



NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:94	SUBJECT PROPERTY:	5 Idared Road, Flamborough
ZONE:	"S1" (Settlement Residential Zone)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Gordon & Linda Johnston
Applicant: Christine Brown

The following variances are requested:

1. To permit an aggregate Gross Floor Area of all accessory buildings of 54.9 square metres whereas the maximum aggregate gross floor area of all accessory buildings shall not exceed 45 square metres or 7.5% total coverage, whichever is the lesser is required.

PURPOSE & EFFECT: To facilitate the construction of an accessory structure.

Notes:

"Please note that these lands may be:

- Regulated by a Conservation Authority;
- Located within or adjacent to an Environmentally Sensitive Area (ESA);
- Designated under the Ontario Heritage Act;
- Listed in the City of Hamilton's Inventory of Buildings of Architectural and/or Historical Interest; and/or,
- Included in the City of Hamilton's Register of Property of Cultural Heritage Value or Interest.

Staff cannot confirm this information at this time and the applicant should make the appropriate inquiries in order to determine what other regulations may be applicable to the subject property."

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, June 11, 2024
TIME:	2:15 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon June 7, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon June 10, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:94, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

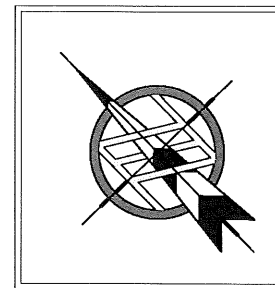
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

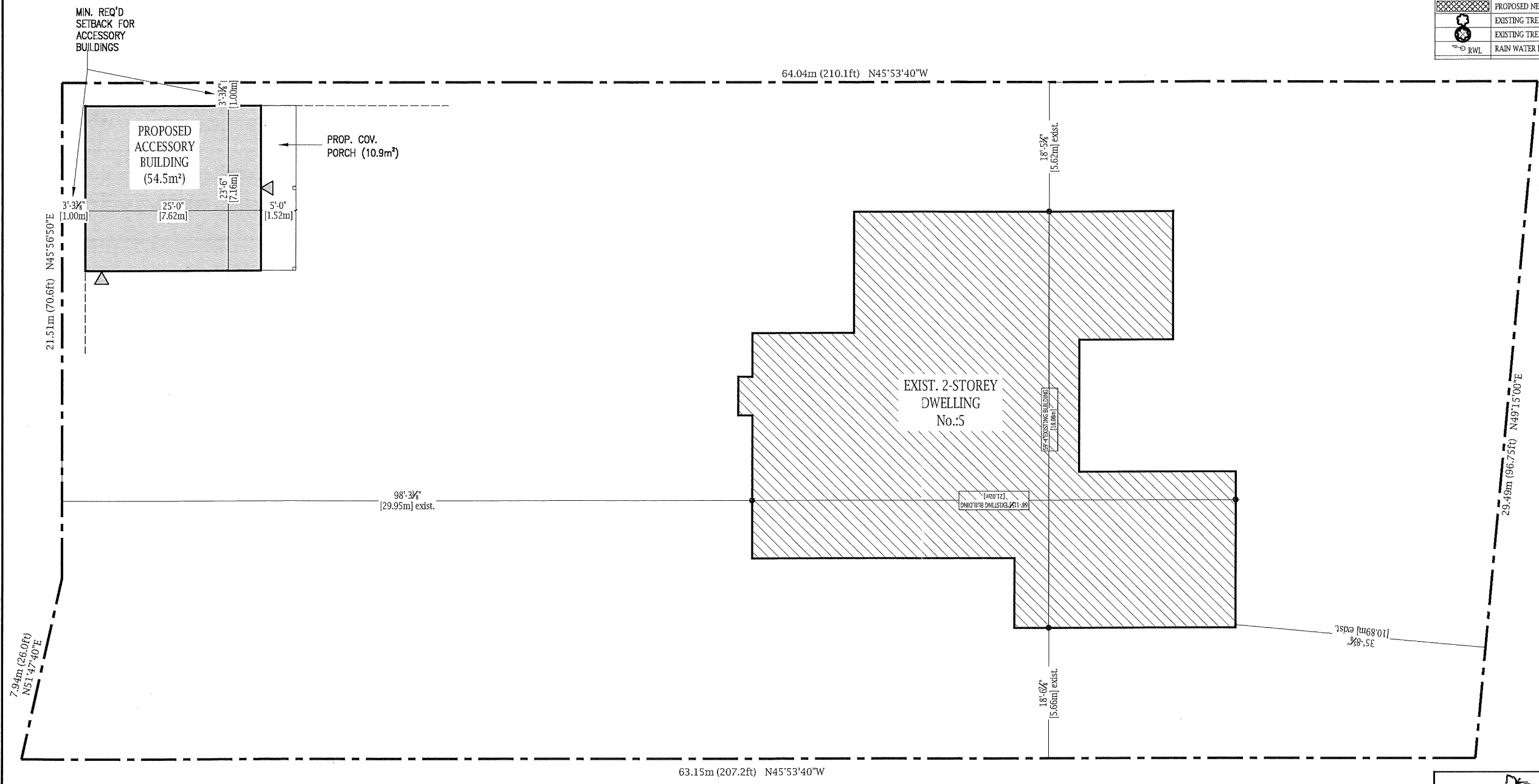
Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-977-1654.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



SITE PLAN LEGEND:	
	PROPERTY LINE
	BUILDING ENVELOPE
	EXISTING TO BE REMOVED
	PROPOSED SOLID HOARDING
	PROPOSED FRAMED HOARDING
	NEW WATER LINE
	NEW SANITARY LINE
	NEW NATURAL GAS LINE
	NEW BURIED HYDRO VAULT
	NEW SUMP LINE TO GRADE
	CONSTRUCTION ACCESS
	EXISTING GRADE
	PROPOSED FINISHED GRADE
	MAIN ENTRY, FRONT DOOR
	SECONDARY ENTRANCE
	EXISTING BUILDING TO REMAIN
	PROPOSED NEW CONSTRUCTION
	PROPOSED NEW DRIVEWAY
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	RAIN WATER LEADERS



Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the designer prior to proceeding with any of the work.

