



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-24:02	SUBJECT PROPERTY:	72 Holmes Avenue, Hamilton
ZONE:	"C/S-1335, S-1335a, S-720" (Urban Protected Residential)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended

APPLICANTS: Owner: Paul & Susan Seguro
 Agent: Peter Chee, Miko Urban Consulting Inc.

The following variances are requested:

1. One (1) parking space shall be provided instead of the minimum required Three (3) parking spaces.

PURPOSE & EFFECT: To facilitate the construction of a new single detached dwelling with one (1) secondary dwelling unit.

Notes:

1. Please be advised the property is also subject to the R1 Zone, Amending By-law 24-051 and 24-052 within the Hamilton Zoning by-law 05-200, which is not yet final and binding. As per the submitted application the proposal has been reviewed against the current 6593 Former Hamilton Zoning By-law C District.
2. Please be advised previous consent and minor variance application HM.B.23.25 and HM.A.23.111 is associated with this property.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, August 6, 2024
TIME:	1:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)

	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment
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For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 2, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 2, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-24:02, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: July 18, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048

GENERAL GRADING NOTES

- ALONG ADJOINING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPES (MIN. 3H:1V) AND/OR RETAINING WALLS AS SPECIFIED.
- ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45M OFF THE PROPERTY LINE. ALL WALLS 1.0M OR HIGHER SHALL BE DESIGNED BY A P.ENG.
- SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150MM ABOVE THE PROPOSED SIDE YARD SWALES.
- RETAINING WALLS 0.6M IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXTERIOR GUARDS AS CONTAINED IN THE ONTARIO BUILDING CODE.
- SLOPES OF SWALES FOR BOTH BACK TO FRONT AND SPLIT DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3% GRADE (3:1 SLOPES).
- WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150MM SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, (WITH A MINIMUM 0.3M COVER OVER THE SUB-DRAIN), OR OTHER MITIGATION MEASURES.
- MINIMUM GRADE FOR A WRAP-AROUND SWALE IN THE BACKYARD SHALL BE 1.0%.
- UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS ON SIDE LOTS SHALL BE GRADED AS A STRAIGHT LINE.
- TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150MM (MIN) ABOVE FINISHED GRADE.
- DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
- ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300MM LIFTS.
- FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC., REFER TO TREE PROTECTION PLAN.
- IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS, OTHERWISE RETAINING WALLS MUST BE USED.
- THE WRITTEN PERMISSION REQUIRED FROM THE ADJACENT LANDOWNER SHALL BE OBTAINED PRIOR TO ENTERING THE LANDS. SHOULD PERMISSION NOT BE OBTAINED OR IS WITHDRAWN PRIOR TO COMMENCING THE WORK, THEN THE DEVELOPER SHALL LIMIT HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
- DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT HYDRO VAULTS AND OTHER STREET FURNITURE ARE A MIN. OF 1.2M FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.

GENERAL UNDERGROUND SERVICES NOTES

- ALL SERVICES TO BE INSTALLED AS PER CITY OF HAMILTON CONSTRUCTION AND MATERIAL SPECIFICATIONS MANUAL (LATEST EDITION) AND MINISTRY OF THE ENVIRONMENT GUIDELINES (LATEST EDITION).
- MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICES MAINS AND SEWER DRAINS AND MUNICIPAL SEWER MAINS SHALL BE 2.0M MEASURED FROM THE CLOSEST PIPE EDGE TO CLOSEST PIPE EDGE. VERTICAL SEPARATION WHERE WATER SERVICE MAINS PASS OVER A SEWER DRAIN OR MUNICIPAL SEWER MAIN MUST BE A MINIMUM OF 0.25M UNLESS GREATER SEPARATION IS REQUIRED TO PROVIDE FOR PROPER BEDDING AND STRUCTURAL SUPPORT. WATER SERVICES MAINS PASSING UNDER SEWER DRAINS OR MUNICIPAL SEWER MAINS MUST HAVE A SEPARATION OF 0.5M BETWEEN THE INVERT OF THE SEWER MAIN DRAIN AND THE CROWN OF THE WATER SERVICE MAIN. ALL WATER SERVICES TO BE INSTALLED WITH A MINIMUM OF 1.0M COVER. SEWER DRAINS TO BE INSTALLED WITH A MINIMUM COVER OF 2.0M AT THE PROPERTY LINE BELOW THE FINAL ROAD GRADE OR AT SUCH HIGH POINTS AS MAY BE NECESSARY TO MAINTAIN THE LEVEL OF THE MAIN SEWER. ON PRIVATE PROPERTY THE MINIMUM COVER FOR SEWER DRAINS IS TO BE NO LESS THAN 1.2M.
- APPROVAL OF THIS DRAWING IS FOR MATERIAL ACCEPTABILITY AND COMPLIANCE WITH MUNICIPAL AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION BY THE CITY OF THE WORKS DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS AND IT IS THE OWNER'S RESPONSIBILITY TO HAVE THEIR ENGINEER CERTIFY THIS ACCORDINGLY.
- ALL BACKFLOW PREVENTION DEVICES MUST BE SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF HAMILTON'S BACKFLOW PREVENTION BY-LAW #10-100.

PRIVATE DRAINS

PRIVATE DRAINS TO BE 150MM DIA. PVC PIPE, C/S B182.1, M-1983, SDR 26 AS PER FORM 500. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WOOD MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.

COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR 'A' INSTALLED AS PER OPSD 802.010 OR 802.013.

MINIMUM FALL FOR PRIVATE DRAINS TO BE 2.0%.

TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2M (MIN) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.

TOP OF STORM PRIVATE DRAINS AT STREET LINE TO BE 1.2M (MIN) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.

BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE ONTO THE GROUND SURFACE VIA SPLASH PADS, A MINIMUM OF 0.60M FROM A BUILDING FACE.

SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WEeping TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150MM ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

WATER SERVICE

W DENOTES WATER SERVICE CONNECTION (20MM DIA. TYPE 'K' SOFT COPPER) AS PER WM-207.01.

GRANULAR BEDDING AS PER WM-200.01 AND WM-200.02 TO BE GRANULAR 'D' AS PER FORM 600.

SANITARY AND STORM SEWERS

CONSTRUCTION OF SANITARY & STORM SEWERS & PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).

SUMP PUMPS

SUMP PUMPS WITH CHECK VALVES ARE TO BE INSTALLED IN EACH DWELLING TO PUMP THE WEeping TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET SHALL EXTEND A MINIMUM OF 150MM ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

ROOFWATER LEADERS

ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6M FROM THE BUILDING FACE.

