



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-24:99	SUBJECT PROPERTY:	1663 Book Road West, Ancaster
ZONE:	"A1" (Agriculture)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Peter Horvatis and Joanne Roth
Applicant: Peter Horvatis

The following variances are requested:

1. A minimum westerly side yard of 2.70 metres shall be permitted, instead of the minimum 3.0 metres required [Section 12.1.3.3(e)]
2. Eaves/troughs shall be permitted to project 0.75 metres into the westerly interior side yard, instead of the maximum 0.6 metres permitted [Section 4.6(a)]
3. No electric vehicle parking spaces shall be provided, instead of the requirement that for a Single Detached Dwelling, 100% of all parking spaces are to be provided as electric vehicle parking spaces [as per Section 5.7.4(a) – By-law No. 24-052 not final and binding]

PURPOSE & EFFECT: So as to permit an addition to an attached garage in the front yard of the existing single detached dwelling, notwithstanding that:

Notes:

- i. Please note that as per Section 4.6(a), the usual projections of window sills, chimney breasts, belt courses, cornices, eaves, troughs and other similar architectural features, ductwork, venting and other similar appurtenances may be permitted in any required yard, provided that no such feature shall project more than 0.6 metres into the required yard, or to a maximum of half the distance of the required yard, whichever is the lesser. Should the variance to the minimum westerly side yard be approved to allow for a minimum side yard setback of 2.70 metres, eaves/trough would be permitted to project 0.6 metres into the newly established westerly side yard. Therefore, Variance No. 2 has been included, as the eaves/troughs of the proposed building addition are indicated as projecting 0.74 metres.

A-24:99

- ii. Be advised that By-law No. 24-052 was recently approved which repealed and replaced Section 5: Parking, of Hamilton Zoning By-law No. 05-200. As By-law No. 24-052 is not yet final, at present, all proposed development is reviewed under both the existing and proposed Zoning By-laws regulations with the more restrictive zoning regulations being applied. Therefore, Variance No.3, which was not indicated in the applicants submission materials, was added to Section 5.7.4(a) as per amending By-law No. 24-052.
- iii. Please note that the height of the proposed building addition does not appear to be indicated as per the definition of “Building Height” provided in Hamilton Zoning By-law No. 05-200. Note that if compliance with Section 12.1.3.3(c) cannot be achieved, additional variance(s) may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, June 11, 2024
TIME:	1:40 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeefadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeefadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon June 7, 2024

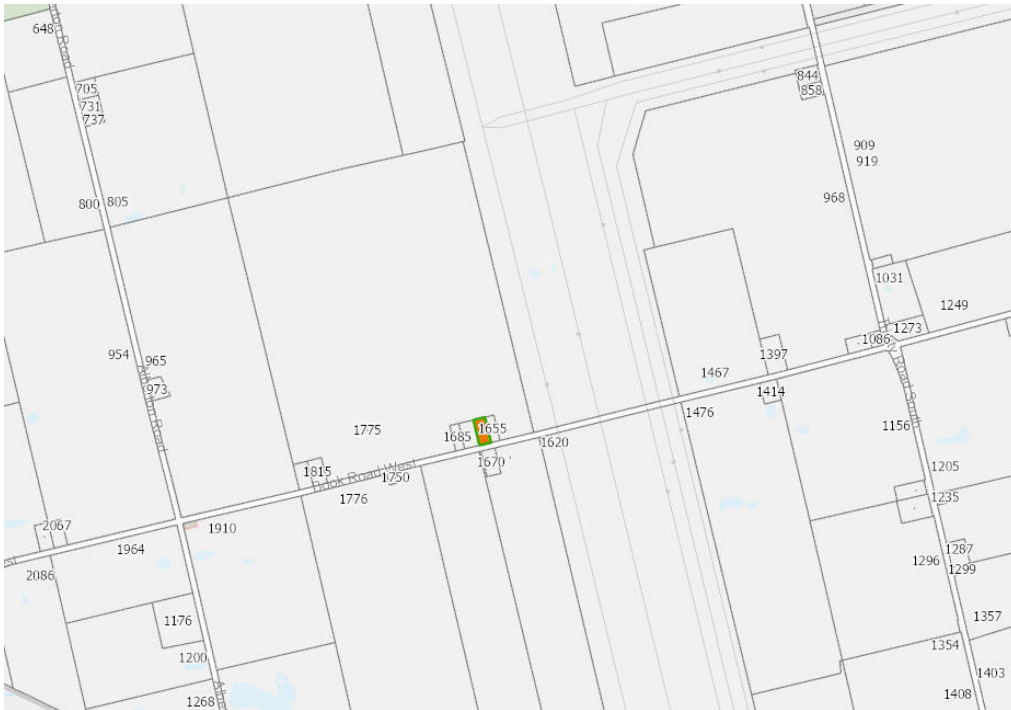
Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon June 10, 2024


FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:99, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:99

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: May 23, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-977-1654.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SHEET NO. A0-1	
DATE	AS NOTED
SCALE	LL
PROJECT	XX-XXX
PROJECT	GARAGE ADDITION
PROJECT	SITE PLAN

DESIGN DRAWINGS
HORVATIS RESIDENCE
1663 BOOK ROAD WEST
ANCASTER, ONTARIO
L0R 1R0

LUSH DESIGN STUDIO INC.
LUSH DESIGN ARCHITECTURAL TECHNOLOGY
C. 905.512.8839
Elida@ludstudio.ca

