



ARCHITECTURAL DRAWING LIST

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06.2	BUILDING STATISTICS SUMMARY
06.3	RENDERINGS
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D2.1	LEVEL P2 FLOOR PLAN
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D2.4	LEVELS 2-5 FLOOR PLAN
D2.5	LEVELS 6-7 FLOOR PLAN
D3.1	ELEVATIONS
D3.2	ELEVATIONS
D3.3	ANGULAR PLANE

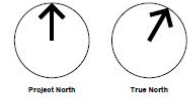
2481 Barton St E, Hamilton

REISSUED FOR ZBA SUBMISSION

21033 | 2023-08-31

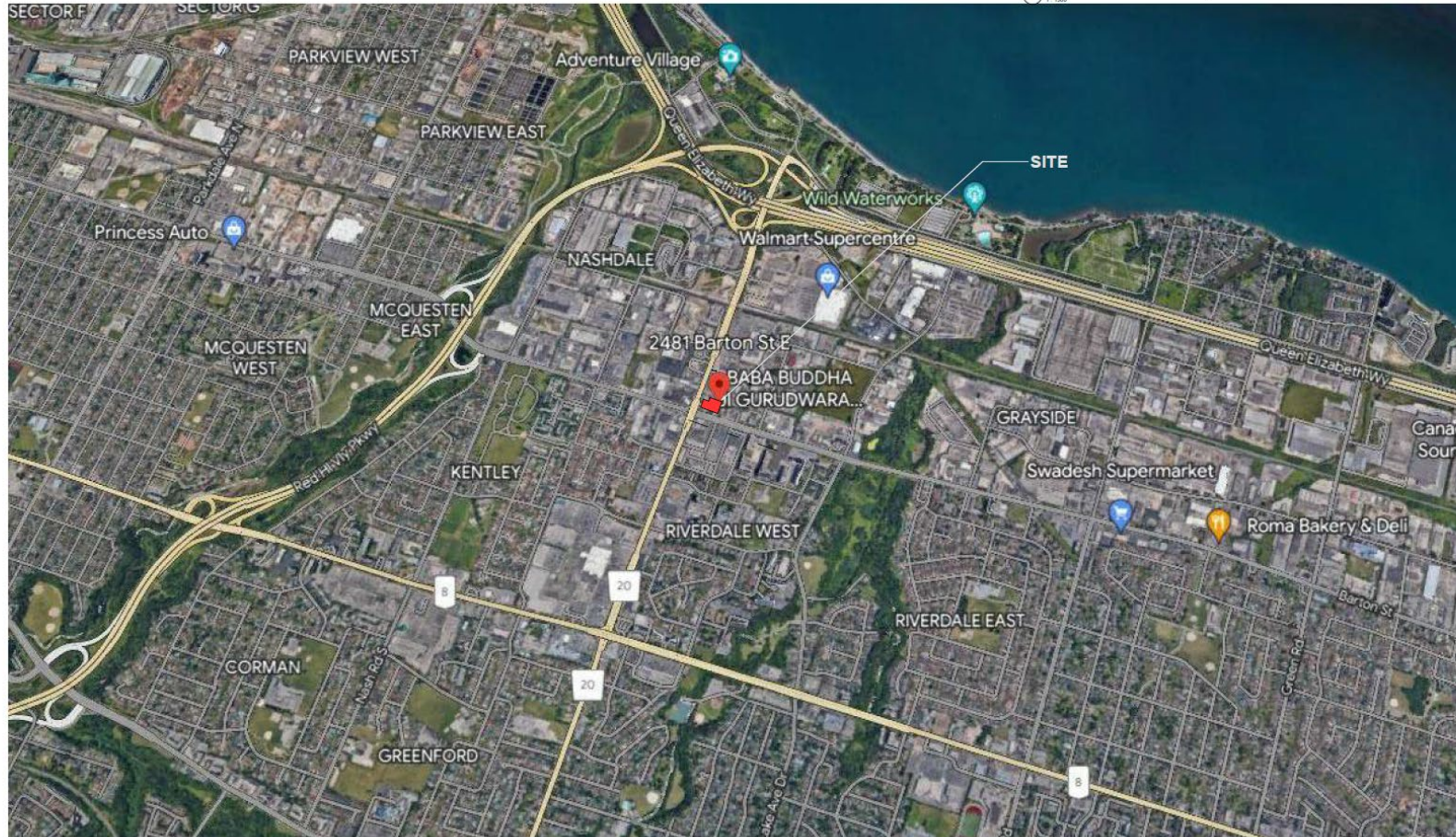


2 KEY PLAN & AERIAL MAP
1: 2000



GENERAL NOTES

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1 Context Plan
1: 2000

REVISIONS		
No.	Date	Revision

Project Name Address

2481 BARTON ST. E,
HAMILTON

Project No.	21033
Drawing Date	2023-09-27
Drawn by	NKD
Checked by	ZMK
Office Location	KITCHENER
Print Date/Time	2023-10-13 8:57:13 AM

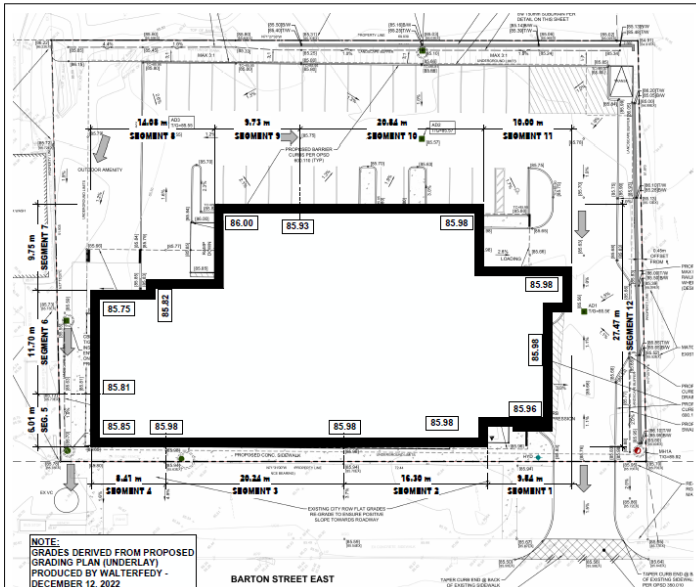
CONTEXT PLAN

Drawing Scale	As Indicated
Prepared For	REQUIRED FOR 25A SUBMISSION
Revision	r1
Drawing No.	D0.1

PRELIMINARY

Appendix "C" to Report PED24096

Page 3 of 13



NOTE:
GRADES DERIVED FROM PROPOSED GRADING PLAN (UNDERLAY) PRODUCED BY WALTERFEDY - DECEMBER 12, 2022

BUILDING HEIGHT CALCULATION:
Building height derived from the sum of the average proposed grade along each face of the building.

