



SW CORNER VIEW- BUILDING



WEST VIEW- BUILDING



WEST VIEW 1- PODIUM



SOUTH VIEW- PODIUM



SE CORNER VIEW- PODIUM



SW CORNER VIEW- PODIUM



WEST VIEW 2- PODIUM

COLETARA

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- GENERAL NOTES**
1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 2. ALL WORK SHALL COMPLY WITH THE 2012 ONTARIO BUILDING CODE AND AMENDMENTS.
 3. CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 4. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL HAVE A SET OF APPROVED CONTRACTOR DOCUMENTS ON SITE AT ALL TIMES.
 5. ALL DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT. UNAUTHORIZED USE, MODIFICATION, AND/OR REPRODUCTION OF THESE DOCUMENTS IS PROHIBITED WITHOUT WRITTEN PERMISSION. THE CONTRACT DOCUMENTS WILL BE REPAID BY THE CONSULTANT FOR THE ACCOUNT OF THE OWNER.
 6. THE MATERIAL CONTAINED HEREIN SUBJECTS THE CONSULTANT BEST EFFORTS TO THE BEST OF HIS INFORMATION AVAILABLE TO HIM AT THE TIME OF PREPARATION. ANY USE WHICH A THIRD PARTY MAKES OF THE CONTRACT DOCUMENTS, OR ANY RELEASE OR/USE DECISIONS TO BE MADE BASED ON THEM ARE THE RESPONSIBILITY OF SUCH THIRD PARTY.
 7. THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR ACTIONS BASED ON THE CONTRACT DOCUMENTS.



KEY PLAN

Rev	Date	Description
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name: **Genesis Condominiums**

Project Address: **101 Hunter Street East,
Hamilton, Ontario**

Title: **Conceptual 3D
Views**

Purpose of Views: **OPA/ZBA Resubmission
UHOPA-21-007 &
ZAC-21-014**

Drawn by: **VR** Checked by:

Date: **22-10-07**

Project No.:

Scale: **A101(a)** Orig No.:



SE CORNER VIEW- BUILDING



NE CORNER VIEW- BUILDING



WEST VIEW- TOWER TOP



SW VIEW- TOWER TOP



NW VIEW- TOWER TOP



NE CORNER VIEW- PODIUM



SE CORNER VIEW- PODIUM

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- GENERAL NOTE:**
1. ALL SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 2. ALL WORK SHALL COMPLY WITH THE 2012 ONTARIO BUILDING CODE AND AMENDMENTS.
 3. CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 4. ALL CONTRACTORS AND SUB CONTRACTORS SHALL HAVE A LIST OF APPROVED CONTRACTOR DOCUMENTS ON SITE AT ALL TIMES.
 5. ALL DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT. UNAUTHORIZED USE, REPRODUCTION AND/OR REPRODUCTION OF THESE DOCUMENTS IS PROHIBITED WITHOUT WRITTEN PERMISSION. THE CONTRACT DOCUMENTS WERE PREPARED BY THE CONSULTANT FOR THE ACCOUNT OF THE OWNER.
 6. THE MATERIAL CONTAINED HEREIN REFLECTS THE CONSULTANT'S BEST JUDGMENT IN LIGHT OF THE INFORMATION AVAILABLE TO HIM AT THE TIME OF PREPARATION. ANY DISCREPANCY BETWEEN THE MATERIALS OF THE CONTRACT DOCUMENTS, OR ANY SERVICE CHARGE DECISIONS TO BE MADE BASED ON THEM ARE THE RESPONSIBILITY OF SUCH THIRD PARTIES.
 7. THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR DAMAGES, AND IS NOT LIABLE TO ANY THIRD PARTY, AS A RESULT OF DECISIONS MADE OR ACTIONS BASED ON THE CONTRACT DOCUMENTS.



KEY PLAN

Rev	Date	Description
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name
Genesis Condominiums

Project Address
101 Hunter Street East,
Hamilton, Ontario

Title
Conceptual 3D Views

Purpose of Issue
**OPA/ZBA Resubmission
UHOPA-21-007 &
ZAC-21-014**

Drawn by

VR

Checked by

Date
22-10-07

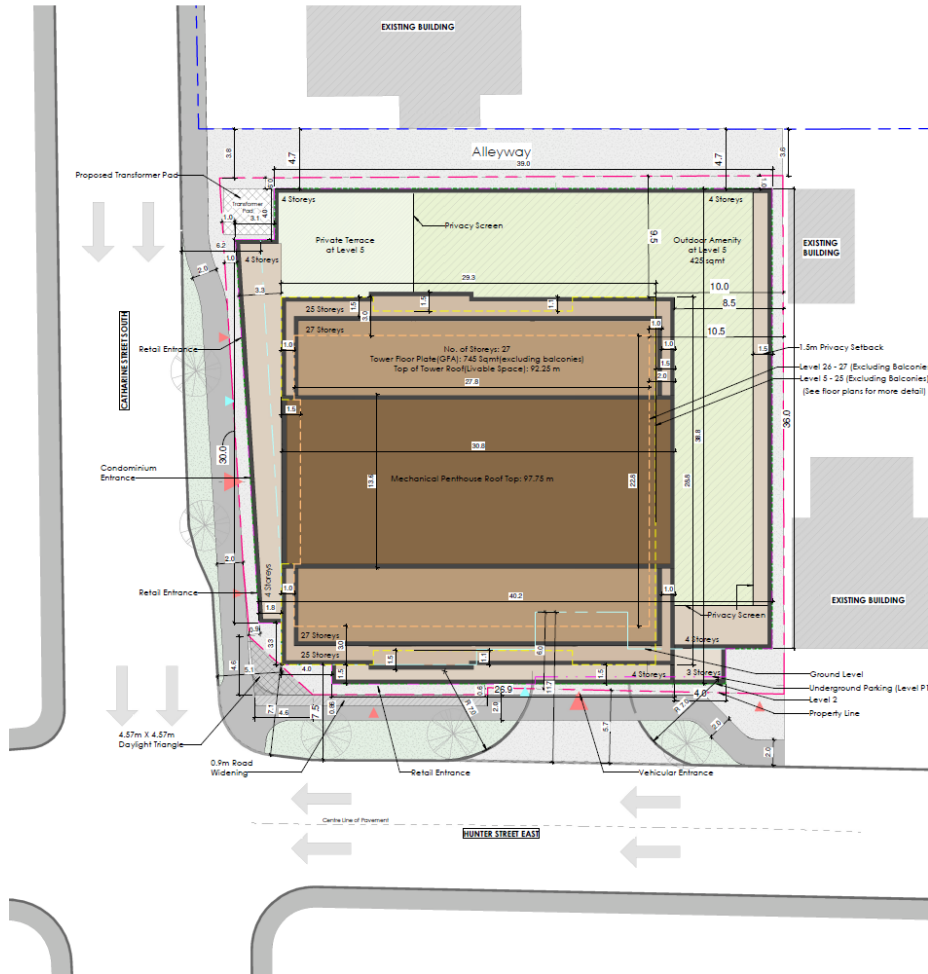
Project No.

