



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-24:154	SUBJECT PROPERTY:	1107 Main Street West, Hamilton
ZONE:	Transit Oriented Corridor Mixed Use Medium Density (TOC1, 772)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended by By-law No. 22-163

APPLICANTS: Owner: 1107 Main Street Inc. - Darryl Firsten
 Agent: Up Consulting Ltd c/o David Galbraith

The following variances are requested:

1. A Finished Floor Elevation of any dwelling unit shall be permitted to be at grade instead of the minimum 0.5 metre Finished Floor Elevation required.
2. A maximum setback from Dow Avenue shall be 5.023 metres instead of the maximum 4.5 metres required.
3. A minimum setback shall be 9.3 metres for any portion of a building exceeding 37.5 metres in height instead of the minimum 9.3 metres required for any portion of a building exceeding 36.0 metres in height.
4. A minimum setback shall be 13.8 metres for any portion of a building exceeding 22.0 metres in height for the portion of the building abutting Cline Avenue and Dow Avenue instead of the minimum 14.3 metres required for any portion of a building exceeding 22.0 metres in height.

PURPOSE & EFFECT: So as to permit the construction of a fifteen (15) storey mixed use building.

Notes:

- i. Please note, insufficient information has been provided to determine the minimum rear yard setback to the portion of a building exceeding 22.0 metres in height. Should the proposed portion of the building exceeding 22.0 metres in height be setback less than the required 33.5 metres from the rear lot line, additional variances may be required.

A-24:154

- ii. Please note, it appears a “Gravel Stone” area is proposed along a portion of the lot line that abuts the Institutional Zone to the rear of the property and is indicated to overlap with the required 3 metres Planting Strip. Should a 3.0 metre Planting Strip, as defined under Section 3, not be provided along the lot line abutting an Institutional Zone, additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	1:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

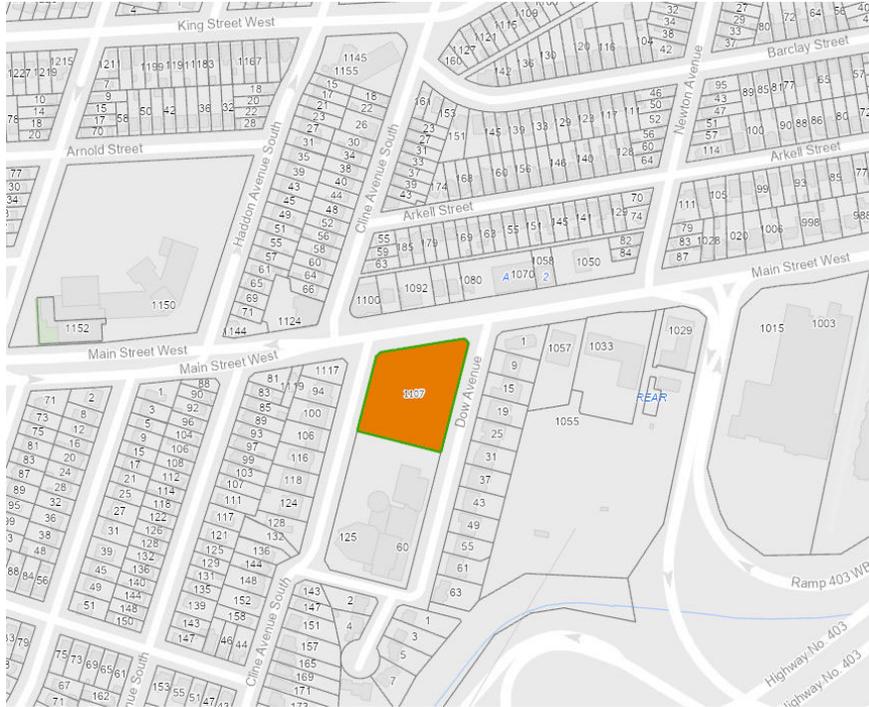
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:154, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SITE PLAN NOTES

- All work involved in the construction, relocation, repair of municipal services for the project shall be to the satisfaction of the Director of Planning and Chief Planner, Planning and Economic Development Department.
- Fire Route Signs and 3-Way Fire Hydrants shall be established to the satisfaction of the City Fire Department and at the expense of the owner.
- Main driveway dimensions at the property line boundaries are plus or minus 7.5 m unless otherwise stated.
- All driveways from property lines for the first 7.5 m shall be within 5% maximum grade, thereafter, all driveways shall be within 10% maximum grades.
- The approval of this plan does not exempt the owner's bonded contractor from the requirements to obtain the various permits/approvals normally required to complete a construction project, such as, but not limited to the following:
 - Building Permit
 - Sewer and Water Permits
 - Road Cut Permits
 - Relocation of Services
 - Approach Approval Permits
 - Encroachment Agreements (if required)
 - Committees of Adjustment
 - Sign Permits
- Abandoned accesses must be removed and the curb and boulevard resurfaced with soil at the owner's expense to the satisfaction of the Corridor Management Section, Public Works Department.
- For visibility triangles at the vehicular access points, the following note to be provided:

"5 metre by 5 metre visibility triangles in which the maximum height of any objects or mature vegetation is not to exceed a height of 0.60 metres above the corresponding perpendicular centreline elevation of the adjacent street."
- Signage is not approved through the Site Plan Process. All signs must comply with Hamilton Sign By-law No. 10-197.
- Lighting must be directed on site and must not spill over to adjacent properties or street.
- CALL BEFORE YOU DIG, arrange for underground hydro cable locate(s) and gas pipes before beginning construction by contacting Ontario One Call at 1-800-400-2255.
- Caution: Notwithstanding current surface conditions, the property has been determined to be an area of archaeological potential. Although an archaeological assessment is not required by the City of Hamilton, the proponent is cautioned that during development activities, should deeply buried archaeological materials be found on the property the Ontario Ministry of Citizenship and Multiculturalism (MCM) should be notified immediately (416-212-8896). In the event that human remains are encountered during construction, the proponent should immediately contact both MCM and the Registrar or Deputy Registrar of the Cemeteries Regulation Unit of the Ministry of Government and Consumer Services (416-212-7499).

UNDERTAKING

RE: FILE No. DA-23-003

I, (We) _____ the owner(s) of the land, hereby undertake and agree without reservation, to comply with all the content of this plan and drawing and not to vary therefrom;

(b) to perform the facilities, works or matters mentioned in Section 41(7) (a) of the Planning Act shown on this plan and drawing in accordance with the conditions of approval as set out in the Letter of Approval dated _____

(c) to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways; and,

(d) in the event that the Owner does not comply with the plan dated _____ the City may enter the land and do the required works, and the Owner authorizes the City to use the security filed to obtain _____

(e) to physically affix the municipal number (1107) or full address (1107 Main Street West) to the building or on a sign in accordance with the City's Sign By-law, in a manner that is visible from the street, to the satisfaction of the Director of Growth Management

(f) The Ultimate Streetscape Landscape Plan reflects the design of the proposed streetscape along Main Street, in the absence of a finalized LRT Corridor design plan and based on the existing street configuration, all to the satisfaction of the City. The ultimate streetscape design may change once the LRT Corridor design plan is finalized. Note conditions for securities in the External Works Agreement.

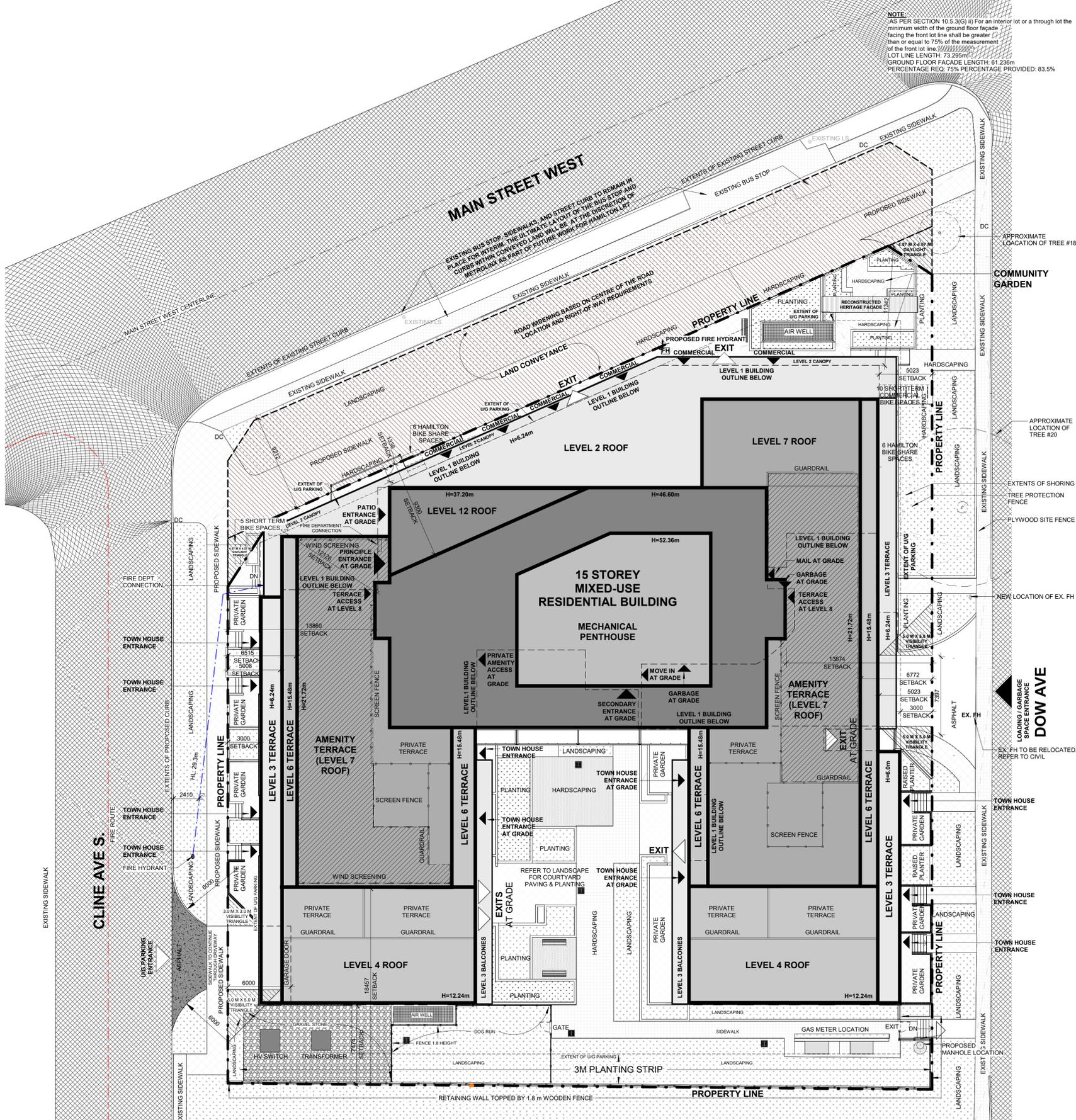
Dated this _____ day of _____, 20____

Witness (signature) _____ Owner(s) (signature) _____ (seal)

Witness (print) _____ Owner (print) _____

Address of Witness _____

Section (b) Revised March 11, 2004



SITE DATA

1107 MAIN STREET WEST, HAMILTON, ONTARIO

DATA	REQUIRED	PROVIDED
ZONING	ZONING - TOC-1	
LOT AREA - PRE ROAD WIDENING	N/A	5,169.3 m ²
LOT AREA - POST ROAD WIDENING	N/A	4,517.0 m ²
FRONT YARD (m)	MAX. 13.3' (m)	12.13 m
ABOVE 36.0 (m) HEIGHT	MIN. 9.3' (m)	9.3 m
EXTERIOR SIDE YARD (m)	MAX. 4.5' (m)	5.03 m
ABOVE 7.8 (m) HEIGHT	MIN. 5.0' (m)	5.0 m
ABOVE 16.5 (m) HEIGHT	MIN. 6.5' (m)	6.52 m
ABOVE 22.0 (m) HEIGHT	MIN. 14.3' (m)	13.86 m
REAR YARD (m)	MIN. 7.5' (m)	7.5 m
ABOVE 13.5 (m) HEIGHT	MIN. 14.5' (m)	18.46 m
ABOVE 18.0 (m) HEIGHT	MIN. 17.5' (m)	18.46 m
ABOVE 22.0 (m) HEIGHT	MIN. 33.5' (m)	33.59 m

BUILDING DATA

DATA	REQUIRED	PROVIDED
TOTAL DENSITY (# of units)	-- (units)	308 units
BUILDING AREA (m ²)	-- (m ²)	2,688.5 m ² / 28949.5 SF
GROSS FLOOR AREA** ABOVE GRADE (m ²)	-- (m ²)	19,392.2 m ² / 208735 SF
FLOOR AREA RATIO	--	3.75 (As per pre road) / 4.29 (As per post road)
UG PARKING FLOOR AREA (m ²)	-- (m ²)	7,195 m ² / 77446.34 SF
NUMBER OF STOREYS	--	15
BUILDING HEIGHT (m)	47.0' (m) MAX.	46.600 (m) to roof
COMMERCIAL AREA (m ²)	-- (m ²)	548.8 m ² / 5907 SF
RETAIL (m ²)	--	313.2 m ² / 3,371 SF
CAFE/RESTAURANT (m ²)	--	235.6 m ² / 2,535 SF
RESIDENTIAL SALEABLE AREA (m ²)	-- (m ²)	15,486 m ² / 166,699 SF
INTERIOR AMENITY AREA (m ²)	-- (m ²)	116.02 m ² / 1,248.83 SF
OUTDOOR AMENITY AREA (m ²)	--	272.2 m ² / 2,930 SF
COURTYARD	--	521.8 m ² / 5,616 SF
ROOF TERRACE	--	449.6 m ² / 4,839 SF
PRIVATE BALCONY	--	1,962 m ² / 21,119 SF

VEHICLE PARKING DATA

DATA	REQUIRED	PROVIDED
RESIDENTIAL PARKING		
a) DWELLING UNITS LESS THAN 50 SQ. M IN GFA	132	39
b) DWELLING UNITS GREATER THAN 50 SQ. M IN GFA	132	11
UNITS 1-3	0.3X3	0.9
UNITS 3-14	0.7X11	7.7
UNITS 15-50	0.85X36	30.6
UNITS 51+	1.0X82	82
TOTAL RESIDENTIAL PARKING	160	159
VISITOR PARKING	0	11
COMMERCIAL PARKING	0	--
TOTAL:	160	169

PARKING STALL BREAKDOWN

DATA	REQUIRED	PROVIDED
BARRIER FREE PARKING (INCL. UNDERGROUND - LEVEL 2)	1 + 3% = 6	7
UNDERGROUND - LEVEL 2	3 to 85 STALLS	3 to 85 STALLS
UNDERGROUND - LEVEL 1	3 to 84 STALLS	3 to 84 STALLS

BICYCLE PARKING DATA

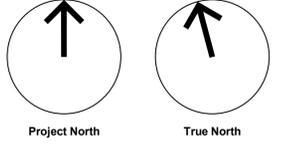
DATA	REQUIRED	PROVIDED
SHORT TERM BICYCLE PARKING		
RESIDENTIAL	5	6
COMMERCIAL	10	10
SHORT TERM TOTAL:	15	16
LONG TERM BICYCLE PARKING		
RESIDENTIAL	0.5 / units + 302 x 0.5 = 151	172
COMMERCIAL	--	0
LONG TERM TOTAL:	151	172
HAMILTON BIKE SHARE PARKING	--	6
TOTAL:	166	178

LANDSCAPING DATA

DATA	REQUIRED	PROVIDED
LANDSCAPE AREA (%)	10%	30.58%
LANDSCAPE AREA ON GRADE (m ²)	517 m ²	963.1 m ²
AMENITY TERRACE (m ²)	-	178.3 m ²

UNIT TYPE BREAKDOWN

UNITS	UNITS NO	UNITS NO
STUDIO	67	21.7%
1 BED	17	5.5%
1 BED + DEN	116	37.7%
2 BED	101	32.8%
2 BED + DEN	4	1.3%
3 BED	3	0.8%
TOTAL	308	0%



- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 - All work shall comply with the 2012 Ontario Building Code and amendments.
 - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 - All documents remain the property of the architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 - The material contained herein reflects the consultants best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on/or decisions to be made based on them are the responsibility of such third parties.
 - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.
 - FIRE ACCESS ROUTE SIGNAGE TO BE INSTALLED TO THE SATISFACTION OF THE HAMILTON FIRE DEPARTMENT.