NO.	DATE	REVISIONS
1	2023/06	ISSUE FOR PERMIT
2		REVISED DESIGN DRAWINGS
3		REVISED DESIGN DRAWINGS

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1	2023/06	ISSUE FOR PERMIT
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3		REVISED DESIGN DRAWINGS

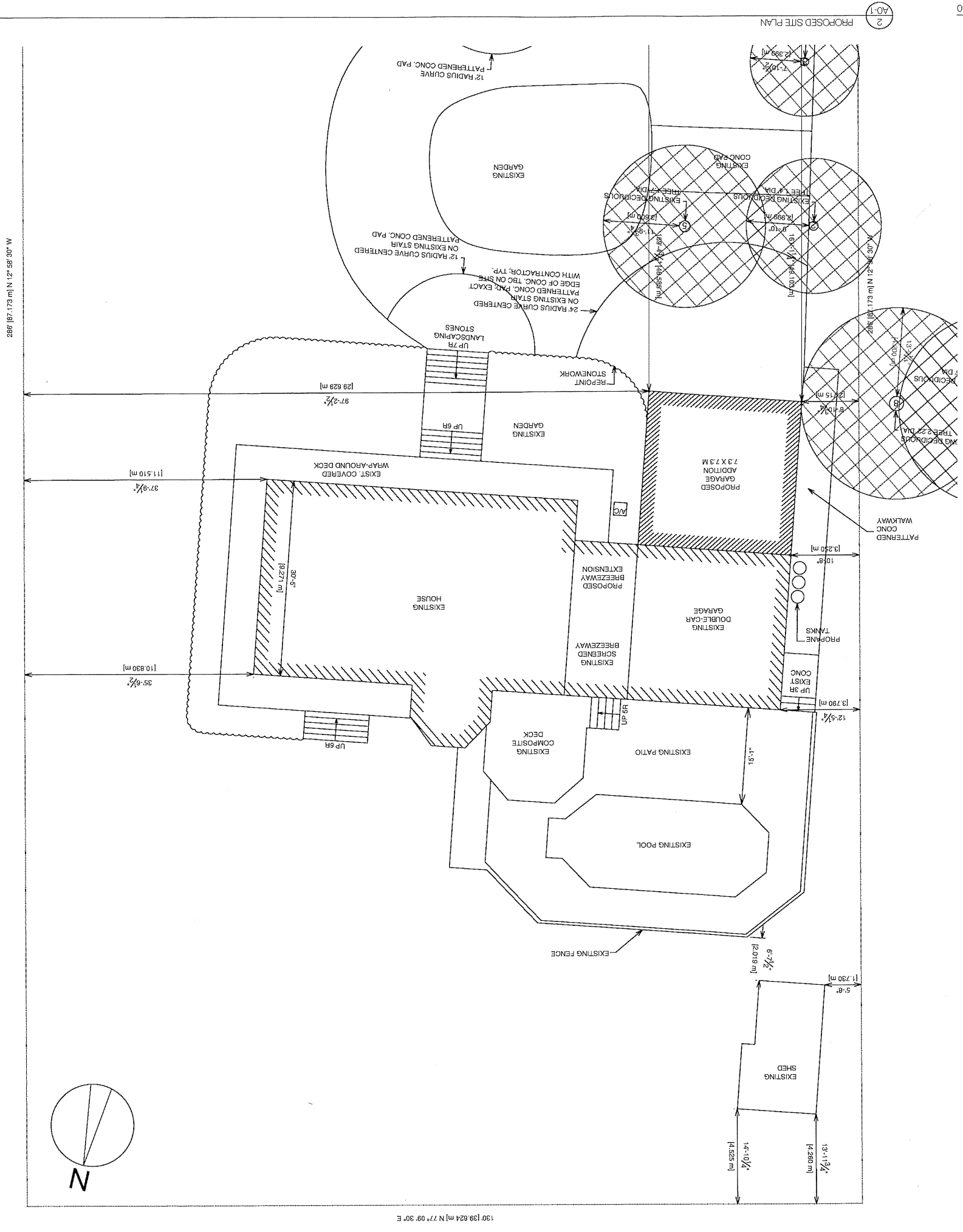
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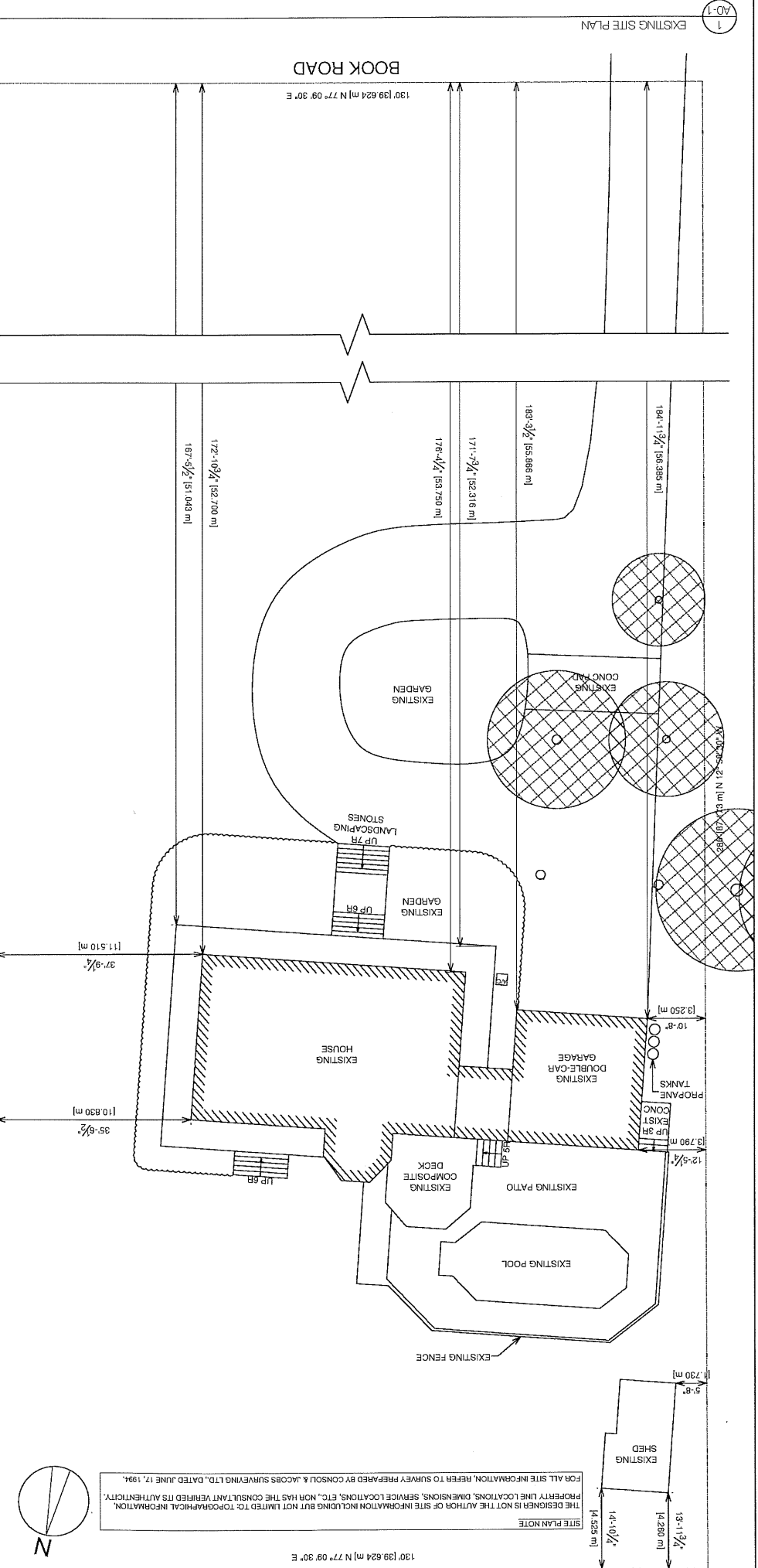
NO.	DATE	REVISIONS
1	2023/06	ISSUE FOR PERMIT
2		REVISED DESIGN DRAWINGS
3		REVISED DESIGN DRAWINGS