-

Scale

Draw No.

A101(b)



1 SITE PLAN
1:150

SITE PLAN STATISTICS	
Net Lot Area	1,759 sq. m.
Lot Frontage	38.0m x 37.3m
	75.8m
	50%
Required:	More than 50%
Lot Size +	
Frontage Lot	
Lot Area	43m min.
Net Building Area	1,560 sq. m.
Building Coverage	88.7%
Building Height	52.25 m (Top of Incline Board)
Average Grade Elevation	97.65 m
Building Storey	27 Storey
Commercial GFA	349 sq. m. (0 Parking Spaces)
Parking Proposed	
P1	22 Spaces
Level 2	7 Spaces
Level 2-7	47 Spaces
Level 0	26 Spaces
Total	102 Spaces (9 Small Cars)
Lockers And Long Term Bike Parking	140 Spaces
Short Term Bike Parking	30 Spaces

ZONING STATISTICS	
Net Lot Area	1,759 sq. m.
Proposed Building Coverage	88.7%
Gross Floor Area	24,571 sq. m.
Building Height Proposed & Permitted (Top of Incline Board)	Proposed: 52.25 m Permitted: 44.0 m
No. Of Residential Units	280 Units
No. Of Parking Spaces Proposed	102 Spaces
Required:	102 Spaces
(i) Dwelling units less than 50 square metres in gross floor area:	102 Units
Units 1-2 2 per unit 12 0+0 0 Spaces	
Units 2-7 0.5 per unit 109 0+0 45.0 Spaces	
(ii) Units greater than 50 square metres in gross floor area:	138 Units
Units 1-2 2 per unit 12 0+0 0 Spaces	
Units 2-8 0.5 per unit 38 0+0 2.0 Spaces	
Units 9-11 0.7 per unit 85 0+0 4.0 Spaces	
(iii) Units with no more than 2 storeys:	0 Units
Units 1-2 2 per unit 0 0+0 0 Spaces	
Units 3-11 0.5 per unit 0 0+0 0 Spaces	
TOTAL	133 Spaces
No. Of Visitor/Office Parking Required	10 Spaces
Required	10 Spaces
Provided	10 Spaces
Amenity Areas	4 sq. m. per unit
Required	248 sq. m.
Provided	270 sq. m.
Outdoor Amenity	450 sq. m.
TOTAL	102 sq. m. per unit

BUILDING STATISTICS							
FLOOR	GFA		GFA		# Floors	# Total Units	# Parking
	Sq. m.	Sq. Ft.	Sq. m.	Sq. Ft.			
P1	1,547	16,647	1,501	16,177	1	-	22
Level 1	1,409	15,169	1,364	14,699	1	-	7
Level 2 (Parking)	1,560	16,788	1,514	16,318	1	-	23
Level 3 (Parking)	1,560	16,788	1,514	16,318	1	-	24
Level 4 (Parking)	1,549	16,669	1,503	16,259	1	-	26
Level 5	791	8,514	765	8,284	1	8	5
Level 06-25	15,819	170,270	14,907	160,870	20	260	100
Level 26-27	1,256	13,518	1,165	12,578	2	12	12
Mechanical Penthouses	404	4,348	358	3,878	1	0	0
TOTAL GFA	25,893	278,710	24,571	265,080	27	280	165

LEGEND	
- - - - -	Underground Parking (Level P1)
- - - - -	Ground Level
- - - - -	Level 2
- - - - -	Level 5-25 (Excluding Balconies)
- - - - -	Level 26-27 (Excluding Balconies)
- - - - -	Property Line
- - - - -	Sidewalk (2m Wide)
- - - - -	Outdoor Amenity Area
- - - - -	Enhance/Exit
- - - - -	Exit Only
- - - - -	Hardscape (See Conceptual Landscape Plan for Details)
- - - - -	Softscape (See Conceptual Landscape Plan for Details)

Customize the building's current surface conditions. The architect has been determined to be an area of architectural heritage. Although an architectural heritage area is not designated by the City of Hamilton, the architect is advised that during development, the building's architectural heritage should be preserved. The Ontario Ministry of Heritage, Sport, Tourism and Culture Industries (MHTCI) should be notified immediately (416-371-8888). In the event that further inquiries are required during construction, the architect should immediately contact both MHTCI and the Registrar or Deputy Registrar of the Companies Registration Unit of the Ministry of Government and Consumer Services (416-371-5769).

COLETARA

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- GENERAL NOTES**
1. DO NOT SCALE DRAWING. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.
 2. ALL WORK SHALL COMPLY WITH THE 2012 CANADIAN BUILDING CODE AND AMENDMENTS.
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 6. THE ARCHITECT'S CONSULTANT HEREBY ACCEPTS THE CONSULTANT'S BEST JUDGMENT IN LIGHT OF THE INFORMATION AVAILABLE TO HIM AS TO THE USE OF MATERIALS AND TO BE USED IN A THIRD PARTY'S USE OF THESE DOCUMENTS OR ANY REVISIONS THEREON OR DECISIONS TO BE MADE BASED THEREON ARE THE RESPONSIBILITY OF SUCH THIRD PARTIES.
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Rev	Date	Description
4	10/23/23	OPA/ZBA Submission 4
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name
Genesis Condominiums