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
32	2023-11-21	ISSUED FOR COORDINATION
30	2023-11-06	TREE REVISIONS
26	2023-08-25	ISSUED FOR SPA
25	2023-01-XX	RE-ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR OPAZBA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-08-11	RE-ISSUED FOR SPA
18	2021-04-26	ISSUED FOR COORDINATION
17	2021-04-21	ISSUED FOR REVIEW
15	2020-12-01	ISSUED FOR OPAZBA
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING

Project Name / Address: _____

**IN8
1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-003

Project No: 19052

Drawing Date: 07/22/19

Checked by: JAA

Drawn by: M.S.

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 1:01:11 PM

SITE PLAN

Drawing Scale: As indicated

Status: MINOR VARIANCE

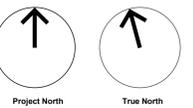
Revision No: **r40**

Drawing No: _____

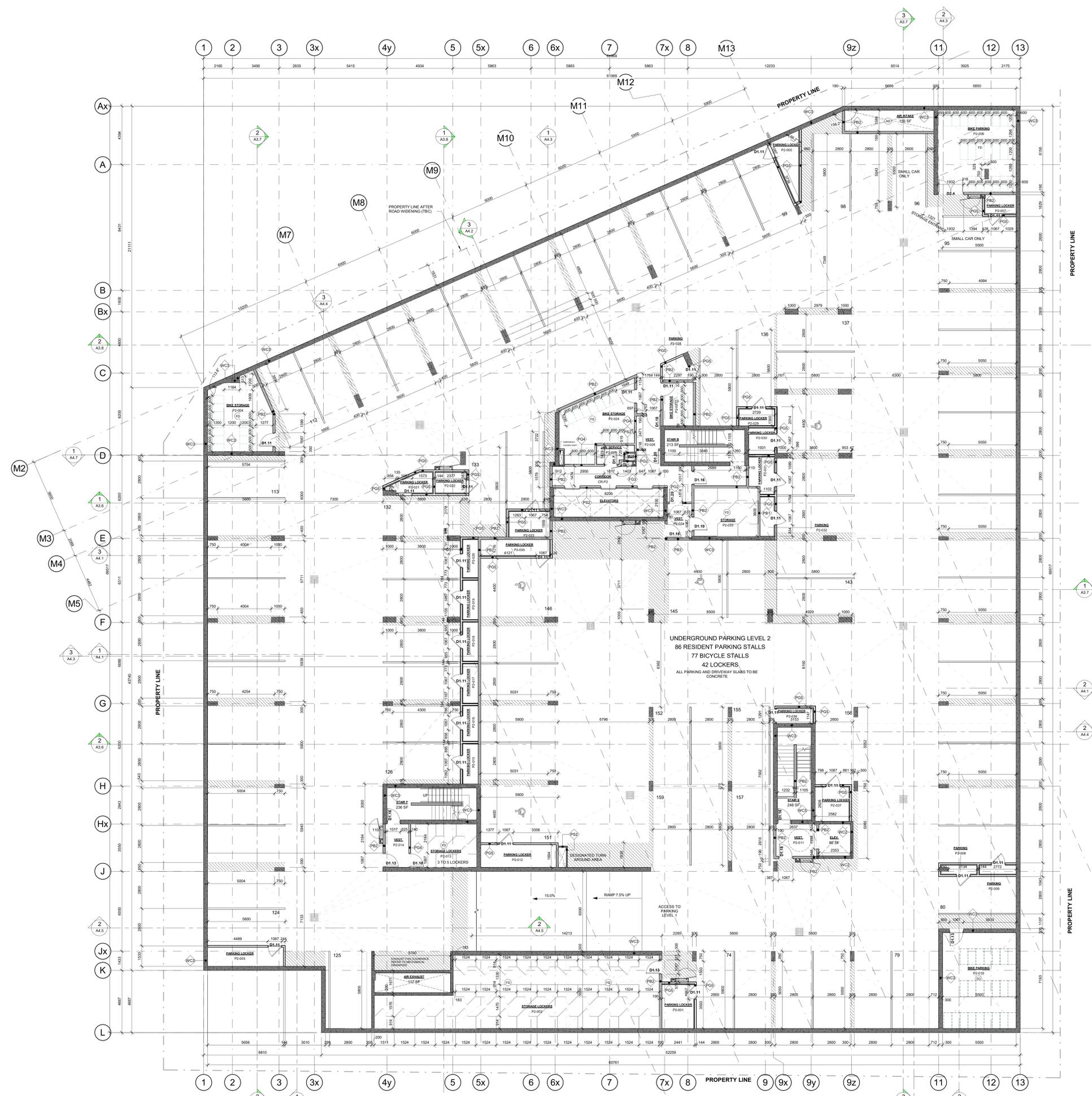


A1.1

Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The Contract Documents were prepared by the Consultant for the account of the Owner. The material contained herein reflects the Consultants best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on/or decisions to be made based on them are the responsibility of such third parties. The Consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the Contract Documents. Autodesk Docs://19052 - 1107 Main St, Hamilton (IN8)19052 - 1107 Main St West Hamilton_V2.rvt



- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is not a part of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL P2 FLOOR PLAN
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	REVISED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-11-08	STRUCTURAL COORDINATION
26	2023-09-20	ISSUED FOR SPA
24	2023-09-30	ISSUED FOR SPA
23	2023-11-28	ISSUED FOR CHAIRZA
22	2023-10-26	ISSUED FOR COORDINATION
21	2023-08-11	REVISED FOR SPA
18	2023-04-26	ISSUED FOR COORDINATION
17	2023-04-26	ISSUED FOR REVIEW
14	2023-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSTRUCTION

No. Date Revision
Date:

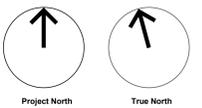
Project Name / Address:
**IN8
1107 MAIN ST. W**
City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052
Drawing Date: 12/18/19
Client: M.S. JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:39:35 PM

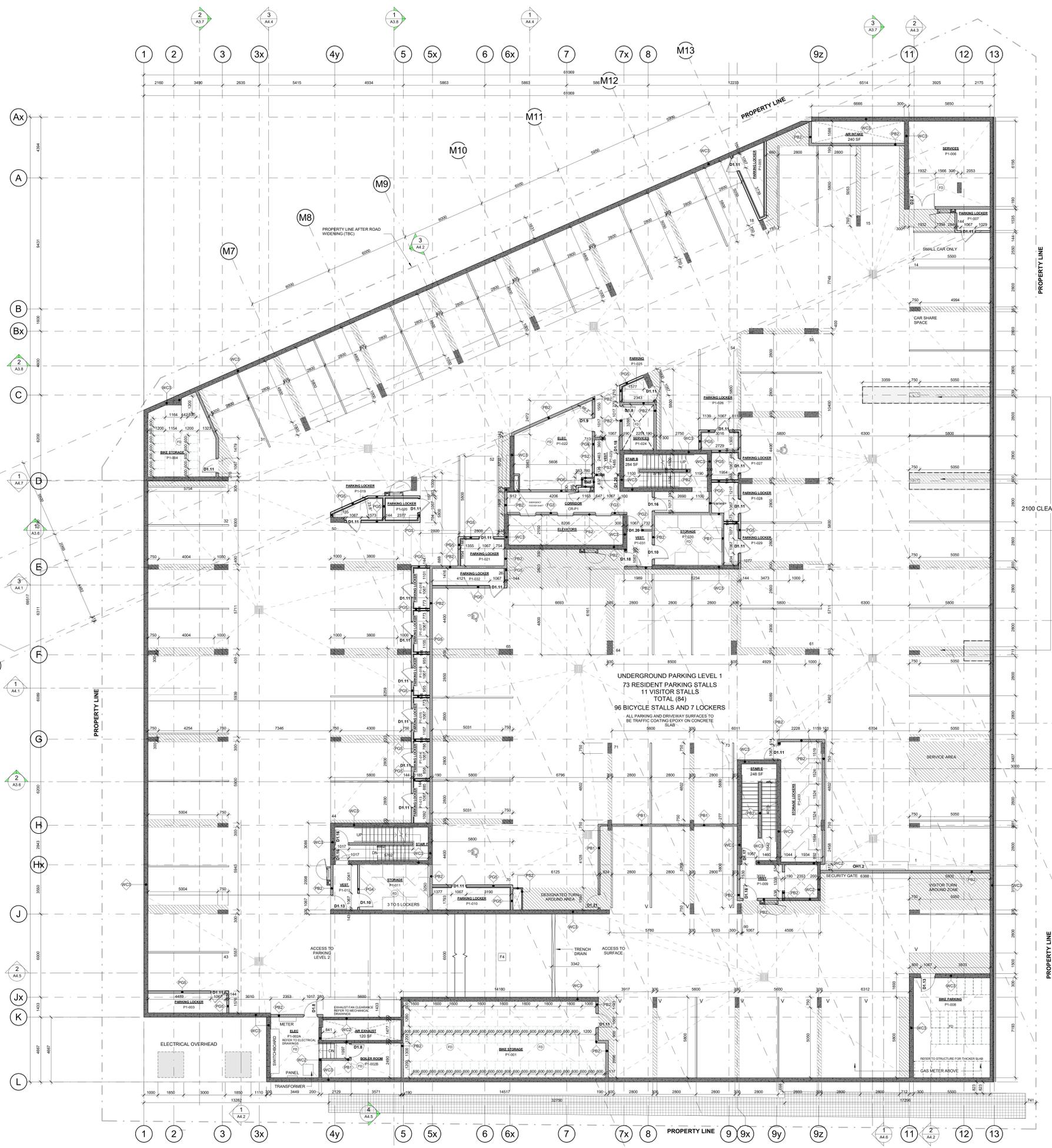
Drawing Name:
LEVEL P2 FLOOR PLAN

Ontario Association of Architects
Architects
Professional Licence
Drawing Scale: 1:100
Status: MINOR VARIANCE
Revision No: r40
Drawing No: 7524
A2.1

The information contained herein is the property of SRM architects+urban+designers. It is to be used only for the project and site for which it was prepared. No part of this information may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of SRM architects+urban+designers. The information contained herein is provided for your information only and does not constitute a contract. The information contained herein is provided for your information only and does not constitute a contract. The information contained herein is provided for your information only and does not constitute a contract.



- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is not a true reproduction of the contract documents, or any reliance, or/or decisions to be made based on them are the responsibility of such third parties.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL P1 FLOOR PLAN
1 - 100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-11-08	STRUCTURAL COORDINATION
26	2023-08-25	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR CP/ALPHA
22	2021-10-30	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
19	2021-05-04	ISSUED FOR COORDINATION
18	2021-04-26	ISSUED FOR COORDINATION
17	2021-04-21	ISSUED FOR REVIEW
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

Project Name / Address:
**IN8
1107 MAIN ST. W**

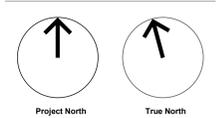
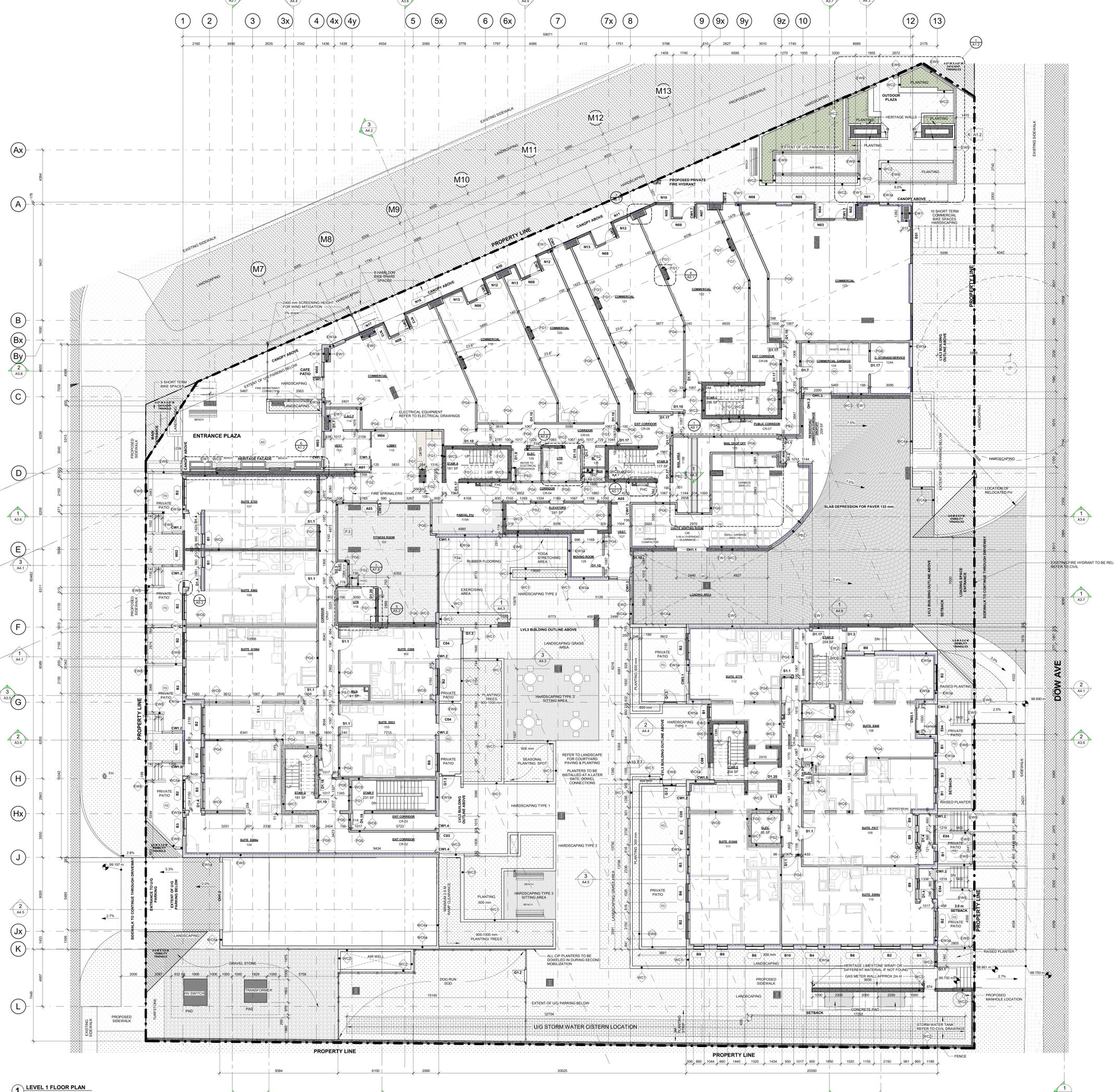
City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052
Drawing Date: 12/18/19
Checked by: M.S. JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:39:40 PM

LEVEL P1 FLOOR PLAN

Drawing Scale: 1:100
Status: MINOR VARIANCE
Revision No: **r40**
Drawing No: **A2.2**

SRM architects+urban+designers
 1107 Main St, Hamilton (NS) L8R 2K1
 905.521.1802
 The information contained herein is the property of SRM architects+urban+designers. It is to be used only for the project and site for which it was prepared. It is not to be used for any other project or site without the written consent of SRM architects+urban+designers. The information contained herein is not to be used for any other project or site without the written consent of SRM architects+urban+designers.



- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgment in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third party.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

1 LEVEL 1 FLOOR PLAN
1:100

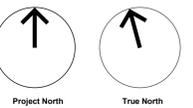
No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-04-08	ISSUED FOR EIT PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-11-08	STRUCTURAL COORDINATION
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2023-08-30	ISSUED FOR SPA
23	2023-11-28	ISSUED FOR SPA
21	2023-08-11	ISSUED FOR SPA
18	2023-04-26	ISSUED FOR COORDINATION
17	2023-04-21	ISSUED FOR REVIEW
14	2023-11-17	ISSUED FOR REZONING
13	2023-09-09	ISSUED FOR CLIENT REVIEW
11	2023-02-22	ISSUED FOR CLIENT REVIEW
10	2023-02-11	ISSUED FOR REZONING
2	2023-03-18	ISSUED FOR PRE-CONSULTATION

Project Name / Address
IN8
1107 MAIN ST. W
City of Hamilton Site Plan File Number: DA-23-023
Project No: 19052
Drawing Date: 12/18/21
Checked by: M.S. JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:39:48 PM

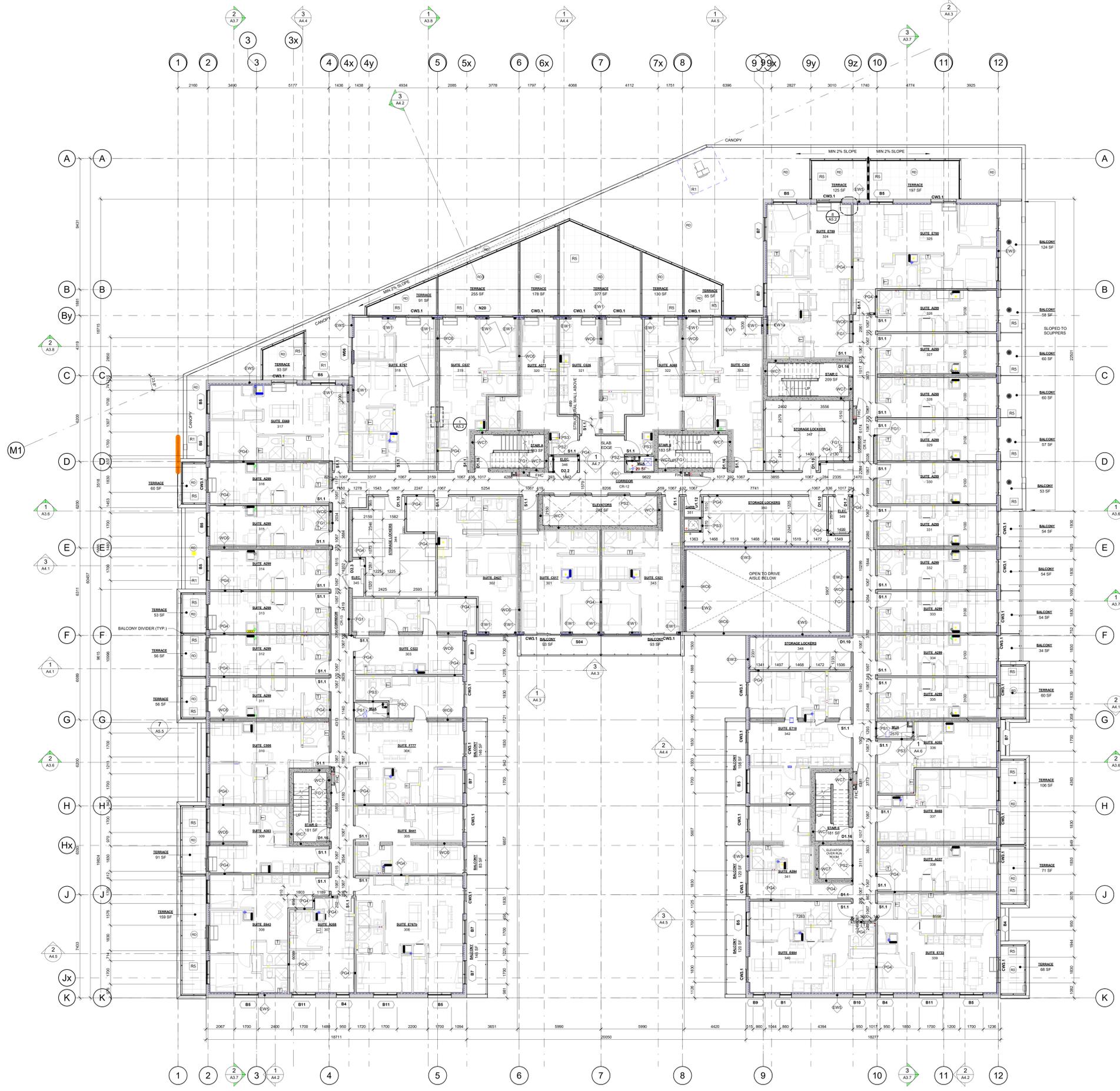
LEVEL 1 FLOOR PLAN

Drawing Scale: 1:100
Status: MINOR VARIANCE
Revision No: **r40**
Drawing No: **A2.3**

The information contained herein is the property of SRM Architects+Urban Designers. It is to be used only for the project and site identified herein. It is not to be used for any other project or site without the written consent of SRM Architects+Urban Designers. The information contained herein is not to be used for any other project or site without the written consent of SRM Architects+Urban Designers. The information contained herein is not to be used for any other project or site without the written consent of SRM Architects+Urban Designers.



- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgment in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL 3 FLOOR PLAN

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	THE ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2023-08-30	ISSUED FOR SPA
23	2023-11-28	ISSUED FOR COORDINATION
22	2023-10-26	ISSUED FOR COORDINATION
21	2023-10-11	RE ISSUED FOR SPA/2A
18	2023-10-26	ISSUED FOR COORDINATION
14	2023-11-17	ISSUED FOR REZONING
13	2023-09-09	ISSUED FOR CLIENT REVIEW
11	2023-02-22	ISSUED FOR CLIENT REVIEW
10	2023-02-11	ISSUED FOR REZONING
2	2023-03-18	ISSUED FOR PRE-CONSTRUCTION

Client: _____
 Project Name / Address: _____

IN8
1107 MAIN ST. W

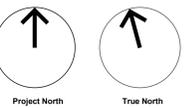
City of Hamilton Site Plan File Number: DA-23-023

SRM architects+urban+designers
 Project No: 19052
 Drawing Date: 12/18/19
 Drawn by: M.S. Checked by: JAA
 Office Location: KITCHENER
 Plot Date / Time: 5/28/2024 12:40:04 PM

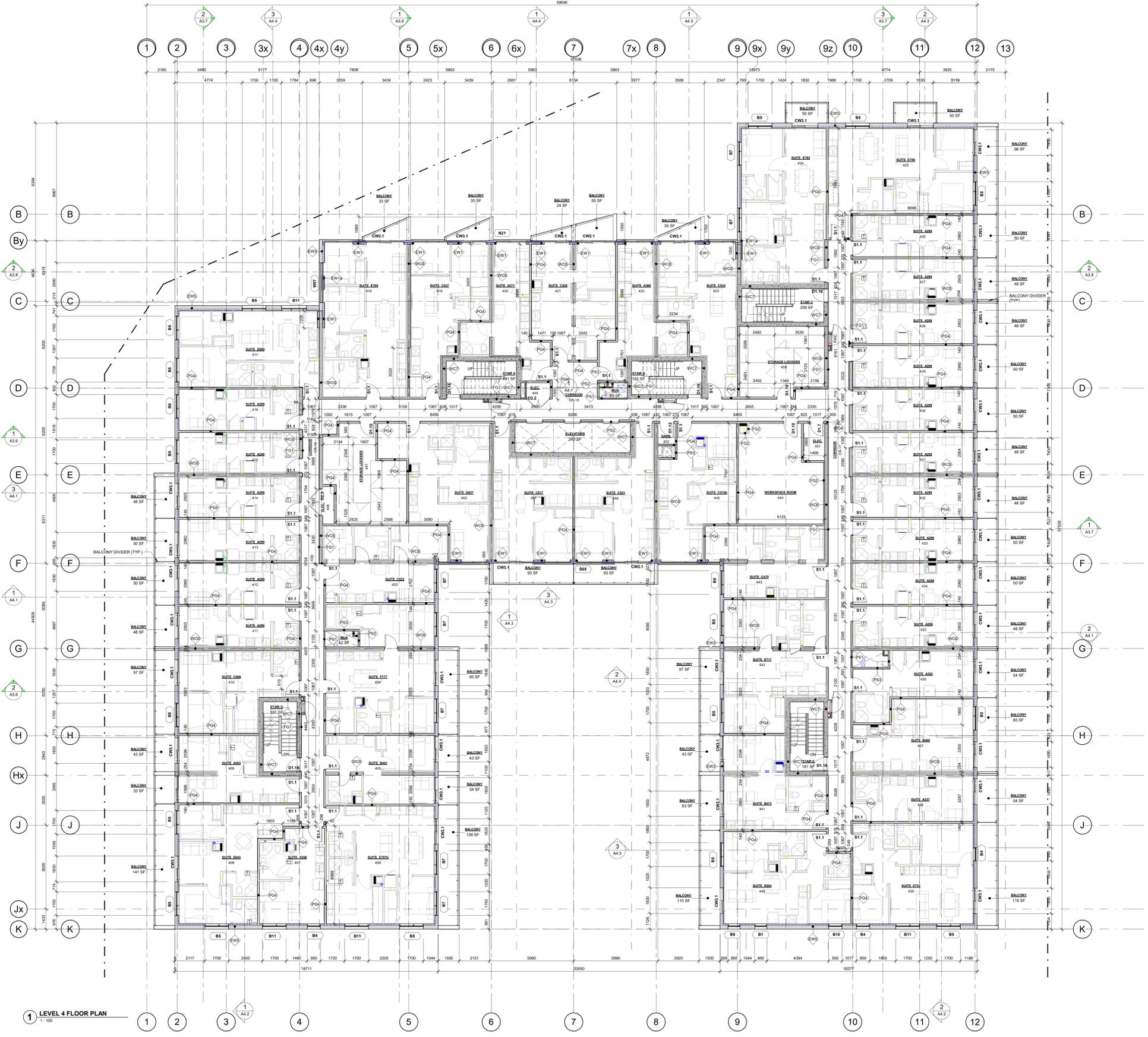
Drawing Name: **LEVEL 3 FLOOR PLAN**

Ontario Association of Architects
 Drawing No: 7554
 Drawing Title: **A2.5**
 Drawing Scale: 1:100
 Status: MINOR VARIANCE
 Revision No: r40

The material contained herein reflects the consultant's best judgment in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party's use of the contract documents, or any reliance, or/or decisions to be made based on them are the responsibility of such third party.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL 4 FLOOR PLAN
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR EPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
30	2023-11-21	ISSUED FOR COORDINATION
28	2023-08-25	ISSUED FOR EPA

Project Name / Address
**IN8
1107 MAIN ST. W**

City of Hamilton Site Plan File Number: SA-23-023

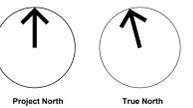
Project No: 19052
Drawing Date: 07/24/23
Client: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:40:12 PM

LEVEL 4 FLOOR PLAN

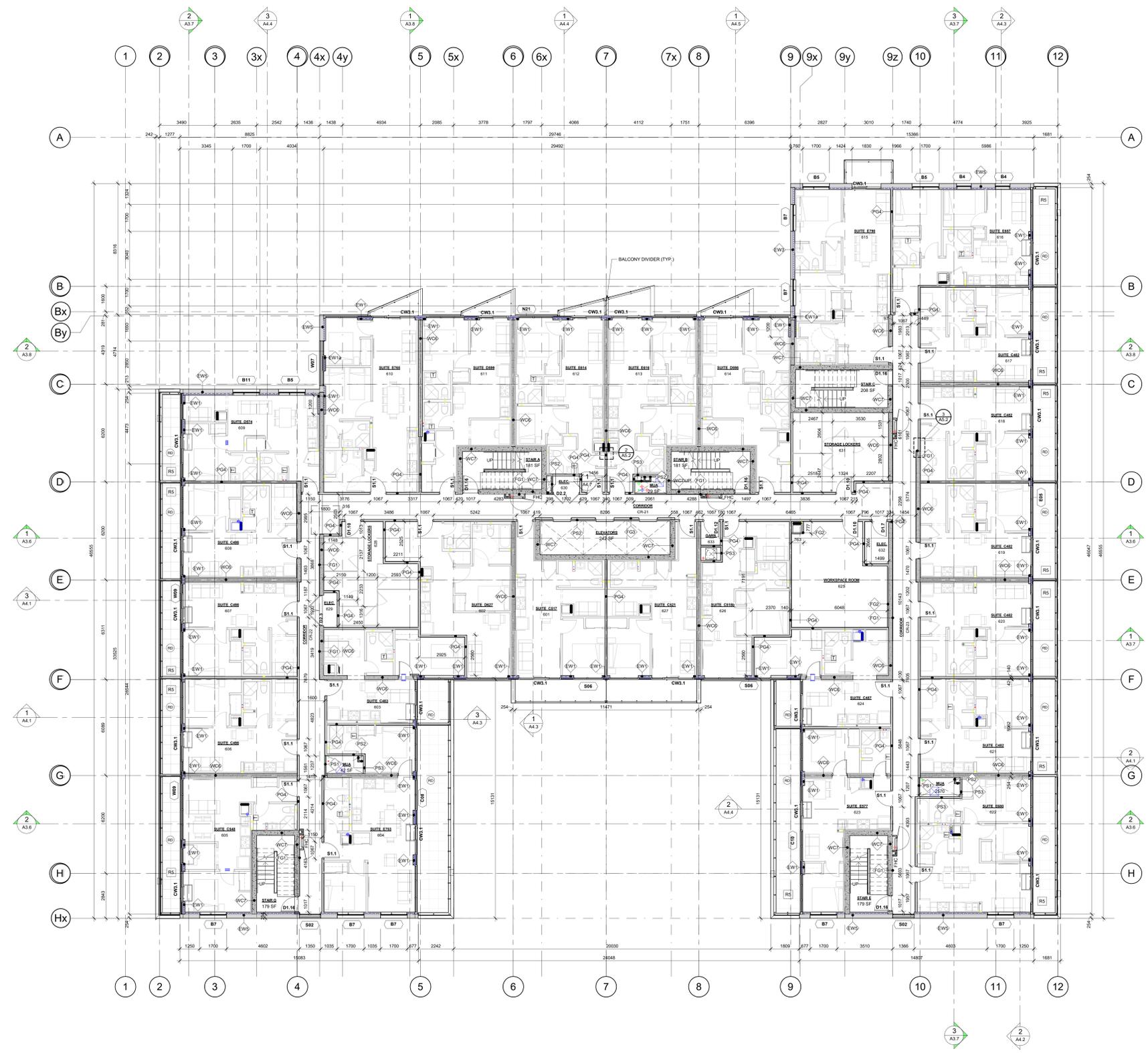
Drawing Scale: 1:100
Status: MINOR VARIANCE
Revision No: r40
Drawing No: 7554