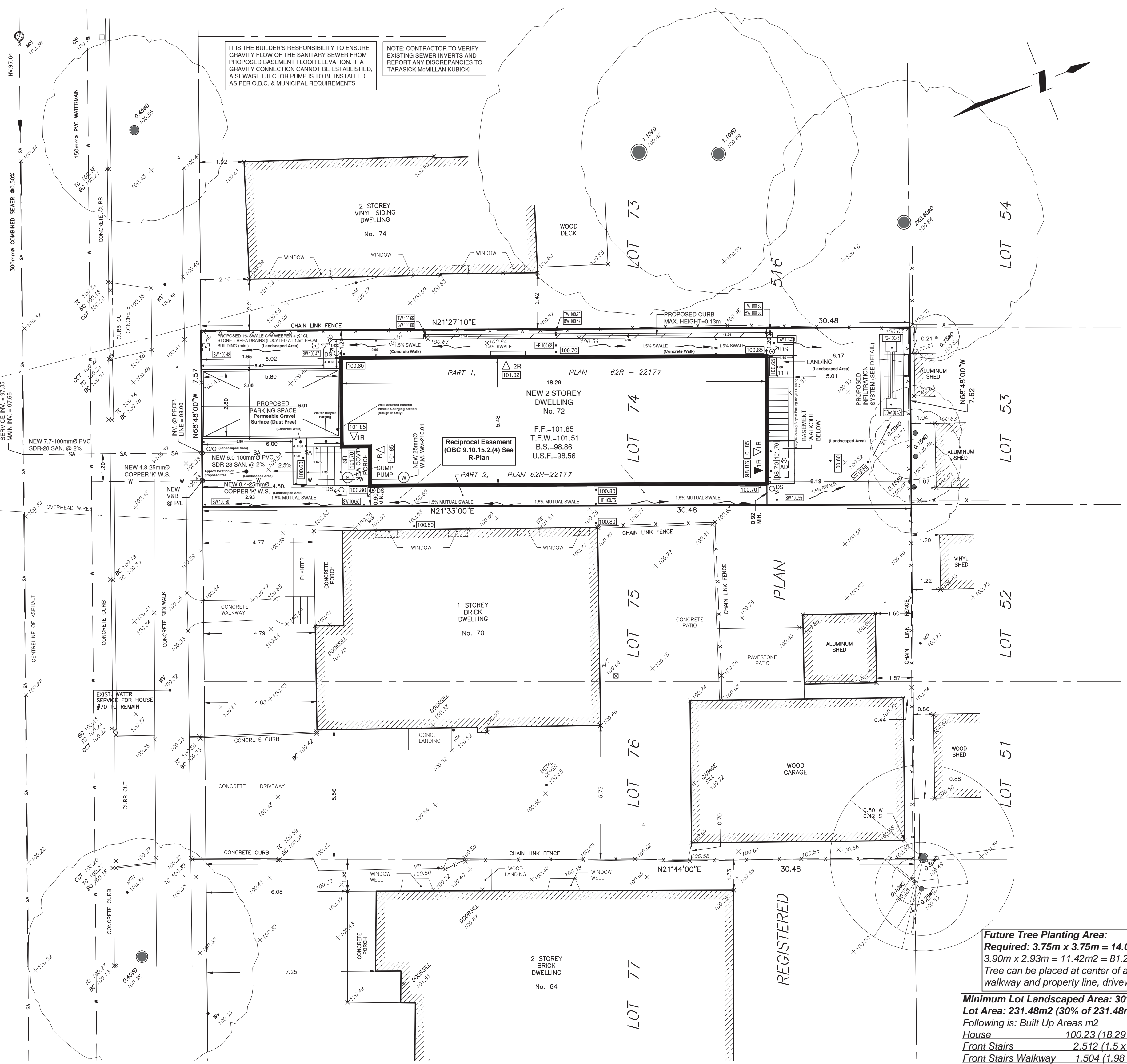
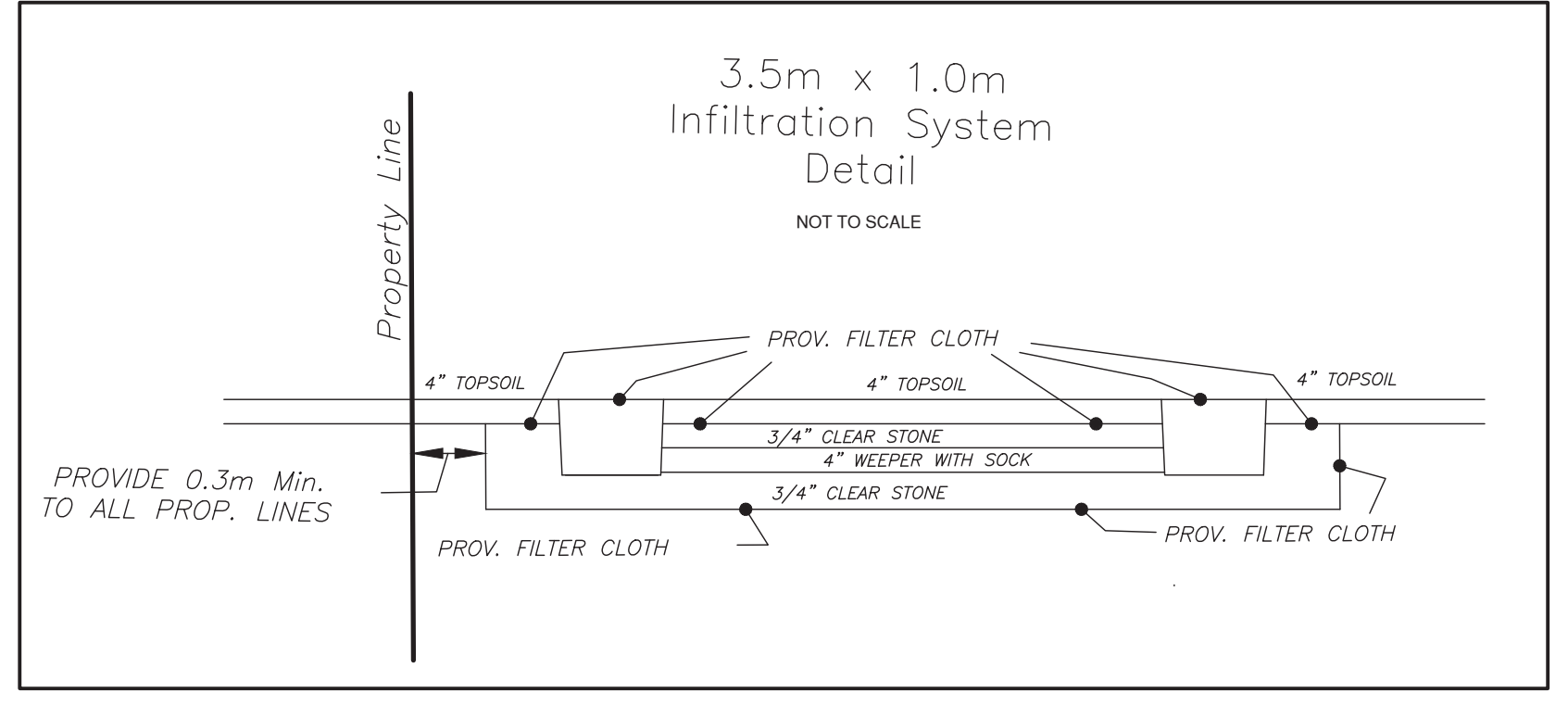
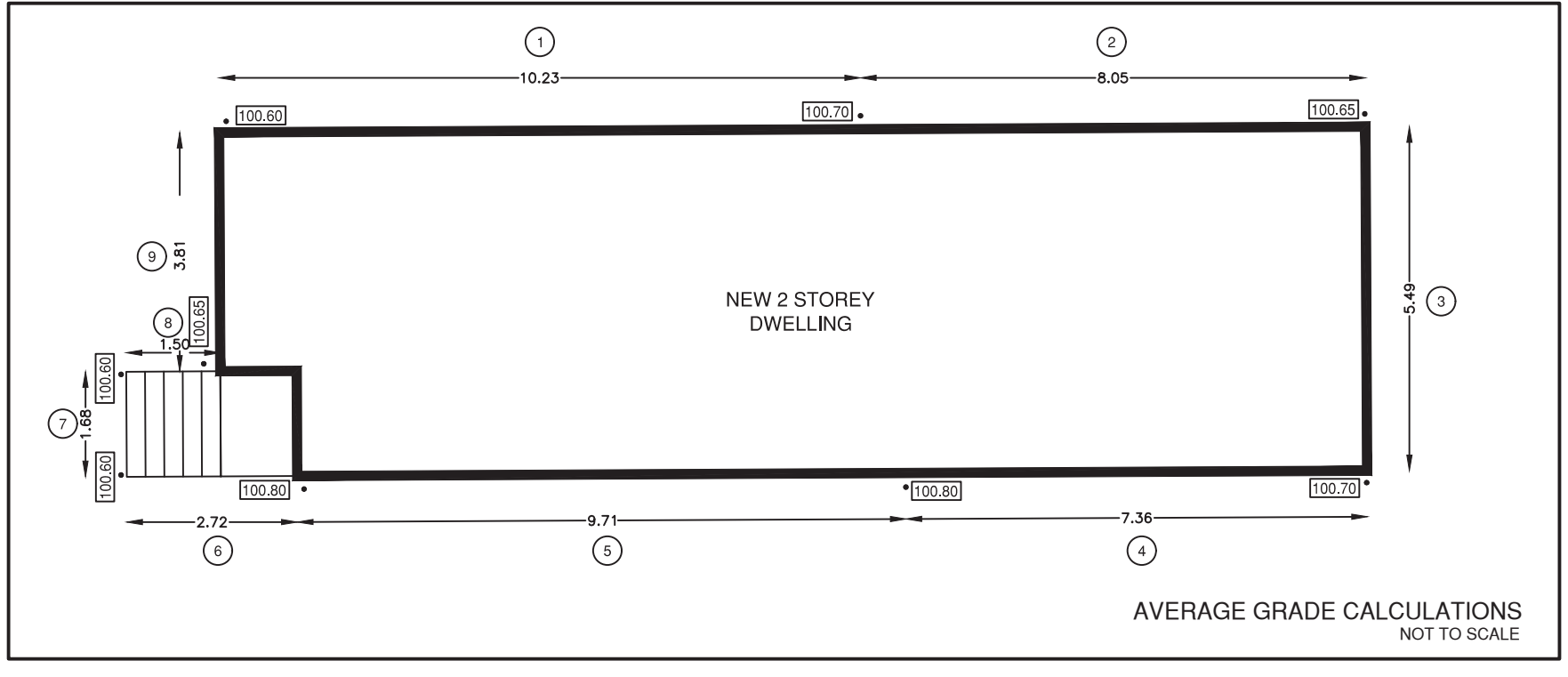
SILTATION AND EROSION CONTROL

SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.

ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY OF HAMILTON.

ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE CITY OF HAMILTON.

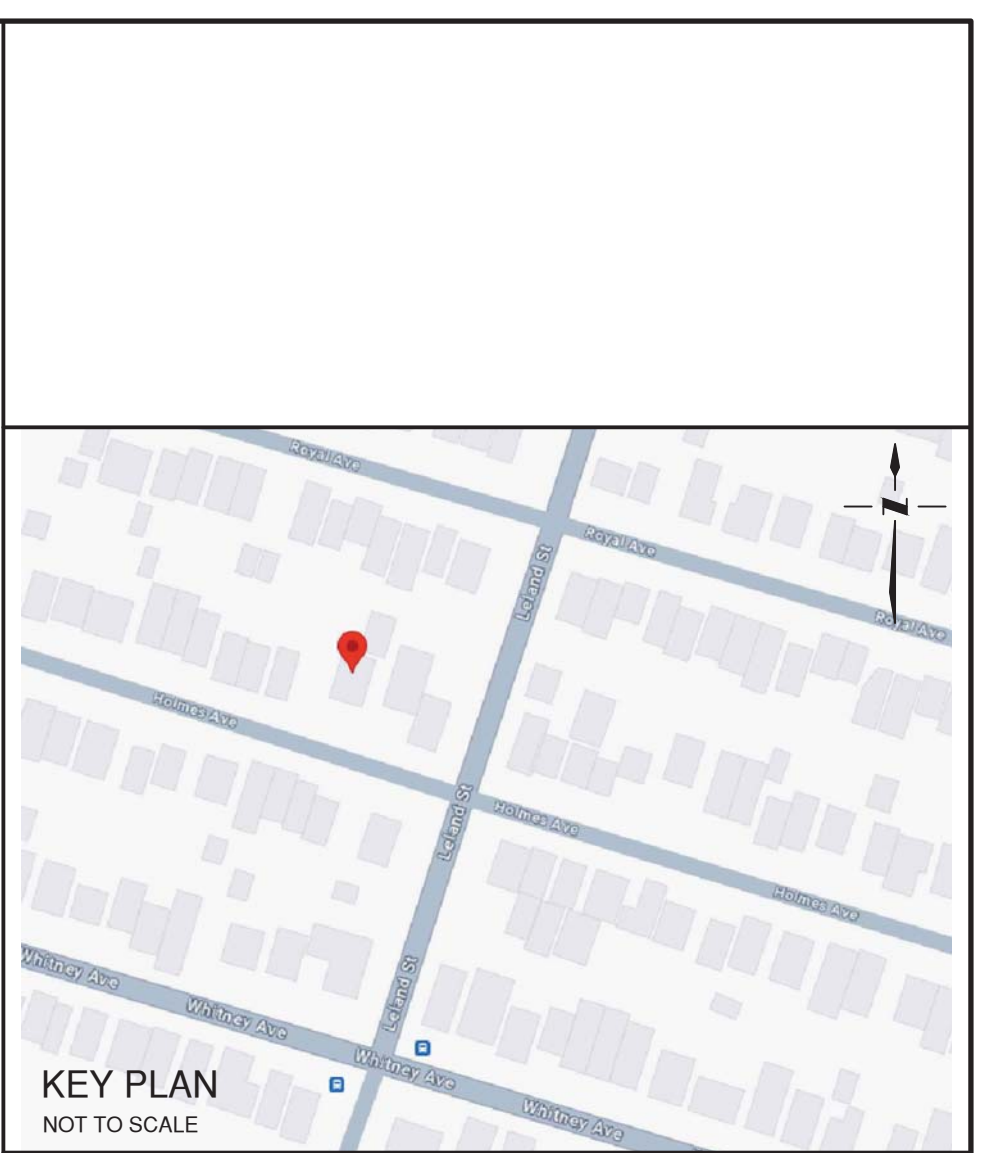
Average grade calculations					
Formula: Ave. GRADE = SUM [(ELEV 1+ELEV 2)x0.5xDIST] / SUM DIST					
Length	ELEV 1	ELEV 2	Average	DIST	(ELEV 1+ELEV 2) x0.5xDIST
1	100.60	100.70	100.65	10.23	1029.65
2	100.70	100.65	100.68	8.05	810.43
3	100.65	100.70	100.68	5.49	552.71
4	100.70	100.80	100.75	7.36	741.52
5	100.80	100.80	100.80	9.71	978.77
6	100.80	100.60	100.70	2.72	273.90
7	100.60	100.60	100.60	1.68	169.01
8	100.60	100.65	100.63	1.50	150.94
9	100.65	100.60	100.63	3.81	383.38
			SUM:	50.55	5090.31
			Average GRADE [metres] =	100.70	
			Date:	October 11, 2023	
			Address:	70 Holmes Avenue	
Tarasick, McMillan Limited, Ontario Land Surveyors					



Future Tree Planting Area:
Required: 3.75m x 3.75m = 14.06m²
3.90m x 2.93m = 11.42m² = 81.22% of 14.06m²
Tree can be placed at center of area show between front walkway and property line, driveway and side lot line.