Project Address
101 Hunter Street East,
Hamilton, Ontario

Conceptual Site Plan

Project No.
**OPA/ZBA Resubmission
UHOPA-21-007 &
ZAC-21-014**

Drawn by
VR

Date
23-02-28

Project No.
-

Scale
-

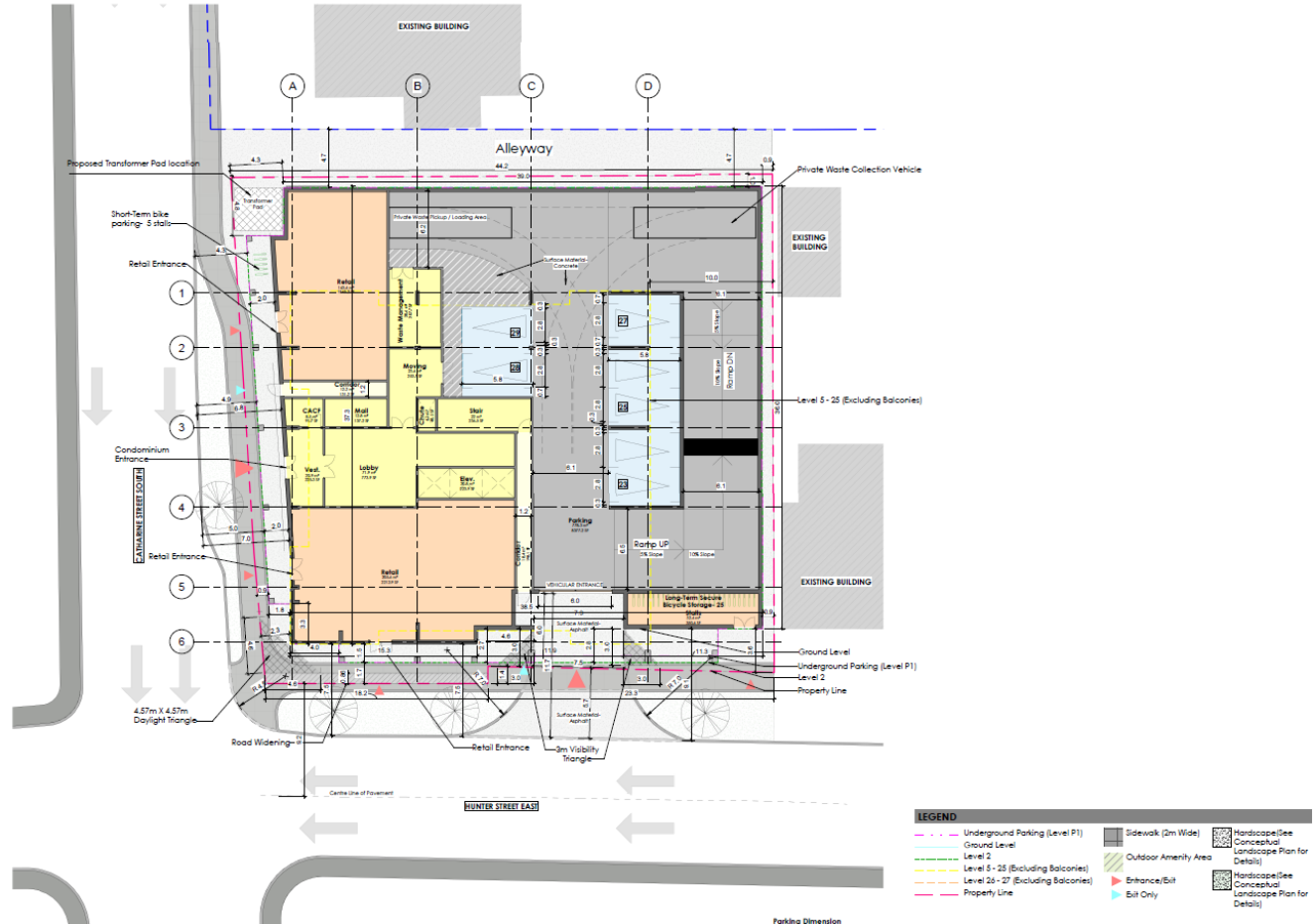
Sheet No.
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Checked by
-

North
-

A102

LEVEL 1 GFA: 1,364 Sqm²



1 Level 1
1:150

Parking Dimension

- Standard car : 2.8 m x 5.8 m
- Small car : 2.6 m x 5.5 m
- Barrier Free : 4.4m x 5.8 m
- Wall Column Obstruction : Additional 0.3 m

BUILDING STATISTICS						
FLOOR	GCA	GFA	# PARKING	RETAIL	LONG-TERM BIKE PARKING	SHORT-TERM BIKE PARKING
Level 1	1,409 Sqm ²	1,364 Sqm ²	7	349 Sqm ²	25	5

LEGEND

- Underground Parking (Level P1)
- Ground Level
- Level 2
- Level 5-25 (Including Balconies)
- Level 26-27 (Including Balconies)
- Property Line
- Sidewalk (2m Wide)
- Outdoor Amenity Area
- Entrance/Exit
- Exit Only
- Handicapped (See Conceptual Landscape Plan for Details)
- Handicapped (See Conceptual Landscape Plan for Details)



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- GENERAL NOTES:**
- 30% MORE SQUARE METERS, HEIGHTS, DISTANCES SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 - ALL WORK SHALL COMPLY WITH THE 2010 ONTARIO BUILDING CODE AND AMENDMENTS.
 - CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL HAVE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
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 - THE MATERIAL CONTAINED HEREIN REFLECTS THE CONSULTANT'S BEST JUDGMENT IN LIGHT OF THE INFORMATION AVAILABLE TO HIM AT THE TIME OF PREPARATION. ANY USE WHICH A THIRD PARTY MAKES OF THIS INFORMATION IS SOLELY HIS OWN RESPONSIBILITY AND IS NOT TO BE MADE BASED ON THEM ARE THE RESPONSIBILITY OF SUCH THIRD PARTY.
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Rev

Rev	Date	Description
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name
Genesis Condominiums

Project Address
101 Hunter Street East,
Hamilton, Ontario

The Conceptual Floor Plan Level 1

Revision of Issue
OPA/ZBA Resubmission UHOPA-21-007 & ZAC-21-014

Drawn by
VR

Date
22-10-07

Project No.
-

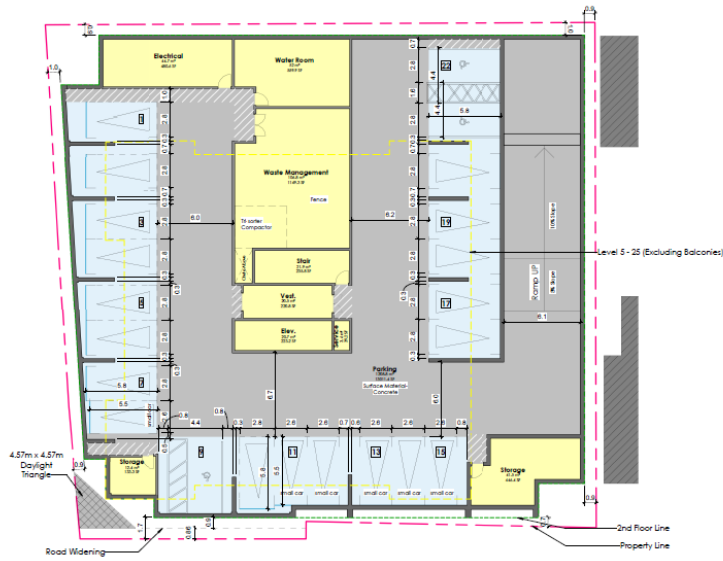
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As Indicated