NOTES
DIMENSIONS ARE NOT TO BE SCALE.
GENERAL CONTRACTOR AND SUB CONTRACTOR TO VERIFY ALL DIMENSIONS BETWEEN CONSTRUCTION.
THE DESIGNER IS NOT THE AUTHOR OF SITE INFORMATION INCLUDING BUT NOT LIMITED TO TOPOGRAPHICAL INFORMATION, PROPERTY LINE LOCATIONS, DIMENSIONS, SERVICE LOCATIONS, ETC., NOR HAS THE CONSULTANT PERFORMED ITS AUTHENTICITY.
FOR ALL SITE INFORMATION, REFER TO SURVEY PREPARED BY CONSOUL & JACOBS SURVEYING LTD., DATED JUNE 17, 1994.

1:100



1:150

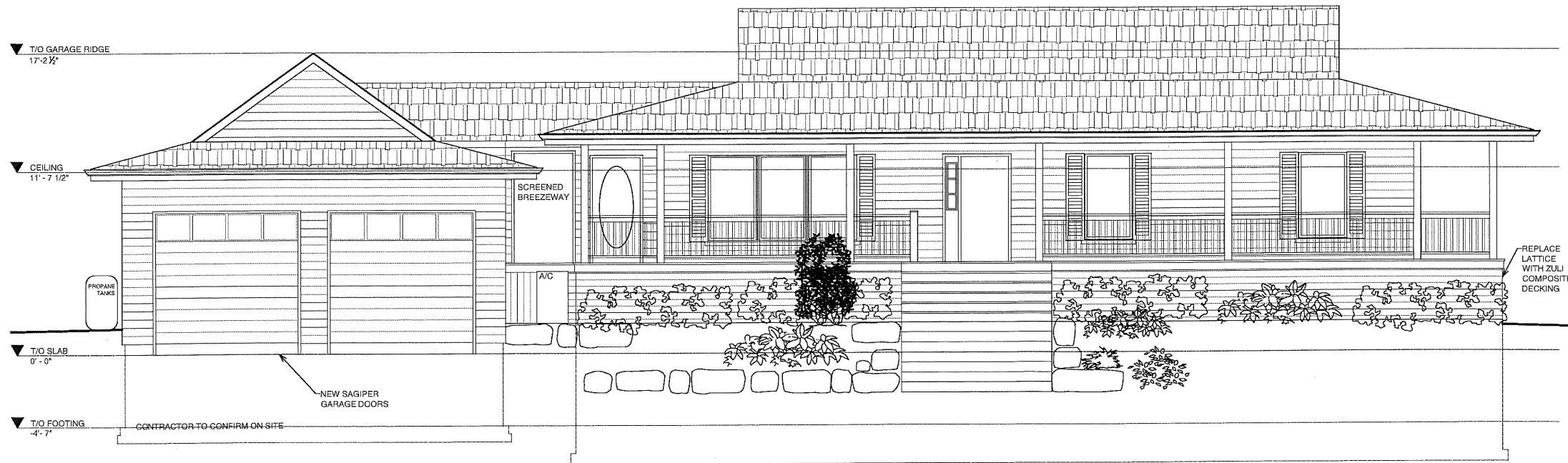


1:150



1 EXISTING GARAGE - SOUTH ELEVATION

1/4" = 1'-0"



2 PROPOSED GARAGE - SOUTH ELEVATION

1/4" = 1'-0"

NOTES

DRAWINGS ARE NOT TO BE SCALED.
 GENERAL CONTRACTOR AND SUB CONTRACTORS TO REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE CONDITIONS TO LUSH DESIGN STUDIO BEFORE COMMENCING CONSTRUCTION.
 DRAWINGS SHALL NOT BE IMPLICATED REPRODUCTION OF DRAWINGS IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE DESIGNER'S PERMISSION.
 © LUSH DESIGN STUDIO INC. 2023/04

ABBREVIATIONS

Abb	Meaning	Abb	Meaning	Abb	Meaning
ADJ	adjacent	FIN	finish	CC	concrete
ALT	alternate	FIN	finish	PROP	proposed
BO	bottom of	GBB	gypsum-board	PTD	partial
CL	center	HWB	hardwood	RENT	rented
CLO	closet	KCL	kitchen	RM	room
COND	condemned	L	load	RO	rough opening