SITE ACCREDITATION
 PLAN OF TOPOGRAPHY OF:
 LOT 13,
 REGISTERED PLAN 537
 TOWN OF FLAMBOROUGH, REGIONAL MUNICIPALITY OF HAMILTON
 INFORMATION TAKEN FROM A SURVEY PREPARED BY:
 YATES & YATES LIMITED
 ONTARIO LAND SURVEYORS
 1980
 METRIC:
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

4	04.22.24	ISSUED FOR MINOR VARIANCE
3	02.21.24	FINAL DESIGN/FOR PRICING
2	02.10.24	PRELIMINARY DESIGNS
1	02.06.24	PARTIAL SITE MEASURE

RESIDENTIAL DESIGN AND DRAFTING SERVICES

CHRISTINE BROWN
Architectural Technologist
905.802.5272
444 UPPER GAGE AVE.
HAMILTON, ON L8V 4H9
cbrown@friendlycadmonkey.com

CLIENT:
JOHNSTON RESIDENCE

ADDRESS: 5 IDARED ROAD
 CITY: HAMILTON, ONTARIO, L8M 2W1
 DRAWING TITLE:
SITE PLAN

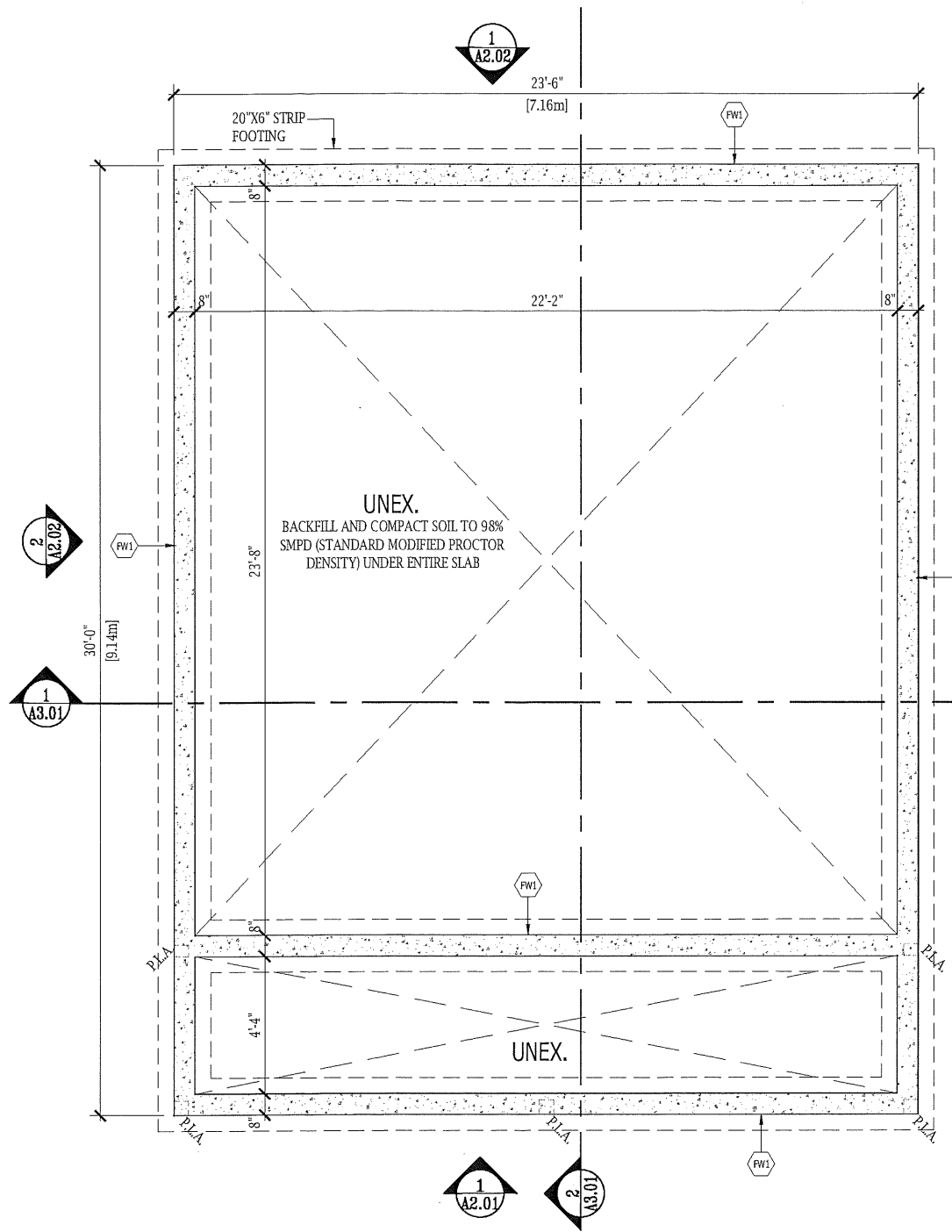
Ministry of Municipal Affairs and Housing
QUALIFICATION INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER. REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