Checked by
-

North

Drawn by
A103

LEVEL P1 GFA: 1,501 Sqmft



1 Level P1
1:150



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846 Parklane Drive Suite 22
Mississauga, Ontario L4W 2J1
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- GENERAL NOTES**
1. SEE AND REFER DRAWINGS, WRITTEN CONDITIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 2. ALL WORK SHALL COMPLY WITH THE 2010 ONTARIO BUILDING CODE AND REGULATIONS.
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
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 5. ALL DOCUMENTS REMAIN THE PROPERTY OF THE ARCHITECT. CONTRACTOR SHALL MAINTAIN AND PROTECT ALL DOCUMENTS OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY REVISIONS TO THE CONTRACT DOCUMENTS FROM THE ARCHITECT FOR THE ACCOUNT OF THE OWNER.
 6. THE MATERIAL CONTAINED HEREIN REFLECTS THE CONSULTANT'S BEST KNOWLEDGE AND BELIEF OF THE INFORMATION AVAILABLE TO THEM AT THE TIME OF PREPARATION. ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS, OR ANY REVISION THEREOF, SHALL BE MADE BASED ON THEM AND THE RESPONSIBILITY OF SUCH REVISIONS.
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KEY PLAN

Rev	Date	Description
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name
Genesis Condominiums

Project Address
101 Hunter Street East,
Hamilton, Ontario

**Conceptual Parking
Floor Plan Level P1**

Project of Issue
**OPA/ZBA Resubmission
UHOPA-21-007 &
ZAC-21-014**

Drawn by
VR
Date
22-10-07

Checked by



Project No.
-
Scale
As Indicated
Sheet No.
A104

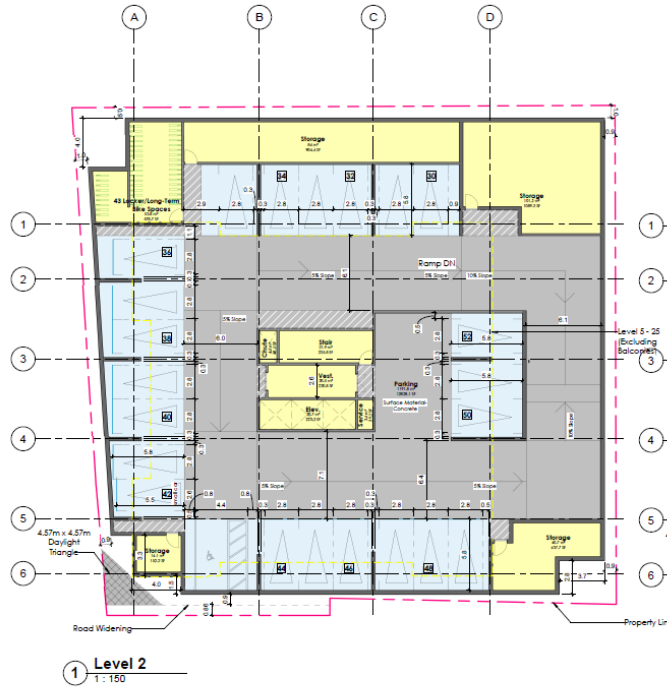
Parking Dimension

Standard car : 2.8 m x 5.8 m
Small car : 2.5 m x 5.5 m
Bumper Free : 4.4m x 5.8 m
Wall/Column Obstruction : Additional 0.3 m

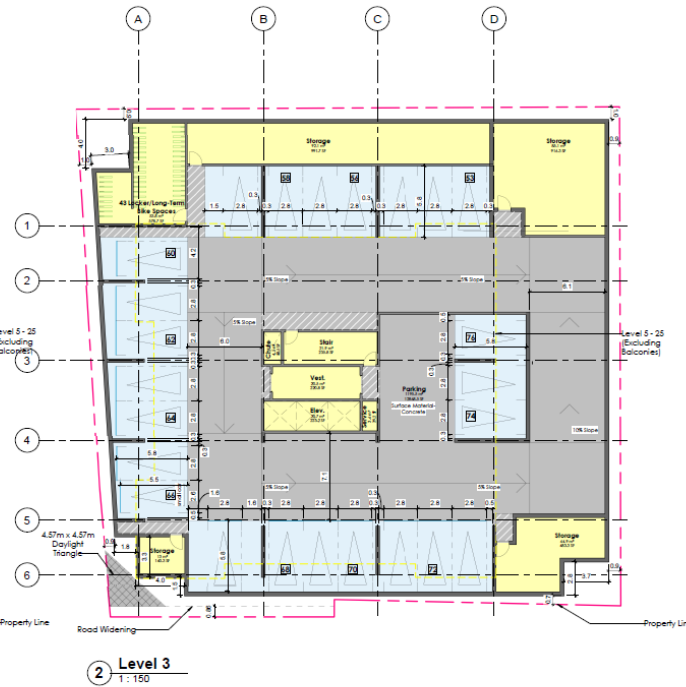
BUILDING STATISTICS			
FLOOR	GCA	GFA	# PARKING
P1	1,547 Sqmft	1,501 Sqmft	22

LEVEL 2 GFA: 1,514 Sqmt

LEVEL 3 GFA: 1,514 Sqmt



1 Level 2
1:150



2 Level 3
1:150

Parking Dimension
Standard car - 2.8 m x 5.8 m
Small car - 2.6 m x 5.5 m
Barrier Free - 4.4m x 5.8 m
Wall Column Obstruction - Additional 0.3 m

BUILDING STATISTICS					
FLOOR	GCA	GFA	# UNITS	# PARKING	BIKE PARKING/ROCKERS
Level 2	1,560 Sqmt	1,514 Sqmt	0	25	43
Level 3	1,560 Sqmt	1,514 Sqmt	0	24	43
Level 4	1,547 Sqmt	1,500 Sqmt	0	26	29



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- GENERAL NOTES**
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 2. ALL WORK SHALL COMPLY WITH THE 2012 ONTARIO BUILDING CODE AND AMENDMENTS.
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND RECONCILIATE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR PROCEEDING WITH THE WORK.
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 6. THE MATERIAL CONTAINED HEREIN REFLECTS THE CONSULTANT'S BEST JUDGMENT TO THE BEST OF HIS INFORMATION AVAILABLE TO HIM AT THE TIME OF PREPARATION. ANY DISCREPANCY BETWEEN PARTS HEREOF SHALL BE RESOLVED ON THE BASIS OF THE HIGHEST GRADE OF SUCH PARTS HEREOF.
 7. THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR DAMAGE, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR ACTIONS TAKEN ON THE CONTRACT DOCUMENTS.



