



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:123	SUBJECT PROPERTY:	347 Great Falls Blvd, Flamborough
ZONE:	“R1-64” (Urban Residential (Single Dectached))	ZONING BY-LAW:	Zoning By-law former Town of Flamborough 90-145-Z, as Amended 14-099

APPLICANTS: Owner: Hamad Raza
Agent: Harjinder Singh / Mem Engineering Inc.

The following variances are requested:

1. A Parking Space associated with a Secondary Dwelling Unit shall be permitted to be provided in tandem with a Parking Space associated with the principal use.
2. An Exterior Staircase shall be permitted to encroach a maximum of 3.14 metres into a required rear yard instead of the maximum 1.5 metres into a required rear yard.

PURPOSE & EFFECT: So as to permit Tandem Parking and an Entrance Staircase to a proposed Secondary Dwelling Unit within the rear yard of an existing Semi-Detached Dwelling notwithstanding:

Notes:

- i) Be advised, insufficient information has been provided to determine overall density for lands Zoned R1-64 under Zoning By-Law Amendment 14-099. Should the addition of a Secondary Dwelling Unit within the Existing Semi-Detached Dwelling increase the overall density in excess of the permitted 40 Units Per Net Residential Hectare for lands zoned as “R1-64”, additional variances may be required.
- ii) Be advised, where installation of a retaining wall, higher than 1.0m and of material other than armourstone, the owner of such lot shall not (i) excavate, drill, install, erect, or build; (ii) plant any tree, construct any pit, well, pavement, building, or structure; and (iii) alter the grading or any over-land drainage patterns approved by the City, without the prior written consent of the Senior Director, Growth Management Division. Should the proposed steps within the rear yard result in alteration

A-24:123

of the existing retaining wall, to the effect of a change in the retaining wall as described above, consent may be required from the Senior Direct, Growth Management Division.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, July 2, 2024
TIME:	2:45 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton
- Call 905-546-CITY (2489) or 905-546-2424 extension 4221

PUBLIC INPUT

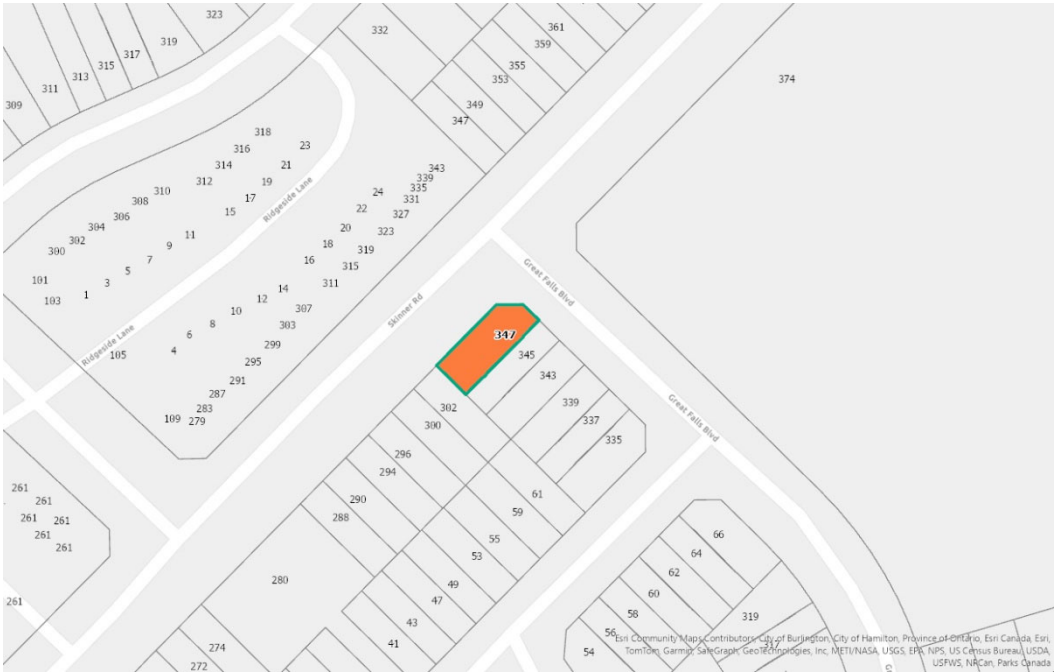
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon June 28, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon June 28, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:123, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: June 13, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

