



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-24:108</b>	<b>SUBJECT PROPERTY:</b>	31 Greenaway Avenue, Hamilton
<b>ZONE:</b>	"H" (Community Shopping and Commercial, Etc.)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Hamilton 6593, as Amended

**APPLICANTS:** Owner: Harjot Walia  
Agent: R&R Designs – Richie Khanna

The following variances are requested:

1. To permit a side yard setback (north) of 0.26m.
2. To permit a front yard setback of 0.40m.
3. To permit a side yard setback (south) of 3.03m.
4. To permit a rear yard setback (north) of 1.54m.
5. To permit a setback from the property line to the staircase #3 of 0.55m.
6. To permit a setback from the property line to the eave of the staircase #3 of 0.23m.
7. To permit a front yard setback for staircase #1 of 0.57m.
8. To permit setback of 1.96m for staircase #2 to the property line.
9. To permit setback of 0.43m for staircase #3 to the property line.
10. To permit setback of 0.36m for the concrete pad of staircase #3 to the property line.
11. To permit setback of 0.38m for the under-grade caisson footing of staircase #3 to the property line.
12. To permit the eaves to encroach 0.1 metres into the side yards.

**PURPOSE & EFFECT:** To facilitate the expansion of the top half-storey with the addition of dormers for the existing single detached dwelling.

**Notes:**

- i. Variances written exactly as requested by applicant.

Please note that these lands may be:

- Regulated by a Conservation Authority;
- Located within or adjacent to an Environmentally Sensitive Area (ESA);
- Designated under the Ontario Heritage Act;
- Listed in the City of Hamilton’s Inventory of Buildings of Architectural and/or Historical Interest; and/or,
- Included in the City of Hamilton’s Register of Property of Cultural Heritage Value or Interest.

Staff cannot confirm this information at this time and the applicant should make the appropriate inquiries in order to determine what other regulations may be applicable to the subject property.”

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Tuesday, June 11, 2024</b>
<b>TIME:</b>	<b>1:35 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon June 7, 2024

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon June 10, 2024

**FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:108, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

**DATED: May 23, 2024**

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**Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment**

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

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E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

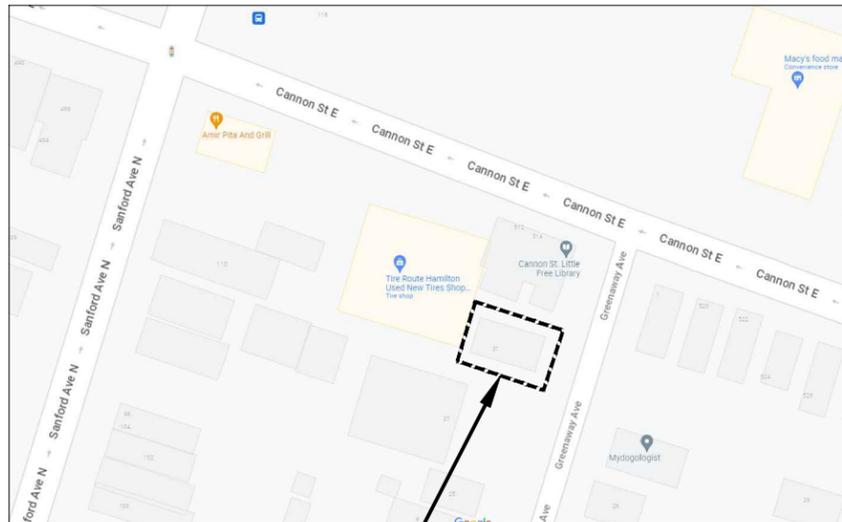
We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by phone at 905-977-1654.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

31 GREENAWAY AVE.,  
HAMILTON, ON L8L 6C3



EXISTING BUILDING IMAGE



AREA OF WORK



KEY MAP



ARCHITECTURAL



Robert Taunton P.Eng.  
roberttaunton@hotmail.com

STRUCTURAL

CONSULTANTS

1. CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS.
3. THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED , ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

NOTES

1. CONVERSION FROM ONE-FAMILY DWELLING TO TWO-FAMILY DWELLING
2. INTERIOR ALTERATION
3. NEW EXTERIOR 3 STAIRCASES.

SCOPE OF WORK

TITLE/SITE	REVISIONS
ARCHITECTURAL	2024/03/05
A0.01 COVER PAGE	●
A0.02 GENERAL NOTES	●
A0.03 WALL SCHEDULE AND LEGEND	●
SP.01 EXISTING SITE PLAN	●
SP.02 PROPOSED SITE PLAN	●
A1.01 EXISTING BASEMENT PLAN	●
A1.02 EXISTING GROUND FLOOR PLAN	●
A1.03 EXISTING SECOND FLOOR PLAN	●
A2.01 PROPOSED BASEMENT PLAN	●
A2.02 PROPOSED GROUND FLOOR PLAN	●
A2.03 PROPOSED SECOND FLOOR PLAN	●
A3.01 REAR STAIR ELEVATION	●
STRUCTURAL	
S0.01 STRUCTURAL NOTES	●
S1.01 DETAILS	●

SHEET INDEX



R&R Designs Inc.  
92 Stapleton Ave, Hamilton, ON, L8H 3N6  
(905) 547 8668  
Richie Khanna | richie@r-rdesigns.net  
www.r-rdesigns.net



NO.	DATE	DESCRIPTION	BY
3	2024-03-05	ISSUED FOR M.V.	B.P.
2	2024-02-07	ISSUED FOR REVISION	A.A.
1	2023-10-31	ISSUED FOR PERMIT	A.A.

PROJECT ADDRESS	31 GREENAWAY AVE, HAMILTON, ON L8L 6C3.	
SCALE	AS NOTED	
DATE	2023-08-15	
PAGE TITLE	COVER PAGE	
PROJECT NO. RR13-2023	DRAWING NO.	
	<b>A0.01</b>	
DRAWN BY A.A.		
REVIEWED BY R.K.		

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DESIGN DRAWINGS AS THEY APPLY FOR EACH TRADE AS APPLICABLE TO THE PROJECT.
2. INSPECT INTERIOR AND EXTERIOR WALLS. REPLACE ANY DAMAGED SUBSTRATE WALLS ETC. INSPECT WINDOWS & WALLS BELOW WINDOWS FOR EVIDENCE OF MOISTURE DAMAGE & IMPROPERLY INSTALLED FLASHING. VERIFY WITH OWNER.
3. ALL BEAMS WITH POINT LOADS TO BE SIZED BY PROFESSIONAL ENGINEER.
4. PROVIDE ENGINEERED LINTELS FOR ALL OPENINGS SUPPORTING TRUSSES SPANNING MORE THAN 4 FEET.
5. ALL LEVEL BEAMS @ HEADERS TO BE PRE-ENGINEERED BY LVL SUPPLIER.
6. ANY PORTION OF CONCRETE WALL THAT IS Laterally UNSUPPORTED FOR 48" OR MORE IN LENGTH, MUST BE ENGINEERED.
7. ENERGY REQUIREMENTS AS PER SB-12 OF THE O.B.C.
8. MILLWORK SUB-CONTRACTOR OR GENERAL CONTRACTOR SHALL VERIFY ON SITE ALL DIMENSIONS THAT ARE NECESSARY FOR THE CONSTRUCTION & INSTALLATION OF FURNITURE, MILLWORK AND EQUIPMENT.
9. ALL SUB FLOORS SCREWED & GLUED TO FLOOR JOISTS.
10. ALL PERIMETER WALLS TO BE STRIPED FROM THE INSIDE, CLEANED, ALL MOLD TO BE REMOVED AND DAMAGED AREAS TO BE REPAIRED AND PREPARED TO RECEIVE NEW FINISH. (UNLESS NOTED OTHERWISE).
11. ALL SWITCHES AND OUTLETS TO BE INSTALLED AS PER PART 9.34.2 OF THE O.B.C.

12. PLUMBING NOTE: PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES FOR SHOWER UNITS. PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES FOR ALL FAUCETS OR WATER HEATER SOURCE.
13. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND ALL FINISHED GRADES ON SITE.
14. ALL DIMENSIONS ARE TO INTERIOR WALL FACE. ONLY NEW INTERIOR PARTITION DIMENSIONS SHOWN ON PROPOSED DRAWING. EXTERIOR WALL AND EXITING INTERIOR WALL DIMENSIONS SHALL BE VERIFIED ON SITE.
15. FOR INTERIOR FINISHES, VERIFY WITH OWNER.
16. IF THERE IS NO SPECIFIED, EXISTING ITEMS TO REMAIN, REPAIR IF IT IS REQUIRED.

FIRE PROTECTION:

1. INTERCONNECTED CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN THE BASEMENT IN A RETURN DUCT THAT WILL SHUT OFF THE FURNACE FAN IN THE EVENT OF A FIRE. CARBON MONOXIDE DETECTORS REQUIRED FOR ALL FUEL APPLIANCES (O.B.C. 9.33.4.2).
2. INSTALL SMOKE ALARMS IN EACH SLEEPING ROOM ON EVERY FLOOR AS PER 9.10.19.3.(1) (B).
3. SMOKE ALARMS SHALL BE WIRED SO THAT WHEN THE ALARM SOUNDS, ALL ALARMS SOUND. SMOKE ALARMS SHOULD CONFORM TO SECTION 9.10.19.6. (SILENCING).
4. ALL SMOKE ALARMS TO BE INTERCONNECTED AS PER 9.10.19.5. ALL SMOKE ALARMS TO HAVE VISUAL SIGNAL DEVICE IN ADDITION TO AN AUDIBLE SIGNAL DEVICE.

FIRE SEPARATION NOTES:

1. EXISTING FIRE SEPARATIONS TO BE MAINTAINED.
2. DAMAGED AREAS SHALL BE CORRECTED BY THE G.C. ANY PENETRATIONS SHALL BE SEALED TO ENSURE NO COMPROMISE OF FIRE RATINGS.
3. EVERY DOOR IN A FIRE SEPARATION SHALL HAVE A SELF-CLOSING DEVICE AS PER 9.10.12.10. (1).