SEGMENT NUMBER	LENGTH (S1)	START ELY (S1)	END ELY (S2)	MEAN AVE. GRADE (S1/S2) (S1+S2)/2
S1	9.41m	85.98m	85.98m	85.97m
S2	16.39m	85.98m	85.98m	85.97m
S3	20.34m	85.98m	85.98m	85.97m
S4	9.41m	85.98m	85.98m	85.97m
S5	8.41m	85.98m	85.98m	85.97m
S6	11.19m	85.81m	85.75m	85.78m
S7	9.73m	85.93m	85.93m	85.93m
S8	14.09m	85.75m	85.81m	85.78m
S9	9.73m	85.93m	85.93m	85.93m
S10	20.84m	85.93m	85.93m	85.93m
S11	10.09m	85.93m	85.93m	85.93m
S12	27.47m	85.93m	85.93m	85.93m

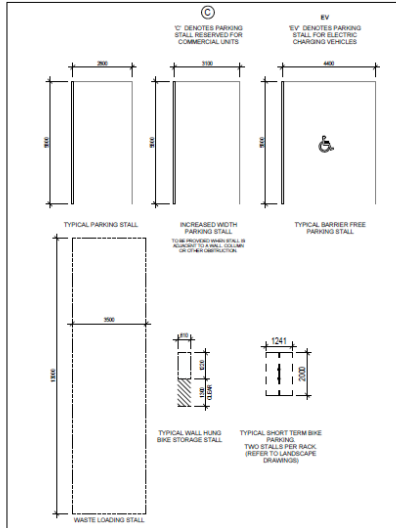
AVERAGE GRADE DIAGRAM
1:200

AVERAGE GRADE: (S1 x SA) + (S2 x SA) + ... (S1 x SA) + (S1 x SA)
L1 + L2 + L3 + L4 + L5

AVERAGE GRADE: (S1 x SA) + (S2 x SA) + (S3 x SA) + (S4 x SA) + (S5 x SA) + (S6 x SA) + (S7 x SA) + (S8 x SA) + (S9 x SA) + (S10 x SA) + (S11 x SA) + (S12 x SA)
L1 + L2 + L3 + L4 + L5 + L6 + L7 + L8 + L9 + L10 + L11 + L12

AVERAGE GRADE: 85.93m

2 AVERAGE GRADE DIAGRAM
1:200



1 PARKING STALL TYPES
1:15

GENERAL SITE DESCRIPTION

ITEM	DATA
NAME OF PROJECT	2481 Barton St. E
MUNICIPAL ADDRESS	2481 Barton Street East, Hamilton, Ontario, L8E 2G1
ZONING	T10CA

LOT DATA

LOT DATA	REQ'D	PROVIDED	PERCENTAGE
LOT AREA	1.029m ² (40,431 sq ft)	1.029m ² (40,431 sq ft)	100%
EAST BOUNDARY (INT SIDE YARD)	31.9m (1170.3 ft)	30.0m (98.4 ft)	93.9%
WEST BOUNDARY (INT SIDE YARD)	31.9m (1170.3 ft)	30.0m (98.4 ft)	93.9%
NORTH BOUNDARY (REAR YARD)	22.5m (737.9 ft)	21.0m (688.8 ft)	93.3%
SOUTH BOUNDARY (FRONT YARD)	22.5m (737.9 ft)	21.0m (688.8 ft)	93.3%

LANDSCAPE AREA

LANDSCAPE AREA	REQ'D	PROVIDED	PERCENTAGE
	N/A	810 sq ft (5,965 sq ft)	133.2%

BUILDING DATA

BUILDING DATA	REQUIRED	PROVIDED	PERCENTAGE
BUILDING AREA	N/A	1,029m ² (11,085 sq ft)	100%
LOT COVERAGE (STRIP LOT AREA)	N/A	100%	100%
GROSS FLOOR AREA	N/A	18,738m ² (202,177 sq ft)	30%
GROSS FLOOR AREA (INCLUDES BALCONIES)	N/A	18,738m ² (202,177 sq ft)	30%
CONSTRUCTION FLOOR AREA (INCLUDES BELOW GRADE LEVELS, BALCONIES & TERRACES)	N/A	28,536m ² (308,500 sq ft)	50%
NUMBER OF STOREYS	N/A	17	100%
BUILDING HEIGHT - FACADE HEIGHT	15m (MAX)	18.07m (59.26 ft)	120.5%
BUILDING HEIGHT - TO OCCUPIED LVL	15m (MAX)	18.07m (59.26 ft)	120.5%
BUILDING HEIGHT - TO MECH PH	53m (MAX)	60.47m (198.4 ft)	114.1%

DENSITY OF UNITS

RESIDENTIAL	THRESHOLD	UNIT COUNT	PERCENTAGE
STUDIO	> 50sqft (15.25 sq m)	12	5.8%
1 BEDROOM	> 50sqft (15.25 sq m)	12	5.8%
1 BEDROOM	> 50sqft (15.25 sq m)	15	7.2%
1 BEDROOM + DEN	> 50sqft (15.25 sq m)	76	35.7%
2 BEDROOM	> 50sqft (15.25 sq m)	32	15.2%
3 BEDROOM	> 50sqft (15.25 sq m)	8	3.8%
TOTAL		207	100%

COMMERCIAL/RETAIL AREAS

COMMERCIAL/RETAIL AREAS	REQUIRED	PROVIDED	PERCENTAGE
COMMERCIAL X	N/A	208.8m ² (2,257 sq ft)	87%
COMMERCIAL Y	N/A	208.8m ² (2,257 sq ft)	40%
TOTAL		417.6m ² (4,514 sq ft)	100%

BUILDING AMENITIES

BUILDING AMENITIES	REQUIRED	PROVIDED	PERCENTAGE
3.0m x 3.0m x 1.8m ³ + 1.2m ³	N/A	12m ³ (1,824 sq ft)	4%
INDOOR AMENITY	N/A	171.9m ² (1,841 sq ft)	9%
OUTDOOR AMENITY (ARCHIVE GRADE)	N/A	171.9m ² (1,841 sq ft)	9%
BALCONIES TOTAL AREA	N/A	3,140m ² (33,788 sq ft)	91%
TOTAL	1.58m ³	3,452.8m ² (37,248 sq ft)	100%