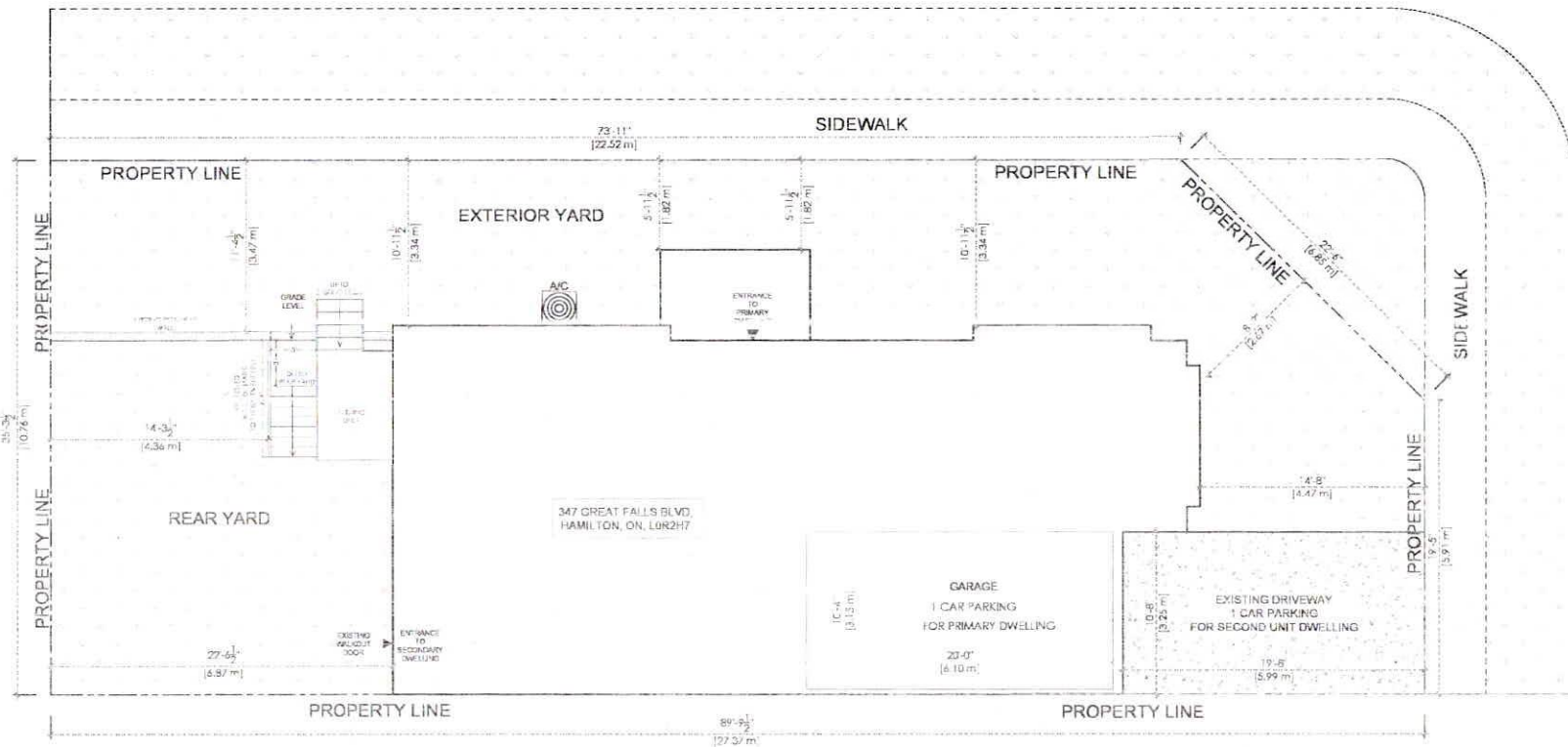
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca or by phone at 905-977-1654.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SKINNER RD