WASHROOMS:

1. WATERPROOF WALLBOARD REQUIRED AS TILE BASE AROUND TUBS AND SHOWERS.
2. USE MOISTURE RESISTANT DRYWALL IN WET AREAS.

STAIRS:

1. ALL HANDRAILS AND GUARDS TO BE INSTALLED AS PER SB-1 OF THE O.B.C.



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3	2024-02-27	ISSUED FOR REVISION	B.P.
2	2024-02-07	ISSUED FOR REVISION	A.A.
1	2023-10-31	ISSUED FOR PERMIT	A.A.
NO.	DATE	DESCRIPTION	BY

REVISIONS	
PROJECT ADDRESS	31 GREENAWAY AVE, HAMILTON, ON L8L 6C3.
SCALE	AS NOTED
DATE	2023-08-15
PAGE TITLE	GENERAL NOTES
PROJECT NO. RR13-2023	DRAWING NO. <b>A0.02</b>
DRAWN BY A.A	
REVIEWED BY R.K	

EXTERIOR WALL ASSEMBLY			
WALL TAG	PLAN LEGEND	WALL CONSTRUCTION	WALL ASSEMBLY DESCRIPTION
W1			EXISTING EXTERIOR WALL EXISTING FRR NOT LESS THAN 45MIN ( SB-3, TABLE 1, W1b)
W2			FOUNDATION WALL INSTALL INTERIOR INSULATION AS REQUIRED, SEE PROPOSED BASEMENT FLOOR PLAN FOR LOCATIONS. (R-20ci MINIMUM)  <ul style="list-style-type: none"> <li>- EXISTING FOUNDATION WALL</li> <li>- WATERPROOFING MEMBRANE EXTEND 6" ABOVE GRADE LINE</li> <li>- NEW 2" RIGID INSULATION (ROCKWOOL R10ci)</li> <li>- NEW 2"x4 WOOD STUD @16 O/C W/ BATT INSULATION (R-12)</li> <li>- NEW ONE LAYER REGULAR 1/2" GYPSUM WALL BOARD</li> <li>- NEW FINISH (VERIFY WITH OWNER)</li> </ul>

INTERIOR PARTITION WALLS			
WALL TAG	PLAN LEGEND	WALL CONSTRUCTION	WALL ASSEMBLY DESCRIPTION
P1			EXISTING INTERIOR PARTITION WALL - TO REMAIN <ul style="list-style-type: none"> <li>- NEW INTERIOR FINISH</li> <li>- NEW 1/2" (12.7MM) REGULAR GWB</li> <li>- 2X4 WOOD STUD @ 16" O.C.</li> <li>- NEW 1/2" (12.7MM) REGULAR GWB</li> <li>- NEW INTERIOR FINISH</li> </ul> PROVIDE FOR DWELLING UNIT INSIDE INTERIOR WALLS
P2			NEW INTERIOR FIRE SEPARATION WALL <ul style="list-style-type: none"> <li>- INTERIOR FINISH</li> <li>- 5/8" (15.9MM) TYPE X GWB</li> <li>- NEW OR EXISTING 2"x4" STUD @ 16" O.C. W/ NEW BATT INSULATION</li> <li>- RESILIENT METAL CHANNELS</li> <li>- 2 LAYERS 5/8" (15.9MM) TYPE X GWB</li> <li>- INTERIOR FINISH</li> </ul> PROVIDE FOR MECHANICAL ROOM. FRR NOT LESS THAN 1HR ( SB-3, TABLE 1, W4a) SOUND TRANSMISSION (STC) 51
P3			FIRE SEPARATION TO THE EXISTING WALL <ul style="list-style-type: none"> <li>- INTERIOR FINISH</li> <li>- 5/8" (15.9MM) TYPE X GWB</li> <li>- EXISTING 2"x4" STUD @ 16" O.C. W/ BATT INSULATION</li> <li>- RESILIENT METAL CHANNELS</li> <li>- 2 LAYERS 5/8" (15.9MM) TYPE X GWB</li> <li>- INTERIOR FINISH</li> </ul> PROVIDE FOR MECHANICAL ROOM. FRR NOT LESS THAN 1HR ( SB-3, TABLE 1, W4a) SOUND TRANSMISSION (STC) 51
P4			NEW INTERIOR PARTITION WALL <ul style="list-style-type: none"> <li>- INTERIOR FINISH</li> <li>- 1/2" (12.7MM) REGULAR GWB</li> <li>- 2X4 WOOD STUD @ 16" O.C.</li> <li>- 1/2" (12.7MM) REGULAR GWB</li> <li>- INTERIOR FINISH</li> </ul> PROVIDE FOR DWELLING INTERIOR PARTITIONS.
P5			EXISTING INTERIOR PARTITION WALL - TO DEMOLISH <ul style="list-style-type: none"> <li>- INTERIOR FINISH</li> <li>- 1/2" (12.7MM) REGULAR GWB</li> <li>- 2X4 WOOD STUD @ 16" O.C.</li> <li>- 1/2" (12.7MM) REGULAR GWB</li> <li>- INTERIOR FINISH</li> </ul>

FLOOR & ROOF ASSEMBLY		
FLOOR TAG	FLOOR CONSTRUCTION	FLOOR ASSEMBLY DESCRIPTION
FC1		EXISTING GROUND FLOOR ASSEMBLY <ul style="list-style-type: none"> <li>- EXISTING FLOOR FINISH</li> <li>- EXISTING WOOD FLOOR ASSEMBLY TO REMAIN</li> <li>1/2"(15.5MM) PLYWOOD SUBFLOOR</li> <li>WOOD JOIST @16" O.C.</li> <li>- EXISTING 1 LAYER 1/2" REGULAR GWB</li> <li>- EXISTING CEILING FINISH</li> </ul>
FC2		FLOOR ASSEMBLY - FIRE RATED PROVIDE FOR BASEMENT MECHANICAL ROOM (CEILING) AND SECOND FLOOR (FLOORING) <ul style="list-style-type: none"> <li>- EXISTING FLOOR FINISH</li> <li>- EXISTING WOOD FLOOR ASSEMBLY TO REMAIN</li> <li>1/2"(15.5MM) PLYWOOD SUBFLOOR</li> <li>WOOD JOIST @16" O.C.</li> <li>- EXISTING ABSORPTIVE MATERIAL IN CAVITY</li> <li>- RESILIENT METAL CHANNEL PERPENDICULAR TO JOIST @16" O/C</li> <li>- 2 LAYERS 5/8" (15.9MM) TYPE X GWB</li> <li>- CEILING FINISH</li> </ul> FRR NOT LESS THAN 1HR (SB-3, TABLE 2, F9c) SOUND TRANSMISSION (STC) 52
ROOF TAG	ROOF CONSTRUCTION	ROOF ASSEMBLY DESCRIPTION
RC1		EXISTING ROOF ASSEMBLY <ul style="list-style-type: none"> <li>- EXISTING ROOF FINISH TO REMAIN</li> <li>- EXISTING ROOF MEMBRANE TO REMAIN</li> <li>- EXISTING ROOF STRUCTURAL ASSEMBLY TO REMAIN</li> <li>- EXISTING ROOF CEILING JOIST W/ INSULATION TO REMAIN</li> <li>- EXISTING 1 LAYER 1/2" REGULAR GWB</li> <li>- EXISTING CEILING FINISH</li> </ul> FRR NOT LESS THAN 45MIN (SB-3, TABLE 2, R1)

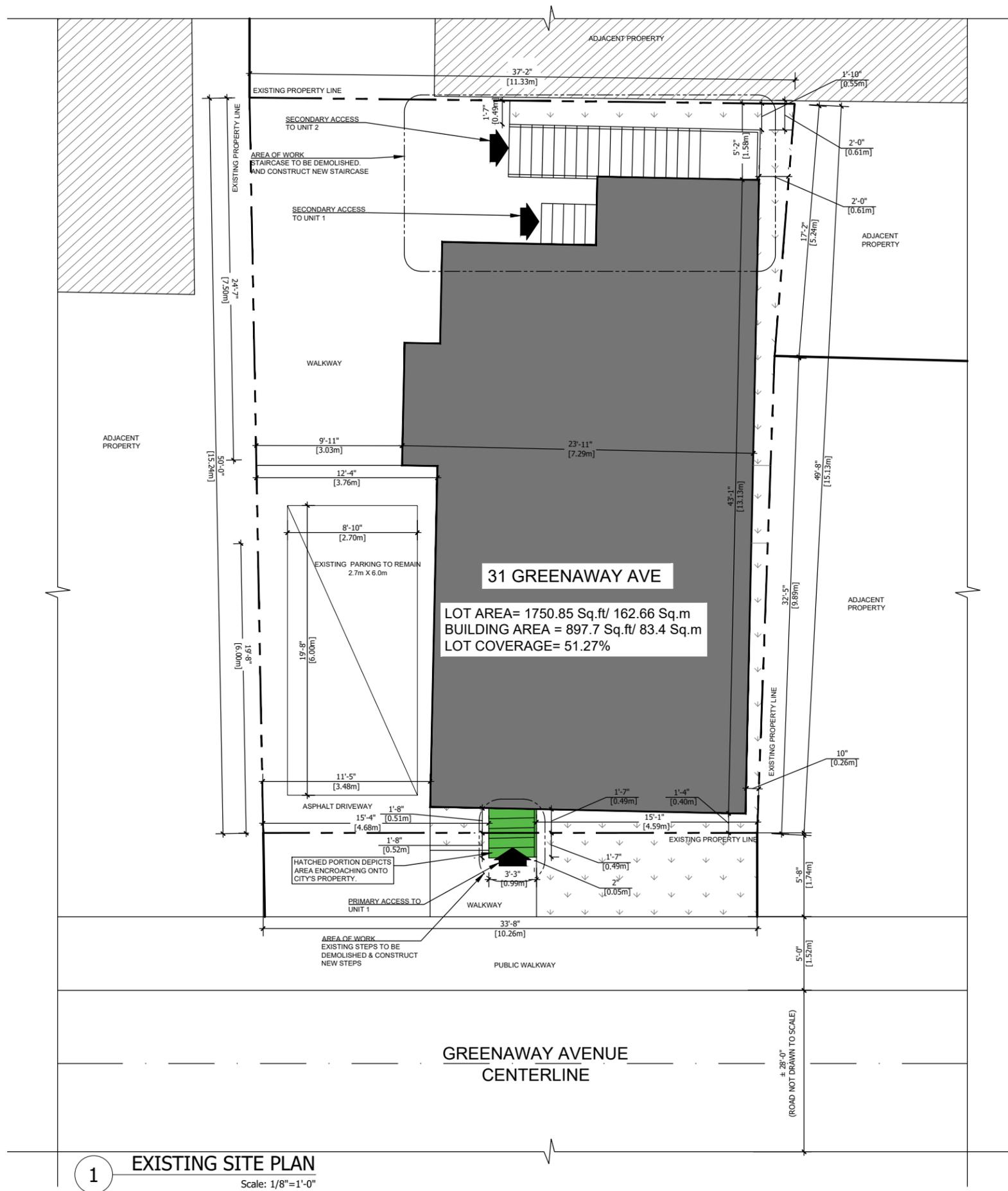


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3	2024-03-05	ISSUED FOR M.V.	B.P.
2	2024-02-07	ISSUED FOR REVISION	A.A.
1	2023-10-31	ISSUED FOR PERMIT	A.A.

PROJECT ADDRESS	31 GREENAWAY AVE, HAMILTON, ON L8L 6C3.		
SCALE	AS NOTED		
DATE	2023-08-15		
PAGE TITLE	WALL SCHEDULE & LEGEND		
PROJECT NO.	RR13-2023	DRAWING NO.	A0.03
DRAWN BY	A.A.	REVIEWED BY	R.K.