COW	cover with	LH	lean-clast	RWL	rough work
CS	cast	MLC	medium	SC	subcontract
D	diameter	MECH	mechanical	TD	typical
DN	down	MH	manhole	TR	trim
EQ	equal	NS	not specified	US	underside
EX	extract	NC	not in contact	UNF	unfinished
EXT	exterior	NTS	not to scale	WF	work
FD	fire door	OC	Ontario Building Code		

LEGEND

- NEW EXTERIOR WALL
- NEW PARTITION WALL
- PROPERTY LINE
- CONTOUR LINE
- HIDDEN LINE
- LINE OF BEAM ABOVE
- EXHAUST FAN
- LOCAL HARDWIRED SMOKE ALARM
- LOCAL HARDWIRED CO ALARM
- MAIN ENTRANCE
- SECONDARY ENTRANCES

NO.	SECTION
A2-1	WEST ELEVATION
A2-2	SOUTH ELEVATION
A2-3	GARAGE PLAN
A2-4	SITE PLAN

DRAWING LIST

NO.	DATE	REVISIONS
3	JULY 28, 2023	REVISED DESIGN DRAWINGS
2	JULY 28, 2023	REVISIONS FOR DIMENSIONS
1	JULY 13, 2023	REVISIONS FOR DIMENSIONS

REVISIONS

LUSH DESIGN STUDIO INC.
 LILUBA LUSH ARCHITECT
 Principal Designer / Architectural Technologist
 C. 905.512.8839
 E. l.lub@ludstudio.ca

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AS SET OUT IN DIVISION C-32.4(2) OF THE ONTARIO BUILDING CODE TO BE A REVIEWER.

LILUBA LUSH
 NAME
 LUSH DESIGN STUDIO INC.
 FIRM

[Signature]
 SIGNATURE
 12/23/23
 BCN

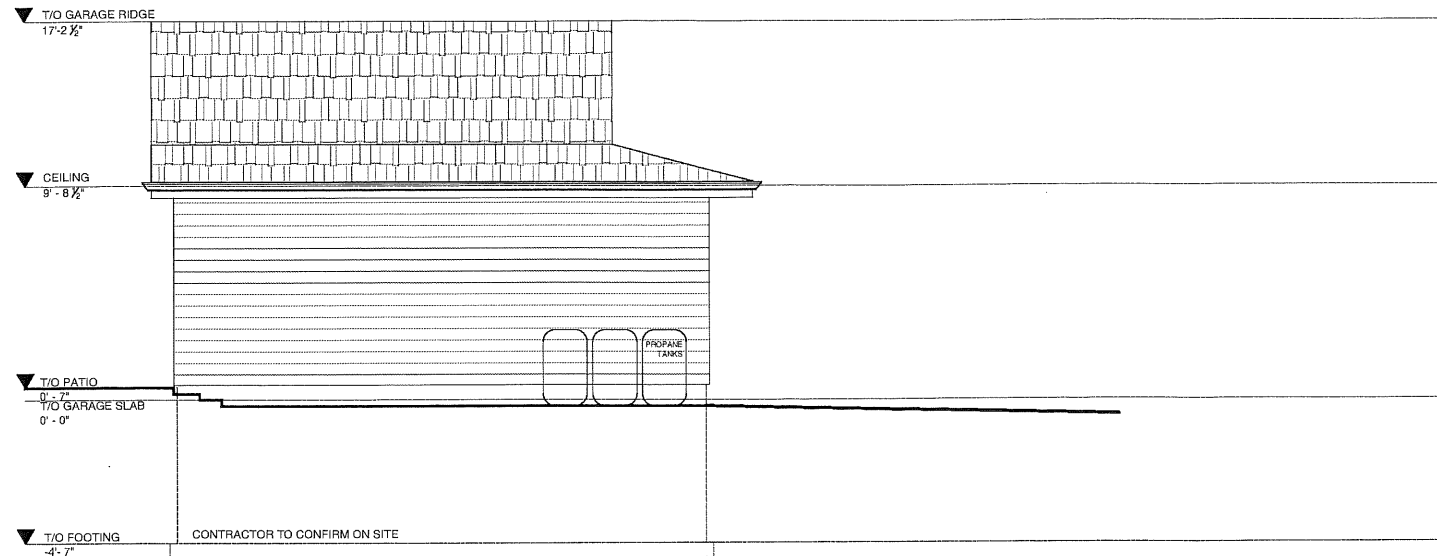
HORVATIS RESIDENCE
 1663 BOOK ROAD WEST
 ANCASTER, ONTARIO
 L0R 1R0