Minimum Lot Landscaped Area: 30% Min
Lot Area: 231.48m² (30% of 231.48m² = 69.44m²)
Following is: Built Up Areas m²
House 100.23 (18.29 x 5.48)
Front Stairs 2.512 (1.5 x 1.675)
Front Stairs Walkway 1.504 (1.98 x 0.76)
Driveway 18.030 (6.01 x 3.0)
Front Westerly Walkway 0.598 (1.032 x 0.60) (minus 0.021)
West Side Walkway 16.46 (0.90 x 18.29)
Rear Walkway 2.088 (1.16 x 1.80)
Rear Basement Steps 5.301 (1.16 x 4.57)
West Retaining Wall 2.286 (0.15 x 15.24)
Subtotal 149.009
231.48m² - 149.009m² = 82.471m²
Total Lot Landscaped Area Retained: 82.47m² = 35.62% of 231.48m² (5.62% above required min)

Front Yard Landscaping: 50% Min
Total Front Yard Area 45.513m² (50% of 45.513m² = 22.76m²)
Following is: Hard Surfaces m²
Driveway 18.030 (6.01 x 3.0)
Front Stairs 2.512 (1.5 x 1.675)
Front Stairs Walkway 1.188 (1.98 x 0.60)
Front Westerly Walkway 0.598 (1.032 x 0.60) (minus 0.021)
Subtotal 22.328
45.513m² - 22.328m² = 23.185m²
Total Front Yard Landscaped Area Retained: 23.185m² = 50.94% of 45.513 (0.94% above required min)



LEGAL DESCRIPTION:
LOT 74
REGISTERED PLAN 516
CITY OF HAMILTON
REGIONAL MUNICIPALITY OF HAMILTON-WENTWORTH

SURVEY INFORMATION
SURVEY INFORMATION IS TAKEN FROM PLAN OF SURVEY WITH TOPOGRAPHY PREPARED BY TARASICK McMILLAN KUBICKI LIMITED, ONTARIO LAND SURVEYORS, DATED FEBRUARY 6, 2023.

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO CANADIAN GEODETIC VERTICAL DATUM 1928 (1978 ADJUSTMENT), AND WERE DERIVED FROM GEODETIC SURVEYS OF CANADA BENCHMARK No. 0011965003, HAVING A PUBLISHED ELEVATION OF 100.149 metres.

LOCATION DESCRIPTION:
TOWNSHIP: HAMILTON-WENTWORTH CANADIAN MARTYRS SEPARATE SCHOOL, ONSOUTH SIDE OF MAIN STREET, 76.2 M WEST OF EMERSON STREET, TABLET IN EAST CONCRETE FOUNDATION WALL, 5.18 M SOUTH OF SIDE ENTRANCE, 3.81 M FROM SOUTHEAST CORNER, 15 CM BELOW STONE SIDING, AT ROAD LEVEL.

LEGEND

MH	DENOTES	MANHOLE
PH	DENOTES	FIRE HYDRANT
WUP	DENOTES	WOOD UTILITY POLE
WV	DENOTES	WATER VALVE
▲	DENOTES	ENTRY POINT AT LOWER LEVEL
▲	DENOTES	ENTRY POINT AT ELEVATION FLOOR
●	DENOTES	EXISTING SPOT ELEVATION
●	DENOTES	PROPOSED SPOT ELEVATION
○	DENOTES	PROPOSED RAINWATER DOWNSPOUT
○	DENOTES	PROPOSED SUMP PUMP LOCATION AND OUTLET
□	DENOTES	AREA DRAIN
○	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER
○	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
○	DENOTES	TREE TO BE REMOVED
→	DENOTES	DIRECTION AND GRADIENT OF DRAINAGE
→	DENOTES	DIRECTION OF SWALE

DO NOT SCALE DRAWINGS

- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.
- THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.
- ALL WORKS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

REVISIONS

NO.	DESCRIPTION

APPLICANT / OWNER
PAUL SEGURO
seguirhomes@gmail.com
(416)-836-3671

PROJECT:
PROPOSED 2 STOREY SINGLE FAMILY DWELLING
72 HOLMES AVENUE, HAMILTON

SHEET TITLE:
SITE LAYOUT / GRADING AND SERVICING PLAN

SCALE: 1:100

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 5R2
TEL: (905) 569-8849 FAX: (905) 569-3160
E-MAIL: office@tmksurveyors.com

DRAWN BY: D.H. FILE No. 9695-SGP-2023-10-10



For Visual Purposes. Concept Only.

LIST OF DRAWINGS

A-1	COVER SHEET
A-2	BASEMENT FLOOR PLAN
A-3	GROUND FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	ROOF PLAN
A-6	SOUTH ELEVATION
A-7	NORTH ELEVATION
A-8	WEST ELEVATION
A-9	EAST ELEVATION
A-10	WALL SECTION
A-11	CONC. COLD ROOM AND GUARD DETAILS
A-12	BEARING WALL AND REAR DECK DETAILS
A-13	GENERAL NOTES
A-14	GENERAL NOTES

RESIDENTIAL - 2 UNITS

**72 HOLMES AVE,
HAMILTON ONTARIO**



Contractor Must Check And Verify the existing Site conditions including All Dimensions and report any Discrepancies to Consultants before proceeding with any Work at the Job Site. Do Not Scale The Drawings. All Drawings, Specifications And Related Documents Are The Copyright Of The Architect. And/Or Designer And Must Be Returned Upon Request. Reproduction Of Drawings, Specifications And Related Documents In Part Or Whole Is Forbidden Without The Architects Written Permission. This Drawing Is Not To Be Used For Construction Until Signed By The Architect and/or Designer.

**2659121 Ontario Inc.
Design & Project Managers**

16 Nashville Ave Unit A Toronto, Ontario, M6M 1J1
Tel: 519-941-8304 Cell: 416-804-7595
mannymarcos13@gmail.com

Drawing Title
COVER SHEET

Project
RESIDENTIAL - 2 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

I.S	Drawn by	JULY 16, 2023	Plot Date
M.M	Checked by	JUNE 13, 2024.	Revised
AS SHOWN	Scale		Drawing No.
2215-689	Project No.	A-1	
1 OF 14	Sheet No.		



Contractor Must Check and verify the existing site conditions including all dimensions and report any discrepancies to the architect in writing prior to construction. The drawings, all drawings, specifications and related documents are the copyright of the architect and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the architect's written permission. The architect is not responsible for any errors or omissions in the drawings and specifications prepared by the architect and/or designer.

Design & Project Managers
 2659121 Ontario Inc.
 16 Nashville Ave Unit A Toronto, Ontario, M6M 1J1
 Tel: 519-941-8304 Cell: 416-804-7595
 mannyarcoos13@gmail.com

Drawing Title
BASEMENT FLOORPLAN

Project
RESIDENTIAL - 2 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

Drawn by: I.S.
 Checked by: M.M.
 Scale: AS SHOWN
 Project No.: 2215-689
 Sheet No.: 2 OF 14

Plot Date: JULY 16, 2023
 Revised: JUNE 13, 2024
 Drawing No.: **A-2**

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

STRUCTURAL LEGEND

B1	1 3/4" x 9 1/2" (2.0E 3100) WestFraser LVL (2 PLY)
B7	1 3/4" x 9 1/2" (2.0E 3100) WestFraser LVL (2 PLY)
J1	9 1/2" NI-40x
J2	9 1/2" NI-80
H3	US3.56/9.5

ADDITIONAL NOTES:

- 6" CONC. SLAB WITH 10M REBAR BOTH WAYS @12" O.C.
- 2-2X8
- 2X8 PT @16" O.C. JOISTS WITH DECK BOARDS
- 2-3-1/2" X 3-1/2" X 1/4" STEEL ANGLES
- 1-3-1/2" X 3-1/2" X 1/4" STEEL ANGLES

UNIT 2 SECONDARY UNIT
 95.74 SQ.M.

BASEMENT FLOOR AREA: (102.32 SQ. M.)
 LAUNDRY AREA: (0.99 SQ. M.)
 MECH. AREA: (2.99 SQ. M.)
 COLD ROOM AREA: (2.60 SQ. M.)
 BASEMENT FLOOR NET AREA (95.74 SQ.M.)

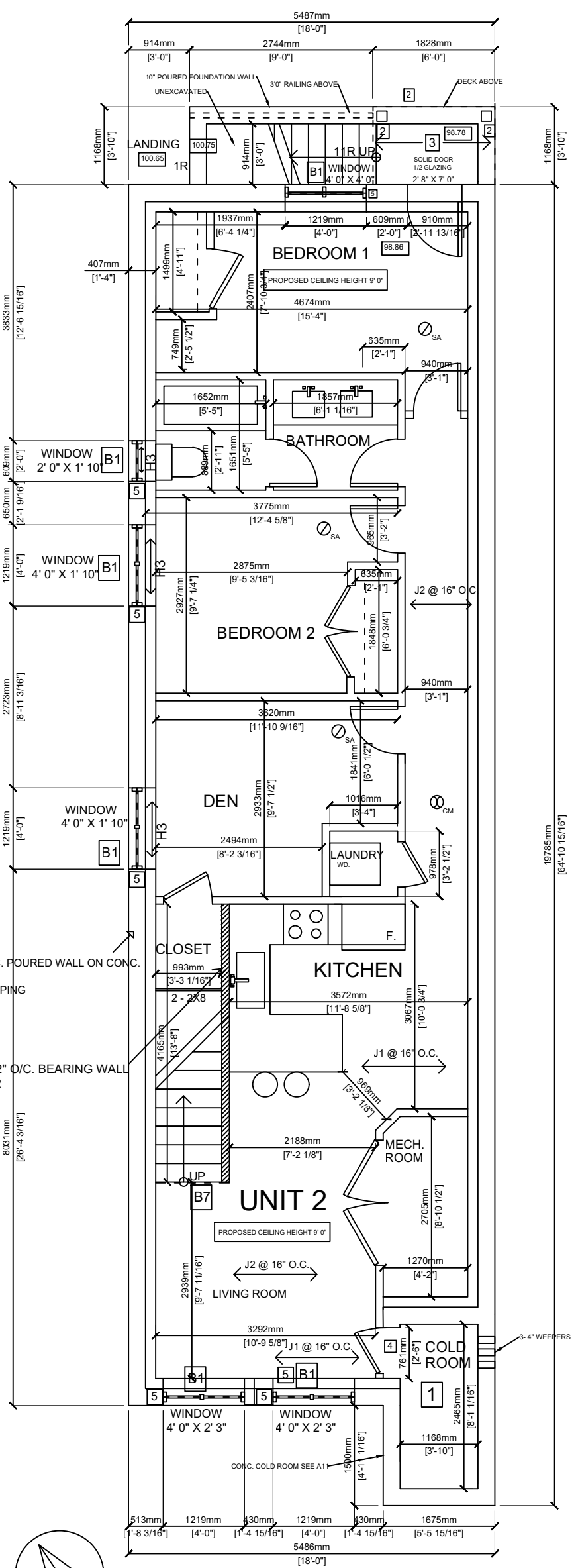
LIVING/DINING ROOM AREA: 11.30 SQ.M.
 MIN. WINDOW GLAZING (10%): 1.13 SQ.M.
 PROP. WINDOW GLAZING (14.8%): 1.67 SQ.M.