**31 GREENAWAY AVE**  
 LOT AREA= 1750.85 Sq.ft/ 162.66 Sq.m  
 BUILDING AREA = 897.7 Sq.ft/ 83.4 Sq.m  
 LOT COVERAGE= 51.27%

SITE STATISTICS		
	REQUIRED	EXISTING
SITE AREA	-	0.04 Acre (162.66 Sq.m) (1750.85 Sq.ft)
FRONTAGE	-	33'-8" (10.26m), 37'-2" (11.33m)
DEPTH	-	50'-0" (15.24m), 49'-8" (15.13m)
ZONING CODE & DESCRIPTION	-	H COMMUNITY SHOPPING AND COMMERCIAL, ETC.
WARD	-	3

BUILDING STATISTICS		
	REQUIRED	EXISTING
FRONT SETBACK	6.0 m	± 1'-4" (0.40 m)
REAR SETBACK	7.5 m	± 5'-2" (1.58 m)
WEST SIDE SETBACK	-	± 9'-11" (3.03 m)
EAST SIDE SETBACK	-	± 0'-10" (0.26 m)
BUILDING WIDTH	-	± 23'-11" (7.29 m)
BUILDING DEPTH	-	± 43'-1" (13.13 m)
BUILDING HEIGHT	MAX. 55'-9" (17.0 m)	EXISTING TO REMAIN
# OF STOREY	-	EXISTING TO REMAIN
LANDSCAPING	N/A	EXISTING TO REMAIN



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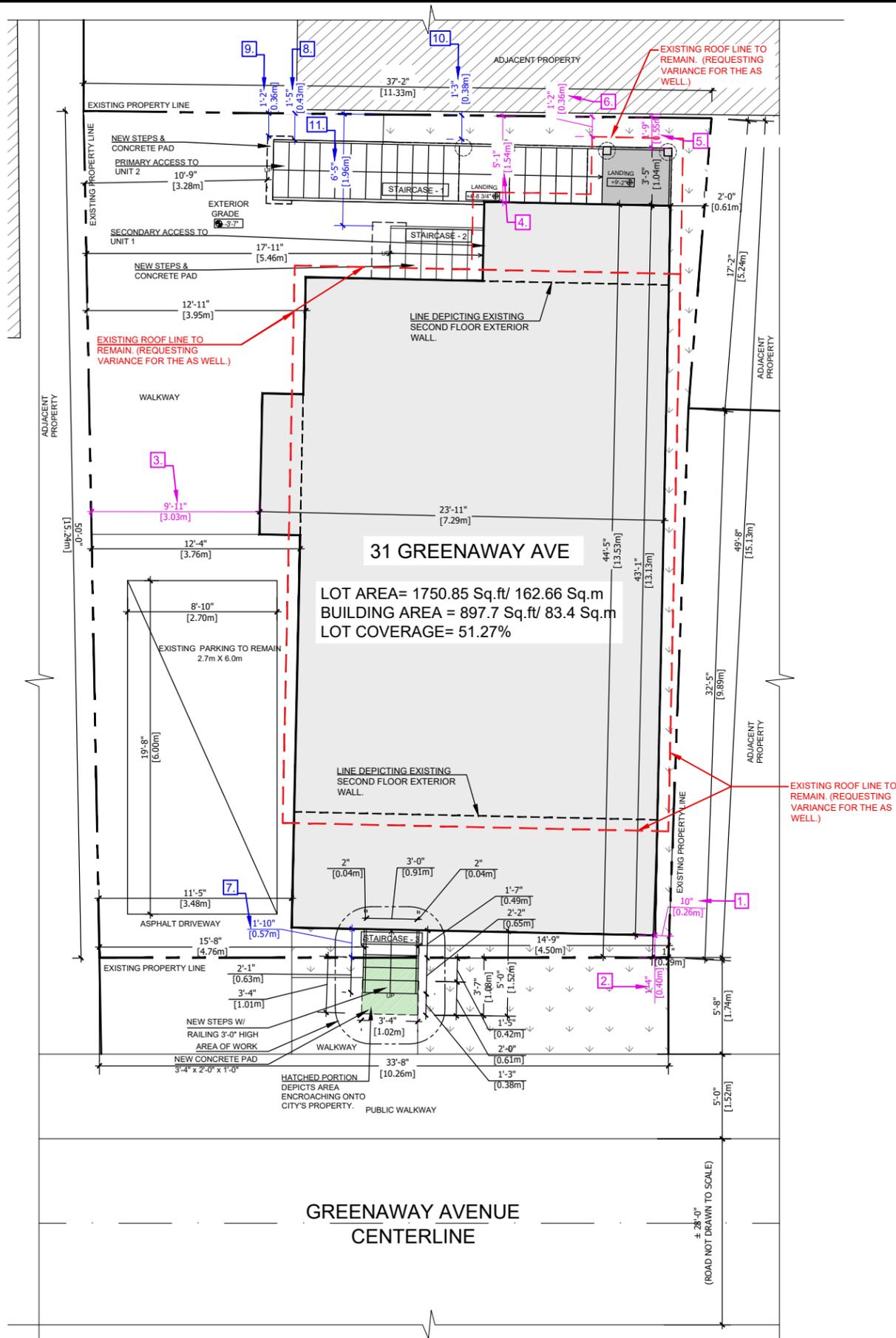


NO.	DATE	DESCRIPTION	BY
3	2024-03-05	ISSUED FOR M.V.	B.P.
2	2024-02-07	ISSUED FOR REVISION	A.A.
1	2023-10-31	ISSUED FOR PERMIT	A.A.

REVISIONS	
PROJECT ADDRESS	31 GREENAWAY AVE, HAMILTON, ON L8L 6C3.
SCALE	AS NOTED
DATE	2023-08-15
PAGE TITLE	EXISTING SITE PLAN
PROJECT NO. RR13-2023	DRAWING NO. SP.01
DRAWN BY A.D.	
REVIEWED BY R.K.	

**1 EXISTING SITE PLAN**  
 Scale: 1/8"=1'-0"





**1 PROPOSED SITE PLAN**  
Scale: 1/8"=1'-0"

**LIST OF VARIANCES:**

EXISTING BUILDING FOOTPRINT IS TO REMAIN. SETBACKS ARE EXISTING FROM THE TIME BUILDING WAS BUILT. WE REQUEST VARIANCE FOR EXISTING SETBACKS.

1. 0.26m EX. SETBACK ON THE NORTH SIDYARD.
2. 0.40m EX. SETBACK ON THE FRONT.
3. 3.03m EX. SETBACK ON THE SOUTH SIDYARD.
4. 1.54m EX. SETBACK ON THE REAR.
5. 0.55m SETBACK FROM THE PROPERTY LINE TO THE EX. LANDING OF STAIRCASE-1. (REQ. SETBACK 0.58 m FROM THE REAR LOT LINE)
6. 0.23m SETBACK FROM THE PROPERTY LINE TO THE EAVE OF THE STAIRCASE-1 LANDING.

PROPOSED NEW THREE STAIRCASE WITH CONCRETE PAD AT WE REQUEST VARIANCE FOR PROPOSED SETBACKS.

7. 0.57m SETBACK FOR THE NEW STAIRCASE FROM THE PROPERTY LINE TO THE BUILDING.
8. 0.43m SETBACK FROM THE PROPERTY LINE TO THE STAIR-1.
9. 0.36m SETBACK FROM THE PROPERTY LINE TO STAIR-1 CONCRETE PAD.
10. 0.38m SETBACK FROM THE PROPERTY LINE TO STAIR-1 UNDER GRADE CASSION FOOTING.
11. 1.96m SETBACK FROM THE PROPERTY LINE TO THE STAIR-2.

EXISTING ROOF IS TO REMAIN. REQUEST VARIANCE FOR EXISTING ROOF ENCRACHING INTO SIDE, FRONT & REAR YARDS. SINCE THE BUILDING WAS BUILT IN 1992.

SITE STATISTICS		
	REQUIRED	EXISTING
SITE AREA	-	0.04 Acre (162.66 Sq.m) (1750.85 Sq.ft)
FRONTAGE	-	33'-8" (10.26m), 37'-2" (11.33m)
DEPTH	-	50'-0" (15.24m), 49'-8" (15.13m)
ZONING CODE & DESCRIPTION	-	H COMMUNITY SHOPPING AND COMMERCIAL, ETC.
WARD	-	3

BUILDING STATISTICS		
	REQUIRED	EXISTING
FRONT SETBACK	6.0 m	± 1'-4" (0.40 m)
REAR SETBACK	7.5 m	± 5'-1" (1.54 m)
WEST SIDE SETBACK	-	± 9'-11" (3.03 m)
EAST SIDE SETBACK	-	± 0'-10" (0.26 m)
BUILDING WIDTH	-	± 23'-11" (7.29 m)
BUILDING DEPTH	-	± 43'-1" (13.13 m)
BUILDING HEIGHT	MAX. 55'-9" (17.0 m)	EXISTING TO REMAIN
# OF STOREY	-	EXISTING TO REMAIN
LANDSCAPING	N/A	EXISTING TO REMAIN



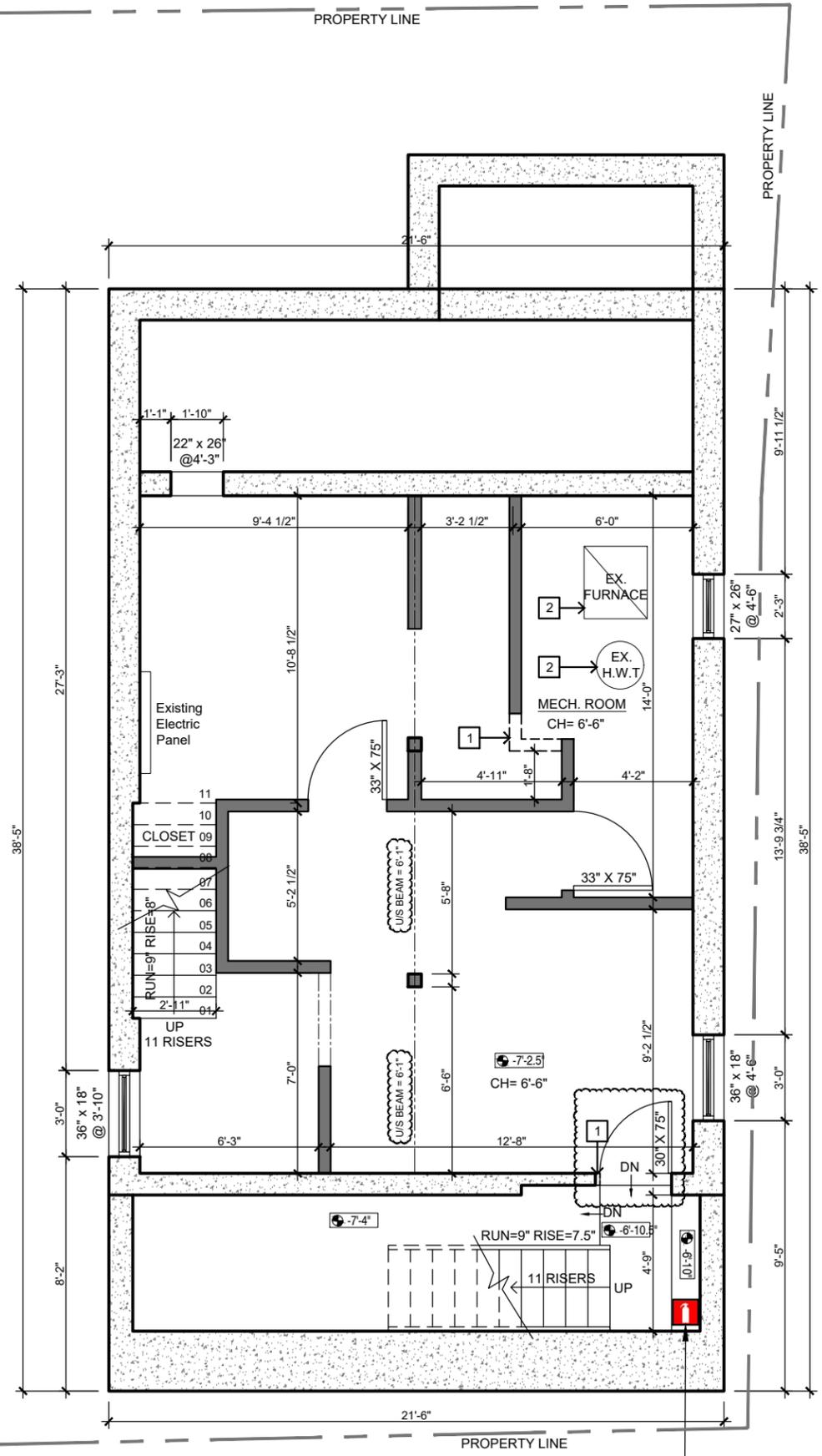
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3	2024-03-05	ISSUED FOR M.V.	B.P.
2	2024-02-07	ISSUED FOR REVISION	A.A.
1	2023-10-31	ISSUED FOR PERMIT	A.A.