Rev

Rev	Date	Description
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name
Genesis Condominiums

Project Address
101 Hunter Street East,
Hamilton, Ontario

The **Conceptual Floor Plan**
Level 2 & 3
Purpose of Plan
OPA/ZBA Resubmission
UHOPA-21-007 &
ZAC-21-014

Scale: VR Checked by:

Date: 22-10-07

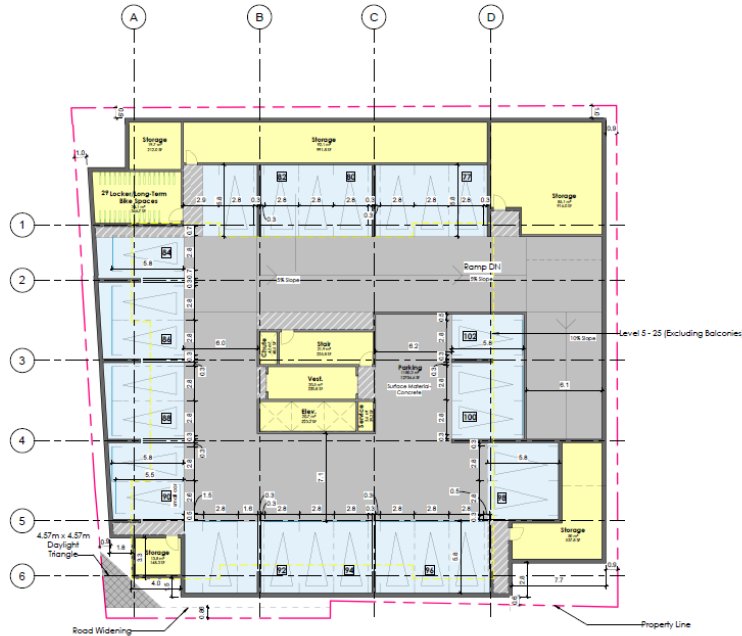
Project No.:

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Sheet No. **A105**

LEVEL 4 GFA: 1,503 Sqmt



1 Level 4
1:150

Parking Dimension

Standard car - 2.8 m x 5.8 m
Small car - 2.6 m x 5.5 m
Bicycle - 1.8 m x 0.7 m
Wall/Column Obstruction - Additional 0.3 m

BUILDING STATISTICS						
FLOOR	GCA	GFA	# UNITS	# PARKING	BIKE PARKING	LOCKERS
Level 2	1,560 Sqmt	1,514 Sqmt	0	23	43	
Level 3	1,560 Sqmt	1,514 Sqmt	0	24	43	
Level 4	1,549 Sqmt	1,503 Sqmt	0	26	29	



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2. ALL WORK SHALL COMPLY WITH THE 2012 ONTARIO BUILDING CODE AND AMENDMENTS.
3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND DIMENSIONAL ACCURACIES AND DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
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5. ALL DOCUMENTS SHALL BE THE PROPERTY OF THE ARCHITECT. CONTRACTORS USE AND/OR REPRODUCTION OF THESE DOCUMENTS FOR OTHER PROJECTS WITHOUT PERMISSION OF THE ARCHITECT SHALL BE PROHIBITED. CONTRACT DOCUMENTS SHALL BE PREPARED BY THE ARCHITECT FOR THE ACCOUNT OF THE OWNER.
6. THE ARCHITECT'S COMMENTS HEREIN REFLECT THE CONSULTANT'S BEST JUDGMENT IN LIGHT OF THE INFORMATION AVAILABLE TO THEM AT THE TIME OF PREPARATION, AND ARE SUBJECT TO THE PARTIAL REVIEW OF THE CONSULTANT'S PROFESSIONAL LIABILITY INSURANCE POLICY. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR DAMAGES, IF ANY, INCURRED BY ANY THIRD PARTY AS A RESULT OF ERRORS OR OMISSIONS MADE OR ACTIONS TAKEN ON THE CONTRACT DOCUMENTS.



Rev	Date	Description
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name: **Genesis Condominiums**

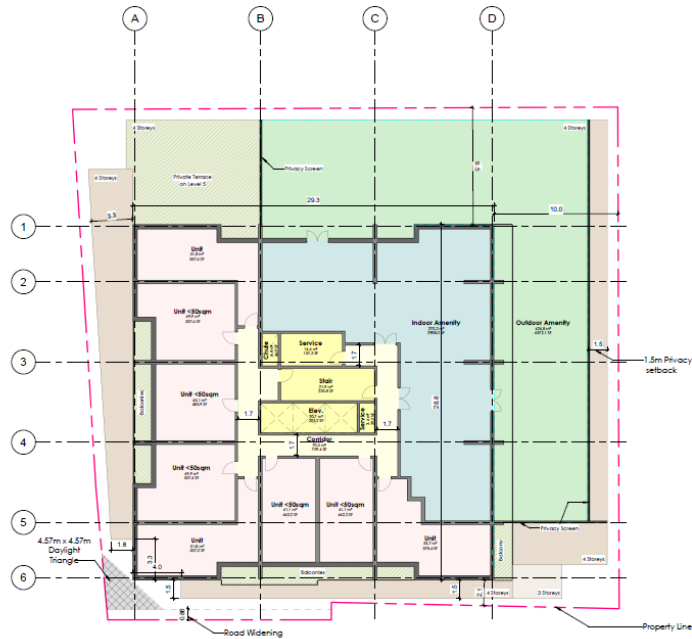
Project Address: **101 Hunter Street East, Hamilton, Ontario**

The **Conceptual Floor Plan Level 4**

Purpose of Plan: **OPA/ZBA Resubmission UHOPA-21-007 & ZAC-21-014**

Drawn by: VJR
Checked by:
Date: 22-10-07
Project No.:
Scale: As Indicated
Sheet No.: **A106**

LEVEL 5 GFA: 745 Sqmt



1 Level 5
1:150



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 7. THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, INCURRED BY ANY THIRD PARTY AS A RESULT OF DECISIONS MADE OR ACTIONS TAKEN ON THE CONTRACT DOCUMENTS.