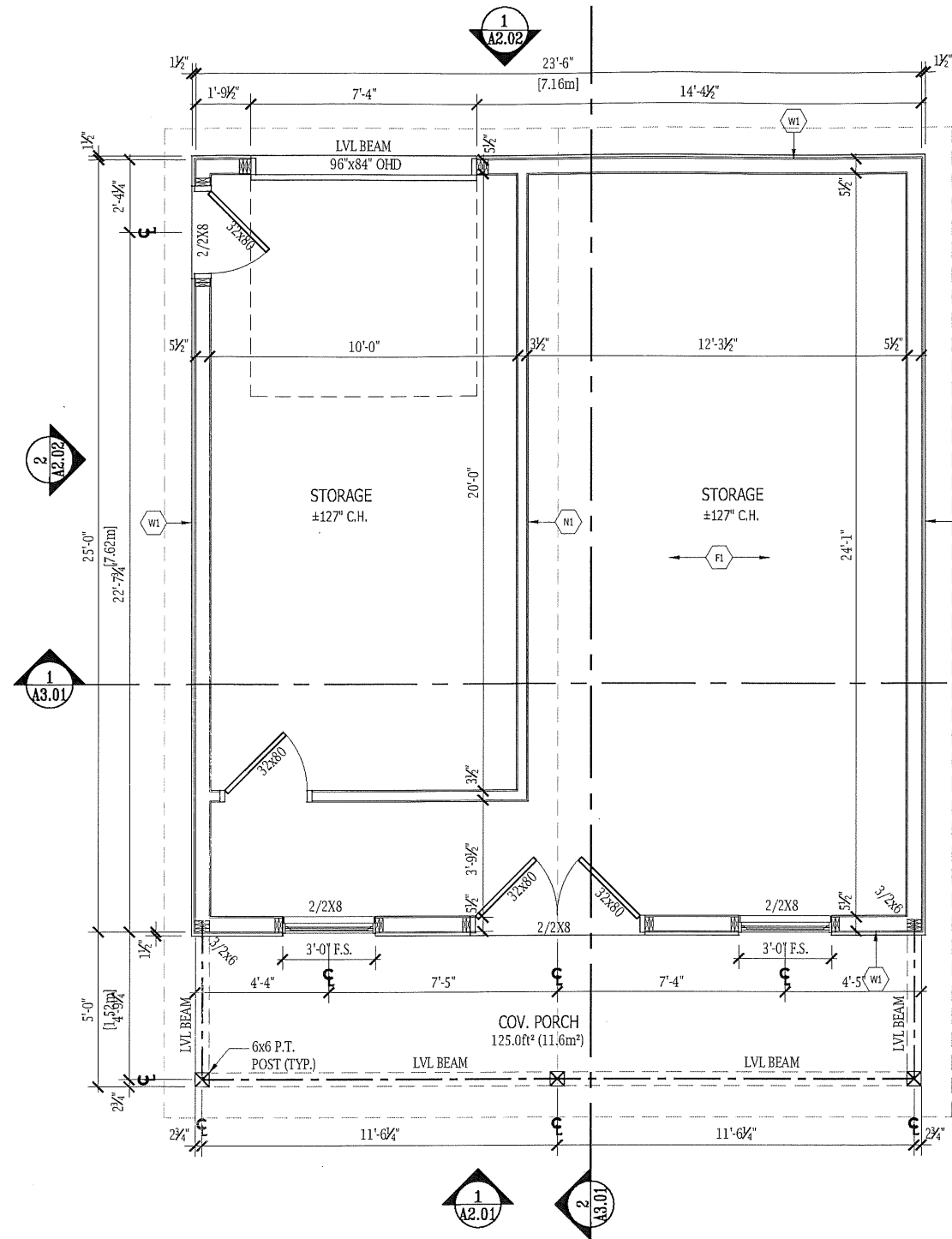
.signature.jpg	BCIN
CHRISTINE BROWN	37240
.signature.jpg	BCIN
MY HOUSE DESIGNS	113120

DRAWN: CB	SCALE:
DATE: Apr. 20, 24	AS NOTED
JOB NO:	SHEET:
24-015	SP1.01

1 SITE PLAN
 SP1.01 1:200



1 FOUNDATION PLAN
A1.01 3/16" = 1'-0"



2 GARAGE PLAN
A1.01 3/16" = 1'-0"

GARAGE FLOOR AREA: 587.5ft² (54.9m²)
MAX. ALLOWED AREA: 484.4ft² (45.0m²)

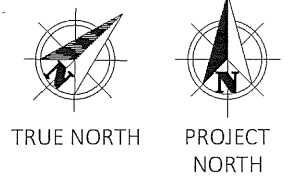
MINIMUM SOLID BEARING REQ'D:
BEAM BEARING = MIN. 3-1/2"
LINTEL BEARING = MIN. 3-1/2"
RAFTER BEARING = MIN. 1-1/2"
JOIST BEARING = MIN. 1-1/2"

NOTES:
1. LUMBER GRADE SHALL BE SPF NO.1/2 OR BETTER

DESIGN LOADS:
DL = 1.00kPa
LL = 1.90kPa

ALL CONSTRUCTION TO MEET ONTARIO BUILDING CODE REQUIREMENTS

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the designer prior to proceeding with any of the work.



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3	02.21.24	FINAL DESIGN/FOR PRICING
2	02.10.24	PRELIMINARY DESIGNS
1	02.06.24	PARTIAL SITE MEASURE

REF. DATE: DESCRIPTION:

CHRISTINE BROWN
Architectural Technologist
905.802.5272
444 UPPER GAGE AVE.
HAMILTON, ON L8V 4H9
cbrown@friendlycadmonkey.com