REVISIONS	
PROJECT ADDRESS	31 GREENAWAY AVE, HAMILTON, ON L8L 6C3.
SCALE	AS NOTED
DATE	2023-08-15
PAGE TITLE	PROPOSED SITE PLAN
PROJECT NO. RR13-2023	DRAWING NO. SP.02
DRAWN BY B.P.	REVIEWED BY R.K.





**1** EXISTING BASEMENT PLAN  
Scale: 3/16"=1'-0"

**DEMOLITION KEY NOTES:**

1. DEMOLISH EXISTING INTERIOR WALL
2. MECHANICAL EQUIPMENT TO REMAIN AS IT IS.  
(IF NOT MENTIONED, EXISTING TO REMAIN AS IS.)

**NOTE:**

PATCH REPAIR AND MAKE GOOD THE AREA AFFECTED BY SCOPE OF WORK. REFER TO PROPOSED FLOOR PLAN FOR SCOPE OF WORK.

**LEGEND:**

- EXISTING WALL/ PARTITION TO REMAIN
- WALL TO BE DEMOLISHED



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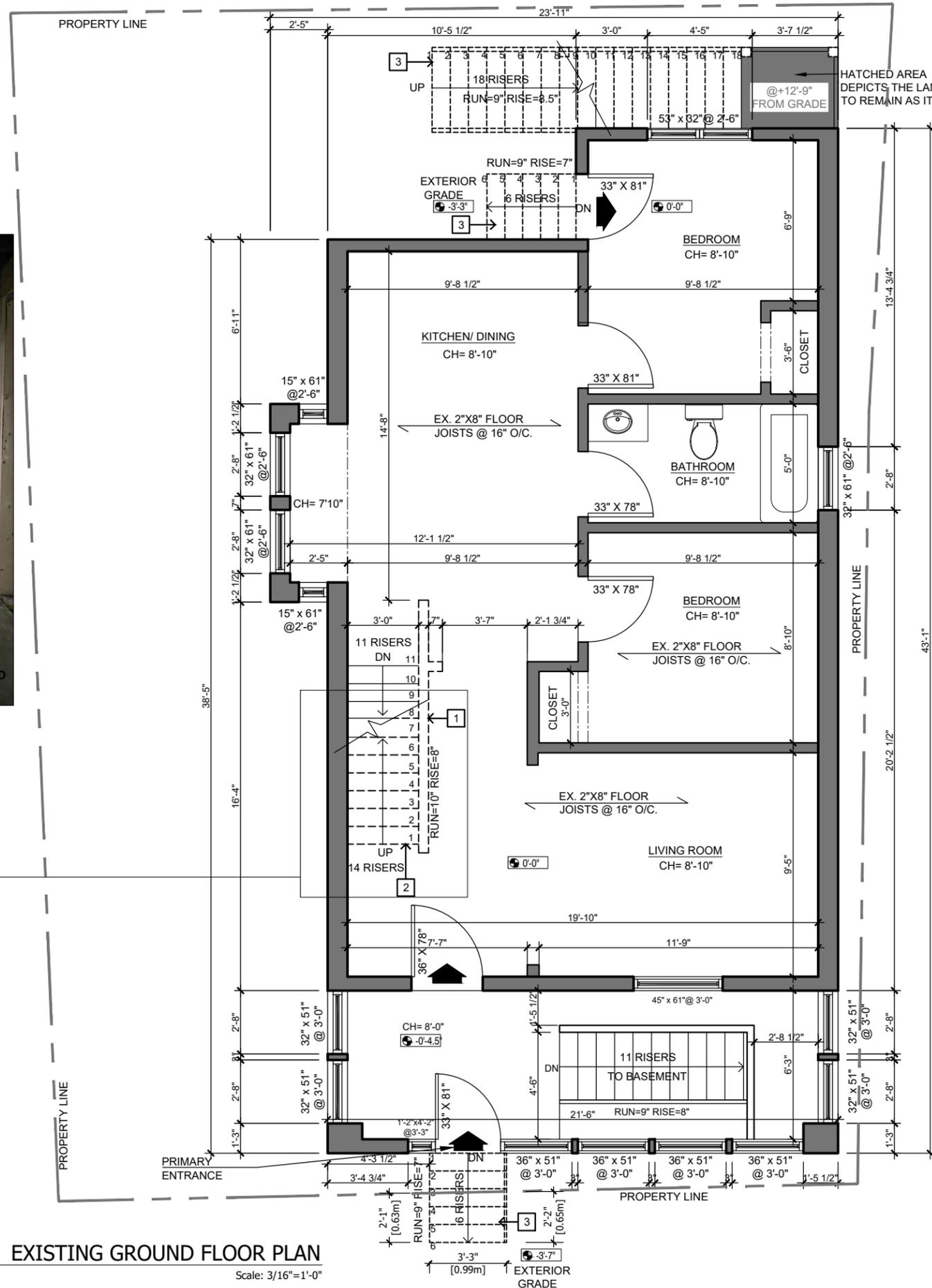
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REVISIONS	
PROJECT ADDRESS	31 GREENAWAY AVE, HAMILTON, ON L8L 6C3.
SCALE	AS NOTED
DATE	2023-08-15
PAGE TITLE	EXISTING BASEMENT PLAN
PROJECT NO. RR13-2023	DRAWING NO. <b>A1.01</b>
DRAWN BY A.A.	
REVIEWED BY R.K.	





EXISTING STAIRCASE FROM GROUND FLOOR TO SECOND FLOOR TO BE DEMOLISHED



1 EXISTING GROUND FLOOR PLAN  
Scale: 3/16"=1'-0"

- DEMOLITION KEY NOTES:**
1. DEMOLISH EXISTING INTERIOR WALL.
  2. DEMOLISH EXISTING STAIRCASE FROM GROUND FLOOR TO SECOND FLOOR.
  3. DEMOLISH THE EXISTING EXTERIOR STAIRCASE.

**NOTE:**  
PATCH REPAIR AND MAKE GOOD THE AREA AFFECTED BY SCOPE OF WORK. REFER TO PROPOSED FLOOR PLAN FOR SCOPE OF WORK.

- LEGEND:**
- EXISTING WALL / PARTITION TO REMAIN
  - - - WALL TO BE DEMOLISHED



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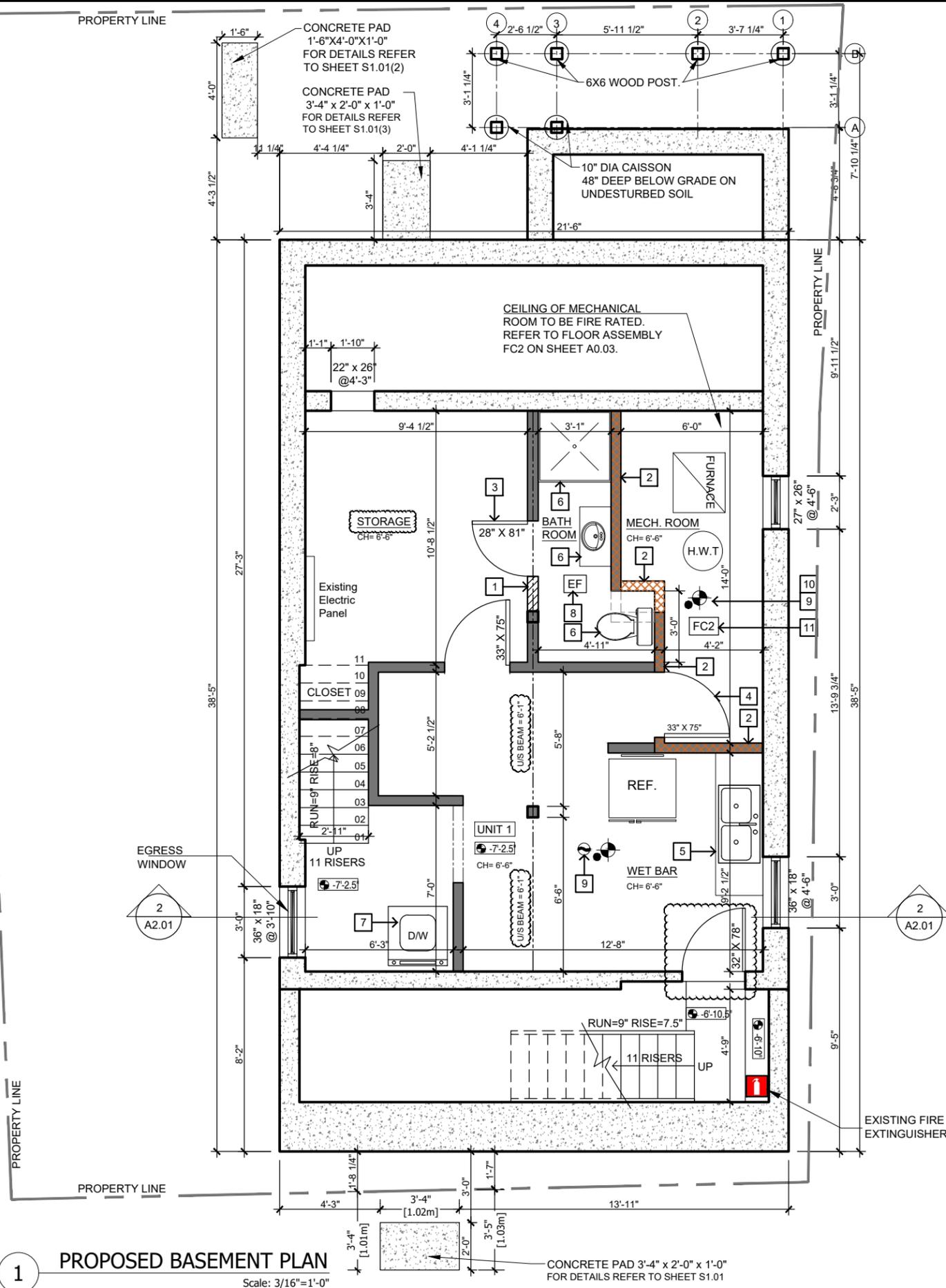


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REVISIONS	
PROJECT ADDRESS	31 GREENAWAY AVE, HAMILTON, ON L8L 6C3.
SCALE	AS NOTED
DATE	2023-08-15
PAGE TITLE	EXISTING GROUND FLOOR PLAN
PROJECT NO. RR13-2023	DRAWING NO. A1.02
DRAWN BY A.A.	REVIEWED BY R.K.