PARKING INFRASTRUCTURE

PARKING INFRASTRUCTURE	REQUIRED	PROPOSED	PERCENTAGE (%)	
RESIDENTIAL PARKING	2470 ± 7.2	7	0%	
1.8m x 3.0m + 5.0m ² (1.8m x 3.0m + 5.0m ²)	3,013 ± 9.9	169	6%	
1.8m x 3.0m + 3.7m ²	36,000 ± 30.8	133,113 ± 133	370%	
3.7m x 1.8m + 1.8m ²	133,113 ± 133	133,113 ± 133	100%	
TOTAL	179	179	100%	
BIKE STORAGE PARKING	1 ± 3%	14,179 ± 7,000 ± 4.4	7 STALLS (INCLUDED ABOVE)	4%
151 ± 200 Parking Stalls, Minimum 1 stall = 7% of the total number of required stalls	1 ± 3%	7 STALLS (INCLUDED ABOVE)	4%	
ELECTRIC VEHICLE CHARGING STATIONS	N/A	9 STALLS (INCLUDED ABOVE)	0%	
WASTE LOADING STATION	N/A	1 STALL	0%	
COMMERCIAL PARKING	2 Commercial Units	473 ± 452 ± 23.3m ²	23,977 ± 1.9	100%
Total commercial area = 473.3m ²	473 ± 452 ± 23.3m ²	473 ± 452 ± 23.3m ²	100%	
1.8m ² Total commercial gross area between 4500' - 46000'	179 ± 1.36 ± 180.76	1	1%	
TOTAL	180	177	100%	

VEHICLE PARKING

VEHICLE PARKING	REQUIRED	PROVIDED	PERCENTAGE (%)
SHORT TERM PARKING	5 STALLS	108 STALLS	10%
LONG TERM PARKING	5 STALLS	108 STALLS	80%
TOTAL (SHORT + LONG TERM)	10 STALLS	108 STALLS	100%

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 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Distribution, modification, or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The national contract between the consultants and the client is in effect. In the event of a conflict between the contract documents and any other contract documents, the contract documents shall prevail. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

No.	Date	Revision
1	2023-09-27	Issue for I&A
2	2023-10-13	Issue for I&A

Project Name: Address
2481 BARTON ST. E. HAMILTON

Project No: 21033
SRM
 architects + designers
 urban + designers
 Project Name: Address
2481 BARTON ST. E. HAMILTON
 Drawing Date: 2023-09-27
 Drawing No: N103
 Designer: JMK
 Checker: KITCHENER
 File Name: 2023-10-13 4:01:28 PM
 Drawing Title: **BUILDING STATISTICS SUMMARY**
 Drawing Date: As Indicated
 Status: **PRELIMINARY**
 Revision: **r1**
D0.2



FRONT VIEW - BARTON STREET E.

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6. The material contained herein reflects the consultant's best judgment in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance or other decisions to be made based on them are the responsibility of such third parties.
7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

CONSULTANT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE DRAWINGS. THE CONSULTANT DOES NOT WARRANT THAT THE DESIGN OR CONSTRUCTION OF THE BUILDING WILL BE FREE FROM DEFECTS OR THAT THE BUILDING WILL BE FREE FROM DEFECTS OR THAT THE BUILDING WILL BE FREE FROM DEFECTS OR THAT THE BUILDING WILL BE FREE FROM DEFECTS. THE CONSULTANT DOES NOT WARRANT THAT THE DESIGN OR CONSTRUCTION OF THE BUILDING WILL BE FREE FROM DEFECTS OR THAT THE BUILDING WILL BE FREE FROM DEFECTS. THE CONSULTANT DOES NOT WARRANT THAT THE DESIGN OR CONSTRUCTION OF THE BUILDING WILL BE FREE FROM DEFECTS OR THAT THE BUILDING WILL BE FREE FROM DEFECTS.



SOUTH EAST - BARTON STREET E.




SOUTH WEST - BARTON STREET E.

No.	Date	Revision

Client: _____

Project Name / Address: _____

**2481 BARTON ST. E.
HAMILTON**


 SRM
 architects+
 urban+designers

Drawing No: 21033
 Drawing Date: 2023-09-27
 Drawn by: RUC
 Checked by: ZMC
 Office Location: KITCHENER
 Plot Date / Time: 2023-10-13 8:57:15 AM

RENDERINGS

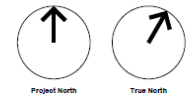
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REQUIRED FOR ZBA SUBMISSION

Revision No: _____

Drawing No: **D0.3**

PRELIMINARY



GENERAL NOTES

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KEY PLAN



No.	Date	Revision
1	2023-08-07	REVISED FOR ZBA
2	2023-09-27	REVISED FOR SUBMISSION
3	2023-10-13	REVISED FOR ZBA

Project Name / Address

2481 BARTON ST. E,
HAMILTON

Project No.: 21033

SRM
architects+
urban+designers

Drawing Date: 2023-09-27
Drawn by: NKS
Checked by: ZMK
Other: [blank]
KITCHENER
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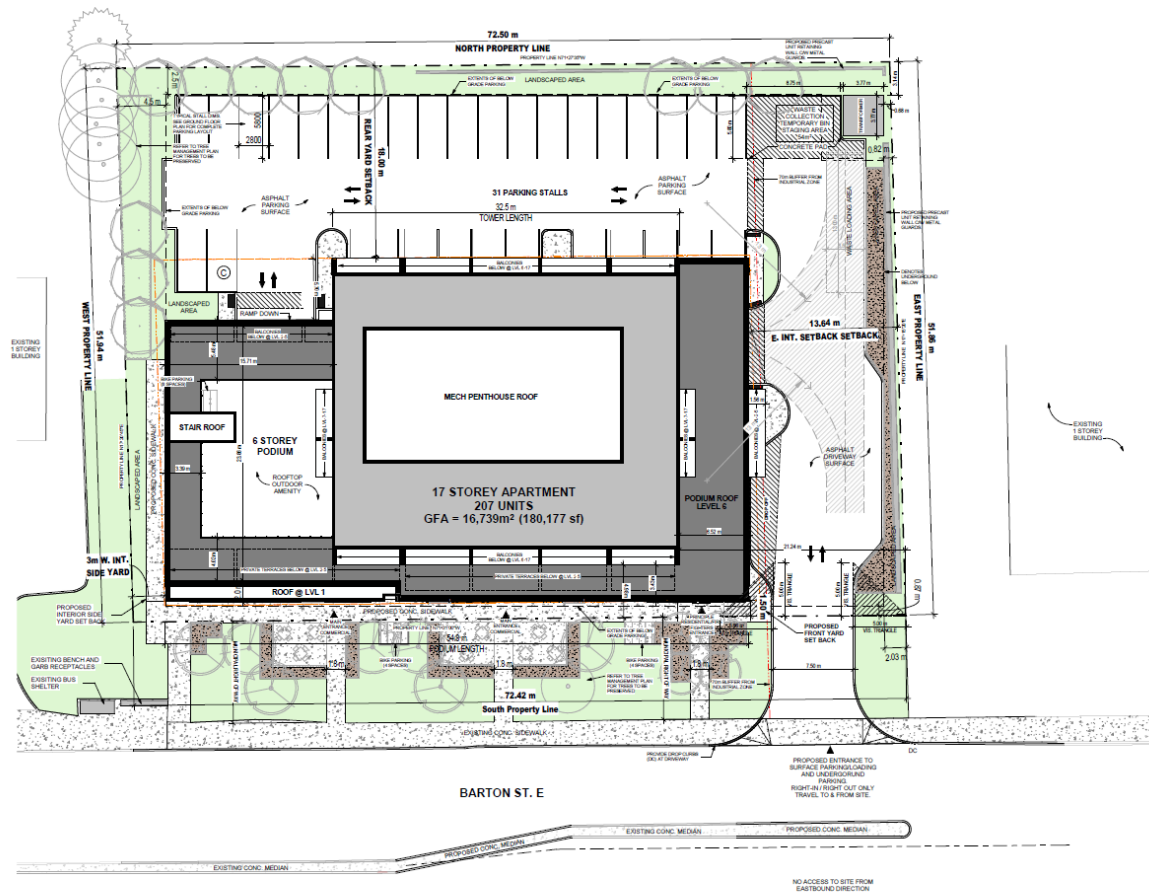
Drawing Name:

SITE PLAN

Drawing Scale: As Indicated
REQUIRED FOR ZBA SUBMISSION
Revision No.: R3
Drawing No.: [blank]

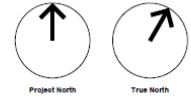
PRELIMINARY

D1.1



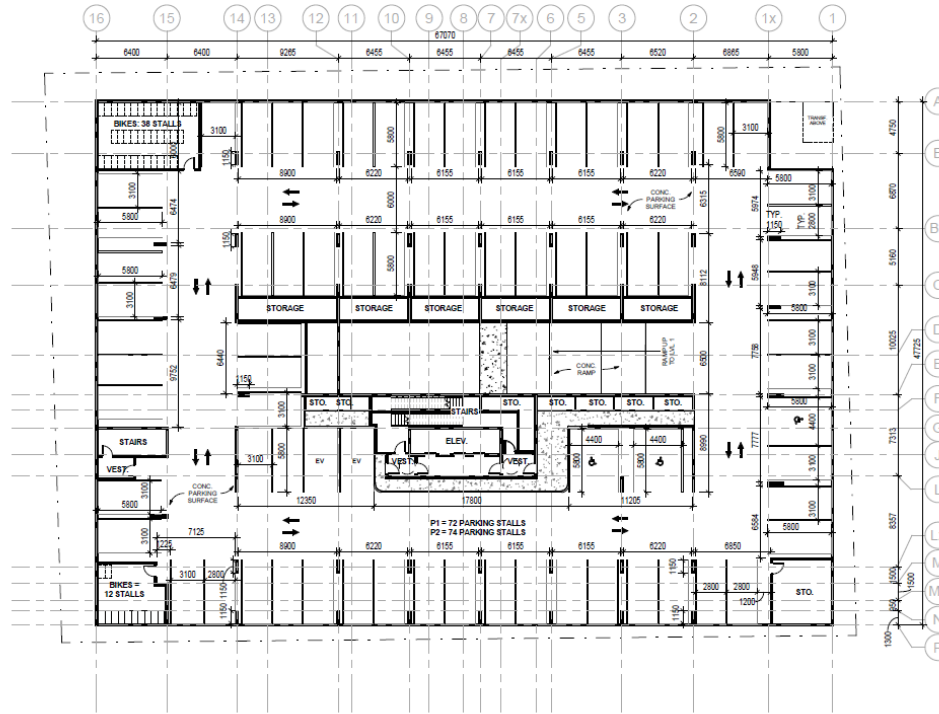
1 SITE PLAN
1:200

This drawing is a site plan for a proposed 17-storey apartment building at 2481 Barton St. E., Hamilton, Ontario. It is part of a larger project and should be read in conjunction with the other drawings in the set. The drawing shows the building footprint, parking stalls, and setbacks. It is a preliminary drawing and is subject to change without notice. The drawing is not to be used for any other purpose without the written consent of the architect.



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1 LEVEL P2 FLOOR PLAN
1:200

2023-08-31 REVISIONS FOR ZBA		
No.	Date	Revision

Project Name Address:

**2481 BARTON ST. E,
HAMILTON**

Project No. 21033
 Drawing Date 2023-09-27
 Client NKC Designer ZBAK
 Office Location KITCHENER
 File Date / Time 2023-10-13 8:57:43 AM

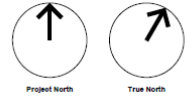
LEVEL P2 FLOOR PLAN

Drawing Scale: 1:200
 PREPARED FOR ZBA
 Revision No.: r1
 Working No.: D2.1

PRELIMINARY

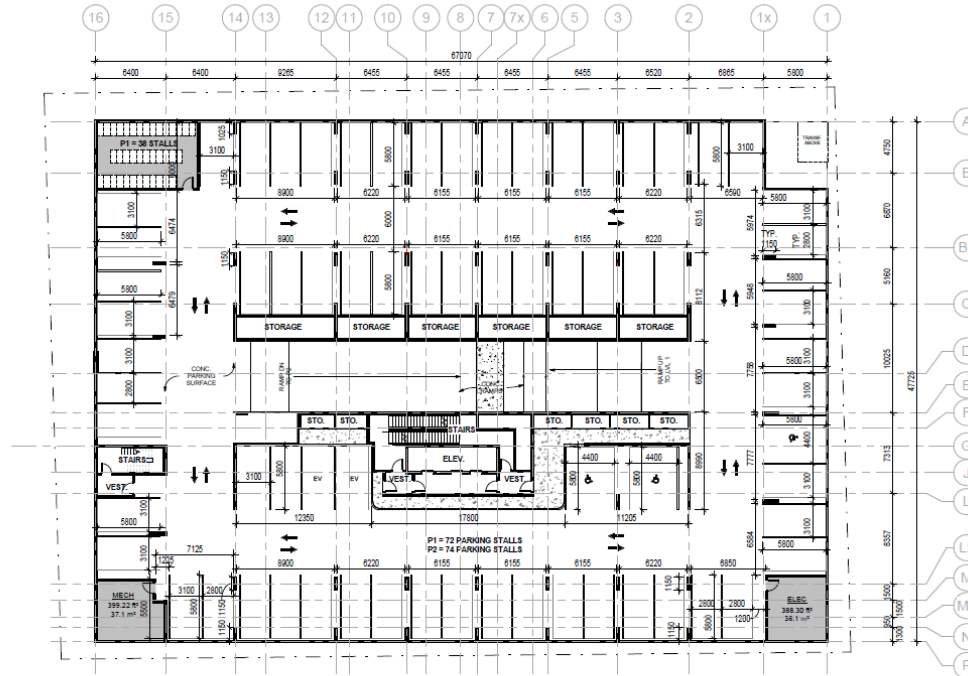
Appendix "C" to Report PED24096

Page 7 of 13



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No.	Date	Revision
1	2023-08-31	ISSUED FOR ZBA
2	2023-08-28	ISSUED FOR COOPERATION
3	2023-08-28	ISSUED FOR ZBA

Client:

Project Name: Address:

**2481 BARTON ST. E.,
HAMILTON**

SRM
architects+
urban+designers

Project No: 21033
Drawing Date: 2023-09-27
Drawn by: NKZ
Checked by: ZMC
Title/Author: KITCHENER
File Date/Time: 2023-10-13 8:57:48 AM

LEVEL P1 FLOOR PLAN

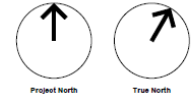
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ISSUED FOR ZBA SUBMISSION

Revision No: **r3**

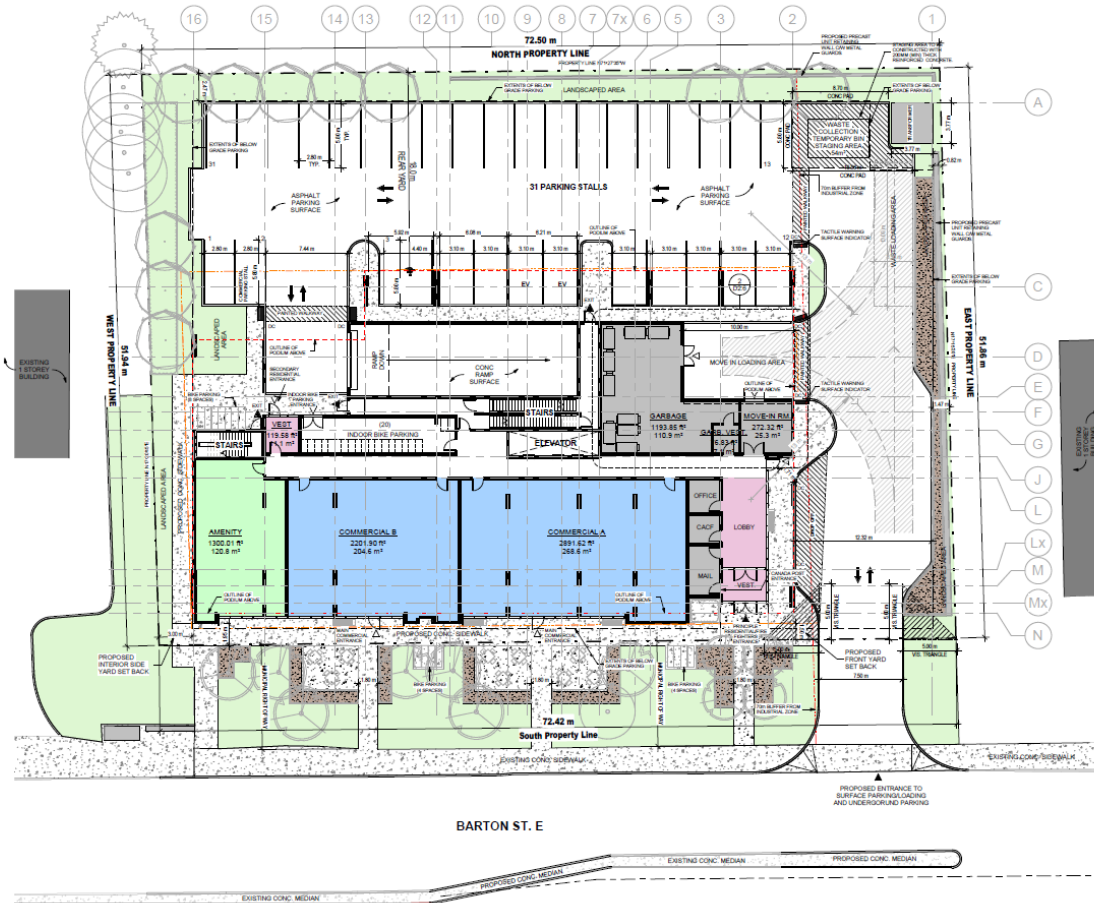
D2.2

PRELIMINARY



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No.	Date	Revision
3	2023-08-27	REVISION FOR ILM
2	2023-08-27	REVISION FOR SUBMITTAL
1	2023-12-12	ISSUED FOR ILM

Client:

Project Name / Address:

2481 BARTON ST. E.
HAMILTON

Project No: 21033

SRM architects+urban+designers
 Drawing Date: 2023-09-27
 Drawn by: [initials] Checked by: [initials]
 Office Location: KITCHENER
 File Date / Time: 2023-10-13 8:57:47 AM

LEVEL 1 FLOOR PLAN

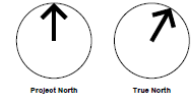
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REQUIRED FOR ZBA SUBMITTAL
 Revision No: r3

PRELIMINARY
 Drawing No: D2.3

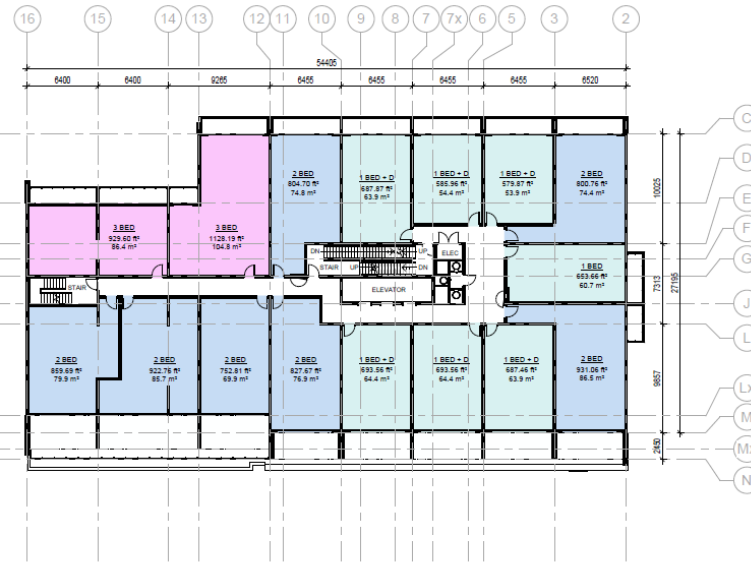
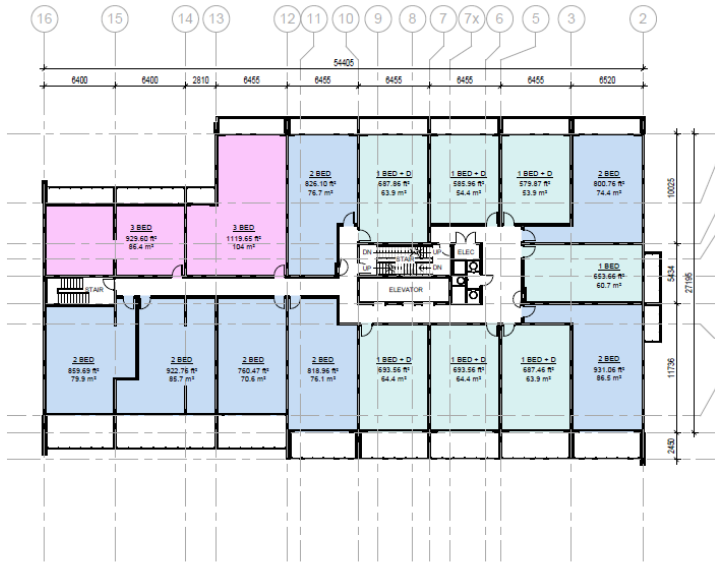
1 LEVEL 1 FLOOR PLAN
1:200