KEY PLAN

Rev	Date	Description
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name:
Genesis Condominiums

Project Address:
101 Hunter Street East,
Hamilton, Ontario

The
**Conceptual Floor
Plan Level 5 (Outdoor
Amenity Level)**
Purpose of Plan:
**OPA / ZBA Resubmission
UHOPA-21-007 &
ZAC-21-014**

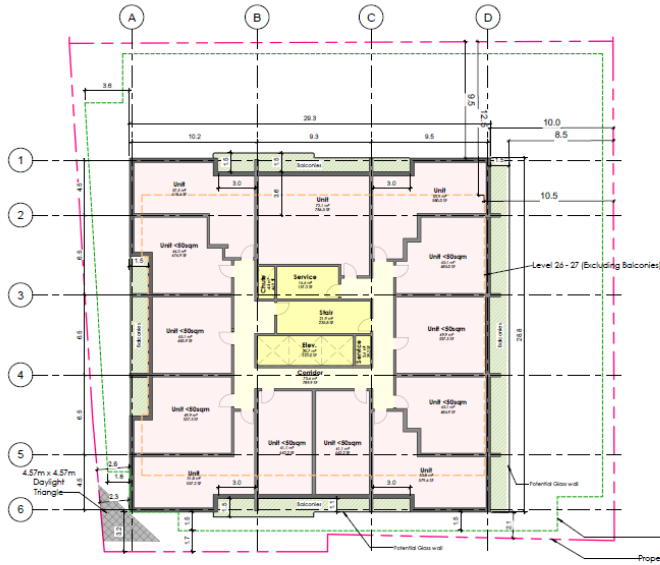
Drawn by: VJR
Date: 22-10-07
Project No.:
Scale: As Indicated
Checked by:
Date:
Drawn by:
Scale: A107

AMENITY AREA		REQUIRED	PROVIDED
		4 Sqmt per Unit	
Balconies			1200 Sqmt
Indoor Amenity			290 Sqmt
Outdoor Amenity			420 Sqmt
TOTAL			1915 Sqmt
			7 Sqmt per Unit

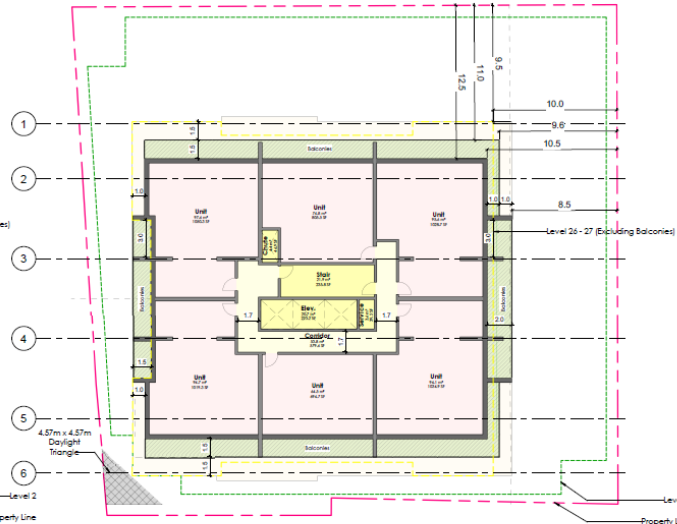
BUILDING STATISTICS				
FLOOR	GCA	GFA	# UNITS	BIKE PARKING/LOCKERS
Level 5	791 Sqmt	745 Sqmt	8	0

LEVEL 6-25 GFA: 745 Sqmt

LEVEL 26-27 GFA: 582.5 Sqmt



1 Level 6-25
1:150



2 Level 26-27
1:150



Coletara Development
94A Parkside Drive, Suite 22
Mississauga, Ontario L4V 1Z1
Ph: 1-905-544-1000
www.coletara.com

- GENERAL NOTES**
1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 2. ALL WORK SHALL COMPLY WITH THE 2010 ONTARIO BUILDING CODE AND AMENDMENTS.
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND REVISIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 4. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL HAVE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
 5. ALL DOCUMENTS REQUIRE THE REVIEW OF THE ARCHITECT. UNAUTHORIZED USE, MODIFICATION, AND/OR REPRODUCTION OF THESE DOCUMENTS IS PROHIBITED WITHOUT WRITTEN PERMISSION. THE CONTRACT DOCUMENTS WERE PREPARED BY THE CONSULTANT FOR THE ACCOUNT OF THE OWNER.
 6. ALL MATERIAL COMPARED AGAINST THE CONSULTANT'S BEST JUDGMENT TO THE BEST OF THE INFORMATION AVAILABLE TO HIM AT THE TIME OF PREPARATION, BUT WITHOUT A THIRD PARTY WITNESS. DISCREPANCIES TO THE MANUFACTURER'S LISTED DIMENSIONS, OR OF SUCH THIRD PARTIES.
 7. THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR DAMAGE, IF ANY, SUFFERED BY ANY THIRD PARTY AS A RESULT OF ACTIONS MADE OR ACTIONS BASED ON THE CONTRACT DOCUMENTS.