DESIGN DRAWINGS

SOUTH ELEVATION:
 PROPOSED & EXISTING GARAGE

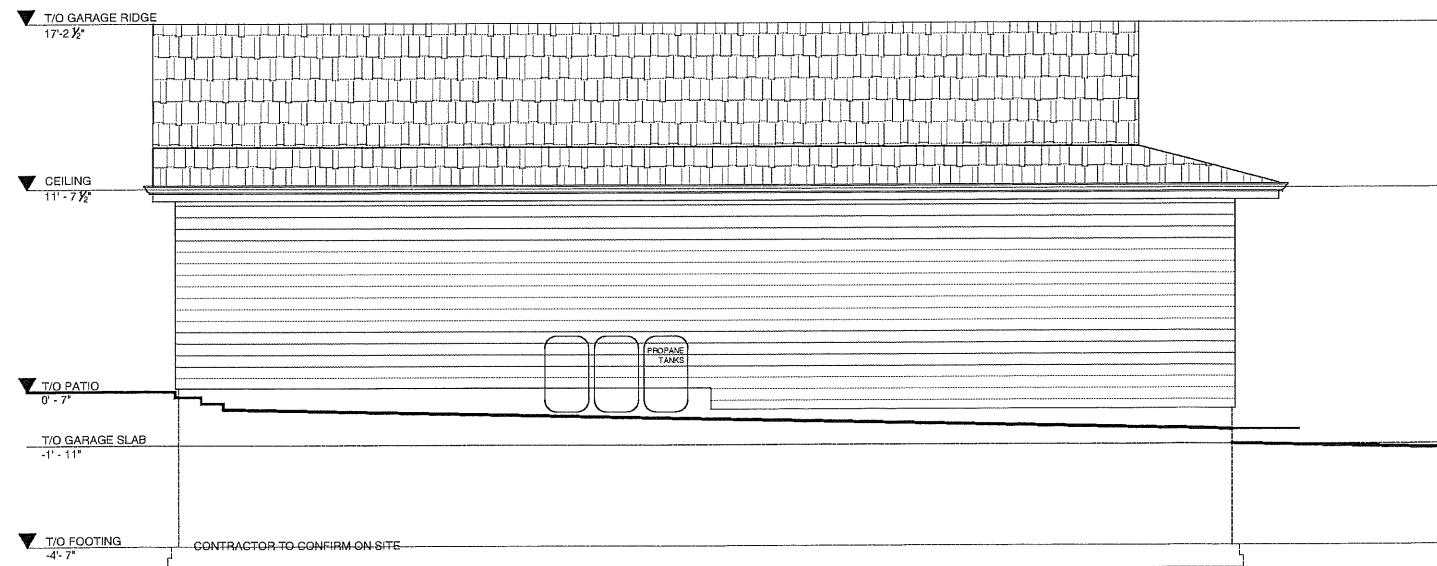
PROJECT NO.	PROJECT
XX-XXX	GARAGE ADDITION
DRAWN BY	APPROVED BY
AV	LL
SCALE	DATE
1/4" = 1'-0"	2023/06

SHEET NO. **A2-0**



1 EXISTING GARAGE - WEST ELEVATION

1/4" = 1'-0"



2 PROPOSED GARAGE - WEST ELEVATION

1/4" = 1'-0"

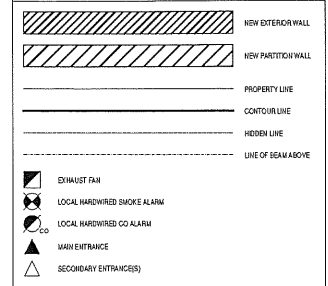
NOTES

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 © LUSH DESIGN STUDIO INC. 2023/04

ABBREVIATIONS

ABU	admittance	FEH	fire	OC	on center
ALT	above	FIN	finish	PTD	pointed
BO	bottom of	GBB	gypsum board	PTD	pointed
CL	center	HWB	hardwood	RENT	rental
CLO	closet	NCL	knob	RM	room
COIC	concrete	L	lead	RO	rough opening
CW	cove with	LH	lean glass	RWL	rough wall
MA	metal	ME	medium	TG	to be determined
Q	quantity	MECH	mechanical	TO	to
DN	down	MI	mirror	TIP	typical
EQ	equal	NA	not applicable	US	outside
EX	exposed	NC	not in contact	UNFM	unfitted
EEST	existing	NES	not to scale	UN	un
FD	floor slab	OC	On-Center		

