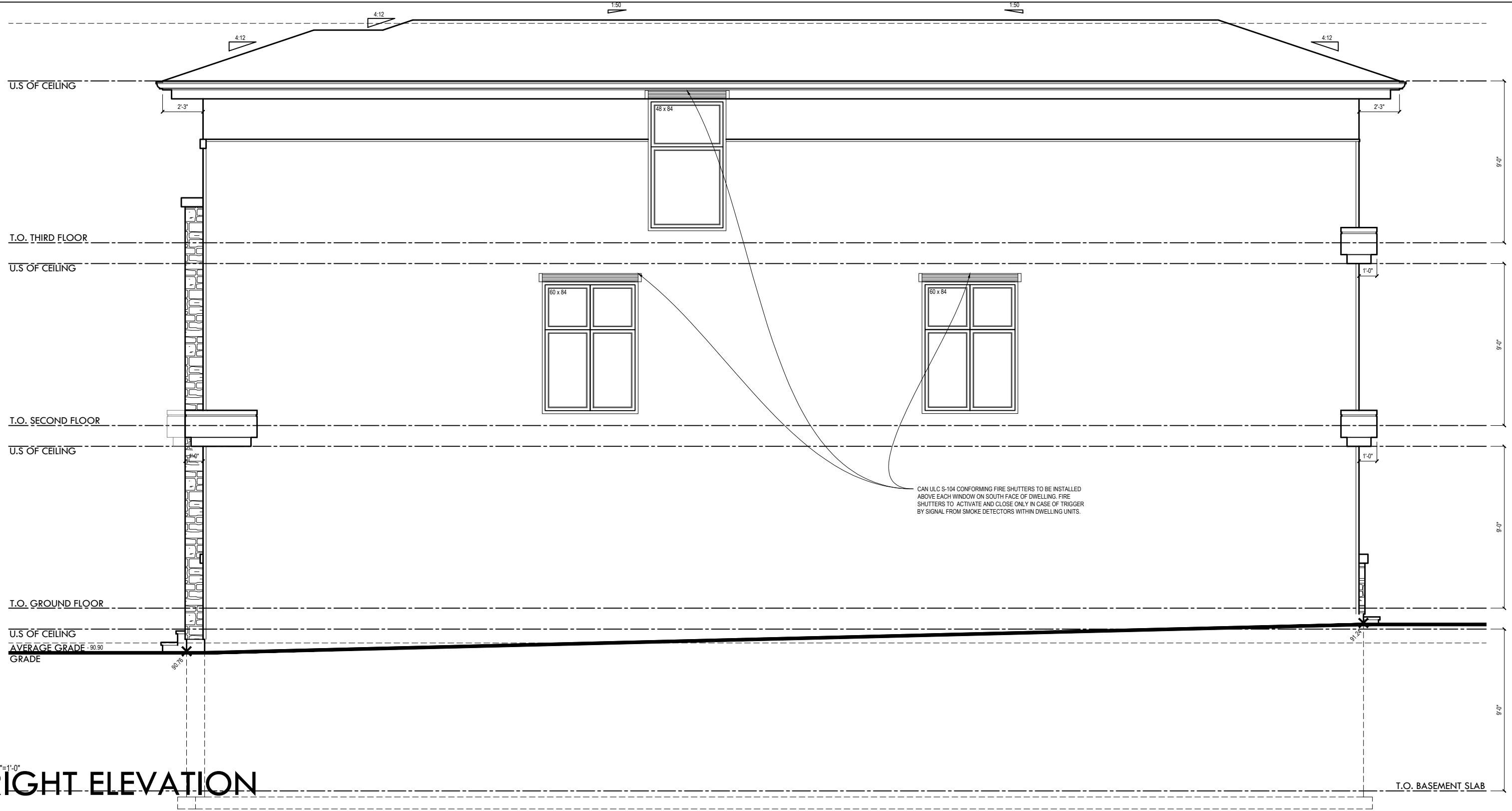
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DRAWING TITLE: REAR ELEVATION
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 10 ROBINS AVE, HAMILTON
PROJECT NO: 2023-012 **SCALE:** 3/16"=1'-0"
SHEET NO. **A203**



CONSTRUCTION NOTES

CONTRACTOR TO SITE VERIFY IF DIMENSIONS FOR SPAN OF TRUSS MATCH WITH ON SITE CONDITIONS PRIOR TO ORDERING OF TRUSSES. DESIGNER MUST BE NOTIFIED IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES

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4 -		MM.DD.YYYY
5 -		MM.DD.YYYY



DRAWING TITLE: RIGHT ELEVATION
DRAWN BY: PR **CHECKED BY:** -
ADDRESS: 10 ROBINS AVE, HAMILTON
PROJECT NO: 2023-012 **SCALE:** 3/16"=1'-0"
SHEET NO. **A204**



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

NAME	
Registered Owners(s)	K Shaikh and A Maqbool
Applicant(s)	Pamir Rafiq
Agent or Solicitor	

Phone:
E-mail:

1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent [REDACTED]

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:



Municipal Address	10 Robins Avenue		
Assessment Roll Number	04031302570		
Former Municipality	City of Hamilton		
Lot	Lot 6	Concession	-
Registered Plan Number	Registered Plan 395	Lot(s)	-
Reference Plan Number (s)	-	Part(s)	-

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

Easement for the purpose of Site Servicing

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

1. The minimum side yard setback in an R1a Zone in the 05-200 Zoning By-Law is 1.2m
-Seeking Minor Variance to approve the proposed 0.80 side yard setback.
2. As per R1a Zone in the 05-200 Zoning By-Law, 2 Parking spaces are required, one for each dwelling unit.
-Seeking Minor Variance to approve the required parking to be maintained outside of property lines.
3. The maximum building height in an R1a Zone in the 05-200 Zoning By-Law is 10.50m.
-Seeking Minor Variance to Approve the proposed building height of 10.56m.
4. An eave or gutter shall be permitted to be as close as 0.0m to the southerly side lot line instead of the minimum 0.3m setback required.
5. An eave or gutter shall be permitted to be as close as 0.4m to the northerly side lot line instead of the minimum 0.6m setback required.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Building limits defined by existing site grading conditions and zoning by law regulations do not accommodate for the proposed design and do not take into account small size existing lot.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

Crystal L. Mc Reavy
Licensed Paralegal & Notary Public
in and for the Province of Ontario.
My commission is of unlimited duration.
No legal advice given. LSO #P17479



4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
7.62m	30.48m	232.25	Approximately 5.85m*

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Residential Single Family Dwelling	4.16m	14.50m	0.07m/0.43m	Unknown

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Residential Dwelling (Two Dwelling Units)	3.00m	7.54m	0.80m/1.20m	TBD

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Residential Single Family Dwelling	Approximately 69.85sqm	Approximately 105sqm	1-1/2	Approximately 8.00m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Residential Dwelling (Two Dwelling Units)	90.27 sqm	290.45 sqm	3	10.56 m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

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4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Residential Dwelling (Two Dwelling Units)

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Residential Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Residential Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Residential Dwelling

7.4 Length of time the existing uses of the subject property have continued:
Unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1a

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

Proposal includes Additional dwelling Unit within basement to be accessed through side yard (1.20m side yard setback).

Please note that the proposed construction complies to minimum side yard setbacks outlined in zoning by-law to a further degree than the existing legally non-conforming dwelling located on the lot.

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11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
- _____
- _____

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