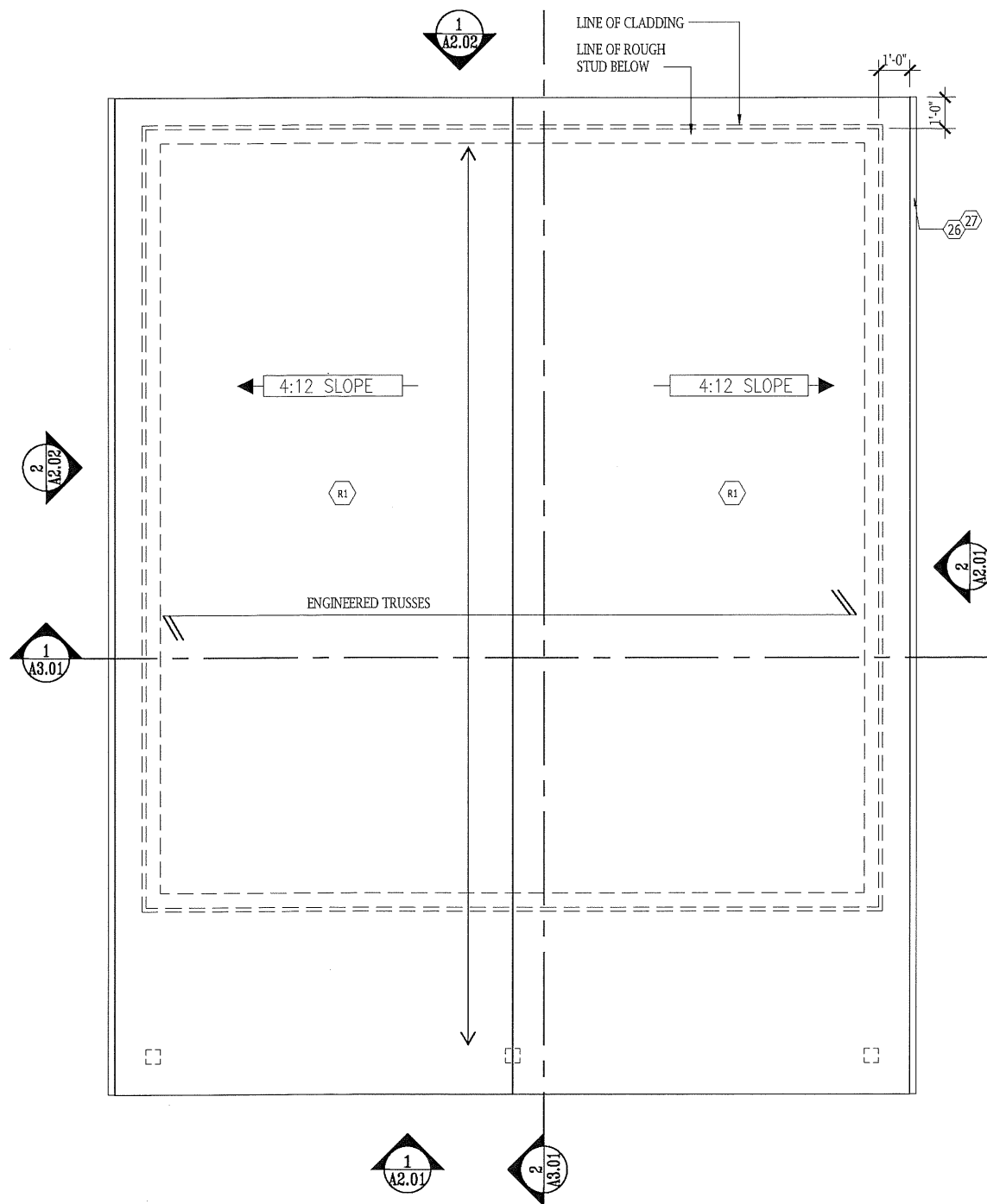
CLIENT:
JOHNSTON RESIDENCE

ADDRESS: 5 IDARED ROAD
CITY: HAMILTON, ONTARIO, L8M 2W1
DRAWING TITLE:
FOUNDATION & FLOOR PLAN

Ministry of Municipal Affairs and Housing
QUALIFICATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER.
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

CHRISTINE BROWN 37240
MY HOUSE DESIGNS 113120

DRAWN: CB
DATE: Apr. 20, 24
JOB NO.: 24-015
SCALE: AS NOTED
SHEET: A1.01



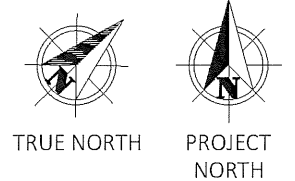
ROOF NOTES:	
1.	9.19.1 ROOF SPACES, VENTING. THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA, EXCEPT WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6, OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA. FOR THIS ADDITION INSTALL MIN. 2 ADDITIONAL PLASTIC, MUSHROOM TYPE HIGH ROOF VENTS AROUND THE SIDES AND REAR SLOPING ROOF PLANES. LOW SIDE ROOF VENTS SHALL BE BUILT INTO A CONTINUOUS STRIP WITHIN THE SOFFIT - ENSURE BUG-SCREENING IS INSTALLED UNDER SOFFIT FINISH. ENSURE MIN. 2 1/2" AIR SPACE IS PROVIDED BETWEEN THE TOP OF INSULATION AND U/S OF ROOF SHEATHING. INSTALL BAFFLES AS REQUIRED.
2.	PROVIDE 'ARMOURGARD' ICE AND WATER PROTECTOR BY 'IKO INDUSTRIES LTD.' OR APPROVED EQUAL (MINISTER'S RULING#94-10-010-12413-R). APPLY MEMBRANE OVER PLYWOOD SHEATHING, MEMBRANE TO EXTEND FROM EDGE OF ROOF OVERHANG (AT LOW SIDE) TO A POINT MINIMUM 5'-0" BEYOND INSIDE FACE OF EXTERIOR WALLS. ALSO INSTALL MEMBRANE UP VALLEYS MINIMUM 1'-6" UP SLOPE EACH WAY TYPICAL.
3.	NEW ROOF TO HAVE NEW ASPHALT SHINGLES, COLOUR AND TEXTURE TO MATCH EXISTING.
4.	PROVIDE FLASHING IN ALL VALLEYS.
5.	ALL EAVESTROUGHS AND DOWNSPOUTS TO BE DIRECTED AWAY FROM HOUSE. PROFILE TO BE APPROVED BY OWNER AND ARCHITECT.

NOTES:	
1.	LUMBER GRADE SHALL BE SPF NO.1/2 OR BETTER
2.	REMOVE ALL THE EXISTING ROOFING MATERIAL (SHINGLES, PAPER, ETC.) AT OVER-FRAMING ROOF

DESIGN LOADS:	
DL =	0.75kPa
SL =	1.23kPa

1 ROOF PLAN
A1.02 3/16" = 1'-0"

Drawings must NOT be scaled. Contractor must check and verify all dimensions, specifications and drawings on site and report any discrepancies to the designer prior to proceeding with any of the work.



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 RESIDENTIAL DESIGN AND DRAFTING SERVICES	 CHRISTINE BROWN Architectural Technologist 905.802.5272 444 UPPER GAGE AVE. HAMILTON, ON L8V 4H9 cbrown@friendlycatmonkey.com