**CONSTRUCTION KEY NOTES:**

1. INSTALL NEW REGULAR INTERIOR PARTITIONS. REFER TO DETAIL P4 ON SHEET A0.03 FOR DETAILED WALL ASSEMBLY.
2. INSTALL NEW 1 HR FIRE RATED WALL OR UPDATE THE EXISTING WALL TO ADD FIRE SEPARATION. REFER TO DETAIL P2 AND P3 ON SHEET A0.03 FOR DETAILED WALL ASSEMBLY.
3. INSTALL NEW INTERIOR DOOR. (DOOR DIMENSIONS DOES NOT INCLUDE FRAME)
4. INSTALL NEW DOOR WITH SELF-CLOSING DEVICE TO MECHANICAL ROOM. MAINTAIN DOOR TO MEET 1 HR F.R.R.
5. INSTALL NEW WET BAR MILL WORK AND SINK.
6. INSTALL NEW BATHROOM FIXTURES.
7. INSTALL NEW STACKABLE LAUNDRY. DRYER SHALL VENT DIRECTLY TO EXTERIOR.
8. INSTALL NEW EXHAUST FAN IN BATHROOM. IT SHALL VENT DIRECTLY TO EXTERIOR.
9. INSTALL INTERCONNECTED CO/ SMOKE ALARMS/ DETECTORS.
10. SMOKE DETECTOR SHOULD BE INSTALLED IN A BASEMENT IN A RETURN DUCT THAT WILL SHUT OFF THE FURNACE AT THE EVENT OF FIRE . CO DETECTORS REQUIRED FOR ALL FUEL APPLIANCES (OBC, PART 9, 9.33.4.2)
11. REFER TO FLOOR ASSEMBLY FC2 ON SHEET A0.03 FOR FIRE SEPARATION TO BE ADDED TO THE CEILING OF MECHANICAL ROOM.
12. INSTALL NEW FLOOR FINISHES THROUGHOUT
13. INSTALL NEW TRIMS & BASEBOARDS
14. INSTALL NEW ELECTRICAL LIGHT FIXTURES IF NEEDED.

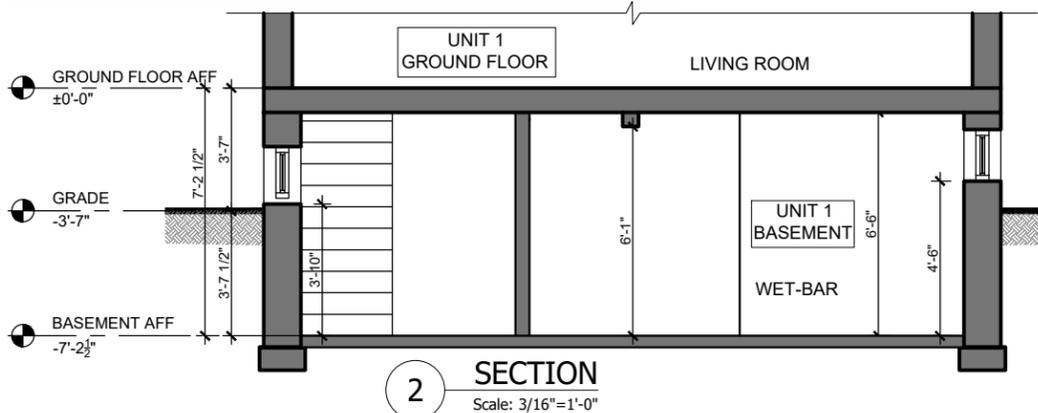
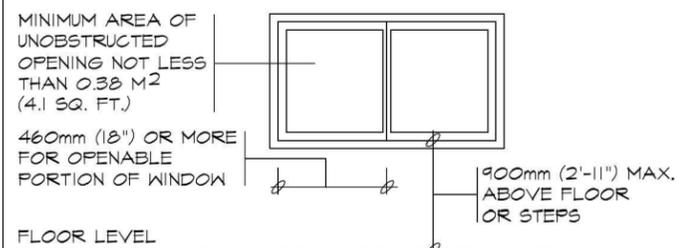
**LEGEND:**

- EXISTING WALL/ PARTITION TO REMAIN
- WALL TO BE DEMOLISHED
- NEW INTERIOR PARTITION
- FIRE SEPARATION TO EXISTING PARTITION
- NEW FIRE SEPARATION PARTITION (1 HR FRR, 50 STC)
- SMOKE ALARM INTERCONNECTED WITH VISUAL SIGNALING COMPONENT
- INTERCONNECTED CARBON MONOXIDE DETECTOR
- EXHAUST FAN VENTED TO EXTERIOR

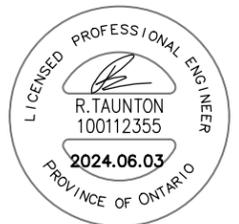
**NOTE:**

ALL NEW FIXTURES, APPLIANCES, FINISHES, DOORS, WINDOWS, TRIMS TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING AND INSTALLATION. CONTRACTOR TO VERIFY DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER RIGHT AWAY.

**EGRESS WINDOW**



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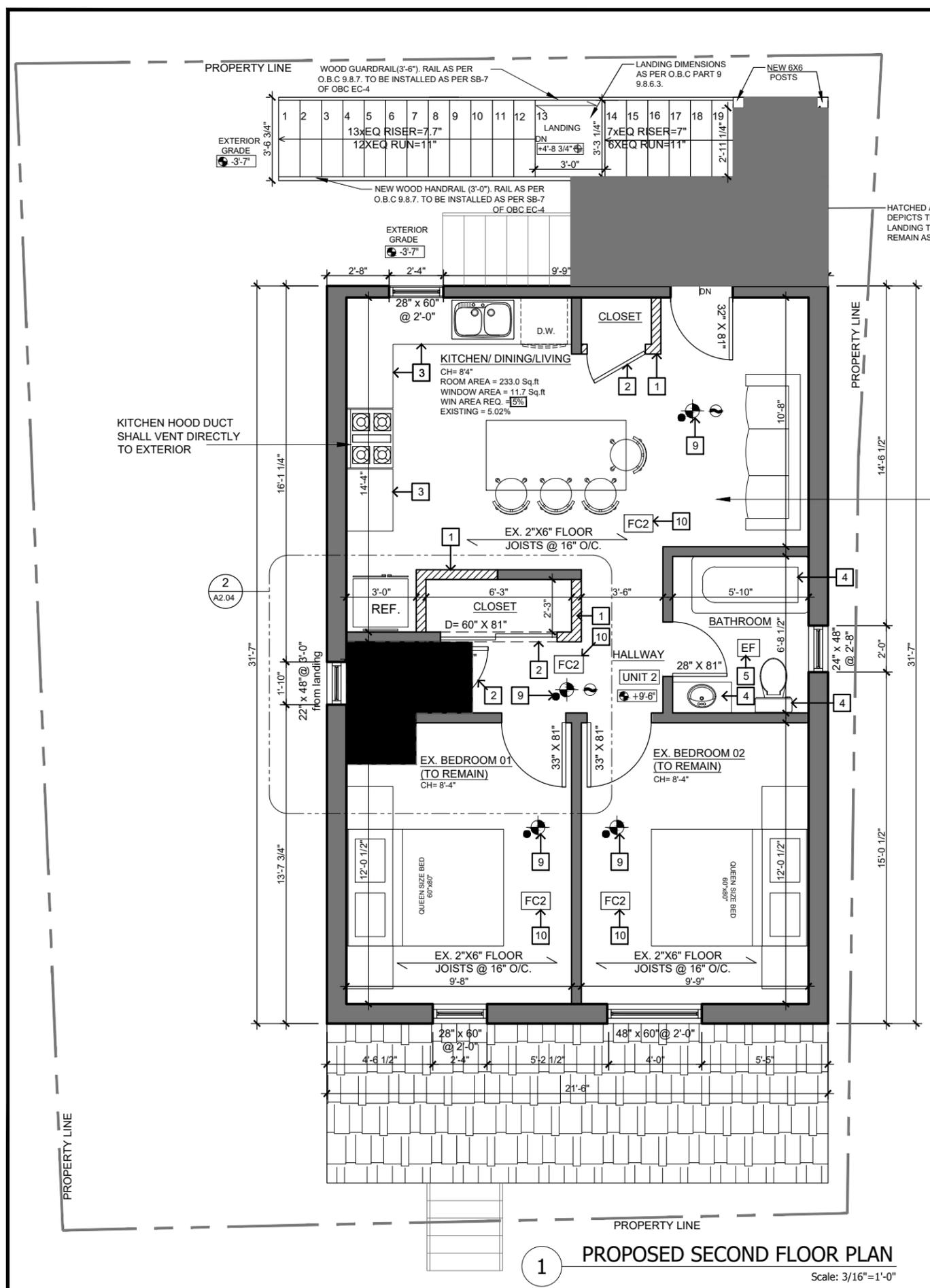


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SCALE	AS NOTED
DATE	2023-08-15
PAGE TITLE	PROPOSED BASEMENT PLAN
PROJECT NO.	RR13-2023
DRAWING NO.	A2.01
DRAWN BY	A.A.
REVIEWED BY	R.K.