BEDROOM 1: (10.35 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.68 SQ. M.)
 PROP. WINDOW GLAZING (21.64%): (2.24 SQ. M.)

BEDROOM 2 AREA: (9.12 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.46 SQ. M.)
 PROP. WINDOW GLAZING (7.46%): (0.68 SQ. M.)

REFER TO GENERAL NOTES A12-A14

- | | |
|---|---|
| 1 STRIP FOOTING
SEE GENERAL NOTES | 33 GUARD RAIL
SEE GENERAL NOTES |
| 2 FOUNDATION WALL
SEE GENERAL NOTES | 38 STEEL BEARING PLATE FOR MASONRY WALLS
SEE GENERAL NOTES |
| 6 INTERIOR STUD WALL
CONSTRUCTION
SEE GENERAL NOTES | 39 SMOKE ALARMS
SEE GENERAL NOTES |
| 15 BASEMENT SLAB
SEE GENERAL NOTES | 40 CARBON MONOXIDE DETECTORS
SEE GENERAL NOTES |
| 19 BASEMENT INSULATION AND STRAPPING
SEE GENERAL NOTES | 41 PORCH SLAB CONSTRUCTION
SEE GENERAL NOTES |
| 20 ANCHOR BOLTS
SEE GENERAL NOTES | |
| 23 WEEPING TILE
SEE GENERAL NOTES | |
| 32 MAIN STAIRS AND EXTERIOR STAIRS
SEE GENERAL NOTES | |



It is the contractor's responsibility to ensure that all construction conforms with the Ontario Building Code.

BASEMENT FLOORPLAN
SCALE 1:75



Contractor Must Check And Verify the existing site conditions including all dimensions and report any discrepancies to the architect in writing on the 200 Scale. The drawings, all drawings, specifications and related documents are the copyright of the architect. No part of these drawings or documents shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the express written permission of the architect. Cross-sections shall specify the Architect and/or Designer.

2659121 Ontario Inc.
Design & Project Managers
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 mannymarcos13@gmail.com

GROUND FLOOR PLAN
 Residential - 2 Units
 72 HOLMES AVE, HAMILTON ONTARIO

I.S. Drawn by
 M.M. Checked by
 AS SHOWN Scale
 2215-689 Project No.
 3 OF 14 Sheet No.

JULY 16, 2023 Plot Date
 JUNE 13, 2024 Revised
A-3 Drawing No.

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

STRUCTURAL LEGEND	
J1	9 1/2" NI-40x
J4	9 1/2" NI-80
B11 DR	1 3/4" x 7 1/4" (2.0E 3100) WestFraser LVL (2PLY)
B20 DR	1 3/4" x 7 1/4" (2.0E 3100) WestFraser LVL (3 PLY)
B8	1 3/4" x 9 1/2" (2.0E 3100) WestFraser LVL (3 PLY)
B10	1 3/4" x 9 1/2" (2.0E 3100) WestFraser LVL (2 PLY)
H1	IUS2.56/9.5
H2	HUS1.81/10
H4C	HUC410
H4	HGUS410

ADDITIONAL NOTES:	
1	2 2X6 POST TO FOUNDATION
2	2- 2X8 PT
3	2X8 PT @ 16" O.C. JOISTS WITH DECK BOARDS
4	2X4 CEILING JOISTS AND 2X4 ROOF RAFTERS @ 16" O.C.
5	1- 3-1/2" X 3-1/2" X 1/4" STEEL ANGLES

CM SMOKE ALARM AND CARBON MONOXIDE
 SA SMOKE ALARM WITH STROBE

W1a (FRR 1 HR) WALL ASSEMBLY
 2X4 STUDS @ 16" O.C WITH 3.5" THICK ABSORPTIVE MATERIAL AND 1 LAYER 5/8" TYPE X DRYWALL ON EACH SIDE

UNIT 1 PRIMARY UNIT
 93.56 SQ.M. (MAIN) + 99.27 SQ.M. (SECOND)

GROUND FLOOR CALCS:
 GROSS FLOOR AREA: (98.32 SQ. M.)
 LAUNDRY AREA: (1.22 SQ. M.)
 MECH. AREA: (3.54 SQ. M.)
 GROUND FLOOR NET AREA (93.56 SQ.M.)

FRONT PORCH AREA: (2.01 SQ. M.)
 REAR DECK AREA (2.23 SQ.M.)

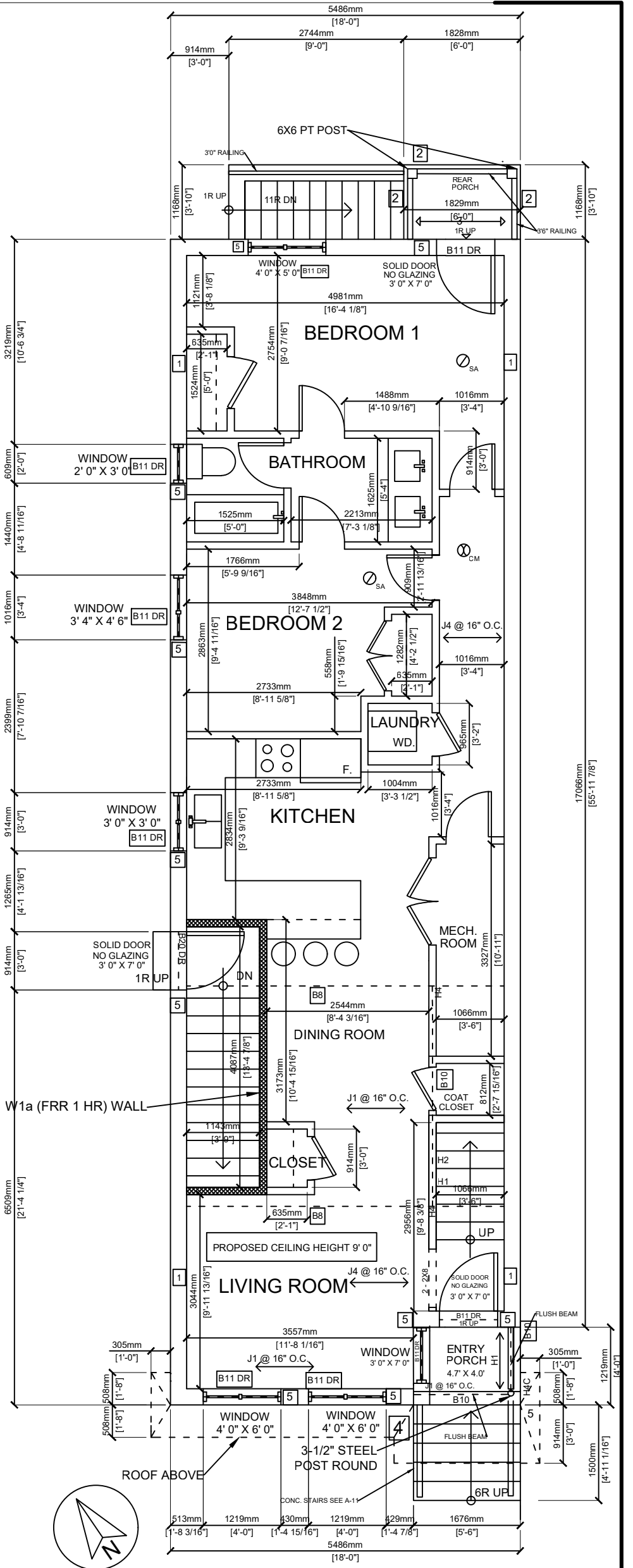
BEDROOM 1 AREA: (13.42 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.67 SQ. M.)
 PROP. WINDOW GLAZING (13.8%): (1.85 SQ. M.)

BEDROOM 2 AREA: (9.36 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.47 SQ. M.)
 PROP. WINDOW GLAZING (14.9%): (1.39 SQ. M.)

LIVING/DINING ROOM AREA: 18.95 SQ.M.
 MIN. WINDOW GLAZING (10%): 1.90 SQ.M.
 PROP. WINDOW GLAZING (23.5%): 4.46 SQ.M.

TOTAL UNIT 1 CALS:
 93.56 SQ.M. (GROUND FLOOR NET AREA) + 99.27 (SECOND FLOOR NET AREA) = 192.83 SQ.M.

- REFER TO GENERAL NOTES A12-A14
- 3 BRICK-STONE VENEER CONSTRUCTION SEE GENERAL NOTES
 - 39 SMOKE ALARMS SEE GENERAL NOTES
 - 4 FRAME WALL CONSTRUCTION SEE GENERAL NOTES
 - 40 CARBON MONOXIDE DETECTORS SEE GENERAL NOTES
 - 6 INTERIOR STUD WALL CONSTRUCTION SEE GENERAL NOTES
 - 24 EXTERIOR CONCRETE STEPS SEE GENERAL NOTES
 - 32 MAIN STAIRS AND EXTERIOR STAIRS SEE GENERAL NOTES
 - 33 GUARD RAIL SEE GENERAL NOTES



It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

GROUND FLOOR PLAN

SCALE 1:75



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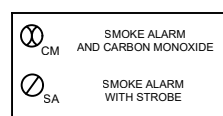
SECOND FLOOR PLAN
 Residential - 2 Units
 72 HOLMES AVE, HAMILTON ONTARIO

Drawn by: I.S.
 Checked by: M.M.
 AS SHOWN
 2215-689
 4 OF 14
 Scale: Project No.
 Sheet No.

