



Hamilton

WELCOME TO THE CITY OF HAMILTON

PLANNING COMMITTEE

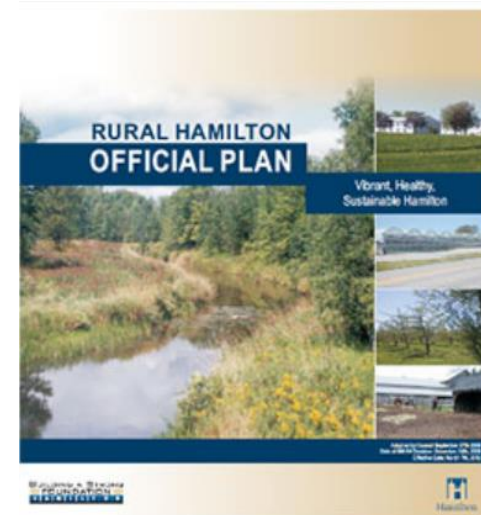
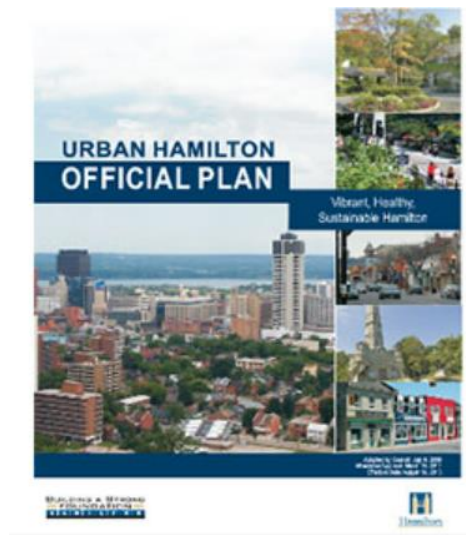
July 9, 2024

PED24113 – Housekeeping Amendments and Strategic Updates to the Urban Hamilton Official Plan and Rural Hamilton Official Plan and Modifications and Updates to City of Hamilton Zoning By-law No. 05-200 and Former City of Hamilton Zoning By-law No. 6593.

Presented by: Jennifer Allen, Sebastian Cuming and Liam Tapp

Background

- Housekeeping and updates are periodically undertaken, and form part of the ongoing maintenance of the Urban Hamilton Official Plan (UHOP) and Rural Hamilton Official Plan (RHOP).
- Updates and modifications to ensure there is clear policy implementation and ensure the Plans remain accurate and current.
- Strategic amendments implement Official Plan policy, update regulations to reflect updated standards, and address other matters of implementation and interpretation.



Background

Bill 150 - *Planning Statute Law Amendment Act, 2023*

- Modified the provincial decisions on Urban Hamilton Official Plan Amendment No. 167 and Rural Hamilton Official Plan No. 34 thus reverting the City of Hamilton's growth strategy back to a no urban boundary expansion approach to growth.

Bill 162 – *Get it Done Act, 2023*

- Amends the Official Plan Adjustments Act, 2023 to retroactively reinstate 10 Ministry of Municipal Affairs and Housing modifications to Urban Hamilton Official Plan Amendment No. 167.

Background

- The Zoning By-laws are “living documents” that need to be monitored and amended on an on-going basis
- Staff continuously identify general text and mapping amendments to provide clarity and consistency throughout Zoning By-law 05-200.
- Updates are provided to the former municipality Zoning By-laws where text or mapping errors have a more immediate impact.
- Technical updates are provided to correct or simplify existing Zoning By-law requirements to remove grammatical errors, update wording or to add provisions
- Strategic updates are zoning amendments which go beyond the scope of a technical housekeeping amendment and include amendments which implement Official Plan policy or reflect updated standards.

UHOP and RHOP Text Amendments:

- Reinstating Ministry of Municipal Affairs and Housing modifications to Urban Hamilton Official Plan Amendment No. 167 following implementation of Bill 150 and Bill 162 as well as other related amendments; and,
- Revising certain policies of the Rural Hamilton Official Plan to align with policies of the Greenbelt Plan, 2017.
- Revising policies to have consistent language throughout the Plans and with Zoning By-law 05-200;
- Adding a policy to allow minor revisions to Official Plan Amendments between Planning Committee and Council; and,
- Clarifying/correcting policy intent by adding, deleting and/or replacing wording.