LEGEND



AS2	SECTIONS
AS1	WEST ELEVATION
AS3	SOUTH ELEVATION
AL1	GARAGE PLAN
ASD	SEE PLANS

DRAWING LIST

NO.	DATE	REVISIONS

REVISIONS

NO.	DATE	REVISIONS

LUSH DESIGN STUDIO
 LUSH DESIGN STUDIO INC.
 LUBA LUSH ARCHITECT
 Principal Designer / Architectural Technologist
 C. 9 0 5 . 5 1 2 . 8 6 3 9
 E. l u b a @ l d s t u d i o . c a

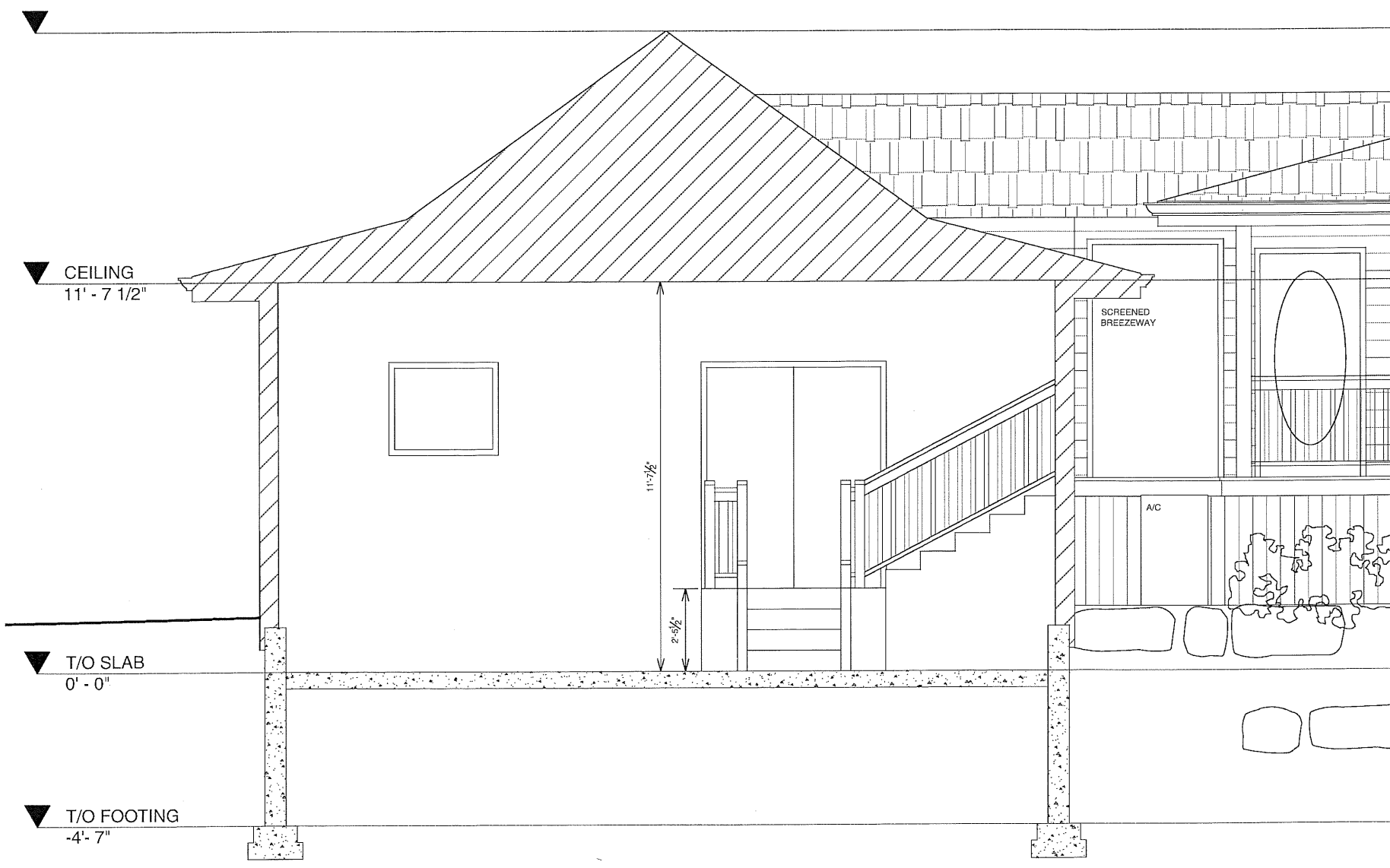
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AS SET OUT IN DIVISION C-32.4.2 (3) OF THE ONTARIO BUILDING CODE TO BE A REVIEWER.
 LUBA LUSH
 NAME
 LUSH DESIGN STUDIO INC.
 FIRM
 SIGNATURE
 DATE