A2.6

The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party's use of the contract documents, or any reliance, or/or decisions to be made based on them are the responsibility of such third party. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL 6 FLOOR PLAN
1 : 100

No.	Date	Revision
40	2024-09-28	ISSUED FOR MINOR VARIANCE
38	2024-09-15	REVISED FOR TENDER
37	2024-09-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-06-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
29	2023-11-13	ISSUED FOR COORDINATION
27	2023-09-19	1 ST REVISE REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA

Project Name / Address: **IN8 1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052

Drawing Date: 12/13/21

Drawn by: M.S. | Checked by: JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:40:26 PM

LEVEL 6 FLOOR PLAN

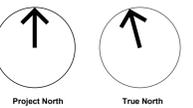
Drawing Scale: 1 : 100

Status: MINOR VARIANCE

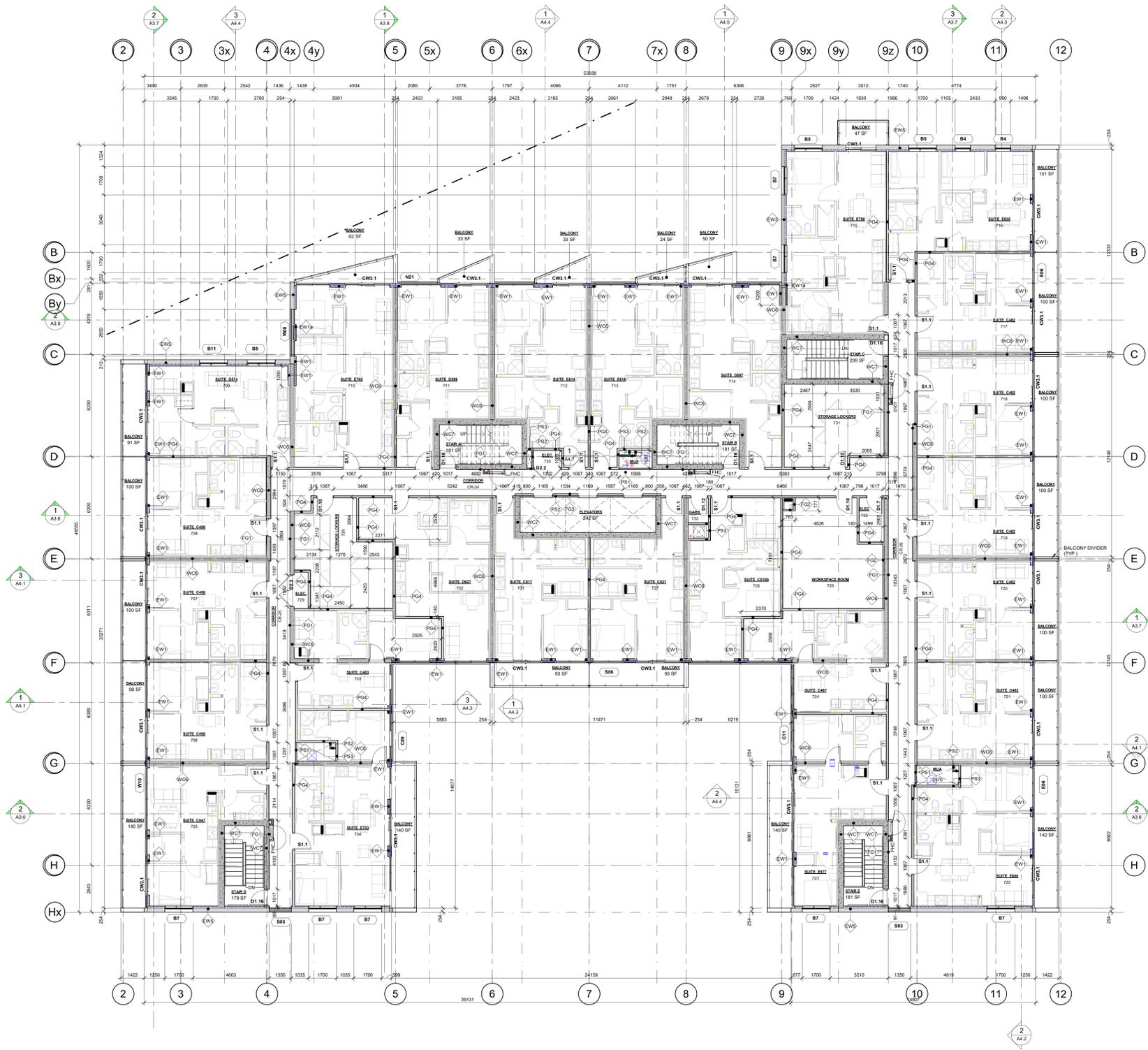
Revision No: **r40**

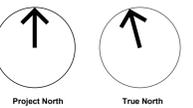
Drawing No: **A2.8**

The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

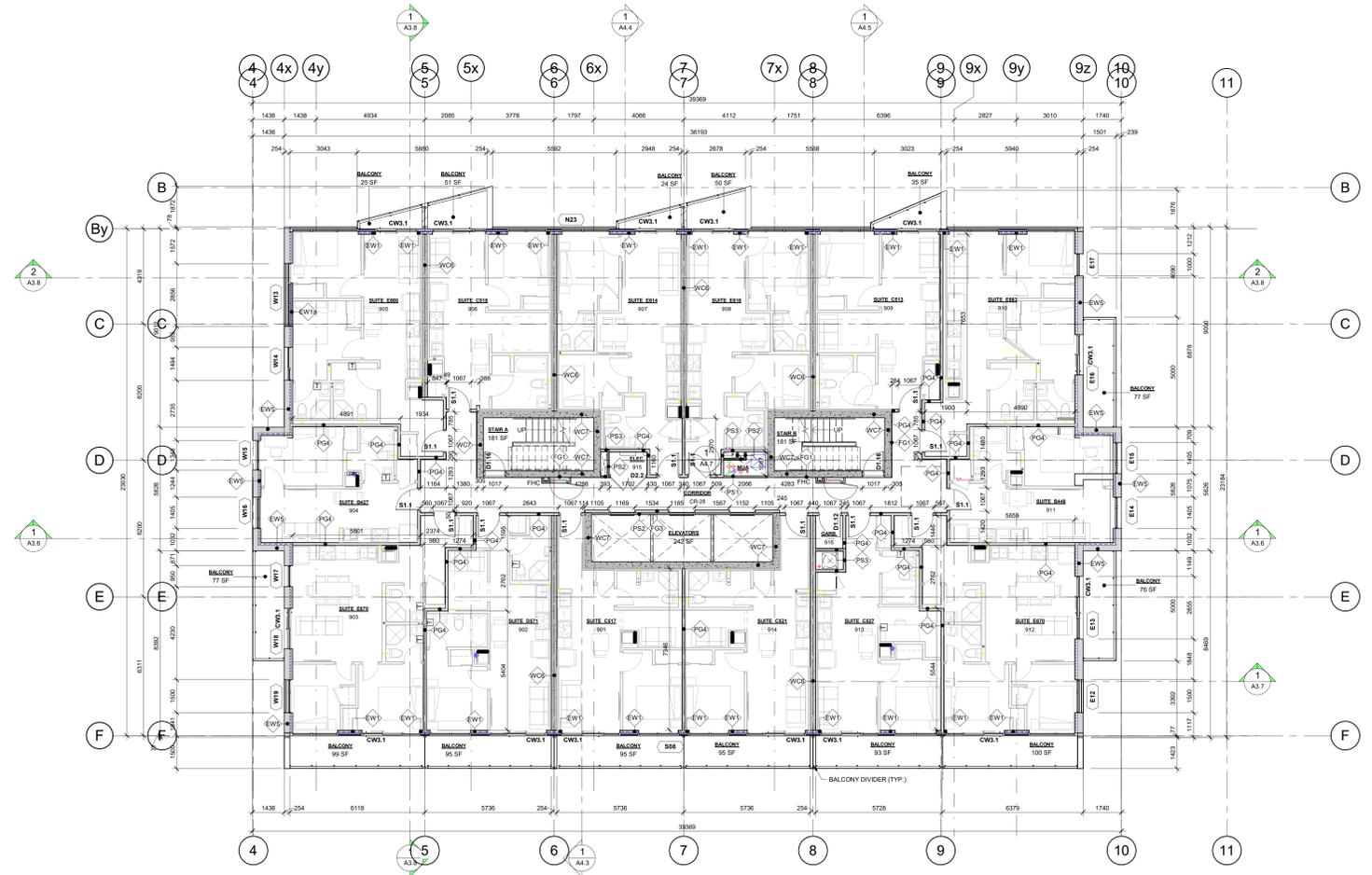


- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance, or/for decisions to be made based on them are the responsibility of such third parties.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL 9, 11 FLOOR PLAN
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2023-09-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR OPA/ZA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-09-11	RE-ISSUED FOR SPA
18	2021-08-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

No.	Date	Revision

Project Name / Address:
**IN8
1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

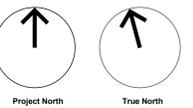
Project No: 19052
Drawing Date: 12/18/19
Drawn by: M.S. | Checked by: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:40:44 PM