JOHNSTON RESIDENCE

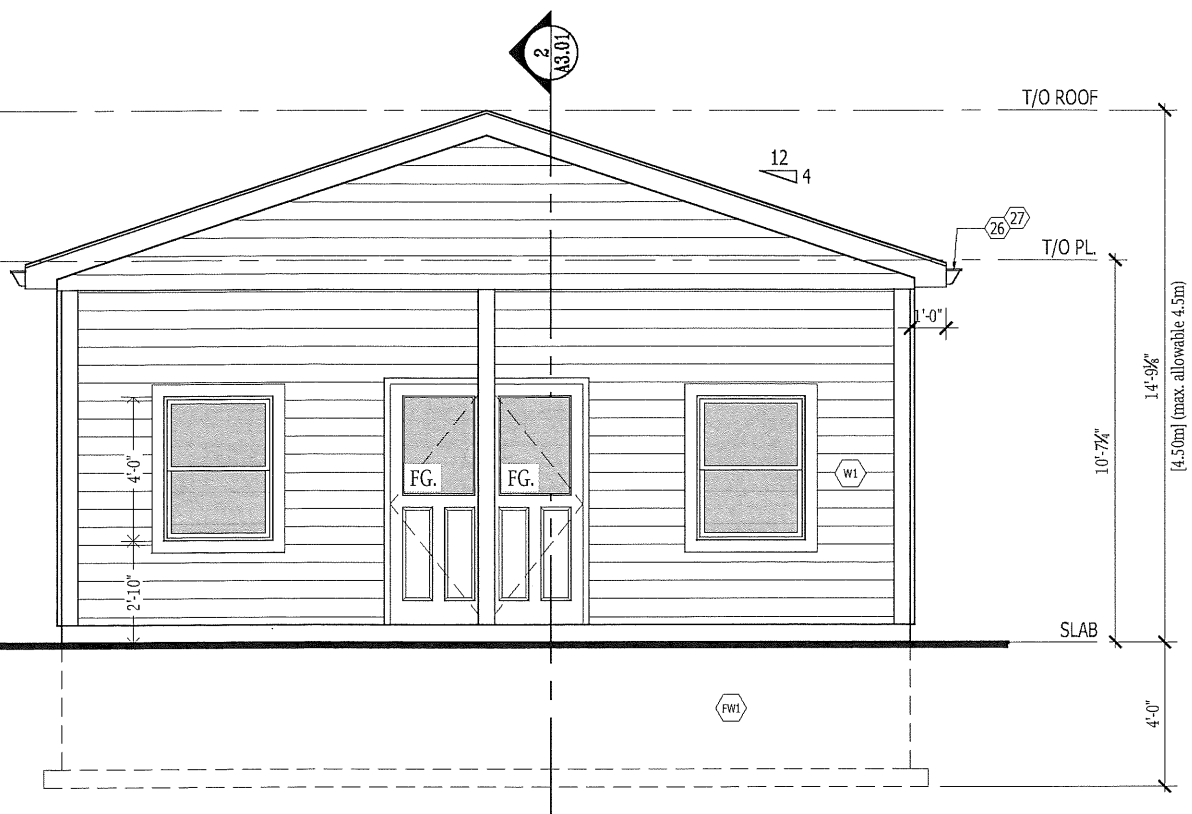
ADDRESS: 5 IDARED ROAD
CITY: HAMILTON, ONTARIO, L8M 2W1

DRAWING TITLE:
ROOF PLAN

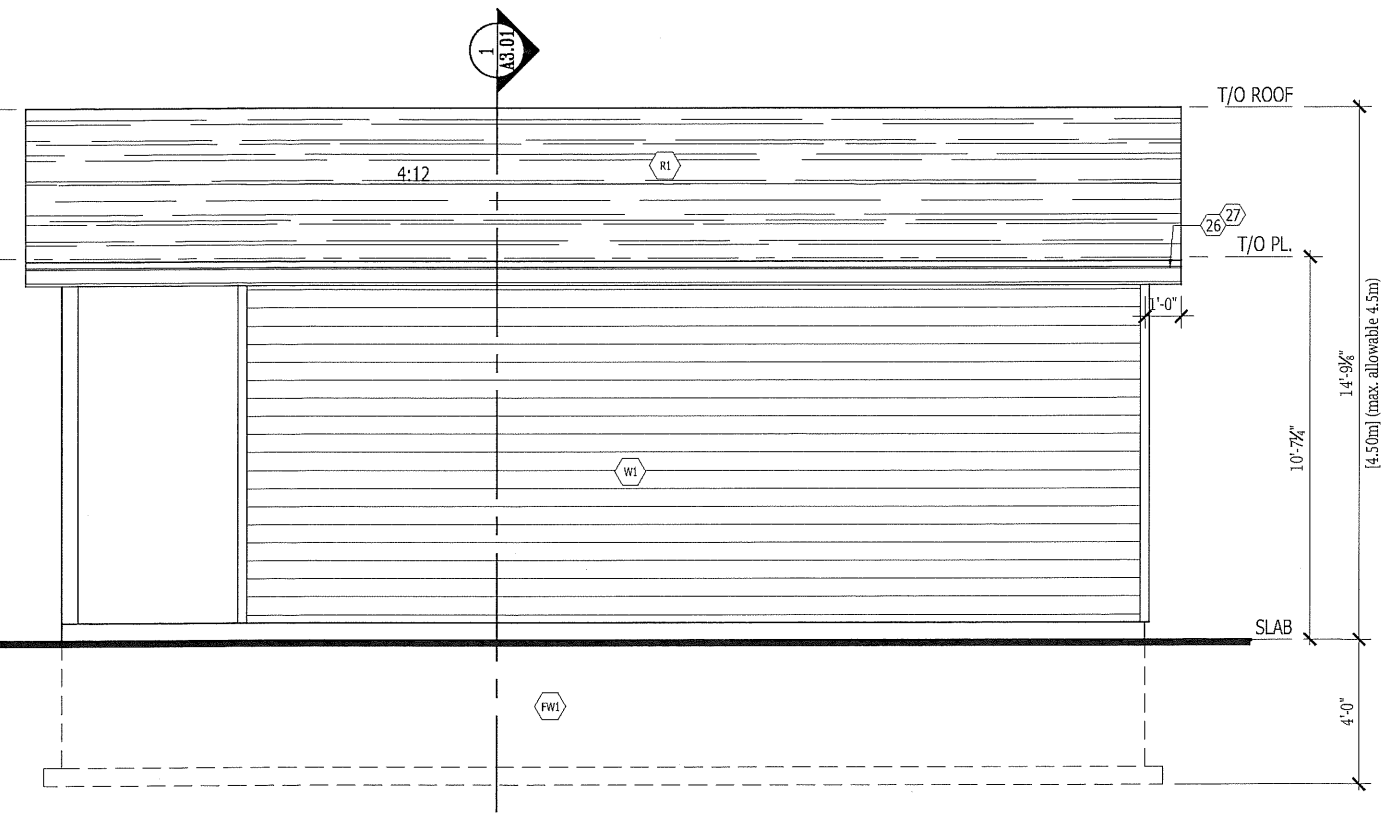
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Signature: PG CHRISTINE BROWN BCIN 37240	Signature: PG MY HOUSE DESIGNS BCIN 113120
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DRAWN: CB	SCALE:
DATE: Apr 20, 24	AS NOTED
JOB NO.: 24-015	SHEET: A1.02 4 of 8