HORVATIS RESIDENCE
 1663 BOOK ROAD WEST
 ANCASTER, ONTARIO
 LOR 1R0

DESIGN DRAWINGS

WEST ELEVATION:
 PROPOSED & EXISTING GARAGE

PROJECT NO	XX-XXX	PROJECT	GARAGE ADDITION
DRAWN BY	AV	APPROVED BY	LL
SCALE	1/4" = 1'-0"	DATE	2023/06
SHEET NO	A2-1		



1 PROPOSED GARAGE - PARTIAL BUILDING SECTION

1/2" = 1'-0"

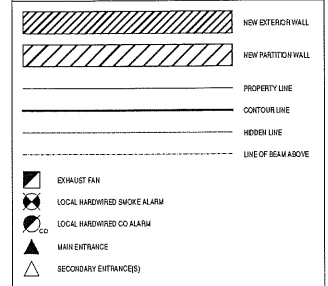
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 © LUSH DESIGN STUDIO INC. 2023/04

ABBREVIATIONS

ADJ	adjacent	FRH	foundation	OC	overhead
ALT	alternate	FRV	framing	PROP	proposed
BO	bottom of	GWB	gypsum wallboard	PTD	partial
CL	center	HWD	hardwood	RENE	renovated
CLO	closet	NCL	knocking	RM	room
CMC	concrete	L	lead	RO	rough opening
CW	covers with	LIT	light fixture	RWL	water leader
DA	door	MKE	metal	TG	to be provided
Q	quantity	MECH	mechanical	TO	to of
DN	down	MH	manhole	TYP	typical
EQ	equal	NA	not applicable	US	underside
EX	extend	NC	not in contact	UPRM	unplastered
ESET	existing	NTE	not to scale	UP	upside
FD	floor finish	OBC	Ontario Building Code	WH	wharf

LEGEND



NO	SECTION
A2-1	WEST ELEVATION
A2-2	SOUTH ELEVATION
A1-1	GARAGE PLAN
A2-2	SEE PLAN

DRAWING LIST

NO	DATE	REVISIONS
3	JULY 29, 2023	REVISED DESIGN DRAWINGS
2	JULY 28, 2023	CONSTRUCTION DIMENSIONS FOR COMMITTEE OF ADJUSTMENT
1	JULY 13, 2023	REVISED PRELIMINARY DRAWINGS

REVISIONS

LUSH DESIGN STUDIO INC.
 L. JUBA LUSH ARCHITECT
 Principal Designer / Architectural Technologist
 C. 9 0 5 . 5 1 2 . 8 6 3 9
 E. l. juba@ludstudio.ca

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AS SET OUT IN DIVISION C-32.4.3 (3) OF THE ONTARIO BUILDING CODE TO BE A REGISTERED ARCHITECTURAL TECHNOLOGIST.

L. JUBA LUSH
 NAME
 LUSH DESIGN STUDIO INC.
 FIRM

[Signature]
 SIGNATURE
 LUSH DESIGN STUDIO INC.
 FIRM

HORVATIS RESIDENCE
 1663 BOOK ROAD WEST
 ANCASTER, ONTARIO
 L0R 1R0

DESIGN DRAWINGS

SECTIONS

PROJECT NO	XX-XXX	PROJECT	GARAGE ADDITION
DRAWN BY	AV	APPROVED BY	LL
SCALE	AS NOTED	DATE	2023/06
SHEET NO			

A2-2

METRIC NOTE:
 DISTANCES SHOWN ON THIS PLAN
 ARE IN METRES AND CAN BE
 CONVERTED TO FEET BY DIVING
 BY 0.3048.



INST. N^o 3423230.D

SURVEYOR'S REAL PROPERTY REPORT
PART I
PLAN OF
PART OF LOT 27
CONCESSION 4
TOWN OF ANCASTER
 (FORMERLY TOWNSHIP OF ANCASTER
 REGIONAL MUNICIPALITY OF
 HAMILTON - WENTWORTH
 (FORMERLY COUNTY OF WENTWORTH))

SCALE: 1:500



CONSOLI & JACOBS SURVEYING LTD.
ONTARIO LAND SURVEYORS
 1994.

BEARING NOTE:

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO
 THE NORTHERLY LIMIT OF BOOK ROAD WEST
 AS SHOWN ON REFERENCE PLAN 62R-3749, HAVING
 A BEARING OF N 77° 09' 30" E.

LEGEND:

SURVEY MONUMENT FOUND.....	■
SURVEY MONUMENT PLANTED.....	□
STANDARD IRON BAR.....	S.I.B.
IRON BAR.....	I.B.
CUT CROSS.....	C.C.
WITNESS.....	Wit.
ROUND IRON BAR.....	I.B.Ø.
REFERENCE PLAN 62R-10910.....	PI.
S. W. WOODS, O.L.S.....	600.
ONTARIO HYDRO.....	O.H.
INST. N ^o 488380C.D.....	Dd.2.
SIDING.....	Sid.