Drawing Title:
LEVEL 9, 11 FLOOR PLAN

Drawing Scale: 1:100
Status: MINOR VARIANCE
Revision No: r40
Drawing No: 7554

A2.11

AutoCAD 2019/2020/2021/2022/2023/2024/2025/2026/2027/2028/2029/2030/2031/2032/2033/2034/2035/2036/2037/2038/2039/2040/2041/2042/2043/2044/2045/2046/2047/2048/2049/2050/2051/2052/2053/2054/2055/2056/2057/2058/2059/2060/2061/2062/2063/2064/2065/2066/2067/2068/2069/2070/2071/2072/2073/2074/2075/2076/2077/2078/2079/2080/2081/2082/2083/2084/2085/2086/2087/2088/2089/2090/2091/2092/2093/2094/2095/2096/2097/2098/2099/2100/2101/2102/2103/2104/2105/2106/2107/2108/2109/2110/2111/2112/2113/2114/2115/2116/2117/2118/2119/2120/2121/2122/2123/2124/2125/2126/2127/2128/2129/2130/2131/2132/2133/2134/2135/2136/2137/2138/2139/2140/2141/2142/2143/2144/2145/2146/2147/2148/2149/2150/2151/2152/2153/2154/2155/2156/2157/2158/2159/2160/2161/2162/2163/2164/2165/2166/2167/2168/2169/2170/2171/2172/2173/2174/2175/2176/2177/2178/2179/2180/2181/2182/2183/2184/2185/2186/2187/2188/2189/2190/2191/2192/2193/2194/2195/2196/2197/2198/2199/2200/2201/2202/2203/2204/2205/2206/2207/2208/2209/2210/2211/2212/2213/2214/2215/2216/2217/2218/2219/2220/2221/2222/2223/2224/2225/2226/2227/2228/2229/2230/2231/2232/2233/2234/2235/2236/2237/2238/2239/2240/2241/2242/2243/2244/2245/2246/2247/2248/2249/2250/2251/2252/2253/2254/2255/2256/2257/2258/2259/2260/2261/2262/2263/2264/2265/2266/2267/2268/2269/2270/2271/2272/2273/2274/2275/2276/2277/2278/2279/2280/2281/2282/2283/2284/2285/2286/2287/2288/2289/2290/2291/2292/2293/2294/2295/2296/2297/2298/2299/2300/2301/2302/2303/2304/2305/2306/2307/2308/2309/2310/2311/2312/2313/2314/2315/2316/2317/2318/2319/2320/2321/2322/2323/2324/2325/2326/2327/2328/2329/2330/2331/2332/2333/2334/2335/2336/2337/2338/2339/2340/2341/2342/2343/2344/2345/2346/2347/2348/2349/2350/2351/2352/2353/2354/2355/2356/2357/2358/2359/2360/2361/2362/2363/2364/2365/2366/2367/2368/2369/2370/2371/2372/2373/2374/2375/2376/2377/2378/2379/2380/2381/2382/2383/2384/2385/2386/2387/2388/2389/2390/2391/2392/2393/2394/2395/2396/2397/2398/2399/2400/2401/2402/2403/2404/2405/2406/2407/2408/2409/2410/2411/2412/2413/2414/2415/2416/2417/2418/2419/2420/2421/2422/2423/2424/2425/2426/2427/2428/2429/2430/2431/2432/2433/2434/2435/2436/2437/2438/2439/2440/2441/2442/2443/2444/2445/2446/2447/2448/2449/2450/2451/2452/2453/2454/2455/2456/2457/2458/2459/2460/2461/2462/2463/2464/2465/2466/2467/2468/2469/2470/2471/2472/2473/2474/2475/2476/2477/2478/2479/2480/2481/2482/2483/2484/2485/2486/2487/2488/2489/2490/2491/2492/2493/2494/2495/2496/2497/2498/2499/2500/2501/2502/2503/2504/2505/2506/2507/2508/2509/2510/2511/2512/2513/2514/2515/2516/2517/2518/2519/2520/2521/2522/2523/2524/2525/2526/2527/2528/2529/2530/2531/2532/2533/2534/2535/2536/2537/2538/2539/2540/2541/2542/2543/2544/2545/2546/2547/2548/2549/2550/2551/2552/2553/2554/2555/2556/2557/2558/2559/2560/2561/2562/2563/2564/2565/2566/2567/2568/2569/2570/2571/2572/2573/2574/2575/2576/2577/2578/2579/2580/2581/2582/2583/2584/2585/2586/2587/2588/2589/2590/2591/2592/2593/2594/2595/2596/2597/2598/2599/2600/2601/2602/2603/2604/2605/2606/2607/2608/2609/2610/2611/2612/2613/2614/2615/2616/2617/2618/2619/2620/2621/2622/2623/2624/2625/2626/2627/2628/2629/2630/2631/2632/2633/2634/2635/2636/2637/2638/2639/2640/2641/2642/2643/2644/2645/2646/2647/2648/2649/2650/2651/2652/2653/2654/2655/2656/2657/2658/2659/2660/2661/2662/2663/2664/2665/2666/2667/2668/2669/2670/2671/2672/2673/2674/2675/2676/2677/2678/2679/2680/2681/2682/2683/2684/2685/2686/2687/2688/2689/2690/2691/2692/2693/2694/2695/2696/2697/2698/2699/2700/2701/2702/2703/2704/2705/2706/2707/2708/2709/2710/2711/2712/2713/2714/2715/2716/2717/2718/2719/2720/2721/2722/2723/2724/2725/2726/2727/2728/2729/2730/2731/2732/2733/2734/2735/2736/2737/2738/2739/2740/2741/2742/2743/2744/2745/2746/2747/2748/2749/2750/2751/2752/2753/2754/2755/2756/2757/2758/2759/2760/2761/2762/2763/2764/2765/2766/2767/2768/2769/2770/2771/2772/2773/2774/2775/2776/2777/2778/2779/2780/2781/2782/2783/2784/2785/2786/2787/2788/2789/2790/2791/2792/2793/2794/2795/2796/2797/2798/2799/2800/2801/2802/2803/2804/2805/2806/2807/2808/2809/2810/2811/2812/2813/2814/2815/2816/2817/2818/2819/2820/2821/2822/2823/2824/2825/2826/2827/2828/2829/2830/2831/2832/2833/2834/2835/2836/2837/2838/2839/2840/2841/2842/2843/2844/2845/2846/2847/2848/2849/2850/2851/2852/2853/2854/2855/2856/2857/2858/2859/2860/2861/2862/2863/2864/2865/2866/2867/2868/2869/2870/2871/2872/2873/2874/2875/2876/2877/2878/2879/2880/2881/2882/2883/2884/2885/2886/2887/2888/2889/2890/2891/2892/2893/2894/2895/2896/2897/2898/2899/2900/2901/2902/2903/2904/2905/2906/2907/2908/2909/2910/2911/2912/2913/2914/2915/2916/2917/2918/2919/2920/2921/2922/2923/2924/2925/2926/2927/2928/2929/2930/2931/2932/2933/2934/2935/2936/2937/2938/2939/2940/2941/2942/2943/2944/2945/2946/2947/2948/2949/2950/2951/2952/2953/2954/2955/2956/2957/2958/2959/2960/2961/2962/2963/2964/2965/2966/2967/2968/2969/2970/2971/2972/2973/2974/2975/2976/2977/2978/2979/2980/2981/2982/2983/2984/2985/2986/2987/2988/2989/2990/2991/2992/2993/2994/2995/2996/2997/2998/2999/3000/3001/3002/3003/3004/3005/3006/3007/3008/3009/3010/3011/3012/3013/3014/3015/3016/3017/3018/3019/3020/3021/3022/3023/3024/3025/3026/3027/3028/3029/3030/3031/3032/3033/3034/3035/3036/3037/3038/3039/3040/3041/3042/3043/3044/3045/3046/3047/3048/3049/3050/3051/3052/3053/3054/3055/3056/3057/3058/3059/3060/3061/3062/3063/3064/3065/3066/3067/3068/3069/3070/3071/3072/3073/3074/3075/3076/3077/3078/3079/3080/3081/3082/3083/3084/3085/3086/3087/3088/3089/3090/3091/3092/3093/3094/3095/3096/3097/3098/3099/3100/3101/3102/3103/3104/3105/3106/3107/3108/3109/3110/3111/3112/3113/3114/3115/3116/3117/3118/3119/3120/3121/3122/3123/3124/3125/3126/3127/3128/3129/3130/3131/3132/3133/3134/3135/3136/3137/3138/3139/3140/3141/3142/3143/3144/3145/3146/3147/3148/3149/3150/3151/3152/3153/3154/3155/3156/3157/3158/3159/3160/3161/3162/3163/3164/3165/3166/3167/3168/3169/3170/3171/3172/3173/3174/3175/3176/3177/3178/3179/3180/3181/3182/3183/3184/3185/3186/3187/3188/3189/3190/3191/3192/3193/3194/3195/3196/3197/3198/3199/3200/3201/3202/3203/3204/3205/3206/3207/3208/3209/3210/3211/3212/3213/3214/3215/3216/3217/3218/3219/3220/3221/3222/3223/3224/3225/3226/3227/3228/3229/3230/3231/3232/3233/3234/3235/3236/3237/3238/3239/3240/3241/3242/3243/3244/3245/3246/3247/3248/3249/3250/3251/3252/3253/3254/3255/3256/3257/3258/3259/3260/3261/3262/3263/3264/3265/3266/3267/3268/3269/3270/3271/3272/3273/3274/3275/3276/3277/3278/3279/3280/3281/3282/3283/3284/3285/3286/3287/3288/3289/3290/3291/3292/3293/3294/3295/3296/3297/3298/3299/3300/3301/3302/3303/3304/3305/3306/3307/3308/3309/3310/3311/3312/3313/3314/3315/3316/3317/3318/3319/3320/3321/3322/3323/3324/3325/3326/3327/3328/3329/3330/3331/3332/3333/3334/3335/3336/3337/3338/3339/3340/3341/3342/3343/3344/3345/3346/3347/3348/3349/3350/3351/3352/3353/3354/3355/3356/3357/3358/3359/3360/3361/3362/3363/3364/3365/3366/3367/3368/3369/3370/3371/3372/3373/3374/3375/3376/3377/3378/3379/3380/3381/3382/3383/3384/3385/3386/3387/3388/3389/3390/3391/3392/3393/3394/3395/3396/3397/3398/3399/3400/3401/3402/3403/3404/3405/3406/3407/3408/3409/3410/3411/3412/3413/3414/3415/3416/3417/3418/3419/3420/3421/3422/3423/3424/3425/3426/3427/3428/3429/3430/3431/3432/3433/3434/3435/3436/3437/3438/3439/3440/3441/3442/3443/3444/3445/3446/3447/3448/3449/3450/3451/3452/3453/3454/3455/3456/3457/3458/3459/3460/3461/3462/3463/3464/3465/3466/3467/3468/3469/3470/3471/3472/3473/3474/3475/3476/3477/3478/3479/3480/3481/3482/3483/3484/3485/3486/3487/3488/3489/3490/3491/3492/3493/3494/3495/3496/3497/3498/3499/3500/3501/3502/3503/3504/3505/3506/3507/3508/3509/3510/3511/3512/3513/3514/3515/3516/3517/3518/3519/3520/3521/3522/3523/3524/3525/3526/3527/3528/3529/3530/3531/3532/3533/3534/3535/3536/3537/3538/3539/3540/3541/3542/3543/3544/3545/3546/3547/3548/3549/3550/3551/3552/3553/3554/3555/3556/3557/3558/3559/3560/3561/3562/3563/3564/3565/3566/3567/3568/3569/3570/3571/3572/3573/3574/3575/3576/3577/3578/3579/3580/3581/3582/3583/3584/3585/3586/3587/3588/3589/3590/3591/3592/3593/3594/3595/3596/3597/3598/3599/3600/3601/3602/3603/3604/3605/3606/3607/3608/3609/3610/3611/3612/3613/3614/3615/3616/3617/3618/3619/3620/3621/3622/3623/3624/3625/3626/3627/3628/3629/3630/3631/3632/3633/3634/3635/3636/3637/3638/3639/3640/3641/3642/3643/3644/3645/3646/3647/3648/3649/3650/3651/3652/3653/3654/3655/3656/3657/3658/3659/3660/3661/3662/3663/3664/3665/3666/3667/3668/3669/3670/3671/3672/3673/3674/3675/3676/3677/3678/3679/3680/3681/3682/3683/3684/3685/3686/3687/3688/3689/3690/3691/3692/3693/3694/3695/3696/3697/3698/3699/3700/3701/3702/3703/3704/3705/3706/3707/3708/3709/3710/3711/3712/3713/3714/3715/3716/3717/3718/3719/3720/3721/3722/3723/3724/3725/3726/3727/3728/3729/3730/3731/3732/3733/3734/3735/3736/3737/3738/3739/3740/3741/3742/3743/3744/3745/3746/3747/3748/3749/3750/3751/3752/3753/3754/3755/3756/3757/3758/3759/3760/3761/3762/3763/3764/3765/3766/3767/3768/3769/3770/3771/3772/3773/3774/3775/3776/3777/3778/3779/3780/3781/3782/3783/3784/3785/3786/3787/3788/3789/3790/3791/3792/3793/3794/3795/3796/3797/3798/3799/3800/3801/3802/3803/3804/3805/3806/3807/3808/3809/3810/3811/3812/3813/3814/3815/3816/3817/3818/3819/3820/3821/3822/3823/3824/3825/3826/3827/3828/3829/3830/3831/3832/3833/3834/3835/3836/3837/3838/3839/3840/3841/3842/3843/3844/3845/3846/3847/3848/3849/3850/3851/3852/3853/3854/3855/3856/3857/3858/3859/3860/3861/3862/3863/3864/3865/3866/3867/3868/3869/3870/3871/3872/3873/3874/3875/3876/3877/3878/3879/3880/3881/3882/3883/3884/3885/3886/3887/3888/3889/3890/3891/3892/3893/3894/3895/3896/3897/3898/3899/3900/3901/3902/3903/3904/3905/3906/3907/3908/3909/3910/3911/3912/3913/3914/3915/3916/3917/3918/3919/3920/3921/3922/3923/3924/3925/3926/3927/3928/3929/3930/3931/3932/3933/3934/3935/3936/3937/3938/3939/3940/3941/3942/3943/3944/3945/3946/3947/3948/3949/3950/3951/3952/3953/3954/3955/3956/3957/3958/3959/3960/3961/3962/3963/3964/3965/3966/3967/3968/3969/3970/3971/3972/3973/3974/3975/3976/3977/3978/3979/3980/3981/3982/3983/3984/3985/3986/3987/3988/3989/3990/3991/3992/3993/3994/3995/3996/3997/3998/3999/4000/4001/4002/4003/4004/4005/4006/4007/4008/4009/4010/4011/4012/4013/4014/4015/4016/4017/4018/4019/4020/4021/4022/4023/4024/4025/4026/4027/4028/4029/4030/4031/4032/4033/4034/4035/4036/4037/4038/4039/4040/4041/4042/4043/4044/4045/4046/4047/4048/4049/4050/4051/4052/4053/4054/4055/4056/4057/4058/4059/4060/4061/4062/4063/4064/4065/4066/4067/4068/4069/4070/4071/4072/4073/4074/4075/4076/4077/4078/4079/4080/4081/4082/4083/4084/4085/4086/4087/4088/4089/4090/4091/4092/4093/4094/4095/4096/4097/4098/4099/4100/4101/4102/4103/4104/4105/4106/4107/4108/4109/4110/4111/4112/4113/4114/4115/4116/4117/4118/4119/4120/4121/4122/4123/4124/4125/4126/4127/4128/4129/4130/4131/4132/4133/4134/4135/4136/413



- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL 10, 12 FLOOR PLAN
1:100

No.	Date	Revision
46	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	PRE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2023-08-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR OPA/OPA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR ZBA
18	2021-06-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

No. Date Revision

Client

Project Name / Address

IN8
1107 MAIN ST. W

City of Hamilton Site Plan File Number: DA-23-003

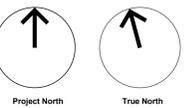
Project No: 19052
Drawing Date: 5/3/2024
Drawn by: M.S. | Checked by: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:40:48 PM

Drawing Name: **LEVEL 10, 12 FLOOR PLAN**

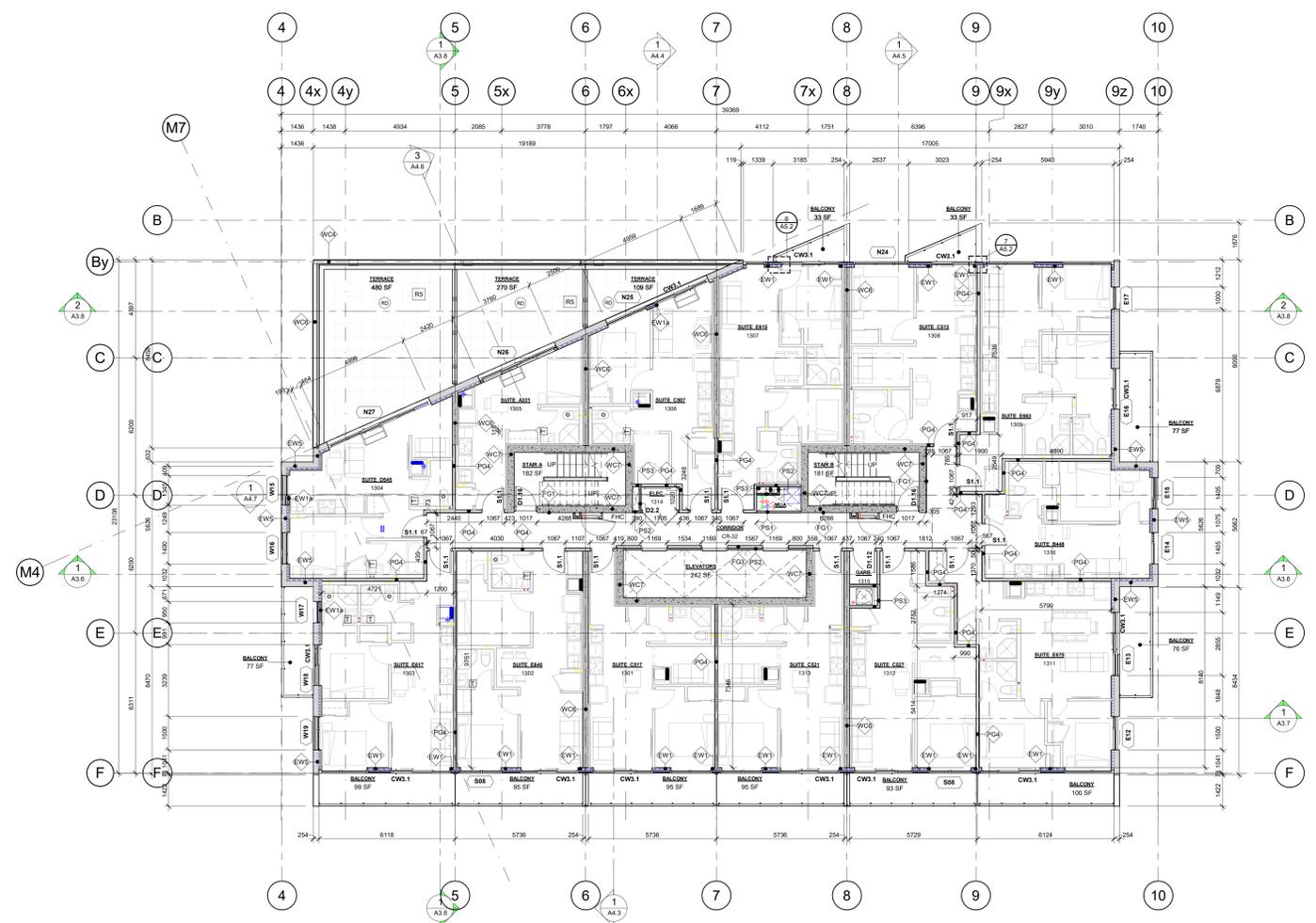
Drawing Scale: 1:100
Status: MINOR VARIANCE
Revision No: r40
Drawing No: 7524

A2.12

The information contained herein is the property of SRM architects+urban+designers. It is to be used only for the project and site for which it was prepared. It is not to be used for any other project or site without the written consent of SRM architects+urban+designers. The information contained herein is not to be used for any other project or site without the written consent of SRM architects+urban+designers. The information contained herein is not to be used for any other project or site without the written consent of SRM architects+urban+designers.



- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, error or decisions to be made based on them are the responsibility of such third parties.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



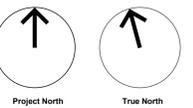
1 LEVEL 13 FLOOR PLAN
1:100

The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, error or decisions to be made based on them are the responsibility of such third parties. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

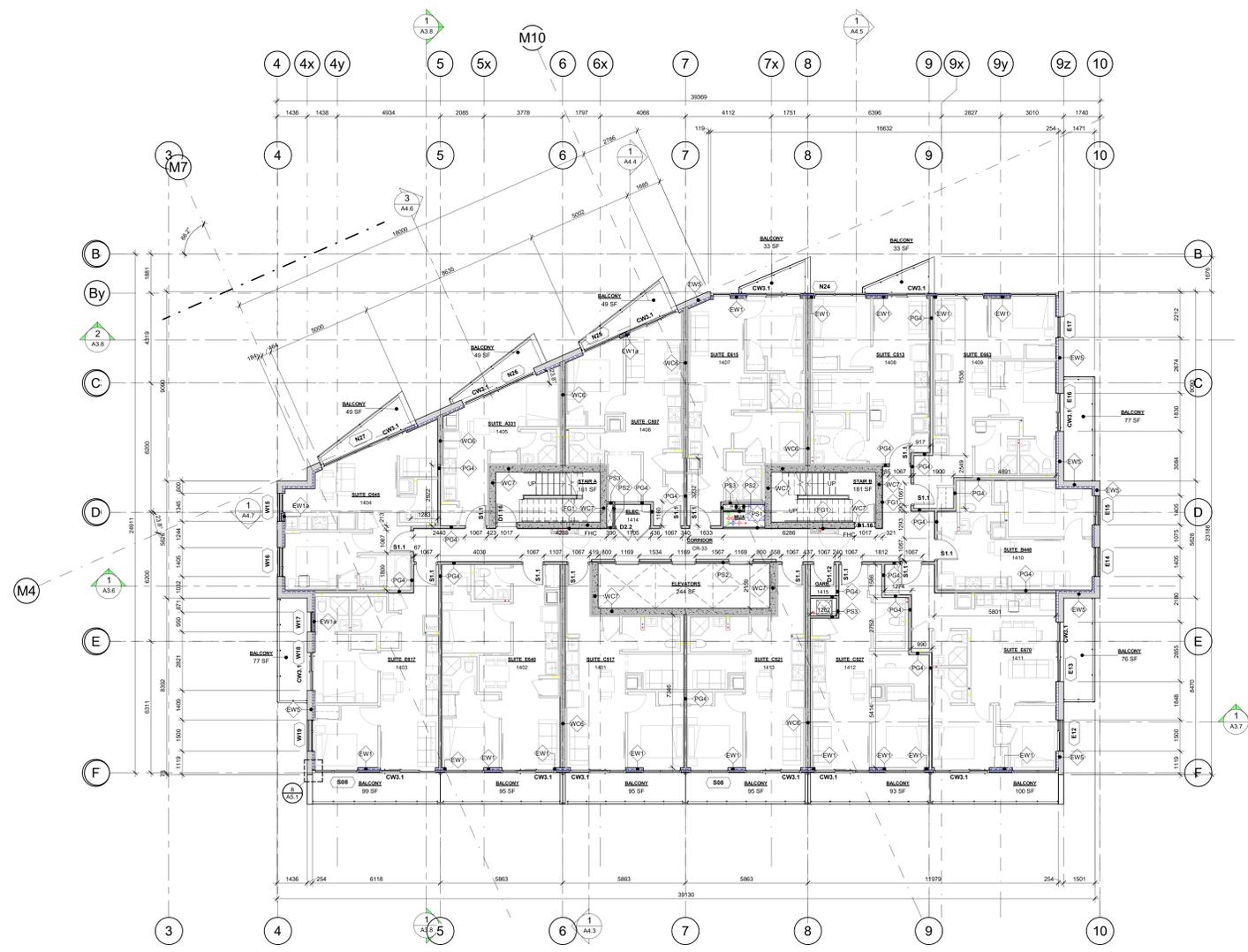
No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-09-19	CLIENT REVISIONS
28	2023-08-25	ISSUED FOR SPA
24	2022-09-27	ISSUED FOR SPA
23	2021-11-20	ISSUED FOR OPA/ISA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-09-11	RE-ISSUED FOR SPA
18	2021-04-28	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REDLINING

Project Name / Address:
IN8
1107 MAIN ST. W
 City of Hamilton Site Plan File Number: DA-23-023
 Project No: 19052
 Drawing Date: 09/18/20
 Drawn by: M.S. | Checked by: JAA
 Office Location: KITCHENER
 Plot Date / Time: 5/28/2024 12:40:53 PM

LEVEL 13 FLOOR PLAN
 Drawing Scale: 1:100
 Status: MINOR VARIANCE
 Revision No: **r40**
 Drawing No: **A2.13**



- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 2. All work shall comply with the 2012 Ontario Building Code and amendments.
 3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 6. The materials contained herein reflect the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
 7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL 14-15 FLOOR PLAN
1 : 100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-09-19	CLIENT REVISIONS
28	2023-08-25	ISSUED FOR SPA
24	2022-09-27	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR OPA/ISA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
18	2021-04-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REDLINING

Project Name / Address:
**IN8
1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052
Drawing Date: 09/21/23
Checked by: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:40:58 PM

SRM
architects+
urban+designers

Ontario Association of Architects
Professional Licence
7554

Drawing Scale: 1 : 100
Status: MINOR VARIANCE
Revision No: **r40**
Drawing No: **A2.14**

The consultant has prepared this drawing based on the information provided to him by the client. The consultant is not responsible for the accuracy of the information provided to him by the client. The consultant is not responsible for the accuracy of the information provided to him by the client. The consultant is not responsible for the accuracy of the information provided to him by the client.

MATERIAL LEGEND		
	1	PRECAST CONCRETE - SAND/ YELLOW MASONRY VENEER
	2	PRECAST CONCRETE - WHITE
	3	PRECAST CONCRETE - CHARCOAL MASONRY VENEER
	4	RECLAIMED HERITAGE MASONRY
	5	SPANDREL PANEL
	6	GLAZING - TINT 2
	7	ALUMINUM MULLION
	8	METAL PANEL - DARK ANODIZED
	9	METAL PANEL - WHITE ANODIZED
	10	PRE-CAST CONCRETE CORNICE
	11	METAL CANOPY - CHARCOAL
	12	LOUVER BLANKING PANEL
	13	GLASS PANEL - CLEAR

- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 - All work shall comply with the 2012 Ontario Building Code and amendments.
 - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 - All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 - The materials contained herein reflect the consultant's best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
 - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 NORTH ELEVATION
1 - 100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-11-18	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
18	2021-04-28	ISSUED FOR COORDINATION
15	2020-12-01	ISSUED FOR PERMITS
14	2020-11-17	ISSUED FOR REZONING
10	2020-03-11	ISSUED FOR REZONING

Project Name / Address
**IN8
1107 MAIN ST. W**
City of Hamilton Site Plan File Number: DA-23-023
Project No: 19052
Drawing Date: 12/15/19
Drawing Title: M.S
Checked by: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:41:26 PM

NORTH ELEVATION

Drawing Title: As indicated
Status: MINOR VARIANCE
Revision No: r40
Drawing No: 7554
A3.1

OMNIVIA ASSOCIATION
OF ARCHITECTS
REGISTERED PROFESSIONAL ARCHITECTS
ONTARIO LICENCE

The materials shown on this drawing are for informational purposes only. The materials shown on this drawing are not intended to be used as a guide for construction. The materials shown on this drawing are not intended to be used as a guide for construction. The materials shown on this drawing are not intended to be used as a guide for construction.

MATERIAL LEGEND		
	1	PRECAST CONCRETE - SAND/YELLOW MASONRY VENEER
	2	PRECAST CONCRETE - WHITE
	3	PRECAST CONCRETE - CHARCOAL MASONRY VENEER
	4	RECLAIMED HERITAGE MASONRY
	5	SPANDREL PANEL
	6	GLAZING - TINT 2
	7	ALUMINUM MULLION
	8	METAL PANEL - DARK ANODIZED
	9	METAL PANEL - WHITE ANODIZED
	10	PRE-CAST CONCRETE CORNICE
	11	METAL CANOPY - CHARCOAL
	12	LOUVER BLANKING PANEL
	13	GLASS PANEL - CLEAR

- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 - All work shall comply with the 2012 Ontario Building Code and amendments.
 - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 - All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 - The materials contained herein reflect the consultant's best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
 - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

2 VARIATION IN THE TEXTURAL TREATMENT OF THE WHITE PRECAST



1 SOUTH ELEVATION
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR ZBA
18	2021-04-28	ISSUED FOR COORDINATION
15	2020-12-01	ISSUED FOR PERMITS
14	2020-11-17	ISSUED FOR REZONING
10	2020-03-11	ISSUED FOR REZONING

No. Date Revision
Client:
Project Name / Address:

IN8
1107 MAIN ST. W
City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052
Drawing Date: 12/18/19
Drawn By: M.S. Checked By: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:43:14 PM

Drawing Name: **SOUTH ELEVATION**

Drawing Scale: As indicated
Status: MINOR VARIANCE
Revision No: r40
Drawing No: A3.2

The consultant has not conducted a field inspection of the site. All dimensions shown on this drawing are based on the information provided by the client. The consultant is not responsible for any errors or omissions in this drawing. The consultant is not responsible for any damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

MATERIAL LEGEND	
	1 PRECAST CONCRETE - SAND/YELLOW MASONRY VENEER
	2 PRECAST CONCRETE - WHITE
	3 PRECAST CONCRETE - CHARCOAL MASONRY VENEER
	4 RECLAIMED HERITAGE MASONRY
	5 SPANDREL PANEL
	6 GLAZING - TINT 2
	7 ALUMINUM MULLION
	8 METAL PANEL - DARK ANODIZED
	9 METAL PANEL - WHITE ANODIZED
	10 PRE-CAST CONCRETE CORNICE
	11 METAL CANOPY - CHARCOAL
	12 LOUVER BLANKING PANEL
	13 GLASS PANEL - CLEAR

- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 - All work shall comply with the 2012 Ontario Building Code and amendments.
 - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 - All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 - The materials contained herein reflect the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
 - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

2 VARIATION IN THE TEXTURAL TREATMENT OF THE WHITE PRECAST



1 WEST ELEVATION
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-11-18	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR ZBA
18	2021-04-28	ISSUED FOR COORDINATION
15	2020-12-01	ISSUED FOR PERMITS
14	2020-11-17	ISSUED FOR REZONING
10	2020-05-11	ISSUED FOR REZONING

IN8
1107 MAIN ST. W

City of Hamilton Site Plan File Number: DA-23-023

Project Name / Address

Project No: 19052

Drawing Date: 07/22/2022

Client: M.S. JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:47:24 PM

Drawing Name:

WEST ELEVATION

Ontario Association of Architects

Architects

Professional Licence

7554

Drawing Scale: As indicated

Status: MINOR VARIANCE

Revision No: r40

Drawing No: A3.4

The information contained herein is for informational purposes only and does not constitute an offer of any financial product or service. It is not intended to be used as a basis for any investment decision. The information is provided for your information only and should not be relied upon for any investment decision. The information is provided for your information only and should not be relied upon for any investment decision. The information is provided for your information only and should not be relied upon for any investment decision.

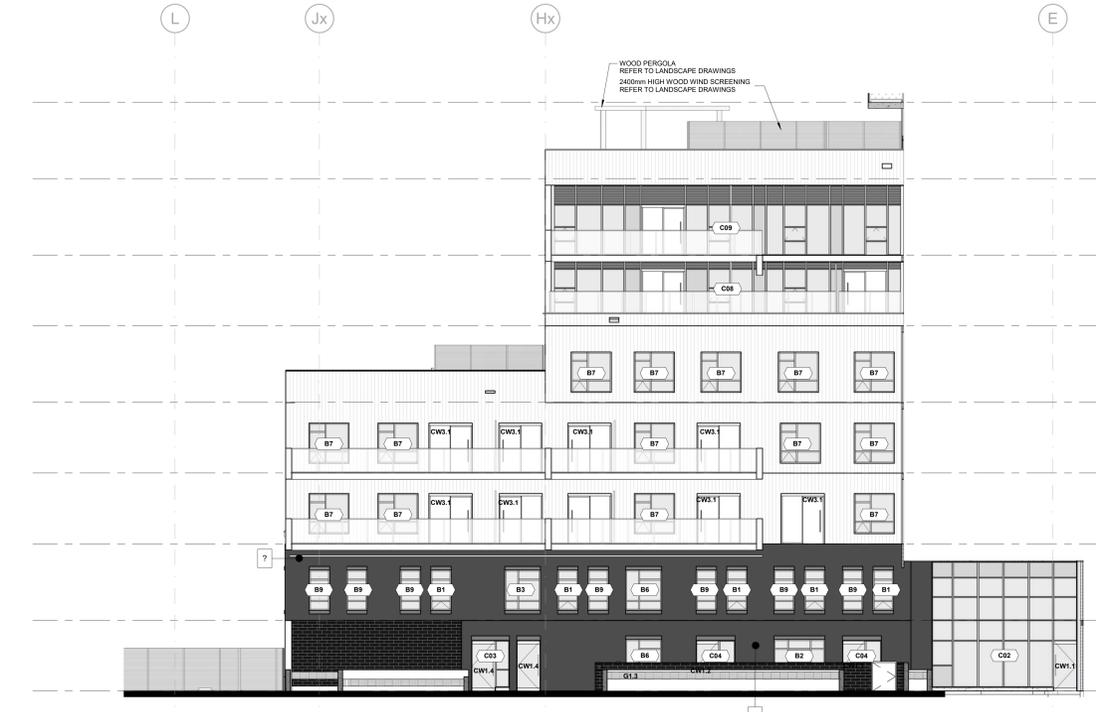
MATERIAL LEGEND	
1	PRECAST CONCRETE - SAND/YELLOW MASONRY VENEER
2	PRECAST CONCRETE - WHITE
3	PRECAST CONCRETE - CHARCOAL MASONRY VENEER
4	RECLAIMED HERITAGE MASONRY
5	SPANDREL PANEL
6	GLAZING : TINT 2
7	ALUMINUM MULLION
8	METAL PANEL: DARK ANODIZED
9	METAL PANEL: WHITE ANODIZED
10	PRE-CAST CONCRETE CORNICE
11	METAL CANOPY: CHARCOAL
12	LOUVER BLANKING PANEL
13	GLASS PANEL - CLEAR

- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
 - All work shall comply with the 2012 Ontario Building Code and amendments.
 - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
 - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
 - All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
 - The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third party.
 - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