CONSULTANTS: CONSULTANTS OF ARCHITECTURE, 1000 SHEPPARD AVENUE EAST, SUITE 100, SCARBOROUGH, ONTARIO M1B 2P4. TEL: (416) 291-1111. FAX: (416) 291-1112. WWW.CONSULTANTSOFARCHITECTURE.COM
 ARCHITECTS: CONSULTANTS OF ARCHITECTURE, 1000 SHEPPARD AVENUE EAST, SUITE 100, SCARBOROUGH, ONTARIO M1B 2P4. TEL: (416) 291-1111. FAX: (416) 291-1112. WWW.CONSULTANTSOFARCHITECTURE.COM
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No.	Date	Revision
3	2023-09-27	REVISION FOR ZBA
2	2023-09-27	REVISION FOR SUBMISSION
1	2023-10-13	ISSUED FOR ZBA

Client

Project Name / Address

**2481 BARTON ST. E.
HAMILTON**

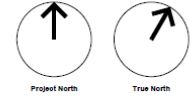
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SRM
 architects+
 urban+designers
 Drawn by: [blank] Checked by: [blank]
 Office Location: [blank] HITCHENER
 Plot Date / Time: 2023-10-13 8:57:50 AM

**LEVELS 2-5 FLOOR
PLAN**

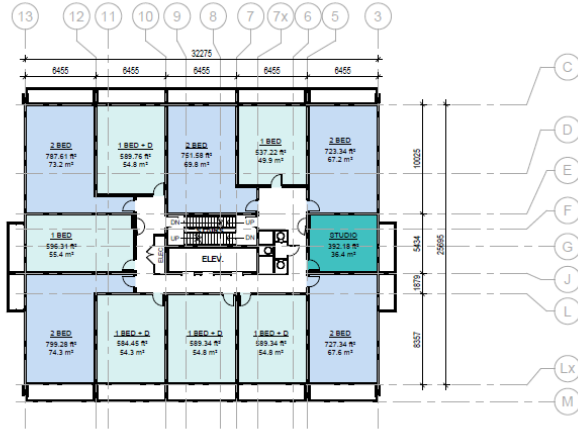
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 Revision No: r3
 Drawing No: D2.4

PRELIMINARY

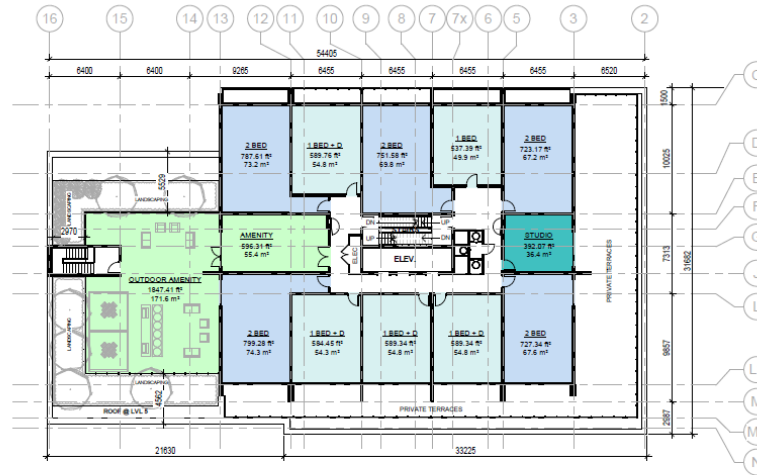
CONSULTANTS: CONSULTANTS OF ARCHITECTURE, 1000 SHEPPARD AVENUE EAST, SUITE 100, SCARBOROUGH, ONTARIO M1S 1W2. PROJECT NO. 21033. DRAWING NO. D2.4. DATE: 2023-10-13. SCALE: 1:200. THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS AND SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CONSULTANTS. THE CONSULTANTS ACCEPT NO LIABILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR ACTIONS BASED ON THIS DRAWING.



- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
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 5. All documents remain the property of the architect. Contractors are prohibited from reproduction of these documents in any form without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgment in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, in an original or any derivative form, shall be made based on the responsibility of such third party.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



2 LEVEL 7-17 FLOOR PLAN
1:200



1 LEVEL 6 FLOOR PLAN
1:200

NO.	DATE	REVISION
1	2023-08-11	REVISION FOR SEA
2	2023-08-09	REVISION FOR COORDINATION
3	2023-07-13	REVISION FOR SEA

Client: _____

Project Name / Address: _____

2481 BARTON ST. E.
HAMILTON

Project No: 21033
Drawing Date: 2023-09-27
Drawn by: NKS
Checked by: ZMK
Scale: 1:200
Project Location: KITCHENER
Per Day / Time: 2023-10-13 8:57:53 AM

Drawing Name:
LEVELS 6-17 FLOOR PLAN

Drawing Scale: 1:200

REVISION FOR SEA SUBMISSION

Revision: r3

Drawing No: D2.5

PRELIMINARY

2481 Barton St. E. Hamilton, ON L9C 3V2. Drawing No. 21033-09-27. Project Name: 2481 Barton St. E. Hamilton. Scale: 1:200. Date: 2023-09-27. Drawing Title: LEVELS 6-17 FLOOR PLAN. Project Location: KITCHENER. Project No: 21033. Drawing No: D2.5. Revision: r3.

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 6. The material selection herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any variance or other decisions to be made based on them are the responsibility of each third party.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

MATERIAL LEGEND	
1	PRECAST CONCRETE BRICK PATTERN COLOUR: DARK CHARCOAL
2	PRECAST CONCRETE BRICK PATTERN COLOUR: CREAM
3	PRECAST CONCRETE COLOUR: WHITE
4	PRECAST CONCRETE COLOUR: DARK CHARCOAL
5	METAL PANEL - DARK CHARCOAL COLOUR: DARK CHARCOAL
6	METAL PANEL - DARK CHARCOAL COLOUR: CLEAR
7	SPANDREL PANEL - DARK CHARCOAL
8	SPANDREL PANEL - WHITE
9	METAL PANEL - WOOD FINISH
10	BALCONY GUARD - CLEAR GLAZING PANEL