UHOP and RHOP Mapping Amendments:

- Creating consistency between schedules and/or maps and correcting mapping errors.
- Correcting misalignments of road networks on schedules and/or maps to align with approved Draft Plan of Subdivisions.
- Adding the entirety of parcels of land to a Secondary Plan boundary where only a portion of the lands are currently within the boundary;
- Redesignating a TransCanada Pipeline property from “Neighbourhoods” to “Utility”

Technical Updates to Hamilton Zoning By-law No. 05-200

- To amend certain Special Exceptions and Holding Provisions;
- To amend certain Definitions;
- To update terminology for consistency purposes; and,
- To provide grammatical and clerical corrections.

Technical Updates to Hamilton Zoning By-law No. 05-200

cont.

- To correct an error under Special Exception 375 to remove the address **481 Barton Street, Stoney Creek** from the Special Exception list.
- To add a new Special Exception No. 900 to the property located at **245 Mill Street, Dundas** to recognize an existing Medical Clinic and Personal Service use on the lot
- To add a new Special Exception No. 901 to the property located at **221 York Boulevard, Hamilton**, to recognize an existing Commercial Parking Facility associated with a Place of Worship on the lot in accordance with item 11 of Planning Committee Report 24-003
- To add a new Special Exception No. 902 to the property located at **40 Wood Street East, Hamilton** to recognize an existing Community Centre use on the lot
- To change the Zoning of the lands located at **1368 Barton Street East, Hamilton** from the Parking (U3) Zone to the Mixed-Use Medium Density (C5) Zone to reflect the discontinuation of the use of the lands as a municipal parking lot and repurpose the lands for redevelopment

Technical Updates to Hamilton Zoning By-law 6593

- To delete a Holding Provision on a property located at **1126 Garth Street, Hamilton** to permit a residential housing development of 10 townhouse units intended to be affordable housing, as noted in Report:

PED23099(a)/HSC23028(a))

This is Schedule "A" to By-law No. 24-		----- Mayor
Passed the day of, 2024		----- Clerk
<p align="center">Schedule 'A'</p> <p align="center">Map forming part of By-law No. 24-_____</p> <p align="center">to Amend By-law No. 6593</p>		<p>Subject Property 1126 Garth Street, Hamilton</p> <p> Change in Zoning from the "RT-20-H" (Townhouse - Maisonette - Holding) District, to the "RT-20" (Townhouse - Maisonette) District</p>
Scale: N.T.S.	File Name/Number: CI-24-D	
Date: May 22, 2024	Planner/Technician: TVJ/AL	
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT		

Strategic Updates to Hamilton Zoning By-law No. 05-200

- Amend the existing definition of Agritourism to restrict a Farm Labour Residence from forming part of the Agritourism use;
- Establish setback requirements specific to TransCanada PipeLines Limited rights-of-way which align with their current standards and regulations;
- Reduce the maximum permitted gross floor area for an individual office building to 4,000 sq m in certain Zones in order to implement Official Plan Amendment No. 167;
- Remove a restriction in the District Commercial (C6) Zone requiring Medical Clinic and Office uses to be located above the first storey of a building; and
- Add new permissions for a Pipeline and Associated Facilities use to the Utility (U2) Zone which reflects the intent of the Zone to permit and regulate utility uses.

Strategic Updates to Hamilton Zoning By-law No. 05-200

1020 Rymal Road East, Hamilton

- Add lands owned by TransCanada PipeLines Limited, known as 1020 Rymal Road East, Hamilton, to Hamilton Zoning By-law No. 05-200 and zone Utility (U2) Zone

329, 337, and 345 Parkside Drive, Flamborough

- Change the zoning of parts of lands known as 329, 337 and 345 Parkside Drive, Flamborough, from the Rural (A2, 179) Zone to the Major Institutional (I3, 179, H176) Zone
- Amend Special Exception 179
- Establish a new Holding Provision H176

Consultation

- Staff from the Planning Division provided input on proposed amendments to the Official Plans and Zoning By-laws;
- Notice of Public Meeting posted in Hamilton Spectator on June 18, 2024 and individual mail outs sent on June 26, 2024.



Hamilton

THANK YOU FOR ATTENDING

THE CITY OF HAMILTON PLANNING COMMITTEE