1 FRONT ELEVATION
A2.01 3/16" = 1'-0"



2 RIGHT SIDE ELEVATION
A2.01 3/16" = 1'-0"

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REF. DATE DESCRIPTION:

RESIDENTIAL DESIGN AND DRAFTING SERVICES

CHRISTINE BROWN
Architectural Technologist
905.802.5272
444 UPPER GAGE AVE.
HAMILTON, ON L8V 4H9
cbrown@friendlycadmonkey.com

CLIENT:
JOHNSTON RESIDENCE

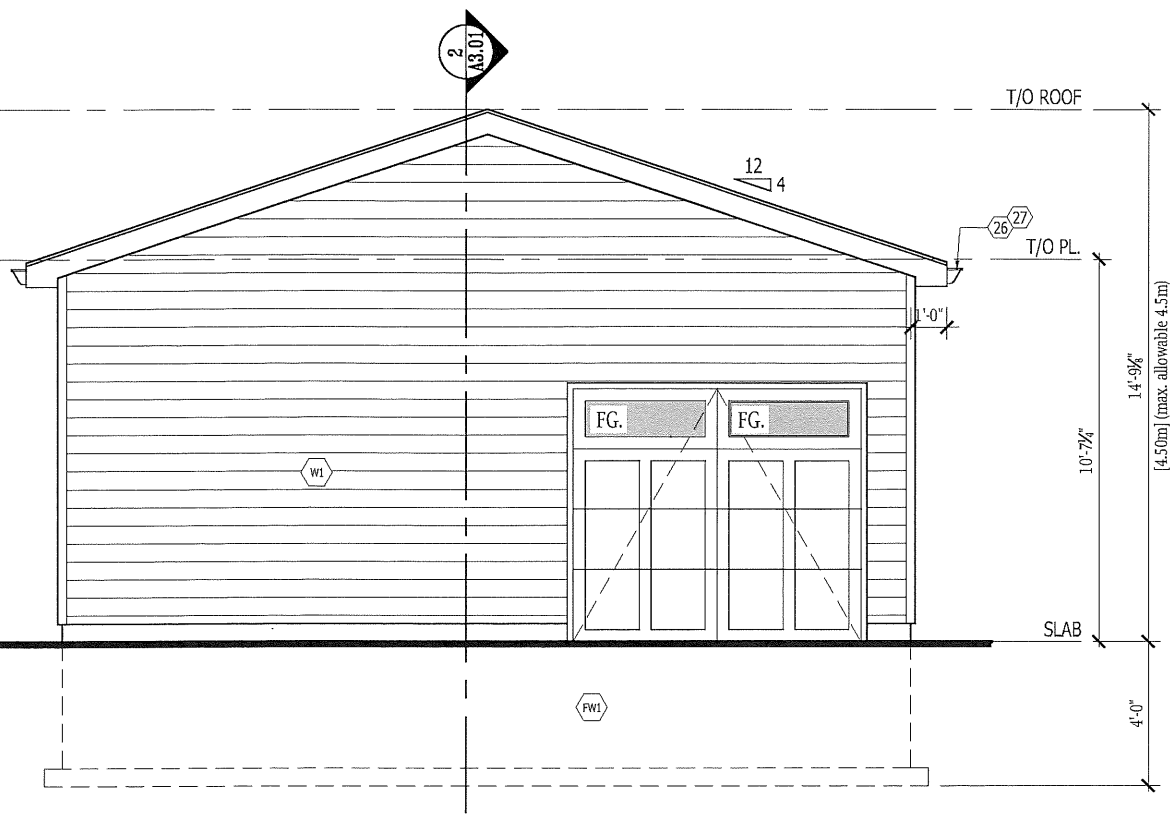
ADDRESS: 5 IDARED ROAD
CITY: HAMILTON, ONTARIO, L8M 2W1

DRAWING TITLE:
FRONT & RIGHT SIDE ELEV.