No.	Date	Revision
3	2023-08-31	ISSUED FOR ZBA
2	2023-08-28	ISSUED FOR COORDINATION
1	2023-07-20	ISSUED FOR ZBA

Client: _____

Project Name / Address: _____

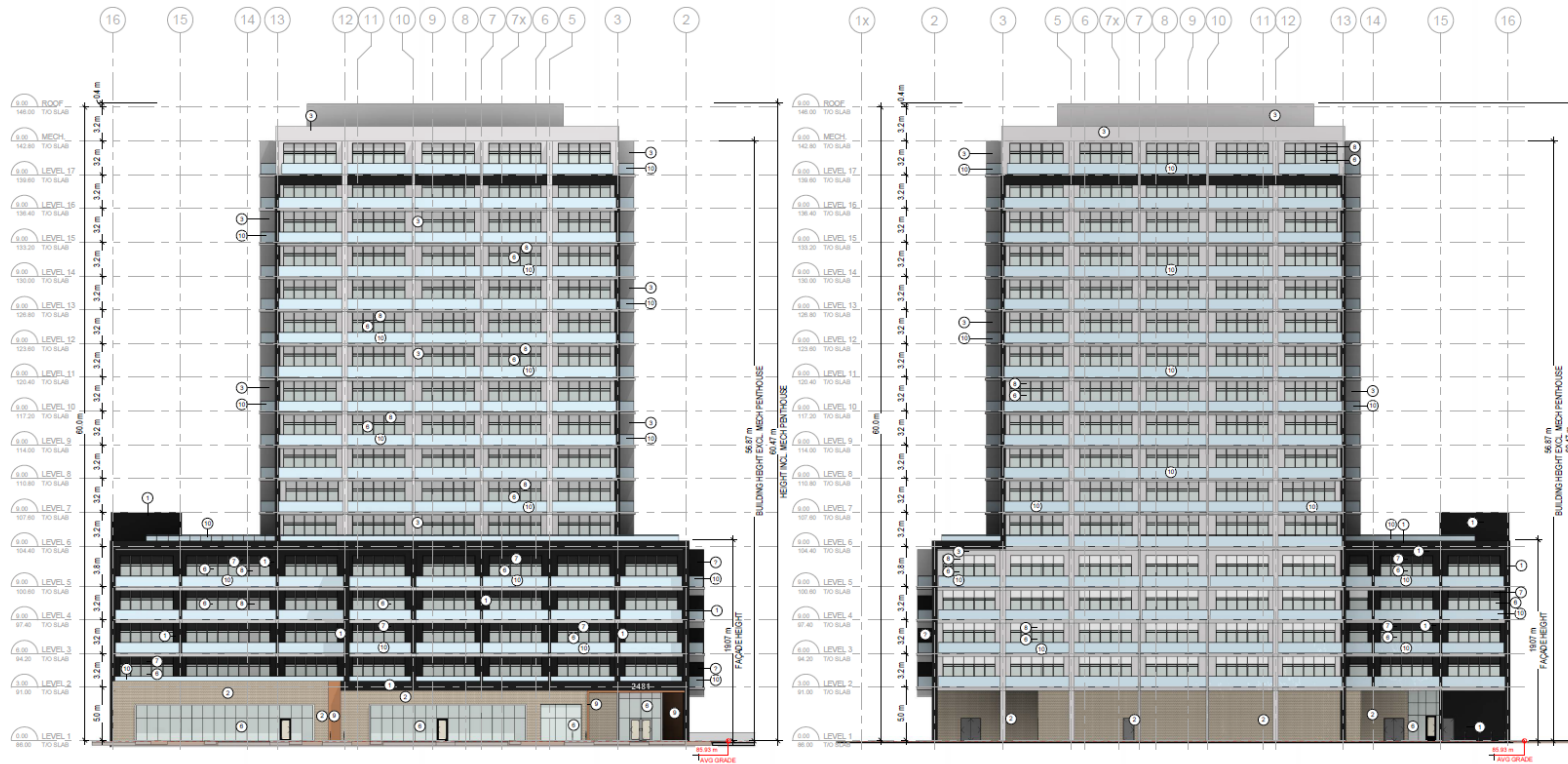
**2481 BARTON ST. E.
HAMILTON**

Project No: 21033
 Drawing Date: 2023-09-27
 Client: MKS
 Designer: ZMK
 Office Location: KITCHENER
 File Date / Time: 2023-10-13 9:01:41 AM
 Drawing Name: _____

ELEVATIONS

Drawing Scale: As Indicated
 REQUIRED FOR ZBA SUBMISSION
 Revision: r3
 Drawing No: **D3.1**

PRELIMINARY



2 ELEVATION - SOUTH
1:200

1 ELEVATION - NORTH
1:200

Notwithstanding to whomsoever the drawings are made, the architect shall not be liable for any errors or omissions in the drawings or for any consequences arising therefrom. The architect shall not be liable for any damages, including consequential damages, of any kind, arising out of or in connection with the performance of the architect's services. The architect shall not be liable for any damages, including consequential damages, of any kind, arising out of or in connection with the performance of the architect's services. The architect shall not be liable for any damages, including consequential damages, of any kind, arising out of or in connection with the performance of the architect's services.

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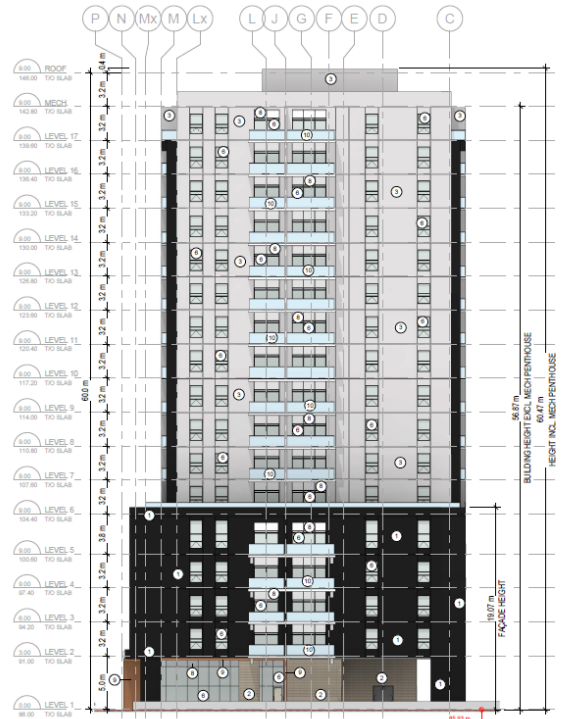
MATERIAL LEGEND	
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2	PRECAST CONCRETE BRICK PATTERN COLOUR: CREAM
3	PRECAST CONCRETE COLOUR: WHITE
4	PRECAST CONCRETE COLOUR: DARK CHARCOAL
5	META PANEL - DARK CHARCOAL COLOUR: DARK CHARCOAL
6	GLAZING PANEL - CLEAR COLOUR: CLEAR
7	SPANDREL PANEL - DARK CHARCOAL
8	SPANDREL PANEL - WHITE
9	METAL PANEL - WOOD FINISH
10	BALCONY GUARD - CLEAR GLAZING PANEL