SITE PLAN

SC: 1/8" = 1'-0"

General Notes

CONTINGENT UPON CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING.
 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ISSUED BY THE CONSULTANT.
 DRAWINGS ARE NOT TO BE SCALED.

LEGENDS -

REVISION	DATE	BY

1- Firm Name and Address
MEM ENGINEERING INC
 3355 LEHIGH CRES
 MISSISSAUGA, ON, L4T1W6
 416-558-6755
 Email: harry@memengineering.ca

GREAT FLS BLVD

PROJECT TITLE:
 347 GREAT FLS BLVD,
 HAMILTON, ON L9R 2H7

SHEET TITLE:

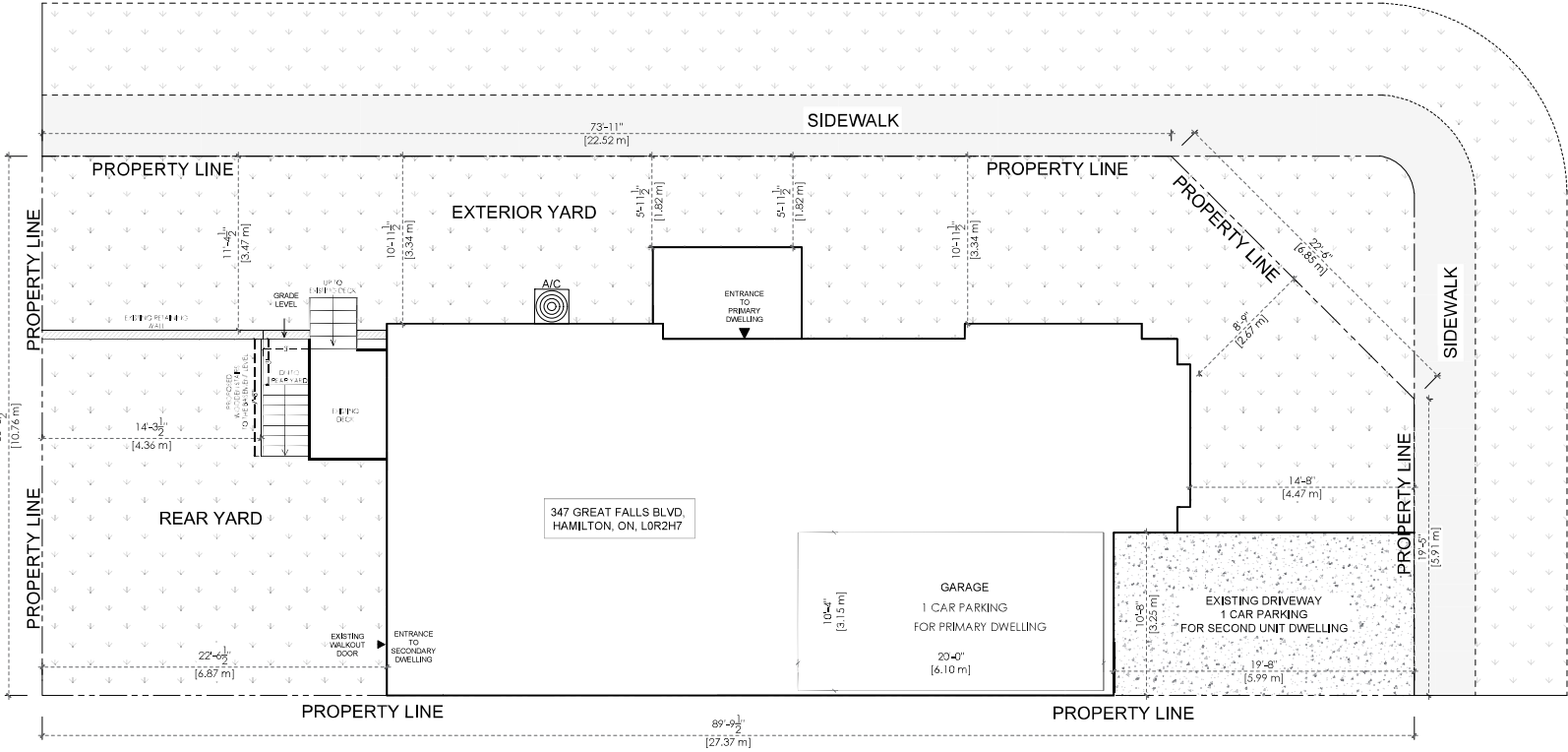
SITE PLAN

CLIENT EMAIL:

CLIENT CONTACT:

SCALE: 1/8" = 1'-0"	DRAWING NO.:
PROJECT: 347 GREAT FLS BLVD	A100
DRAWN BY: GG	
CHECKED BY: HB	

SKINNER RD



SITE PLAN
SC: 1/8" - 1'-0"

GREAT FALLS BLVD

General Notes

- * CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
- * ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
- * THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE CONSULTANT.
- * DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

REVISION NO.	DATE	DESCRIPTION	BY

Firm Name and Address
MEM ENGINEERING INC
 3355 LEHIGH CRES.
 MISSISSAUGA, ON, L4T1W9
 416-558-6755
 Email:harry@memengineering.ca

PROJECT TITLE:
 347 GREAT FLS BLVD,
 HAMILTON, ON L0R 2H7

SHEET TITLE:
SITE PLAN

CLIENT EMAIL:
 CLIENT CONTACT:

SCALE: 1/8"-1'-0"	DRAWING NO.:
PLOT DATE: 2024-04-05	A100
DRAWN BY: GG	
CHECKED BY: HS	



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	HAMAD RAZA
Applicant(s)	HARJINDER SINGH / MEM ENGINEERING INC.
Agent or Solicitor	HARJINDER SINGH / MEM ENGINEERING INC.



1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

In person

Credit over phone*

Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	347 GREAT FALLS BOULEVARD, WATERDOWN, L8B 1Z3		
Assessment Roll Number			
Former Municipality			
Lot	1	Concession	
Registered Plan Number	62-M1266	Lot(s)	