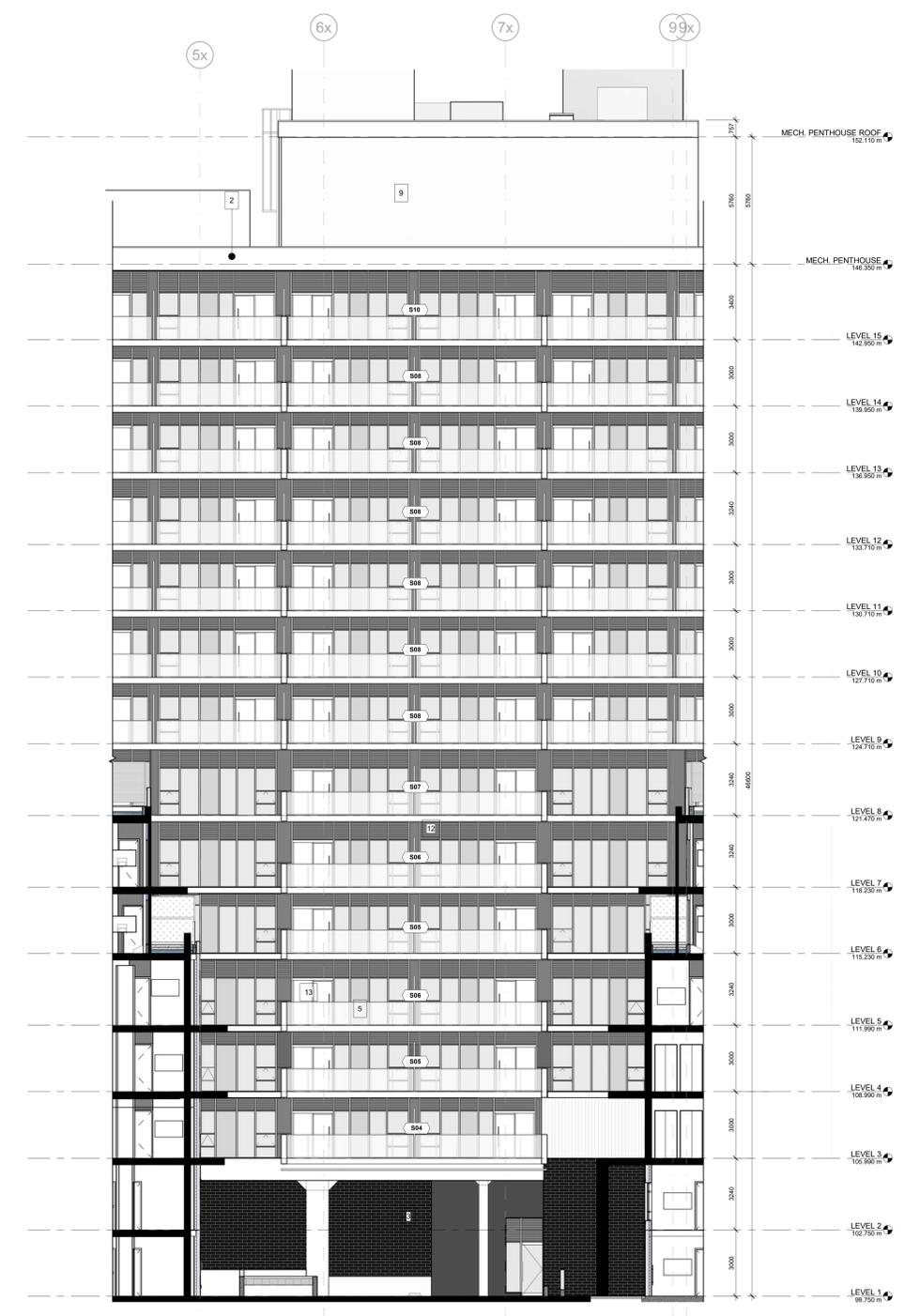
2 VARIATION IN THE TEXTURAL TREATMENT OF THE WHITE PRECAST



1 COURTYARD ELEVATION EAST WING
1:100



2 COURTYARD ELEVATION WEST WING
1:100



3 COURTYARD ELEVATION NORTH
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
39	2024-05-15	REVISED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-03-20	ISSUED FOR TENDER
24	2022-09-30	ISSUED FOR SPA
21	2021-06-11	REVISED FOR ZBA
18	2021-04-28	ISSUED FOR COORDINATION

Client: _____

Project Name / Address: _____

IN8
1107 MAIN ST. W

City of Hamilton Site Plan File Number: DA-23-023

SRM
architects+
urban+designers

Drawing Date: 01/21/21
Checked by: JAA
Office Location: KITCHENER
Plot Date / Time: 5/28/2024 12:48:21 PM

Drawing Name: **COURTYARD ELEVATIONS**

Ontario Association of Architects License 7554

Drawing Scale: As indicated
Status: MINOR VARIANCE
Revision No: **r40**
Drawing No: **A3.5**

The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third party. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



May 30, 2024

Committee of Adjustment Coordinator
Planning & Development
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON, L8P 4Y5

**Re: Minor Variance Application – 1107 Main Street West, Hamilton
UP Consulting Project No. 006**

On behalf of my client, 1107 Main Street Inc. c/o Darryl Firsten, please accept this letter and the following materials as the complete minor variance application for the proposed development of the property municipally know as 1107 Main Street West, Hamilton:

- Architectural drawings prepared by SRM Architects
- Minor Variance application form
- Application fee in the amount of \$3,900 made payable to the City of Hamilton (to be delivered)

As you are aware, my client is advancing planning applications contemplating the redevelopment of the subject property for the purposes of a 15 storey residential apartment building. To date, the applicant has previously applied for an Official Plan Amendment and corresponding site specific Zoning By-Law Amendment which was approved by City of Hamilton Council in 2022. The proposed development is also subject to Site Plan Application DA-23-003, which received conditional approval on October 11, 2023.

Through the detailed design process which has occurred following the approval of the Official Plan Amendment and Zoning By-Law Amendment applications, a number of minor by-law deficiencies have been identified, which are the basis for this minor variance application.

This letter provides an overview of the proposed development, the site and its context, the land use planning framework which applies to the property, and the variances now requested. This letter also provides an overview of the 'Four Tests for a Variance' set out in the Planning Act, and how the variances are minor in nature, maintain the general purpose and intent of the Official Plan and Zoning By-Law, and are desirable for the use and development of the property.

Site Description and Context

The subject property is located at 1107 Main Street West, Hamilton in the Ainslie Wood East neighbourhood of the City. The subject property is a through lot which has a lot area of approximately 5,170 sq. m with 66 m of frontage along Main Street West, 60.3 m of frontage along Cline Avenue South and approximately 86.5 m of frontage on Dow Avenue. The property currently contains an institutional building / church known as Grace Evangelical Lutheran Church, which is listed on the City of Hamilton's Inventory of Buildings of Architectural and / or Historical Interest. The location of the subject property and a photo showing the existing church building are shown on Figures 1 and 2 on the following page.

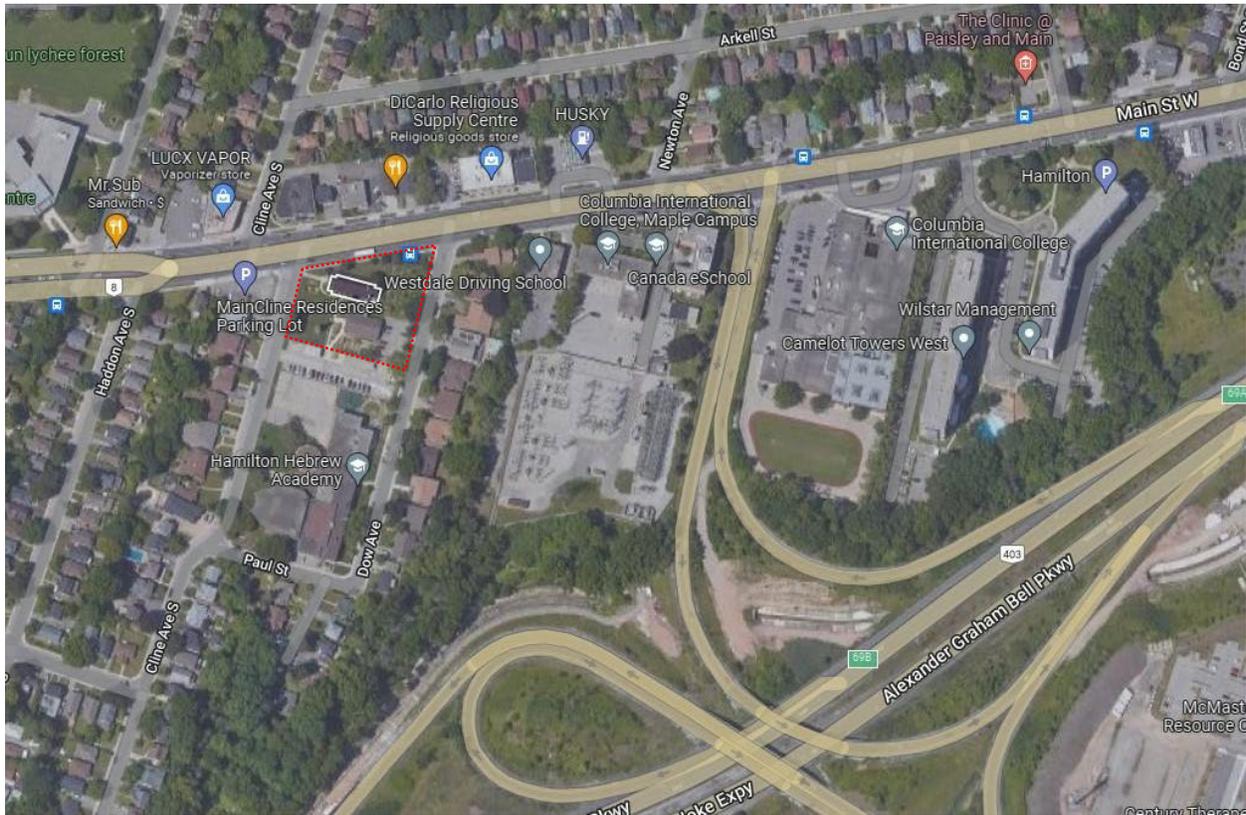


Figure 1: Site Location (Source: Google Earth)



Figure 2: Existing Church Building (Source: Google Earth)

The subject property is located in close proximity to a range and mix of commercial, residential and institutional uses as summarized in the following table.

North	South	East	West
Commercial and retail uses	Adas Israel Synagogue and Hebrew Academy	Columbia International College / Boarding School	Low Rise Residential Neighbourhood
Student Accommodations	Low density residential neighbourhood	Commercial / retail uses	McMaster University and Children's Hospital
Dalewood Recreation Centre	Stroud Park	Residential Apartment Buildings	Institutional / Religious Uses
McMaster Children's Hospital	Provincial Highway 403	Westdale Secondary School	Commercial / retail uses
McMaster Main Campus	Brantford Hamilton Rail Trail	Commercial Plazas	Major Commercial Node

Summary of Proposal

As shown on the Site Plan prepared by SRM Architects, the applicant is proposing the redevelopment of the subject property to contain a 15 storey mixed use building containing 308 residential units and approximately 549 sq. m of commercial floor space. A total of 171 parking stalls are proposed of which 11 are proposed to be dedicated as visitor spaces and the remaining for the residential use of the development.

The proposed development contemplates a U-shaped building with the tower being located centrally on the site, towards the Main Street West frontage. Two six-storey wings are proposed along the Cline Avenue and Dow Avenue frontages, framing the site. Building step-backs are proposed along the southern, eastern and western facades to provide transition in massing to adjacent residential areas.

Figure 3 shows the proposed site plan for the development. Figures 4-7 show the proposed building elevations.

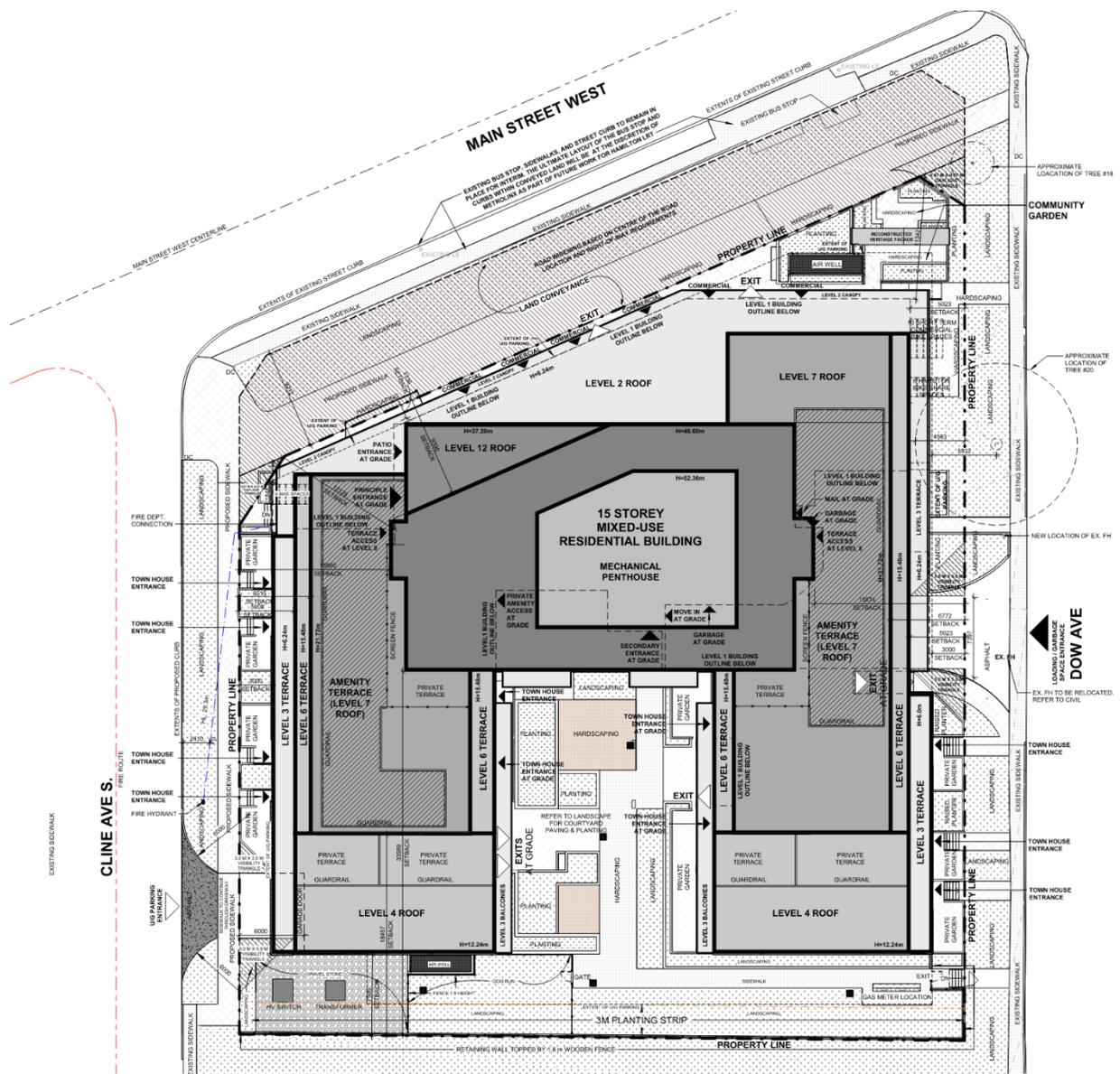


Figure 3: Proposed Site Plan (Source: SRM Architects)



Figure 4: North (Main Street Facing) Building Elevations (Source: SRM Architects)

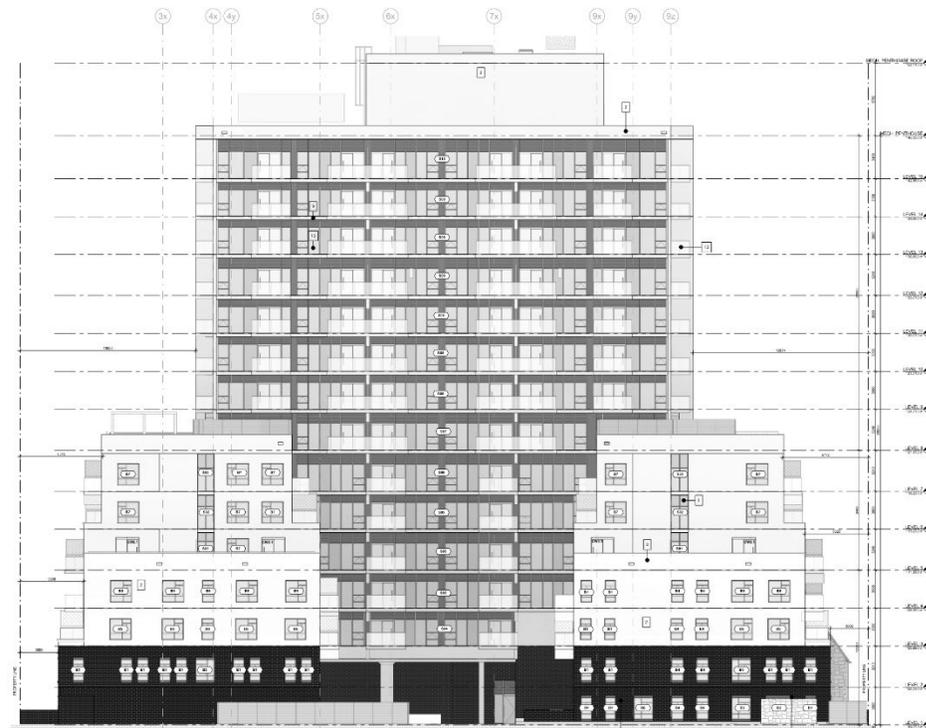


Figure 5: South Elevation (Source: SRM Architects)



Figure 6: Eastern Building Elevation (Source: SRM Architects)



Figure 7: Western Building Elevation (Source: SRM Architects)

Previous Land Use Planning Applications

As noted, the subject property has been the subject of a previous Official Plan Amendment and Zoning By-Law Amendment applications, which were approved in 2022. The purpose of these applications was to allow for the contemplated 15 storey mixed use building. Specifically, the purpose of these applications is summarized below:

Official Plan Amendment:

To establish a new Area Specific Policy within Site Specific Policy - Area E within the Mixed Use – Medium Density designation in the Ainslie Wood Westdale Secondary Plan, to permit a 15 storey, mixed use development, on the subject property.