No.	Date	Revision

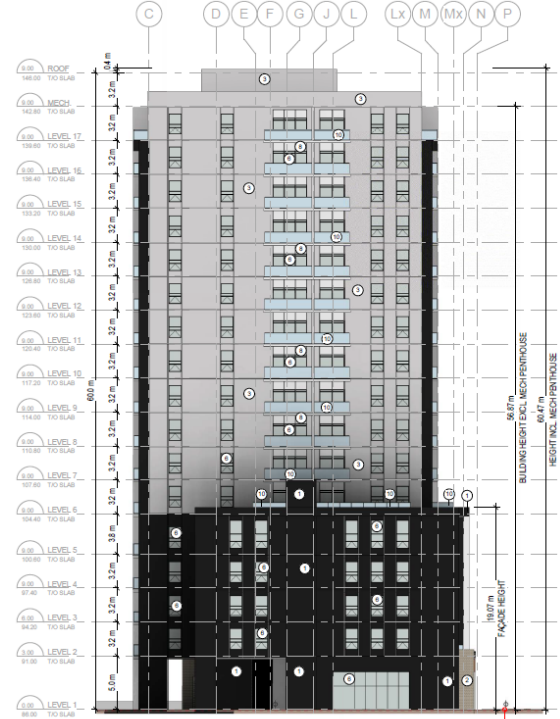
Project Name: Address
**2481 BARTON ST. E.
HAMILTON**

Project No: 21033
 Drawing Date: 2023-09-27
 Drawn by: WESL
 Checked by: ZMAG
 SRM architects+urban+designers
 Office Location: KITCHENER
 File Date: 2023-10-13 9:54:19 AM

ELEVATIONS
 Drawing Scale: As Indicated
 PRELIMINARY
 REQUIRED FOR 2DA SUBMISSION
 Revision No.: r3
D3.2



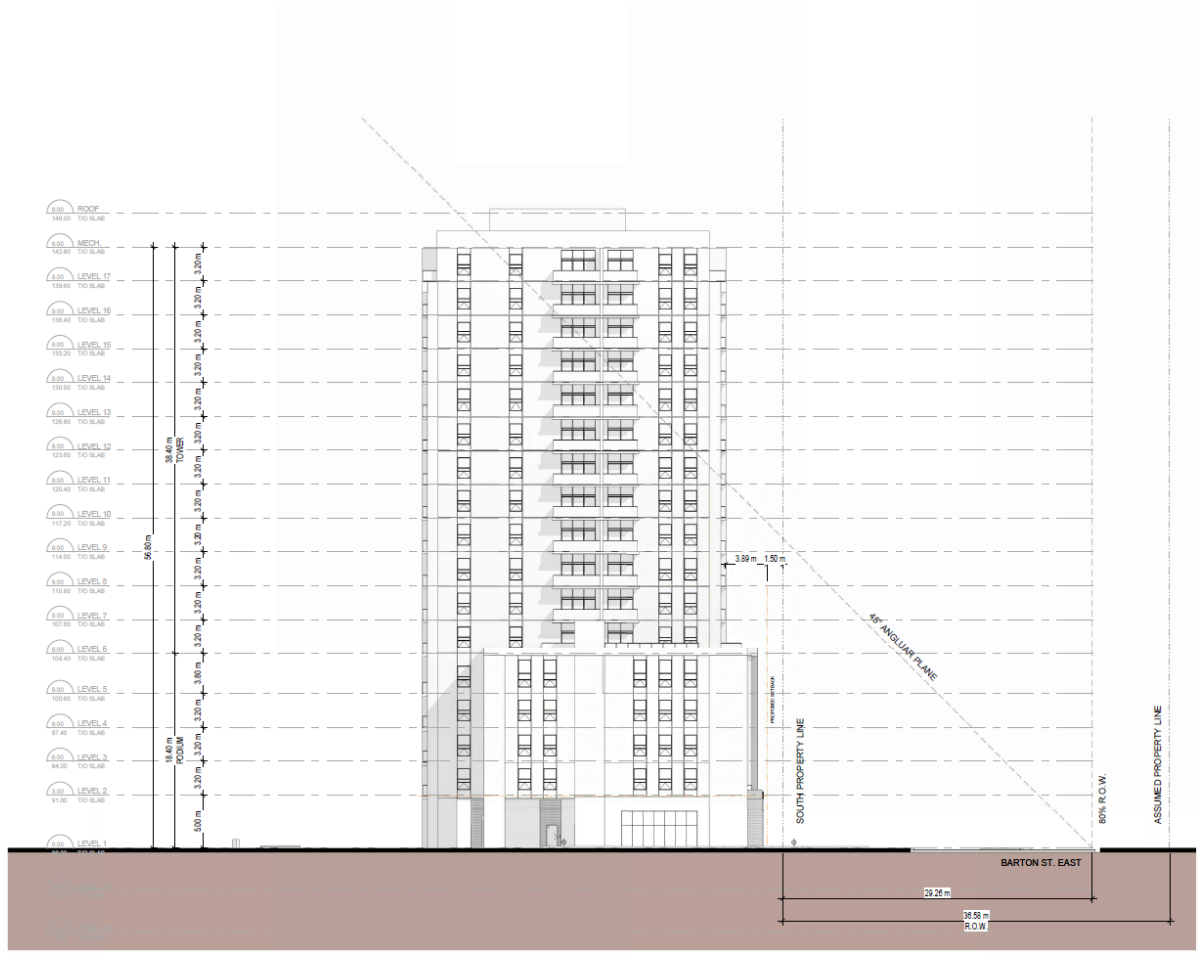
2 EAST ELEVATION
1:200



1 WEST ELEVATION
1:200

CONSULTANTS: CONSULTANTS FOR ARCHITECTURE AND INTERIORS (CFAI) INC. 2481 Barton St. E., Hamilton, ON L8N 2Y7
 PROJECT: 2481 Barton St. E., Hamilton, ON L8N 2Y7
 DRAWING: 2481 Barton St. E., Hamilton, ON L8N 2Y7
 DATE: 2023-10-13 9:54:19 AM
 FILE NAME: 2481 Barton St. E., Hamilton, ON L8N 2Y7.rvt
 PLOTTER: HP DesignJet T1300PS

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1 ANGULAR PLANE DIAGRAM
1:200

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 6. The material contained herein reflects the consultants best judgment in light of the information available to him at the time of preparation. He also relies on the primary parties of the contract documents, or any reliance on it, to be made based on them and the responsibility of such third parties.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

REVISIONS FOR 2024			
REVISIONS FOR 2024			
No.	Date	Revision	

Project Name: Address:
2481 BARTON ST. E. HAMILTON

Project No: 21033
 Drawing Date: 2023-09-27
 Drawing By: NIKS
 Checked By: ZMK
 Designation: ARCHITECT
 File Name: 2023-10-13 9:06:38 AM
 Drawing Name: KITCHENER

ANGULAR PLANE
 Drawing Scale: 1:200
 PREPARED FOR SEA SUBMISSION
 Revision: r2
D3.3

PRELIMINARY