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

STRUCTURAL LEGEND	
B24 DR	1 3/4" x 7 1/4" (2.0E 3100) WestFraser LVL (2 PLY)

ADDITIONAL NOTES:	
1	2 2X6 POST TO FOUNDATION
2	ENG. ROOF TRUSSES @ 24" O.C.
3	2X4 CEILING JOISTS AND 2X4 ROOF RAFTERS @ 16" O.C.
4	2 X 10 WINDOW LINTELS
5	1-3-1/2" X 3-1/2" X 1/4" STEEL ANGLES



UNIT 1 CONTINUED
 99.27 SQ.M.

SECOND FLOOR CALCS:
 GROSS FLOOR AREA: (100.30 SQ. M.)
 LAUNDRY AREA: (1.03 SQ. M.)
 SECOND FLOOR NET AREA (99.27 SQ.M.)

BEDROOM 1 AREA: (12.37 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.62 SQ. M.)
 PROP. WINDOW GLAZING (15%): (1.85 SQ. M.)

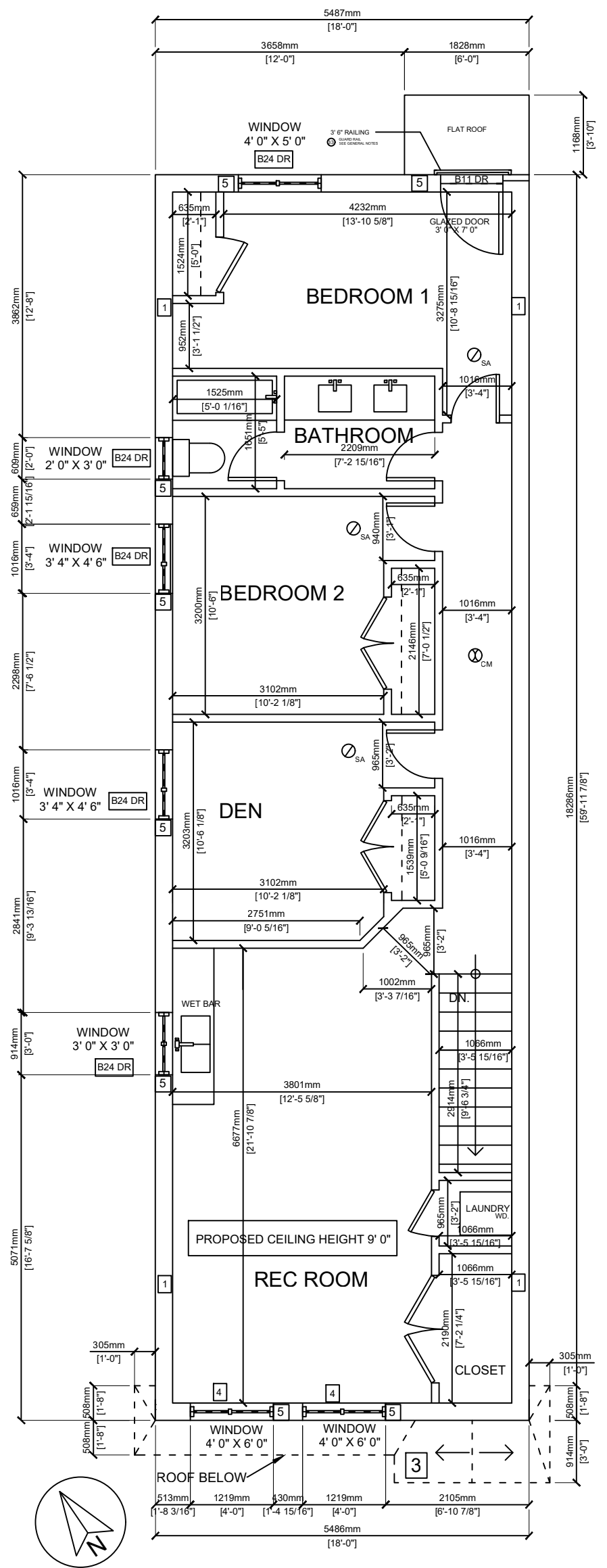
BEDROOM 2 AREA: (10.54 SQ. M.)
 MIN. WINDOW GLAZING (5%): (0.53 SQ. M.)
 PROP. WINDOW GLAZING (13.2%): (1.39 SQ. M.)

REC ROOM AREA: 13.18 SQ.M.
 MIN. WINDOW GLAZING (10%): 1.32 SQ.M.
 PROP. WINDOW GLAZING (33.8%): 4.46 SQ.M.

TOTAL UNIT 1 CALS:
 93.56 SQ.M. (GROUND FLOOR NET AREA) + 99.27 (SECOND FLOOR NET AREA) = 192.83 SQ.M.

REFER TO GENERAL NOTES A12-A14

- 3 BRICK-STONE VENEER CONSTRUCTION SEE GENERAL NOTES
- 4 FRAME WALL CONSTRUCTION SEE GENERAL NOTES
- 6 INTERIOR STUD WALL CONSTRUCTION SEE GENERAL NOTES
- 32 MAIN STAIRS AND EXTERIOR STAIRS SEE GENERAL NOTES
- 33 GUARD RAIL SEE GENERAL NOTES
- 39 SMOKE ALARMS SEE GENERAL NOTES
- 40 CARBON MONOXIDE DETECTORS SEE GENERAL NOTES

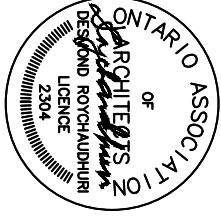


It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

SECOND FLOOR PLAN

SCALE 1:75

Plot Date: JULY 16, 2023
 Revised: JUNE 13, 2024
 Drawing No. A-4



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ROOF PLAN
 Residential - 2 Units
 72 HOLMES AVE, HAMILTON ONTARIO


I.S
 M.M
 AS SHOWN
 2215-689
 5 OF 14

Drawn by
 Checked by
 Scale
 Project No.
 Sheet No.

Plot Date
 Revised
 Drawing No.

ROOF OVERHANG IS 12" WITH 4" EAVES. TOTAL OVERHANG OF 1'-4" UNLESS OTHERWISE NOTED

SEE STRUCTURAL PLAN FOR PRODUCT LIST




CONVENTIONAL FRAMING 
 2X6 AT 16" O.C. RAFTERS
 2X8 HIPS AND RIDGES

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.