Zoning By-Law Amendment:

To modification to the Transit Oriented Corridor Mixed Use Medium Density (TOC1) Zone to Transit Oriented Corridor Mixed Use Medium Density (TOC1, 772, H75) Zone, to permit a 15 storey mixed use development on the subject property.

As part of the implementing by-law for the Zoning By-Law Amendment, a number of site-specific requirements and regulations were applied to the subject property, including the following:

Regulation	Requirement
Minimum Finished Floor Elevation of any dwelling unit	*0.5 metres above grade
Maximum Building Setback from a Street Line	<p>Main Street Maximum 13.3 metres</p> <p>Notwithstanding the above, a minimum setback of 9.3 metres from Main Street West for any portion of the building exceeding 36.0 metres in height.</p> <p>Cline Avenue and Dow Avenue *Maximum 4.5 metres from Cline Avenue South and Dow Avenue;</p> <p>Notwithstanding the above, the following minimum setbacks shall apply from Cline Avenue South and Dow Avenue</p> <p>A. 5.0 metres for any portion of the building exceeding a height of 7.8 metres</p> <p>B. 6.5 metres for any portion of the building exceeding a height of 16.5 metres; and,</p> <p>C. *14.3 metres for any portion of the building exceeding a height of 22.0 metres, except for an enclosed stairwell.</p>

Minimum Rear Yard	<p>14.5 metres for any portion of the building exceeding a height of 13.5 metres;</p> <p>17.5 metres for any portion of the building exceeding a height of 18.0 metres; and,</p> <p>33.5 metres for any portion of the building exceeding a height of 22.0 metres, except for an enclosed stairwell.</p>
Maximum Building Height	47.0 metres
Built Form for New Development	<p>1. A maximum of two driveways shall be permitted;</p> <p>2. A driveway on Dow Avenue shall have a maximum width of 7.5 metres and a driveway on Cline Avenue South shall have a maximum width of 6.0 metres; and,</p> <p>3. A driveway on Main Street West shall not be permitted.</p>
Visual Barrier	A visual barrier shall be required along any lot line abutting an Institutional Zone and may include a gate. ix)
Planting Strip	A planting strip with a minimum width of 3.0 metres shall be provided along any lot line abutting an Institutional Zone, except for a walkway to a gate.

I note that the proposed development adheres to all of these by-law requirements save for:

- Minimum Finished Floor Elevation of any dwelling unit be 0.5 metres above grade
- Maximum setback from Dow Avenue (4.5 metres required, whereas 5.023 metres proposed)
- Building setback from Main Street above 36 metres in building height (proposing a building setback of 9.3 m for any portion of the building exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height).
- Minimum Setback of the building exceeding a height of 22.0 metres from Cline and Dow Avenue (13.8 m proposed whereas 14.3 m required)

In addition to the application of site specific regulations and requirements, a holding provision was applied to the property dealing with matters related to wind; heritage conservation, salvage and reuse; and conservation of heritage resources. I note that an application to remove the holding provision was submitted to the City of Hamilton on October 13, 2023 which is under final review.

Required Variance Applications

As noted above, as a result of detailed design undertaken as part of the site plan application for the project, there have been several slight changes in the site and building design now proposed. As a result of these revisions, variances are requested to:

- Permit ground level units at grade, whereas the By-Law requires a Minimum Finished Floor Elevation of any dwelling unit be 0.5 metres above grade.
- Permit a yard setback from Dow Avenue of 5.023 m whereas the by-law establishes a maximum setback of 4.5 metres; and,
- Permit a building setback of 9.3 m from the Main Street frontage for the exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height.
- Permit a Minimum Setback of the building exceeding a height of 22.0 metres from Cline and Dow Avenue of 13.8 m, whereas 14.3 m required.

Land use planning rationale with respect to these required variances is discussed in the following subsections of this letter.

Discussion: 'Four Tests' of a Minor Variance

The Planning Act establishes 'four tests' which are to be assessed when considering the appropriateness of a minor variance. These are:

- Does the variance maintain the general intent and purpose of the Official Plan?
- Does the variance maintain the general intent and purpose of the Zoning By-Law?
- Is the variance appropriate and desirable for the use and development of the lands?
- Is the application minor in nature?

The following subsections of this letter discuss these tests and provide land use planning rationale with respect to the same.

Variance No. 1:

Proposing a building line setback of 5.023 m whereas Zoning By-Law requires a maximum setback of 4.5 m.

1. Does the variance maintain the general intent and purpose of the Official Plan?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan does not speak to setback related matters, and the site specific policies of the Official Plan do not include reference to any required minimum or maximum setback from Dow Avenue.

I note that this setback has been contemplated since the submission of the original Official Plan Amendment and Zoning By-Law Amendment applications, and included on the drawing package submitted and endorsed by City Council. Despite this, the site specific regulation did not reflect the setback proposed from Dow Avenue and was an inadvertent omission from the implementing by-law. In this regard, it is my opinion that the requested variance is administrative

in nature and reflective of the decision of Council on the original Official Plan Amendment and Zoning By-Law Amendment applications.

2. Does the variance maintain the general intent and purpose of the Zoning By-Law?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law.

As shown on the proposed site plan, the development contemplates a maximum building setback of 5.023 m whereas the site-specific zoning requires the building to be set back no more than 4.5 m. As noted, this setback has been contemplated since the submission of the original Official Plan Amendment and Zoning By-Law Amendment applications, and included on the drawing package submitted and endorsed by City Council. Despite this, the site specific regulation did not reflect the setback proposed from Dow Avenue and was an inadvertent omission from the implementing by-law. In this regard, it is my opinion that the requested variance is administrative in nature and reflective of the decision of Council on the original Official Plan Amendment and Zoning By-Law Amendment applications.

3. Is the variance appropriate and desirable for the use and development of the property?

Yes. It is my professional opinion that the proposed use and variance are desirable for the area. As noted, this setback has always been contemplated and the design, inclusive of this setback, was supported by City staff. As the development concept has remained generally the same, and that the setback has not increased since the approval of the Official Plan and Zoning By-Law Amendment, it is my opinion that the setback remains appropriate.

4. Is the application minor in nature?

Yes. Given the foregoing, it is my professional opinion that the variance is minor in nature as the required relief is necessary to address an oversight at the Zoning By-Law implementation phase. Further, the requested relief of slightly more than 0.5 m is inconsequential and does not constitute a significant departure from the by-law requirement.

Variance No. 2:

Proposing a building setback of 9.3 m for any portion of the building exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height.

1. Does the variance maintain the general intent and purpose of the Official Plan?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan does not contain policy direction specifically identifying setback requirements relative to height, but does include policy direction encouraging compatible built forms and transition in massing to low rise areas and to the public realm. In my opinion, the requested relief is minor in nature and maintain the overall purpose and intent of the Official Plan in this regard by still providing meaningful transitions and stepback from the front of the development to minimize massing implications at the street level along Main Street

2. Does the variance maintain the general intent and purpose of the Zoning By-Law?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law. The site-specific zoning contains regulations and requirements related to building stepbacks / setbacks from the Main Street frontage as the overall height of the building increases. The purpose of these regulations is to ensure that Main Street maintains a pedestrian level scale of development and to ensure that the tower of the development is appropriately setback to minimize shadowing/shade and massing implications onto and over the public realm.

Through the detailed design process, the floor to floor heights of the development have been slightly adjusted to accommodate the pre-cast construction methodology which is proposed to be used to construct the building. As a result, the height of the first twelve floors has been increased by approximately 1.5 m past the 36 m height mark to accommodate the precast structure requirements. Accordingly, the setback distance of 9.3 m is now provided at the 37.5 m height mark of the building.

In my opinion, this requested variance maintains the general intent and purpose of the Zoning By-Law as it relates to the proposed development, as the required setback distance is still provided, albeit slightly higher than required by the By-Law. This 1.5 m height increase is negligible within the context of the overall development and does not constitute a significant departure from the by-law requirements.

3. Is the variance appropriate and desirable for the use and development of the property?

Yes. It is my professional opinion that the proposed use and variance are desirable for the area. As noted, the overall development concept has remained largely the same since approval by City council and that the modest increase in floor-to-floor heights is desirable for the use of the property since will allow for overhead ceiling heights that occupants will find more comfortable. The slight increase in floor to floor heights has led to this required variance, but does not represent a significant change from the intended land use as endorsed by City council.

4. Is the application minor in nature?

Yes. It is my professional opinion that the variance is minor in nature. The requested relief responds to the determined construction methodology. The required setback distance (9.3 m) is still provided, however this distance is not achieved for an additional 1.5 m in building height. In my opinion, this is minor in nature and in keeping with the originally proposed development concept.

Variance No. 3:

Dwelling unit proposed at grade whereas the By-Law requires a minimum finished floor elevation of 0.5 m above grade for any dwelling unit.

1. Does the variance maintain the general intent and purpose of the Official Plan?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan is silent on the matter, but does include design direction supporting the integration of compatible land uses and urban design direction to ensure that ground level units are designed to be compatible and sympathetic to the surrounding neighbourhood. In my opinion, the design includes ground level units with direct

pedestrian accesses thereto, with several units have steps/stoops on their street facing facades. The Official Plan also includes direction to support the provision of barrier free / accessible units, which the variance will help to facilitate. In my opinion, the proposed variance will maintain the general intent and purpose of the Official Plan.

2. Does the variance maintain the general intent and purpose of the Zoning By-Law?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law. Based on the City Staff Report for the Official Plan Amendment and Zoning By-Law Amendment, it is my understanding that the purpose of requiring a minimum finished floor elevation for ground level units “is to avoid rear lotting and ensure buildings are designed with front porch conditions facing the street” and “to provide a development scale that is reflective of the neighbourhood which is dominated by low rise dwellings accessed at grade.”

As shown on the proposed architectural drawings, the ground level units proposed along both Dow Avenue and Cline Avenue South have been designed to front onto the municipal street and will direct accesses to the public realm and many units including front porches and stoops. In my opinion, the proposed design which orients units towards the public realm is in keeping with the purpose and intent of the Zoning By-Law and satisfies this Planning Act test.

3. Is the variance appropriate and desirable for the use and development of the property?

Yes. It is my professional opinion that the proposed use and variance are desirable for the area. As discussed, the purpose of this regulation is to ensure that units are streetfacing and that the development is provided at a scale reflective of the neighbourhood. In my opinion, the requested variance is appropriate and desirable for the use of the property as the design of the building includes street facing ground level units, in keeping with the intent of the by-law.

4. Is the application minor in nature?

Yes. It is my professional opinion that the variance is minor in nature. As noted, the development will contain street-facing units which is the intent of the regulation. The variance requested is not being sought to deviate from this direction, but rather is being requested to ensure barrier free accessibility and to support the logical development of the property.

Variance No. 4

Proposing a building setback of 13.8 m for portions of the building exceeding 22 m in height, whereas 14.3 m is required. This variance is required to account for ‘bump-outs’ from the tower between level 8 and 15 which is necessary to align parts of the structural pre-cast system to transfer loads from the upper tower down through the podium structure.

1. Does the variance maintain the general intent and purpose of the Official Plan?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan is silent on the matter, but does include design direction to ensure appropriate setbacks between towers and adjacent lands. In our opinion, the slightly reduced setback where the building is greater than 22 m in height is negligible, and the

13.8 m setback contemplated will provide ample separation between the tower and adjacent lands.

2. Does the variance maintain the general intent and purpose of the Zoning By-Law?

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law. As noted above, this slight variance has been requested to account for two structural bump outs between levels 8-15 which are required to account for the proposed structural precast system to transfer loads from the taller portions of the tower to its base. These bump outs are limited in length, with the remainder of the tower facades abiding by the otherwise required 14.3 m setback.

3. Is the variance appropriate and desirable for the use and development of the property?

Yes. It is my professional opinion that the variance is desirable for the use and development of the property, as it will support the proposed structural system. The development has been considered and supported by council and this revision is necessary to implement the broader development concept for the lands.

4. Is the application minor in nature?

Yes. It is my professional opinion that the variance is minor in nature. As noted, the 'bump outs' will be limited in length relative to the rest of the façade, and the overall reduction in setback distance of 0.5 m is negligible.

Conclusion

We trust that the information provided in this letter along with the attached architectural drawings provides you with sufficient information for the review and processing of the minor variance application. Should you require anything further, or should you wish to discuss, please do not hesitate to contact me.

Sincerely,



David Galbraith, MCIP RPP
President, UP Consulting



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME	[REDACTED]	
Registered Owners(s)	1107 Main Street Inc.		
Applicant(s)	Up Consulting Ltd c/o David Galbraith		
Agent or Solicitor		Phone:	
		E-mail:	

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent [REDACTED]

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1107 Main Street West, Hamilton		
Assessment Roll Number			
Former Municipality			
Lot	PIN 17464-0282 (LT)	Concession	
Registered Plan Number	728	Lot(s)	21-33
Reference Plan Number (s)	62R-11411	Part(s)	8

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

- Minimum Finished Floor Elevation of any dwelling unit be 0.5 metres above grade
- Maximum setback from Dow Avenue (4.5 metres required, whereas 5.023 metres proposed)
- Building setback from Main Street above 36 metres in building height (proposing a building setback of 9.3 m for any portion of the building exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height).
- Minimum Setback of the building exceeding a height of 22.0 metres from Cline and Dow Avenue (13.8 m proposed whereas 14.3 m required)

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Variances resulting from detailed design which has led to slight deviations from site specific zoning for the project

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
66 m & 60.3 & 86.5 m	Varies	5170 sq m	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Church	3.996 m	32.256 m	16.273 m / 13.421 m	01/09/1959

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
15 Storey Apartment	12.13 m	7.5 m	5 m	Proposed

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
15 Storey Apartment	2,689 sq. m	19,392.2 sq.m	15	46.6

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

15 storey mixed use building (~550 sq m of at-grade commercial) containing 308 residential units

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Primarily residential

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2020

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Institutional / church

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Institutional / church

7.4 Length of time the existing uses of the subject property have continued:

Approximately 60 years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): NA

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Mixed Use – Medium Density

Please provide an explanation of how the application conforms with the Official Plan.

Development conforms to site specific OP policy applicable to lands which permits a high rise mixed use development

7.6 What is the existing zoning of the subject land? TOC1, 772, H75

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 308

8.3 Additional Information (please include separate sheet if needed):

See cover letter and attached architectural drawings

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