KEY PLAN

Rev	Date	Description
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name
Genesis Condominiums

Project Address
101 Hunter Street East,
Hamilton, Ontario

Title
Conceptual Floor Plan Level 6-25 & 26-27

Purpose of Plan
OPA/ZBA Resubmission
UHOPA-21-007 & ZAC-21-014

Drawn By: VJR Checked By:

Date:
22-10-07

Scale:
As Indicated



A108

BUILDING STATISTICS				
FLOOR	# FLOORS	GCA	GFA	# UNITS
Level 6-25	20	791 Sqmt X 20= 15,819 Sqmt	745 Sqmt X 20= 14,907 Sqmt	13X20=260
Level 26-27	2	628 Sqmt x 2= 1,256 Sqmt	582.5 Sqmt X 2= 1,165 Sqmt	6X2=12



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866 Patricia Drive Suite 202
Mississauga, Ontario L4W 2E1
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- GENERAL NOTE:**
1. ALL NOT TO SCALE DRAWINGS, WRITTEN CONDITIONS SHALL HAVE PRECEDENCE OVER GRAPHIC CONDITIONS.
2. ALL WORK SHALL COMPLY WITH THE 2011 ONTARIO BUILDING CODE AND AMENDMENTS.
3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND REPORT A LIST OF DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
4. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL HAVE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
5. ALL DOCUMENTS BEING THE PROPERTY OF THE ARCHITECT. UNAUTHORIZED USE, REPRODUCTION, AND/OR REPRODUCTION OF THESE DOCUMENTS IS PROHIBITED UNLESS THE ARCHITECT OR CONTRACTOR HAS BEEN PREVIOUSLY WRITTEN PERMISSION BY THE ARCHITECT TO DO SO.
6. THE ARCHITECT'S CONTRACT DOCUMENTS REFLECTS THE CONSULTANT'S BEST KNOWLEDGE AT THE TIME OF PREPARATION AND USE WHICH A THIRD PARTY'S OMBAS OR THE CONSULTANT'S OMBAS OR ANY REVERSE ENGINEERING DECISIONS TO BE MADE BASED ON THEM ARE THE RESPONSIBILITY OF SUCH PARTY.
7. THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR DAMAGES, IF ANY, SUFFERED BY A THIRD PARTY AS A RESULT OF DECISIONS MADE OF ACTIONS BASED ON THE CONTRACT DOCUMENTS.



KEY PLAN

Rev	Date	Description
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name
Genesis Condominiums

Project Address
101 Hunter Street East,
Hamilton, Ontario

Site
Conceptual Elevations-1

OPA/ZBA Resubmission
UHOPA-21-007 &
ZAC-21-014

Drawn by
VR

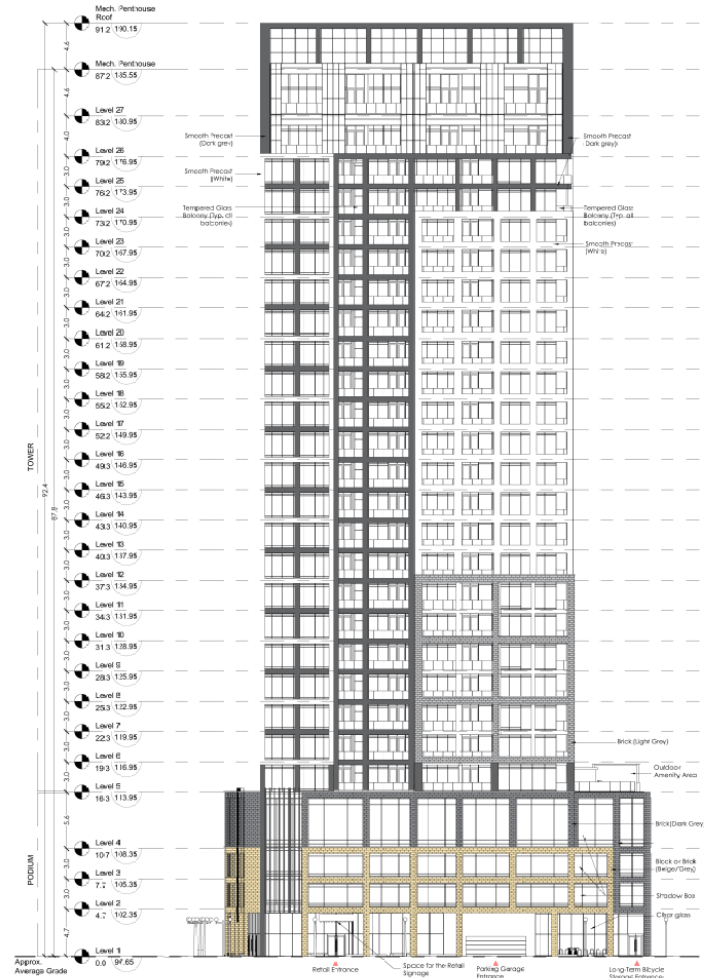
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Project No.
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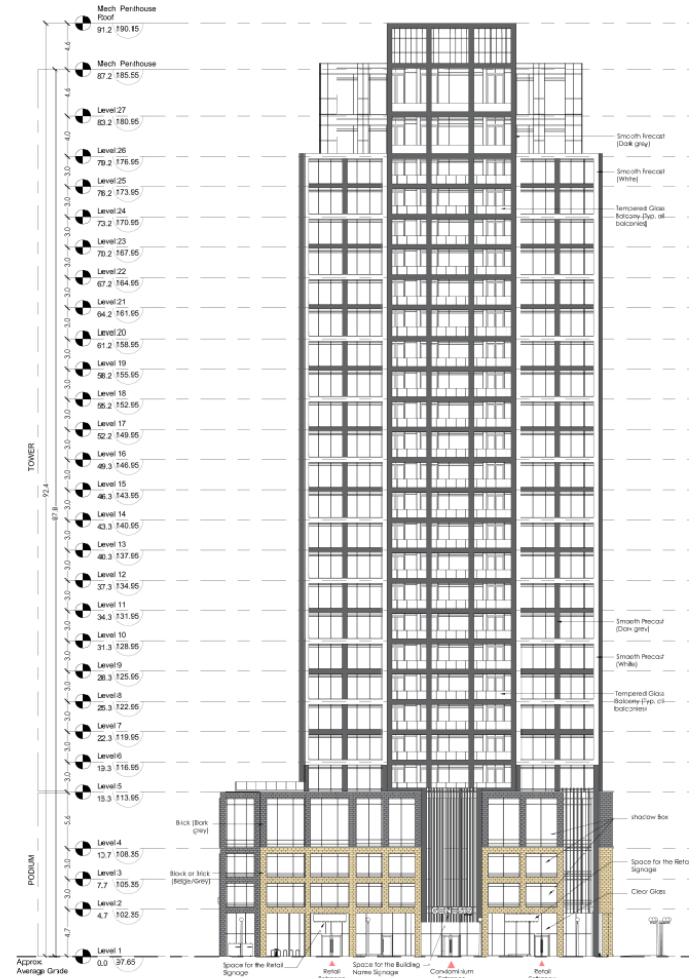
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1 South Elevation