ALL ROOF SLOPES ARE 7/12

ROOF NOTES:
 ASPHALT SHINGLES
 FINISHED OVERHANG: 12"
 2X6 FASCIA BOARD

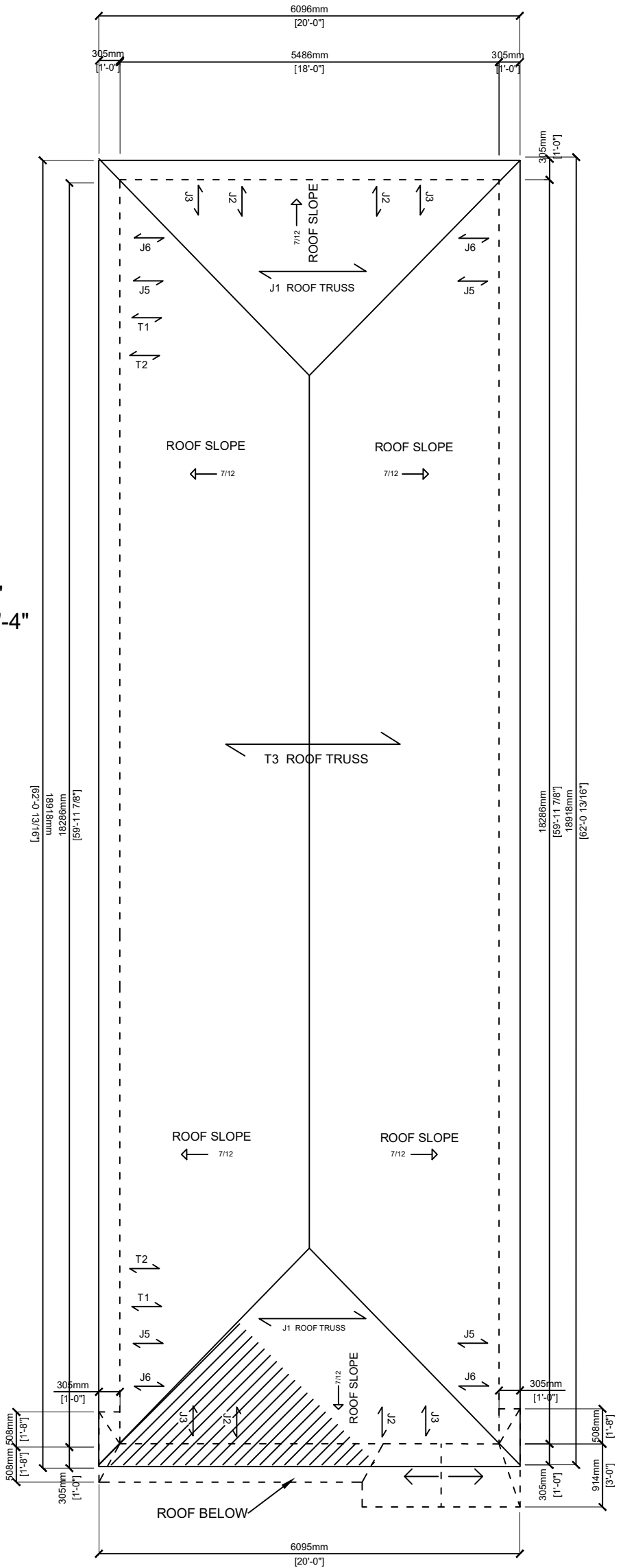
REFER TO GENERAL NOTES A12-A14

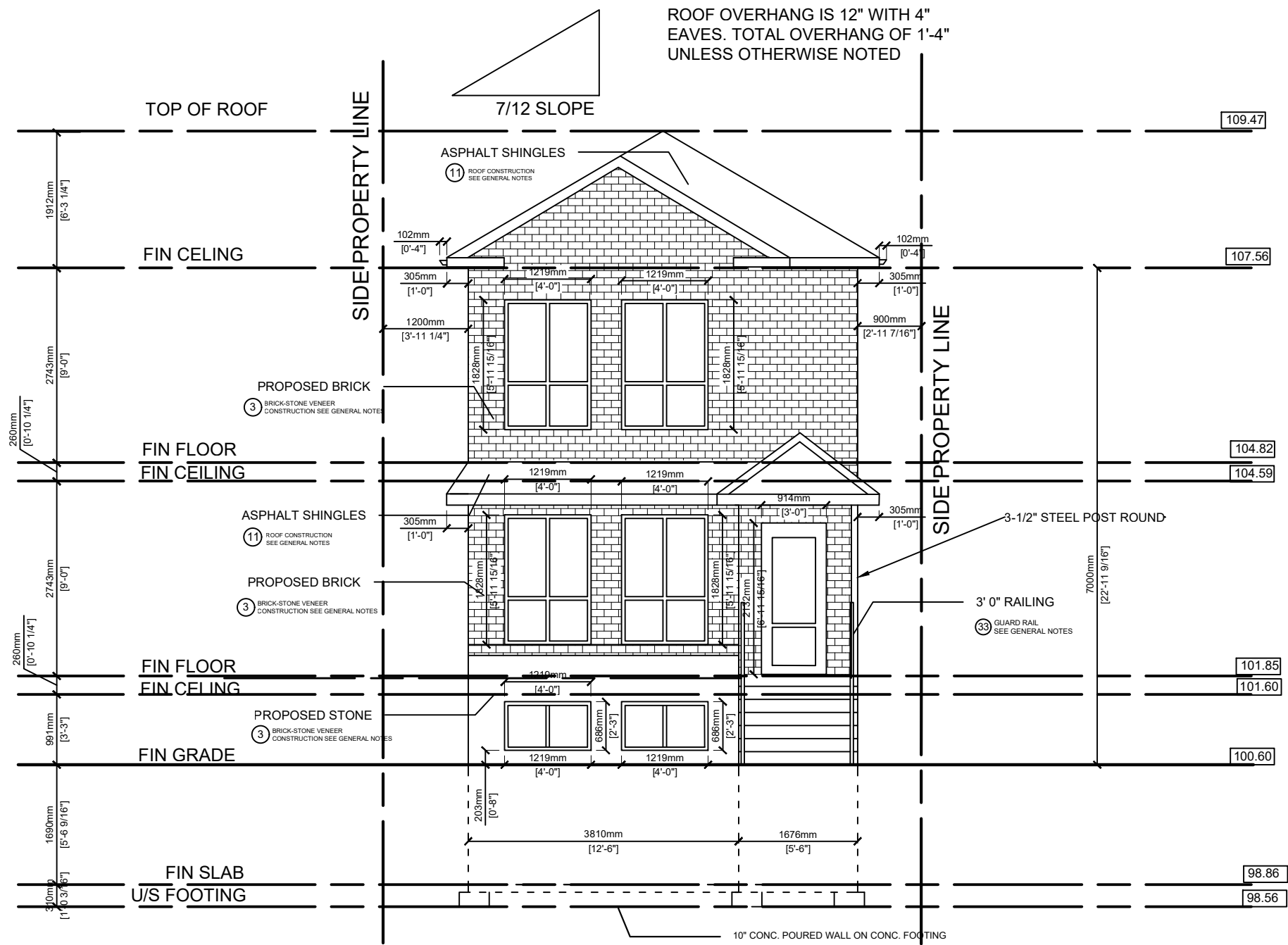
-  ROOF CONSTRUCTION SEE GENERAL NOTES
-  ROOF INSULATION SEE GENERAL NOTES
-  METAL FLASHING SEE GENERAL NOTES



It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

ROOF PLAN
SCALE 1:75

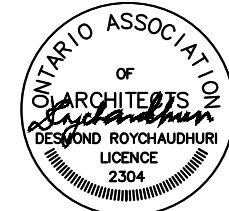




ROOF OVERHANG IS 12" WITH 4" EAVES. TOTAL OVERHANG OF 1'-4" UNLESS OTHERWISE NOTED

SOUTH ELEVATION
SCALE 1:75

It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.



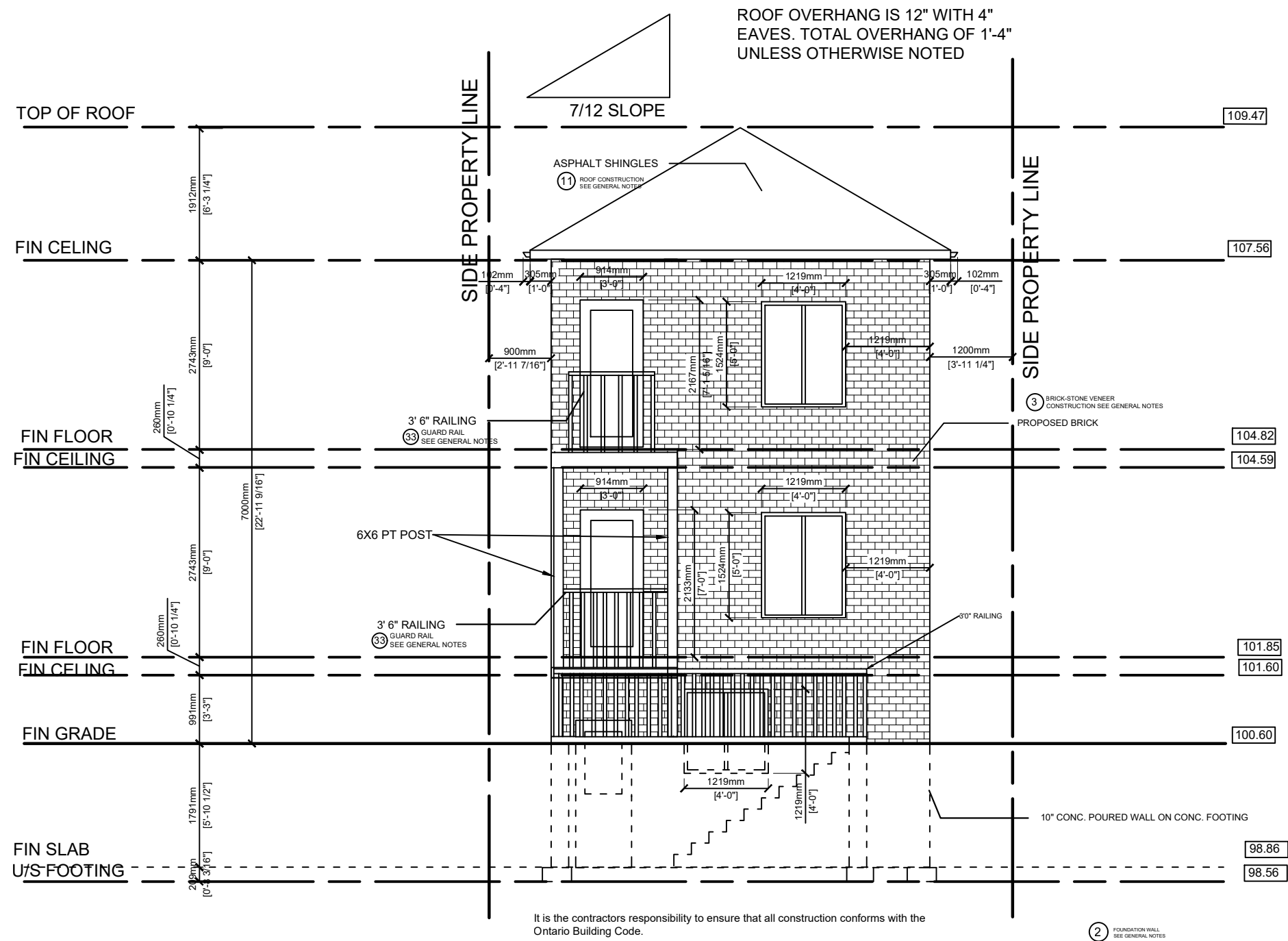
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Drawing Title
SOUTH ELEVATION
 Project
RESIDENTIAL - 2 UNITS
 72 HOLMES AVE, HAMILTON ONTARIO

I.S	Drawn by	Plot Date
M.M	Checked by	JULY 16, 2023
AS SHOWN	Scale	Revised
2215-689	Project No.	JUNE 13, 2024
6 OF 14	Sheet No.	Drawing No.