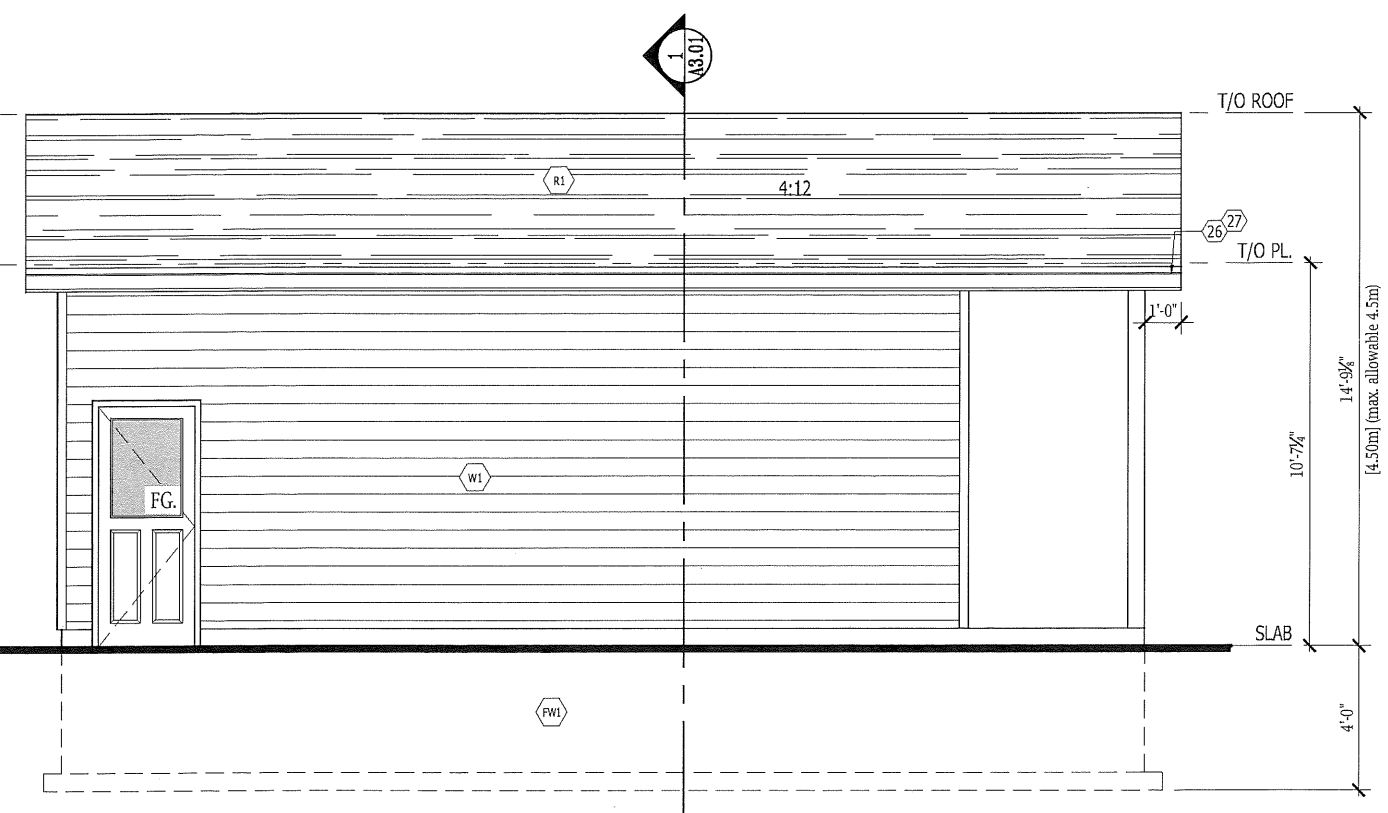
Ministry of Municipal Affairs and Housing
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Signature.JPG	BCIN
CHRISTINE BROWN	37240
Signature.JPG	BCIN
MY HOUSE DESIGNS	113120

DRAWN: CB	SCALE:
DATE: Apr. 20, 24	AS NOTED
JOB NO.: 24-015	SHEET: A2.01




1 REAR ELEVATION
A2.02 3/16" = 1'-0"




2 LEFT SIDE ELEVATION
A2.02 3/16" = 1'-0"

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RESIDENTIAL
DESIGN AND
DRAFTING SERVICES



CHRISTINE BROWN
Architectural Technologist
905.802.5272
444 UPPER GAGE AVE.
HAMILTON, ON L8V 4H9
cbrown@friendlycadmonkey.com

CLIENT:
JOHNSTON RESIDENCE

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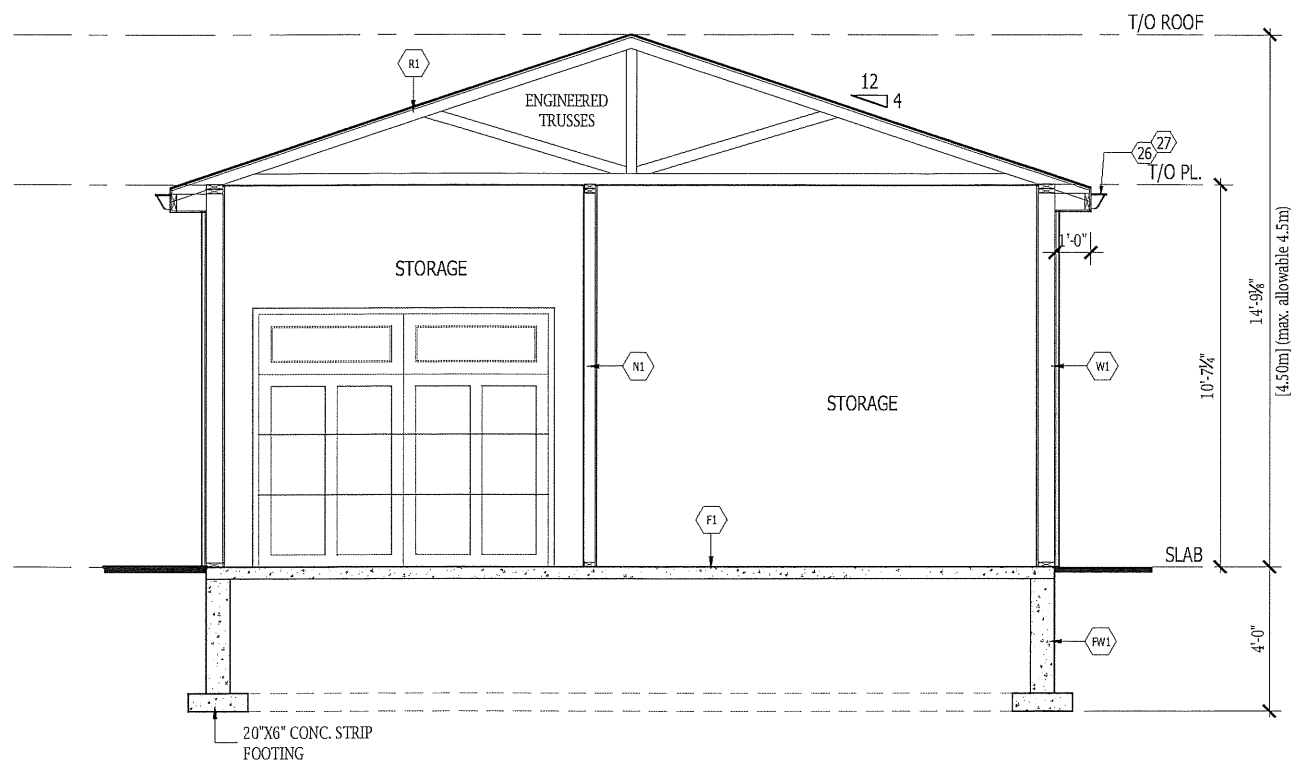
DRAWING TITLE:
REAR & LEFT SIDE ELEV.