**1 PROPOSED SECOND FLOOR PLAN**  
Scale: 3/16"=1'-0"

**CONSTRUCTION KEY NOTES:**

1. INSTALL NEW REGULAR INTERIOR PARTITIONS. REFER TO DETAIL P4 ON SHEET A0.03 FOR DETAILED WALL ASSEMBLY.
2. INSTALL NEW INTERIOR DOOR. (DOOR DIMENSIONS DOES NOT INCLUDE FRAME)
3. INSTALL NEW KITCHEN CABINET AND SINK. KITCHEN HOOD EXHAUST SHALL VENT DIRECTLY TO EXTERIOR.
4. INSTALL NEW BATHROOM FIXTURES.
5. INSTALL NEW EXHAUST FAN TO BATHROOM. IT SHALL VENT DIRECTLY TO EXTERIOR.
8. INSTALL NEW STACKABLE LAUNDRY. DRYER SHALL VENT DIRECTLY TO EXTERIOR.
9. INSTALL INTERCONNECTED CO/ SMOKE ALARMS/ DETECTORS.
10. REFER TO FLOOR ASSEMBLY FC2 ON SHEET A0.03 FOR FIRE SEPARATION TO BE PROVIDED THROUGHOUT THE FLOOR OF SECOND FLOOR TO SEPARATE UNIT 2 FROM UNIT 1.
11. NEW FLOOR TO BE ADDED ON SECOND FLOOR BY ADDING NEW 2"x6" FLOOR JOISTS. (REFER TO SHEET A2.04 FOR FLOOR JOISTS FRAMING PLAN)
12. INSTALL NEW FLOOR FINISHES THROUGHOUT
13. INSTALL NEW TRIMS & BASEBOARDS
14. INSTALL NEW ELECTRICAL LIGHT FIXTURES IF NEEDED.

**NOTE:**

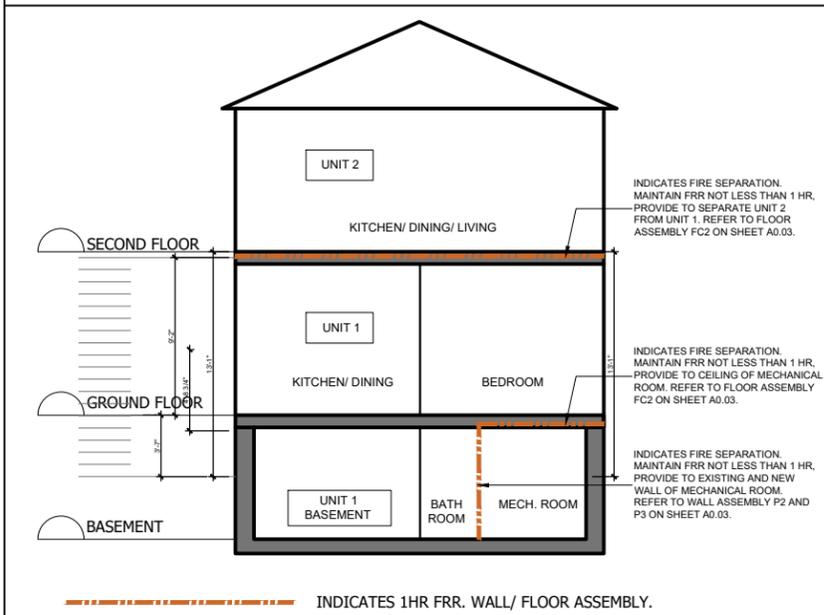
ALL NEW FIXTURES, APPLIANCES, FINISHES, DOORS, WINDOWS, TRIMS TO BE CONFIRMED WITH OWNER PRIOR TO ORDERING AND INSTALLATION. CONTRACTOR TO VERIFY DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER RIGHT AWAY.

**LEGEND:**

- EXISTING WALL/ PARTITION TO REMAIN
- NEW INTERIOR PARTITION
- SMOKE ALARM INTERCONNECTED WITH VISUAL SIGNALING COMPONENT
- INTERCONNECTED CARBON MONOXIDE DETECTOR
- EXHAUST FAN VENTED TO EXTERIOR
- NEW FLOOR TO BE ADDED ON SECOND FLOOR (REFER TO SHEET A2.04 FOR FLOOR JOISTS FRAMING PLAN)

FIRE SEPARATION TO BE PROVIDED THROUGHOUT THE FLOOR OF SECOND FLOOR TO SEPARATE UNIT 2 FROM UNIT 1. REFER TO FLOOR ASSEMBLY FC2 ON SHEET A0.03.

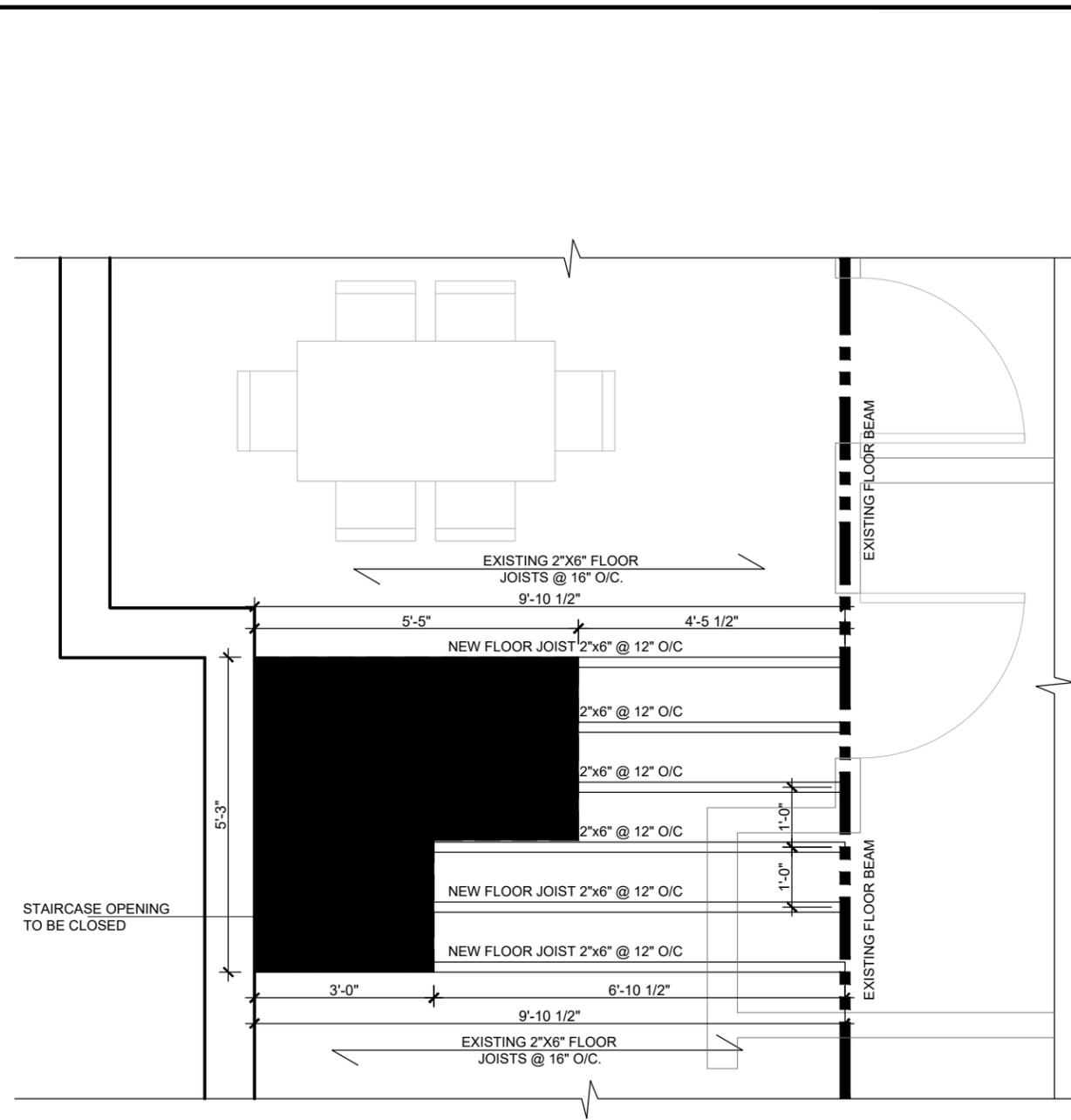
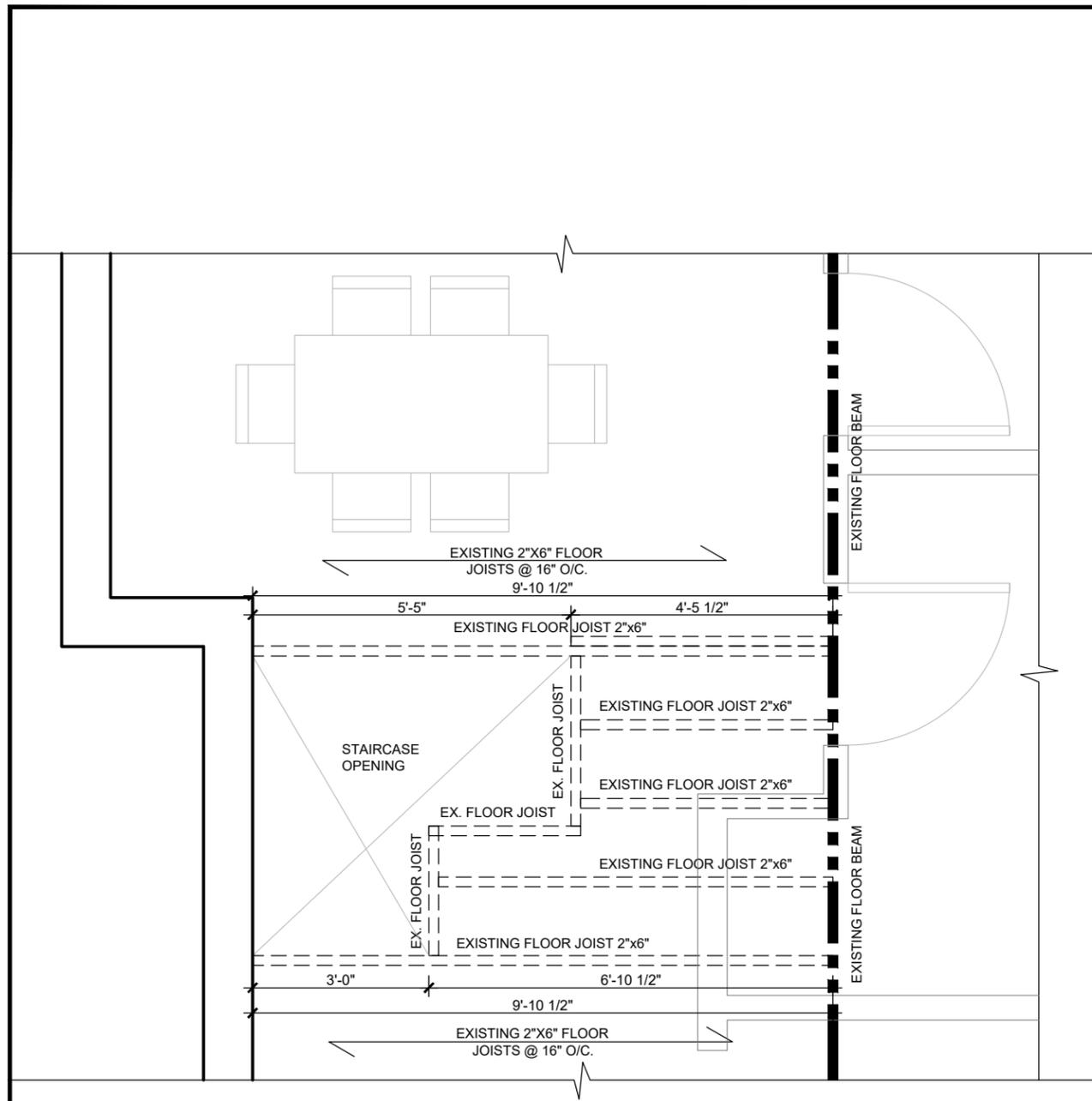
**BUILDING FIRE SEPARATION DIAGRAM**



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SCALE		AS NOTED	
DATE		2023-08-15	
PAGE TITLE		PROPOSED SECOND FLOOR PLAN	
PROJECT NO.		DRAWING NO.	
RR13-2023		A2.03	
DRAWN BY A.A.		REVIEWED BY R.K.	