A-6



NORTH ELEVATION
SCALE 1:75



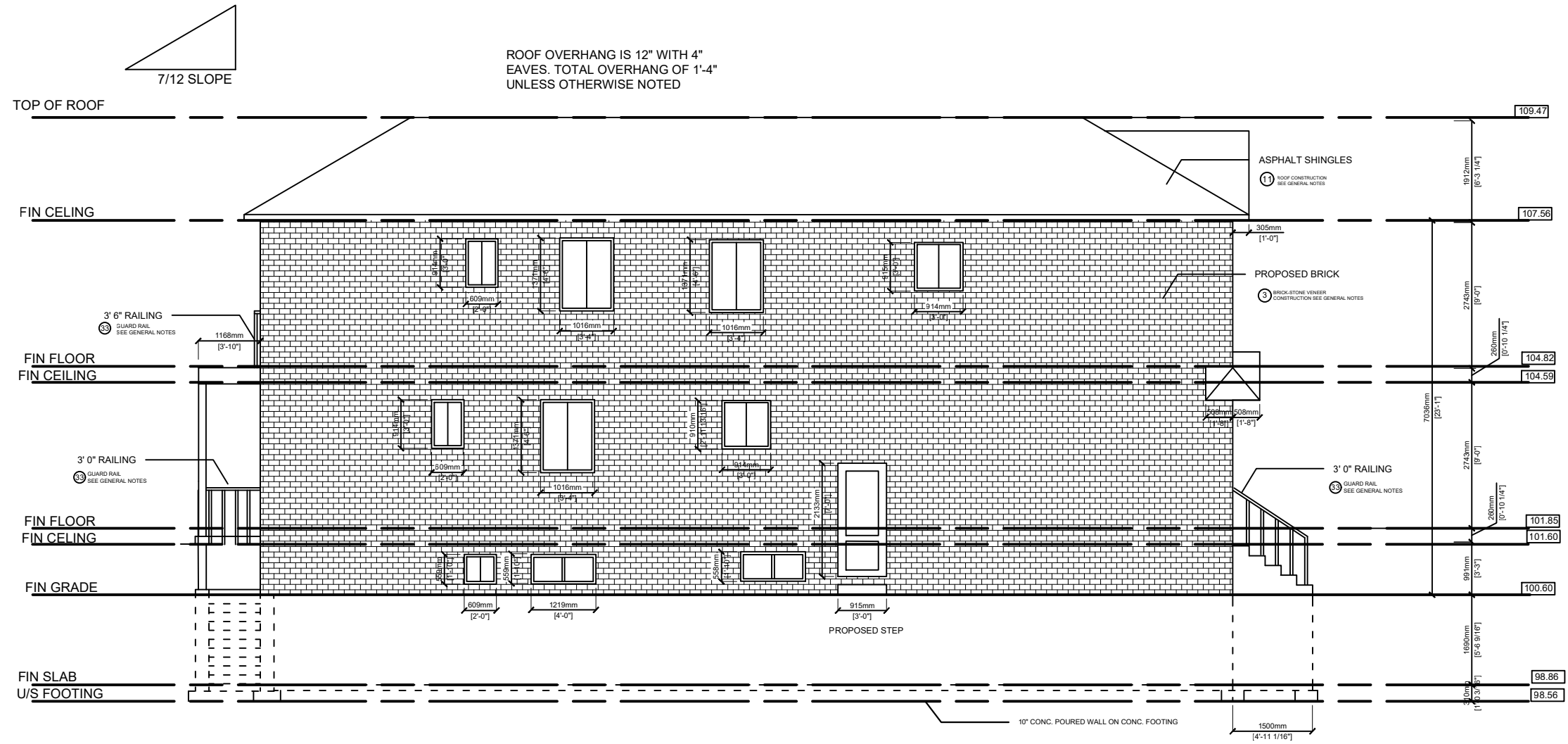
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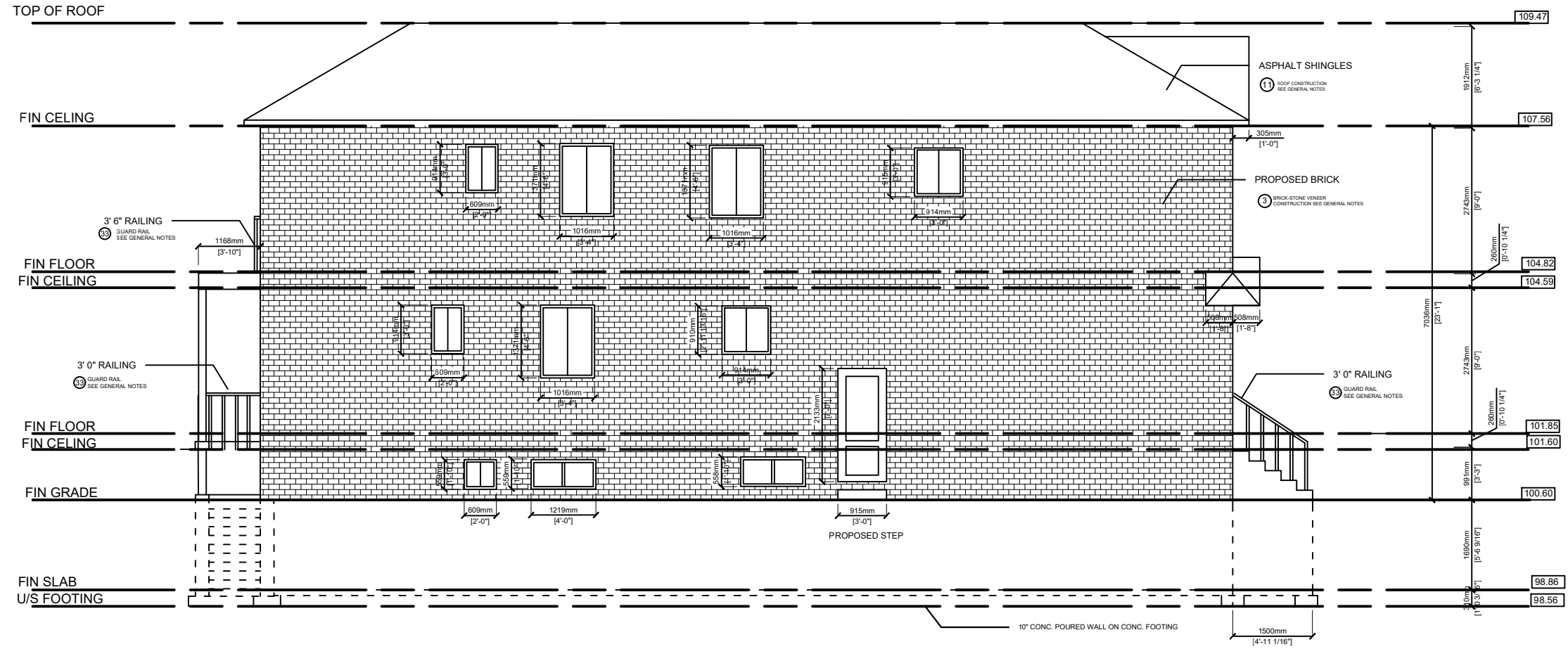
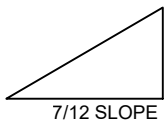
Drawing Title: **NORTH ELEVATION**
 Project: **RESIDENTIAL - 2 UNITS**
 72 HOLMES AVE, HAMILTON ONTARIO

I.S	Drawn by	JULY 16, 2023	Plot Date
M.M	Checked by	JUNE 13, 2024	Revised
AS SHOWN	Scale		Drawing No.
2215-689	Project No.		
7 OF 14	Sheet No.		

A-7



ROOF OVERHANG IS 12" WITH 4"
EAVES, TOTAL OVERHANG OF 1'-4"
UNLESS OTHERWISE NOTED



It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

WINDOW CALCS (WEST ELEVATION)
MAXIMUM PERMITTED OPENINGS: 7%
AREA OF WALL: 128.65 SQ. M.
AREA OF OPENINGS: 8.65 SQ. M.

AREA PERMITTED: 8.97 SQ. M. (7%)
AREA PROPOSED: 8.65 SQ. M. (6.72%)

WEST ELEVATION
SCALE 1:100



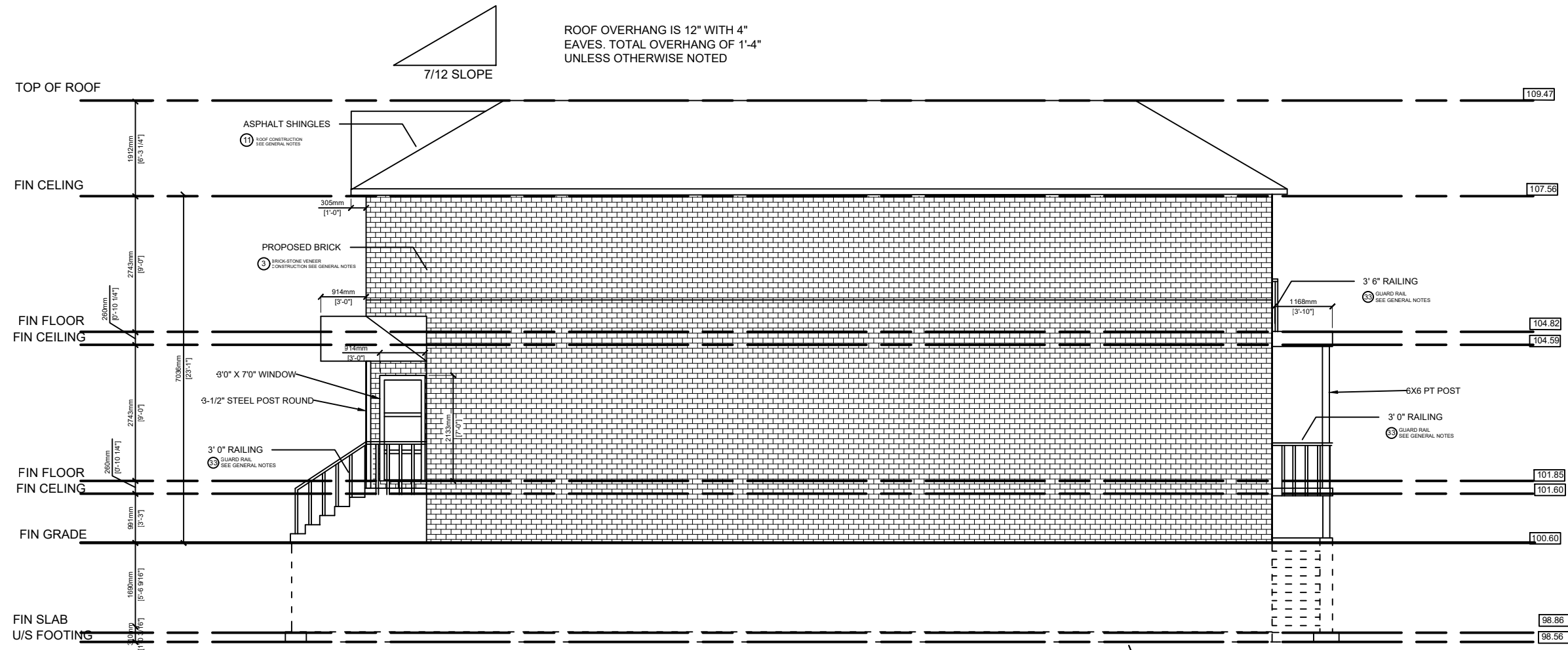
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Drawing Title
WEST ELEVATION
Project
RESIDENTIAL - 2 UNITS
72 HOLMES AVE, HAMILTON ONTARIO

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M.M	Checked by	JUNE 13, 2024	Revised
AS SHOWN	Scale		Drawing No.
2215-689	Project No.		
8 OF 14	Sheet No.		

A-8



ROOF OVERHANG IS 12" WITH 4" EAVES. TOTAL OVERHANG OF 1'-4" UNLESS OTHERWISE NOTED

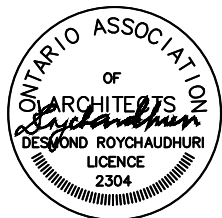
7/12 SLOPE

It is the contractors responsibility to ensure that all construction conforms with the Ontario Building Code.

10" CONC. POURED WALL ON CONC. FOOTING

FOUNDATION WALL SEE GENERAL NOTES

EAST ELEVATION
SCALE 1:100



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EAST ELEVATION

RESIDENTIAL - 2 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

Drawing Title

I.S

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2215-689

9 OF 14

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Checked by

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Project No.

Sheet No.