Ministry of Municipal Affairs and Housing
QUALIFICATION INFORMATION

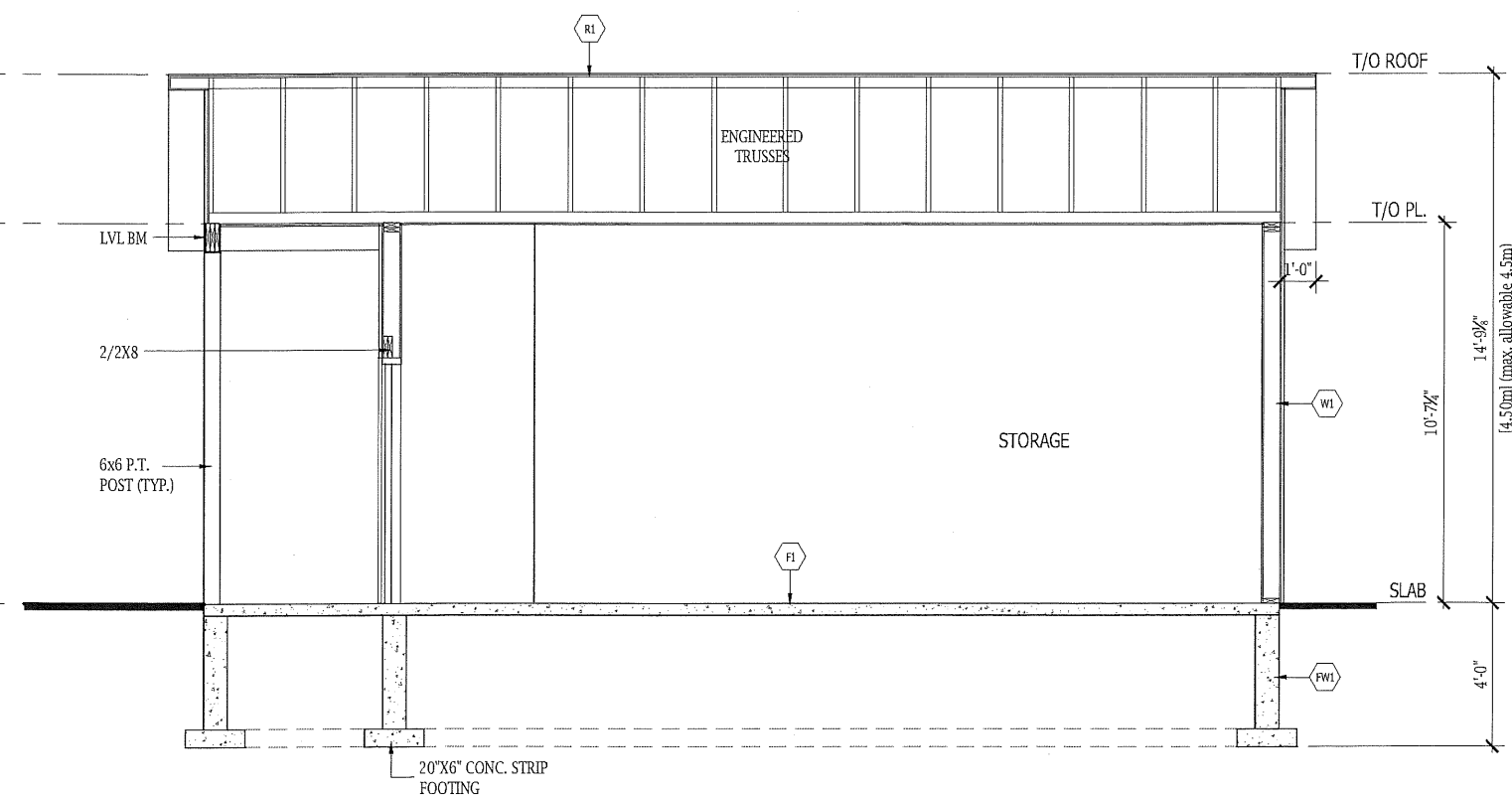
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONT. BUILDING CODE TO BE A DESIGNER. REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION 'C' SECTION 3.2 OF THE O.B.C.

CHRISTINE BROWN	BCIN 37240
MY HOUSE DESIGNS	BCIN 113120

DRAWN: CB	SCALE: AS NOTED
DATE: Apr. 20, 24	SHEET:
JOB NO.: 24-015	A2.02



1 CROSS-SECTION 1
 A3.01 3/16" = 1'-0"



2 CROSS SECTION 2
 A3.01 3/16" = 1'-0"

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RESIDENTIAL DESIGN AND DRAFTING SERVICES	CHRISTINE BROWN Architectural Technologist 905.802.5272 444 UPPER GAGE AVE. HAMILTON, ON L8V 4H9 cbrown@friendlycadmonkey.com

CLIENT:
 JOHNSTON RESIDENCE

ADDRESS: 5 IDARED ROAD
 CITY: HAMILTON, ONTARIO, L8M 2W1

DRAWING TITLE:
 CROSS-SECTIONS

QUALIFICATION INFORMATION
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Signature.JPG	BCIN
CHRISTINE BROWN	37240
Signature.JPG	BCIN
MY HOUSE DESIGNS	113120

DRAWN: CB	SCALE: AS NOTED
DATE: Apr. 20, 24	SHEET: A3.01
JOB NO.: 24-015	



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

NAME	
Registered Owners(s)	Gordon & Linda Johnston
Applicant(s)	Christine Brown
Agent or Solicitor	Phone:
	E-mail:

1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent

[Redacted]

1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Credit over phone*

Cheque

[Redacted]

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	5 Idared Road		
Assessment Roll Number	303810707250000		
Former Municipality	Flamborough		
Lot	13	Concession	
Registered Plan Number	537	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

to permit 54.9s.m. accessory building where 45.0s.m. maximum is allowed

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

to get the desired storage for an accessory building for a lot of this size. Lot is 1848.9s.m.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
29.49	63.6	1848.9	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
dwelling	10.9	29.95	5.66/5.62	10/01/1988

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
accessory building	n/a	1.0	1.0/21.2	08/01/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
dwelling	269	269	1	approx. 7.5

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
accessory building	54.5	54.5	1	4.5

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
single family residential

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
single family residential

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
July 2013

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single family residential

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single family residential

7.4 Length of time the existing uses of the subject property have continued:
approximately 36 years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Rural Settlement Area

Rural Settlement Area: Flamborough

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? 05-200 S1

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