**1 SECOND FLOOR EX. FLOOR JOISTS DEMOLITION PLAN**  
Scale: 3/8"=1'-0"

**2 SECOND FLOOR NEW FLOOR JOISTS FRAMING PLAN**  
Scale: 3/8"=1'-0"

**LEGEND:**

- NEW 2"x6" FLOOR JOISTS @ 12" O/C
- EXISTING FLOOR JOISTS TO BE DEMOLISHED
- NEW FLOOR TO BE ADDED ON SECOND FLOOR

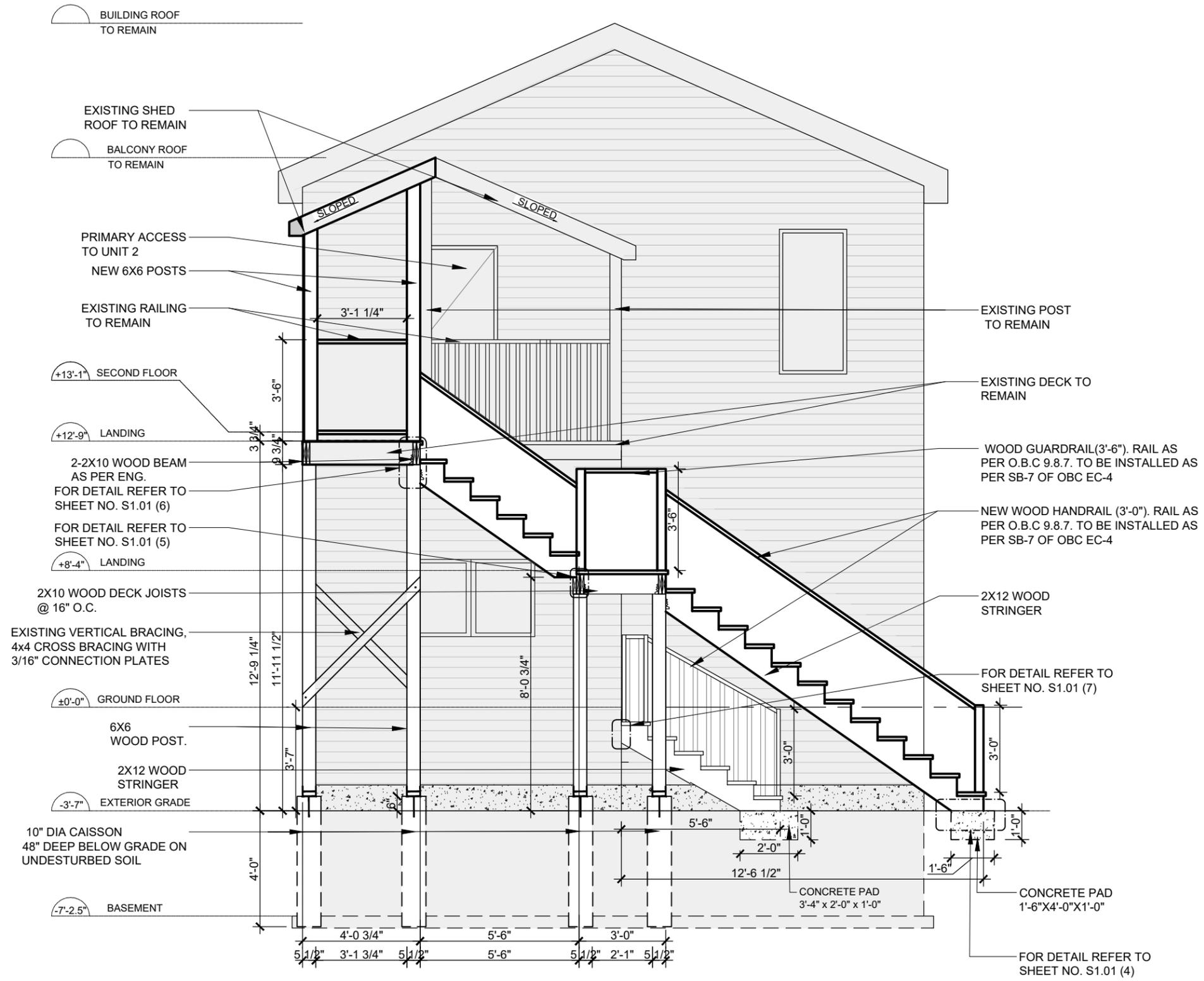


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SCALE	AS NOTED		
DATE	2023-08-15		
PAGE TITLE	SECOND FLOOR - FLOOR JOISTS PLAN		
PROJECT NO. RR13-2023	DRAWING NO.	<b>A2.04</b>	
DRAWN BY A.D			
REVIEWED BY R.K			





**1 REAR STAIR ELEVATION**  
Scale: 3/8"=1'-0"



Another project by  
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PAGE TITLE	REAR STAIR ELEVATION
PROJECT NO. RR13-2023	DRAWING NO. <b>A3.01</b>
DRAWN BY A.D.	REVIEWED BY R.K.

**GENERAL STRUCTURAL NOTES:**

1. ONTARIO BUILDING CODE, LATEST EDITION, SHALL BE THE BASIS FOR CONSTRUCTION AND DESIGN WORK ON THIS PROJECT.
2. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE SITE.
3. OCCUPATIONAL HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION PROJECTS IN ONTARIO, LATEST EDITION, SHALL GOVERN DESIGN AND CONSTRUCTION WORK ON THIS PROJECT.
4. CONTRACTOR SHALL CONTACT THE CONSULTANT FOR AN INSPECTION OF STEEL REINFORCEMENT PRIOR TO POURING THE CONCRETE.
5. COMPACTION OF GRANULAR MATERIAL SHALL BE TESTED BY PERSONNEL OF A GEOTECHNICAL COMPANY AND THE RESULTS SENT TO THE CONSULTANT.

**FOUNDATIONS:**

1. GRANULAR 'A' FILL MATERIAL FOR SLABS AND UNDISTURBED SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUSTAINING A MINIMUM ALLOWABLE BEARING CAPACITY OF 2,000 PSF.
2. PROVIDE 10" MINIMUM COMPACTED TOP LAYER OF GRANULAR "A" MATERIAL UNDER THE SLAB AREA.
3. IF SLAB OR FOUNDATION ARE PLACED ON BACKFILLED MATERIAL; COMPACT THE MATERIAL TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY IN 8" THICK LAYERS (MAX).
4. ALL STRIP FOOTINGS SHALL BE A MINIMUM OF 16" WIDE AND 8" DEEP WITH TWO 15M LONGITUDINAL BARS. THE UNDERSIDE OF FOOTING SHALL BE A MINIMUM OF 4' BELOW GRADE (IN SOUTHERN ONTARIO).

**CONCRETE:**

1. CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF CSA-CAN-A23.1 AND A23.3., LATEST EDITION. {OBC 9.3.1.4.}
2. CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH AFTER 28 DAYS OF 4650 psi (32MPa)
3. REINFORCEMENT STEEL SHALL BE DEFORMED BARS CONFORMING TO CSA-G30.1 2, HAVING A MINIMUM YIELD STRENGTH OF 58psi (400MPa).
4. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE 1.5" U.N.O. WHEN EXPOSED TO WEATHER THE MINIMUM COVER IS 2". WHEN EXPOSED TO SOIL, THE MINIMUM COVER IS 3".
5. CONTRACTOR TO PROVIDE THE NECESSARY MEANS TO SUPPORT AND KEEP STEEL

REINFORCEMENT IN HE INDICATED POSITIONS DURING WORKING OPERATIONS AND PLACING CONCRETE

6. CONCRETE SLABS TO HAVE A STEEL TROWEL FINISH, U.N.O.
7. CONCRETE SLAB SEALER SHALL BE "SIKAFLOOR S3" OR EQUIVALENT.

**ANCHOR RODS:**

1. ALL ANCHOR RODS SHALL BE G40.21M 50W WITH MINIMUM TENSILE STRENGTH - 65KSI (450MPA).
2. ALL ANCHOR RODS OR DOWELS TO EXISTING CONCRETE SHALL BE HILTI HIT HY200 MAX ADHESIVE ANCHORS UNLESS NOTED OTHERWISE. STRENGTH OF MATERIAL AND INSTALLATION METHOD SHALL CONFORM TO MANUFACTURER'S SPECIFICATION.
3. ALL ADHESIVE ANCHOR RODS SHALL BE HILTI HAS-E THREADED ROD OR EQUIVALENT THREADED ROD TO BE APPROVED BY CONSULTANT.
4. ALL ANCHOR RODS SHALL BE COMPLETE WITH HEAVY HEXAGON NUTS PLUS PLATE WASHER. ANCHOR PLATES SHALL CONFORM TO CSA G40.21M - 44W.
5. WELDING TO SECURE ANCHOR PLATE TO ANCHOR ROD(S) SHALL CONFORM TO CSA W47.1, W48.1 AND W59 USING LOW HYDROGEN ELECTRODES AND SHALL BE UNDERTAKEN ONLY BY WELDERS HOLDING CERTIFICATION FOR THE PROCESS, POSITION AND CLASS OF ELECTRODES INVOLVED.
6. ANCHOR ROD PROJECTIONS AND ANCHOR ROD THREADS SHALL BE SUFFICIENT TO SECURE BOTTOM PLATE OF WALL OR COLUMN BASE PLATE
7. ANCHOR ROD PLACEMENT TOLERANCES PER CSA A23.1 CLAUSE 6.7, UNLESS OTHERWISE NOTED ON CONTRACT DRAWINGS.

**WOOD:**

1. ENGINEERING DESIGN IN WOOD SHALL COMPLY WITH CAN/CSA-086-01, INCLUDING SUPPLEMENT CAN/CSA-086S1-05.
2. ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO.1.
3. MAX. MOISTURE CONTENT SHALL BE 19% AT TIME OF INSTALLATION.
4. JOISTS TO HAVE MIN. 38MM BEARING.
5. FASTENERS SHOULD PENETRATE MIN. 50% OF THE LAST MEMBER OR NOT LESS THAN 89MM LONG, WHICH EVER IS GREATER.
6. NAILS ARE TO CONFORM TO CSA B111/P.9-88.
7. SCREWS MUST CONFORM TO ANSI/ASME N18.6-1-1981 FOR WOOD SCREWS (INCH SERIES)
8. 5/8" DIA. BY 10" LONG WITH 6" EMBEDMENT BOTTOM

SILL GALVANIZED ANCHORS WITH NUTS AND WASHERS AT MAX. 6' ON CENTER AND AT CORNERS AND WALL ENDS.