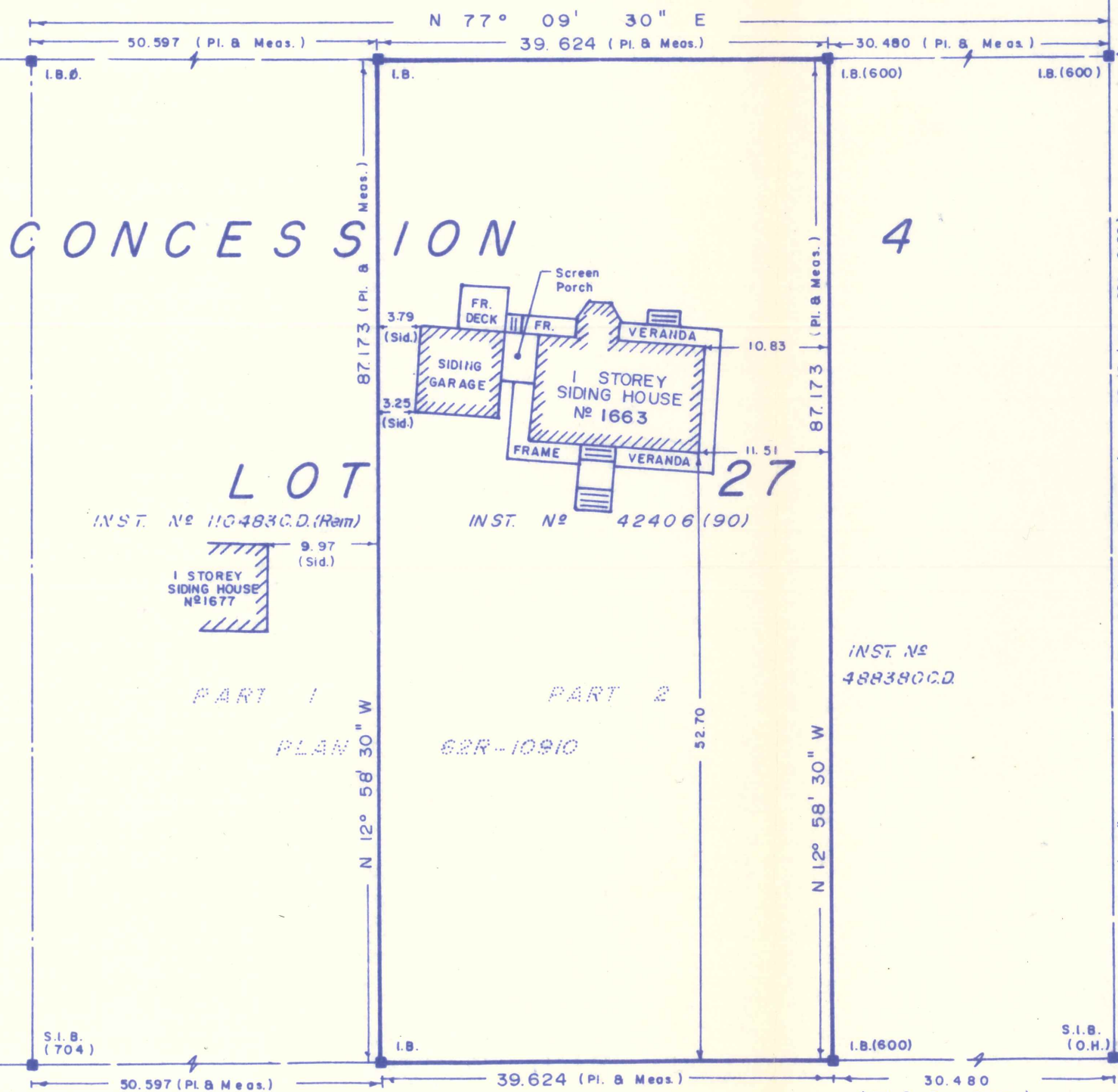
THIS REPORT WAS PREPARED FOR MR. P. HORVATIS
 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY
 FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS
 COMPLETED ON THE 15th DAY OF JUNE, 1994.

JUNE 17, 1994.

G. W. Consoli
 G. W. CONSOLI



87.173 (Pl. & Meas.)
 87.15 (Plan 62R-8189)
 87.173 (Dd 2 & Meas.)
 PLAN 62R-8189
 PART I
 S.E. ANGLE
 LOT 27, CONCESSION 4




Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**


1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	Peter Horvatis, Joanne Roth		
Applicant(s)	Peter Horvatis		
Agent or Solicitor	Not Applicable	Phone:	
		E-mail:	

1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent 

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1663 Book Road West, RR#1 Jerseyville ON		
Assessment Roll Number	140.410.23650.0000		
Former Municipality	Township of Ancaster		
Lot	Part of Lot 27	Concession	4
Registered Plan Number		Lot(s)	
Reference Plan Number (s)	62-R10910	Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Extension of the existing garage by 7.3 metres which encroaches into the westerly property setback by 0.3 metres.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The existing garage is situated close, and at a slight angle, to the westerly property line. The extension encroaches into the setback.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
39.624 m	87.173 m	3454.143 m	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
House and Garage	51.043 m	23.57 m	3.25 m and 10.83 m	01/01/1991

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
House and Garage	51.043 m	23.57 m	2.715 m and 10.83 m	05/01/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
House	143.16 sq m	143.16 sq m	1	6.5 m
Garage	53 sq m	53 sq m	1	5.5 m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
House	143.16 sq m	143.16 sq m	1	6.5 m
Garage	106 sq m	106 sq m	1	6.5 m

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Single detached residential dwelling.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single detached residential dwellings to the east and west, across street to south. Farmland to the north.

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
1994

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single detached residential dwelling since 1991.

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single detached residential dwelling.

7.4 Length of time the existing uses of the subject property have continued:
33 years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Agricultural

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.
No change of use is required.

7.6 What is the existing zoning of the subject land? A1 - Agricultural

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