Reference Plan Number (s)		Part(s)	block 627

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

1. To permit a total of tandem 2 car parking to facilitate two unit dwelling at the property (1 parking for primary dwelling and 1 for second dwelling).
- 2 Also, to permit a reduced rear yard setback of 4.36m from proposed wooden stairs to rear lot line.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

For second unit dwelling, a total of 3 car parking is required.

A minimum required rear yard setback is 5.0 m

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
9.33 M	27.37 M	282.75 SQ.M.	6.5 M

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SEMI DETACHED DWELLING	4.47 M	6.87 M	1.82 M	2021
DWELLING				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SEMI DETACHED DWELLING WITH SECOND UNIT DWELLING	4.47M	6.87 M	1.82 M	2021
PROPOSED WOODEN STAIRS IN REAR YARD LEADING TO BASEMENT LEVEL	NA	4.36 M	NA	NA

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SEMI DETACHED DWELLING	116.90 SQ.M	199.63 SQ.M.	2	9 M
DWELLING				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
PROPOSED WOODEN STAIRS IN REAR YARD LEADING TO BASEMENT LEVEL	2.31 SQ.M.	2.31 SQ.M.		1.5 M

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

TWO UNIT DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE FAMILY DWELLING

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2023

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE FAMILY DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE FAMILY DWELLING

7.4 Length of time the existing uses of the subject property have continued:

1 YEAR

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Residential Low Density

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1-64

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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