2 West Elevation



Coletara Development
956 First Third Drive Suite 202
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- GENERAL NOTE**
1. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER CALLED DIMENSIONS.
 2. ALL WORK SHALL COMPLY WITH THE 2015 ONTARIO BUILDING CODE AND AMENDMENTS.
 3. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND SPECIFICATIONS AND REPORT A BY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 4. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL MAKE A SET OF APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
 5. ALL DECISIONS REGARDING THE PROGRESS OF THE PROJECT SHALL BE MADE BY THE ARCHITECT. ANY USE WHICH IS NOT PART OF THE CONTRACT DOCUMENTS OR ANY RESOLVE OTHER DECISIONS TO BE MADE BASED ON THEM ARE THE RESPONSIBILITY OF SUCH TRADESMEN.
 6. THE MATERIAL CONTAINED HEREIN REFLECTS THE CONSULTANT'S BEST KNOWLEDGE AND BELIEF OF THE INFORMATION AVAILABLE TO HIM AT THE TIME OF PREPARATION AND USES A REASONABLE CARE IN THE CONTRACT DOCUMENTS OR ANY RESOLVE OTHER DECISIONS TO BE MADE BASED ON THEM ARE THE RESPONSIBILITY OF SUCH TRADESMEN.
 7. THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR DAMAGES OR ANY OTHER LOSS OR INJURY AS A RESULT OF DECISIONS MADE OF ACTIONS BASED ON THE CONTRACT DOCUMENTS.



KEY PLAN

Rev	Date	Description
3	10/07/22	OPA/ZBA Submission 3
2	04/07/22	OPA/ZBA Submission 2
1	03/04/21	OPA/ZBA Submission 1

Project Name
Genesis Condominiums

Project Address
101 Hunter Street East,
Hamilton, Ontario

Site
**Conceptual
Elevations-2**

OPA/ZBA Resubmission
UHOPA-21-007 &
ZAC-21-014

Drawn by
VR

Date
22-10-07

Project No.
-

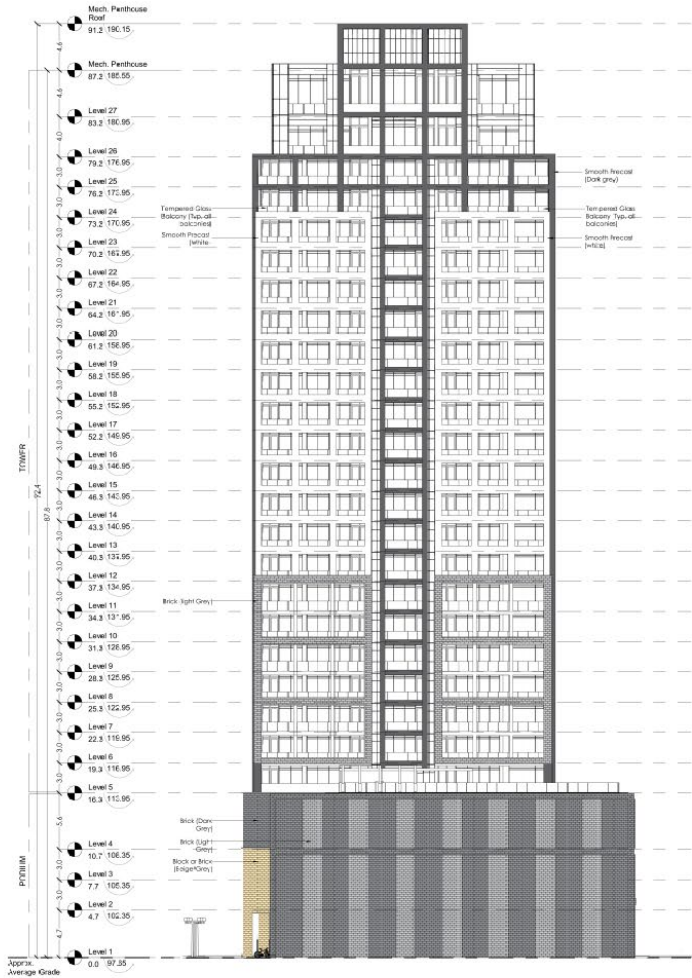
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Checked by

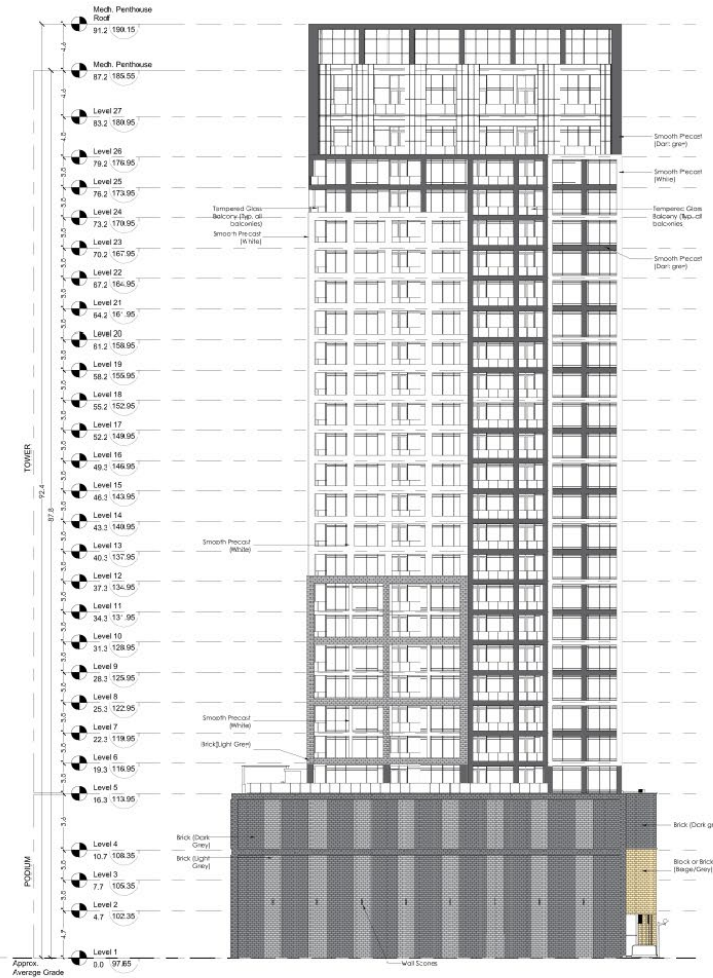


North

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3 East Elevation



4 North Elevation