**STRUCTURAL STEEL:**

1. STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE CAN/CSA STANDARD S16-09 "LIMIT STATES DESIGN OF STEEL STRUCTURES".
2. STEEL SHALL CONFORM TO CAN/CSA STANDARD G40.20 - "GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL" AND TO CAN/CSA STANDARD G40.21 - "STRUCTURAL QUALITY STEELS" TO THE FOLLOWING GRADES:
  - HOT ROLLED SHAPES - 44W (300MPA), EXCEPT TO WIDE FLANGE SHAPES WHICH WILL CONFORM TO G20.21M - 50W (350MPA)
  - PLATES NOT GREATER THAN 1 1/2" (38MM) THICKNESS - 50W (350MPA)
  - COLD FORMED STEEL - ASTM A 653/A 653M GRADE 50W (350MPA)
  - HSS (CLASS H) - 50W (350MPA) IF 6" (152MM) OR GREATER
  - HSS (CLASS C) - 50W (350MPA) IF LESS THAN 6" (152MM)
  - ANCHOR BOLTS - 50W (350MPA)
3. ALL METAL-ARC WELDING SHALL BE IN ACCORDANCE WITH CSA STANDARD W59 LATEST REVISION "WELDED STEEL CONSTRUCTION (METAL - ARC WELDING)" & SHALL BE UNDERTAKEN ONLY BY WELDERS HOLDING A VALID CERTIFICATION (QUALIFIED TO CSA W47.1) FOR THE PROCESS POSITION AND CLASS OF ELECTRODES INVOLVED.
4. ALL ELECTRODES SHALL BE LOW HYDROGEN E70XX CONFORMING TO CSA W48.
5. ALL WELDS SHALL BE CONTINUOUS UNLESS NOTED OTHERWISE.
6. MINIMUM SIZE OF FILLET WELDS TO BE 1/4" (6MM) OR AS REQUIRED BY MATERIAL THICKNESS OR PARTS JOINED, UNLESS NOTED OTHERWISE.
7. ALL BOLTED FASTENERS SHALL BE ASTM A325 STRUCTURAL BOLTS COMPLETE WITH HARDENED WASHERS AND HEAVY HEX NUTS UNLESS NOTED OTHERWISE.
8. HSS ENDS SHALL BE CLOSED WITH 3/16" (5MM) THICK CAP PLATE UNLESS NOTED OTHERWISE. PLATE TO BE SEAL WELDED TO HSS.

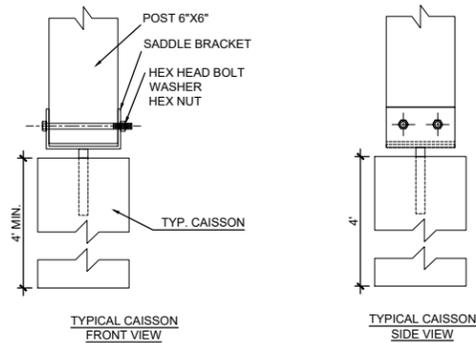


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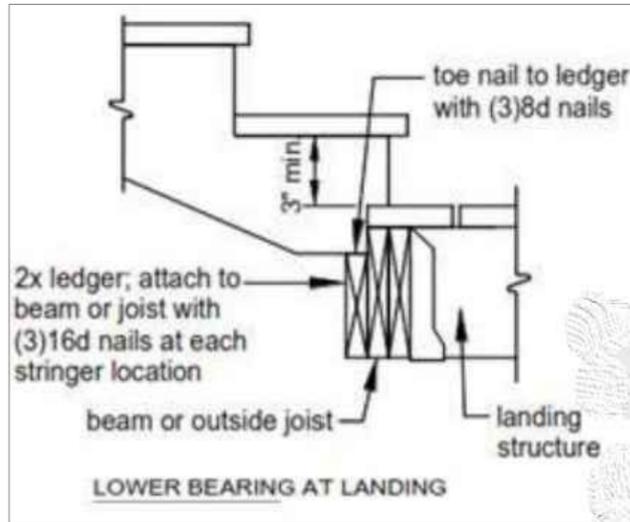



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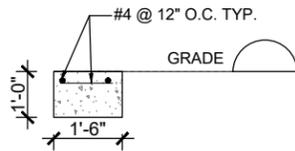
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SCALE		AS NOTED	
DATE		2023-08-15	
PAGE TITLE		GENERAL STRUCTURAL NOTES	
PROJECT NO.	DRAWING NO.		
RR13-2023	S0.01		
DRAWN BY A.D.	REVIEWED BY R.K.		



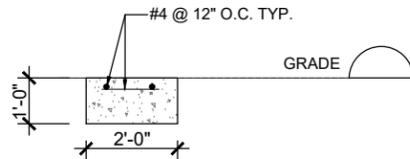
**1 TYP. CASSION & POST CONNECTION**  
Scale: 3/4"=1'-0"



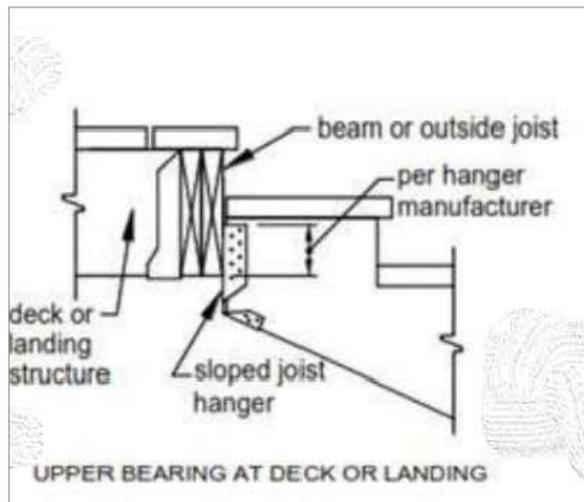
**5 STAIR TO LANDING CONNECTION**  
Scale: N/A



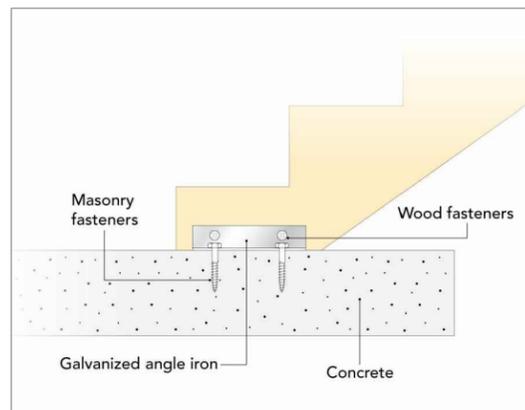
**2 CONCRETE PAD DETAIL (1)**  
Scale: 1/4"=1'-0"



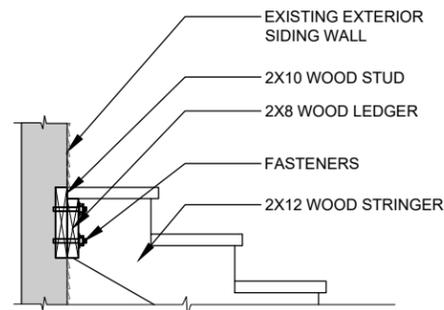
**3 CONCRETE PAD DETAIL (2)**  
Scale: 1/4"=1'-0"



**6 LANDING TO STAIR CONNECTION**  
Scale: N/A



**4 CONCRETE PAD & STAIR CONNECTION**  
Scale: N/A



**7 EXISTING WALL CONNECTION TO NEW STAIR**  
Scale: 1/2"=1'-0"

Another project by



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PAGE TITLE	DETAILS	
PROJECT NO. RR13-2023	DRAWING NO. <b>S1.01</b>	
DRAWN BY A.D. REVIEWED BY R.K.		



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME		
<b>Registered Owners(s)</b>	Harjot Walia		
<b>Applicant(s)</b>	Richie Khanna R&R Designs		
<b>Agent or Solicitor</b>			<b>Phone:</b>
			<b>E-mail:</b>

1.2 Primary contact  Applicant  Owner  Agent/Solicitor

1.3 Sign should be sent to  Applicant  Owner  AgentSolicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type  In person  Credit over phone\*  
 Cheque

\*Must provide number above

## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	31 Greenaway Avenue		
Assessment Roll Number	2518030233502800000		
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number	17199-0065	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

## 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

PLEASE SEE ATTACHED - PURPOSE OF THE APPLICATION LETTER (ATTACHED AT THE END OF THIS DOCUMENT)

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

PLEASE SEE ATTACHED - PURPOSE OF THE APPLICATION LETTER (ATTACHED AT THE END OF THIS DOCUMENT)

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
11.33 m(West) & 10.26 m(East)	(15.13 m(North) & 15.24 (South)	162.66 m <sup>2</sup>	28'-0" / 8.53m

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Existing-Single family dwelling	0.40m	1.54m	3.03m, 0.26m	1992- AS PER SOME DOCUMENTS OBTAINED FROM RECORD SEARCH HOWEVER THE EXISTING STRUCTURE MIGHT BE OLDER.
Front staircase 1 (primary access to unit-1)	0.0m	14.67m	4.68m, 4.59m	
Rear staircase 2 (primary staircase to unit 2)	11.71m	2.12m	6.03m, 3.94m	
Rear staircase 3 (secondary access to unit 1)	13.53m	0.49m	5.39m, 0.61m	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Proposed-Two family dwelling	0.40m	1.54m	3.03m, 0.26m	APPROX IN SUMMER 2024, CONSTRUCTION WILL COMMENCE ONCE THE CLIENT RECEIVES THE CITY PERMIT FOR STAIRCASES.
Front staircase 1 (primary access to unit-1)	0.0m	14.67m	4.76m, 4.50m	
Rear staircase 2 (primary access to unit 2)	11.71m	1.96m	5.46m, 3.94m	
Rear staircase 3 (secondary access to unit-1)	13.53m	0.43m	3.38m, 0.61m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single family dwelling	~83.39m <sup>2</sup>	~146.47m <sup>2</sup>	2	existing to remain

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Two family dwelling	~83.39m <sup>2</sup>	~146.47m <sup>2</sup>	2	existing to remain

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)
- \_\_\_\_\_

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)
- \_\_\_\_\_

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
Residential- 2 storeys, Two family dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
Residential- 2 storeys, single family dwelling

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

1992 - As per some documents obtained from Record Search however the building might be older

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc) Single detached

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Residential- 2 storeys, Single family dwelling

7.4 Length of time the existing uses of the subject property have continued:  
1992 - As per some documents obtained from Record Search however the building might be older

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): N/A

Rural Settlement Area: N/A

Urban Hamilton Official Plan designation (if applicable) URBAN HAMILTON OFFICIAL PLAN - SCHEDULE E1

Please provide an explanation of how the application conforms with the Official Plan.  
6593 Former Hamilton- Zone H- Community Shopping & Commercial, Etc.

7.6 What is the existing zoning of the subject land? H

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: \_\_\_\_\_

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes  No

If yes, please provide the file number: \_\_\_\_\_

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):



## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
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