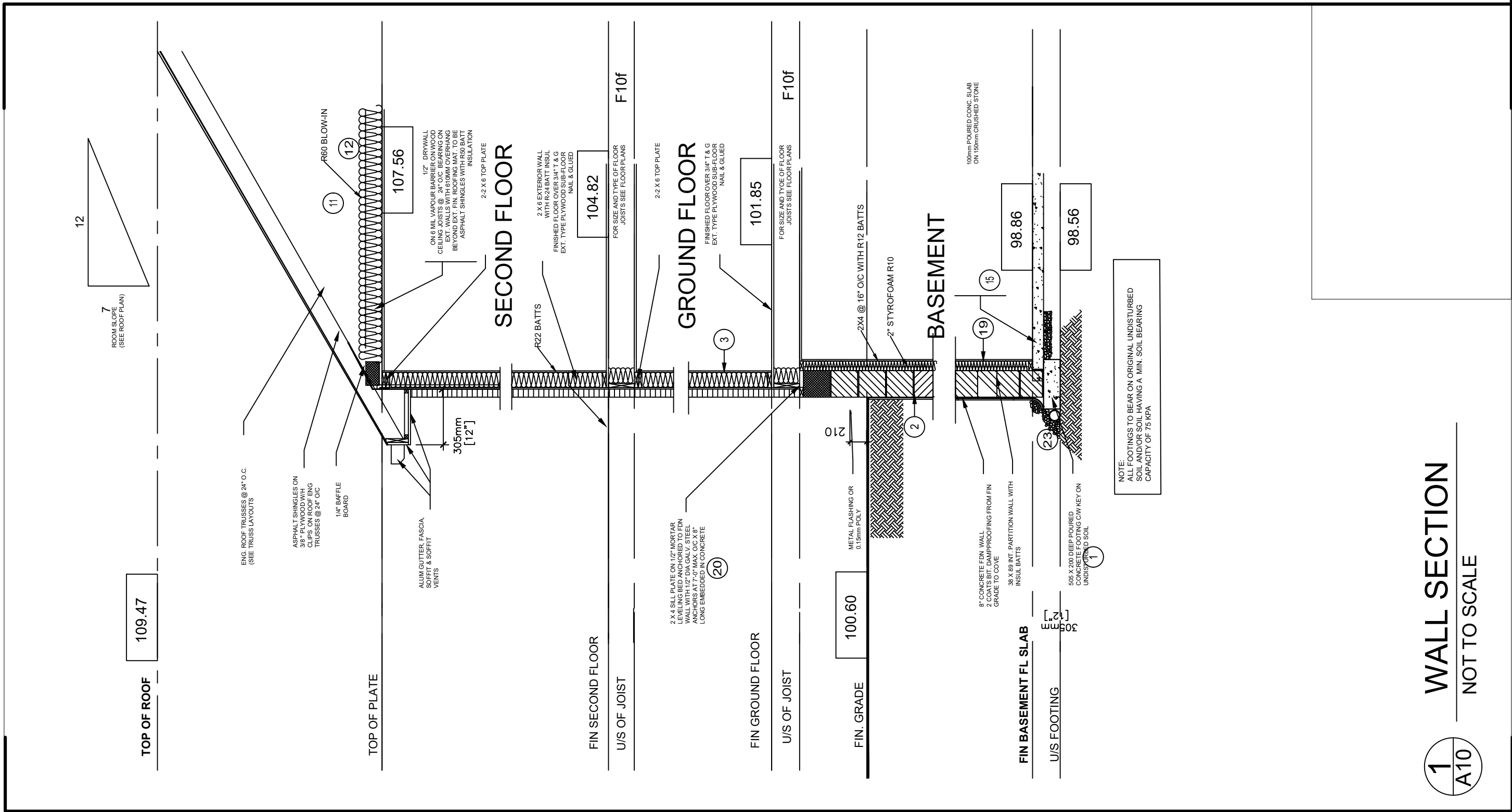
Plot Date

JULY 16, 2023

JUNE 13, 2024 Revised

Drawing No.

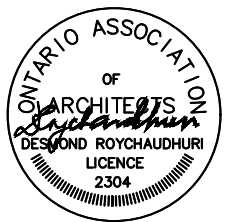
A-9



WALL SECTION

NOT TO SCALE

1/A10



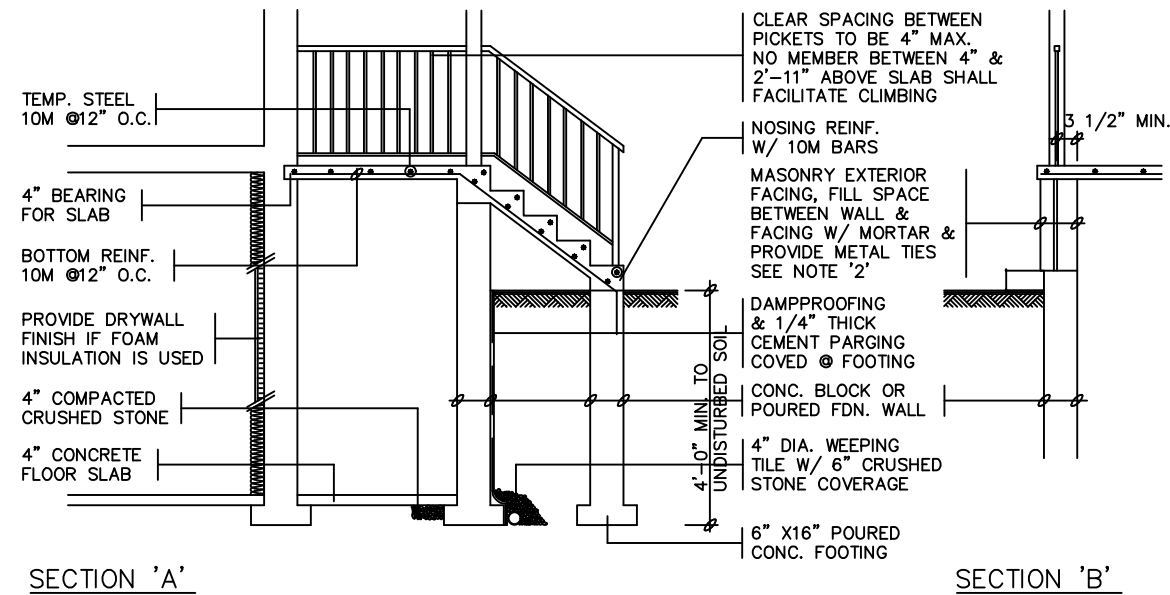
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Drawing Title
WALL SECTION
 Project
RESIDENTIAL - 2 UNITS
 72 HOLMES AVE, HAMILTON ONTARIO

I.S	Drawn by
M.M	Checked by
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2215-689	Project No.
10 OF 14	Sheet No.

AUGUST 14, 2023	Plot Date
JUNE 13, 2024	Revised
	Drawing No.
A-10	

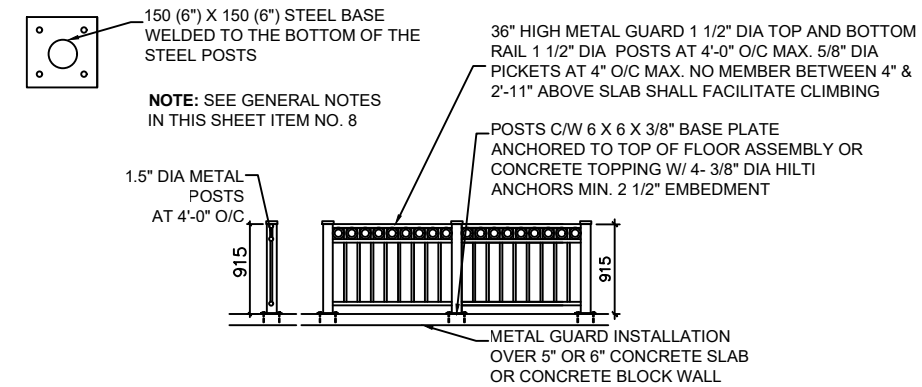


SECTION 'A'

SECTION 'B'

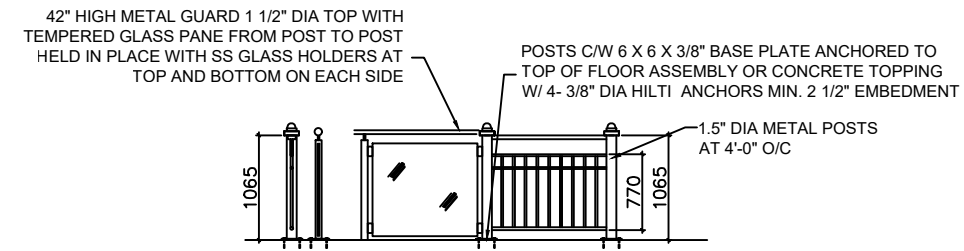
GENERAL NOTES

1. EXTERIOR STAIRS
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
2. MASONRY TIES
WHEN BRICK FACING IS USED ABOVE GROUND LEVEL, PROVIDE 3/16" DIA. CORROSION RESISTANT METAL TIES @ 36" HORIZONTAL & 8" VERTICAL
3. GUARDS
ARE REQUIRED AROUND CONCRETE SLAB IF MORE THAN 2'-0" ABOVE GRADE & ON BOTH SIDES OF STAIRS CONTAINING MORE THAN 6 RISERS. MINIMUM 31" HIGH FOR STAIRS. MINIMUM 35" HIGH FOR PORCHES UP TO 5'-11" ABOVE GRADE. MINIMUM 42" HIGH FOR GREATER HTS.
4. HANDRAIL
ARE REQUIRED WHERE STEPS HAVE MORE THAN 3 RISERS. HANDRAIL HEIGHT 31" - 38".
5. FOUNDATION WALLS
THICKNESS OF FOUNDATION WALLS IS DEPENDANT UPON HEIGHT OF FINISH GRADE ABOVE BASEMENT FLOOR
UNIT MASONRY THICKNESS 8" - MAX. HEIGHT 3'-11"
UNIT MASONRY THICKNESS 10" - MAX. HEIGHT 5'-11"
UNIT MASONRY THICKNESS 12" - MAX. HEIGHT 7'-3"
6. CONCRETE
MINIMUM CONCRETE STRENGTH SHALL BE 4650 PSI W/ 5%-8% AIR ENTRAINMENT
CONCRETE SLAB THICKNESS 4" UP TO 6'-8" SPAN
CONCRETE SLAB THICKNESS 5" UP TO 8'-4" SPAN
CONCRETE SLAB THICKNESS 6" UP TO 10'-0" SPAN
7. PROVIDE MINIMUM 3/4" CLEAR CONCRETE COVER TO REINFORCING BARS



INTERIOR GUARD HEIGHT - 3'-0"

EXTERIOR GUARDS SERVING A HOUSE ARE REQUIRED TO BE 900MM (2'-11") HIGH WHERE THE WALKWAY SURFACE IS LESS THAN 1.8M (5'-11") ABOVE ADJACENT GROUND LEVEL. WHERE THE WALKWAY SURFACE IS GREATER THAN 1.8M (5'-11") ABOVE THE ADJACENT GROUND LEVEL, THE GUARD IS REQUIRED TO BE 1070MM (3'-6") HIGH.



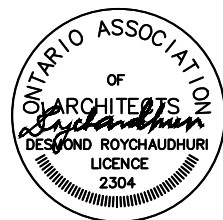
EXTERIOR GUARD HEIGHT - 3'-6"

1
A11

CONC. PORCH DETAILS WITH COLD ROOM
NOT TO SCALE

2
A11

GUARD RAIL DETAILS
NOT TO SCALE



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COLD ROOM SECTION AND GUARD DETAILS

RESIDENTIAL - 2 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

Drawing Title

I.S

Drawn by

SEPT 15, 2023 Plot Date

M.M

Checked by

JUNE 13, 2024 Revised

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Scale

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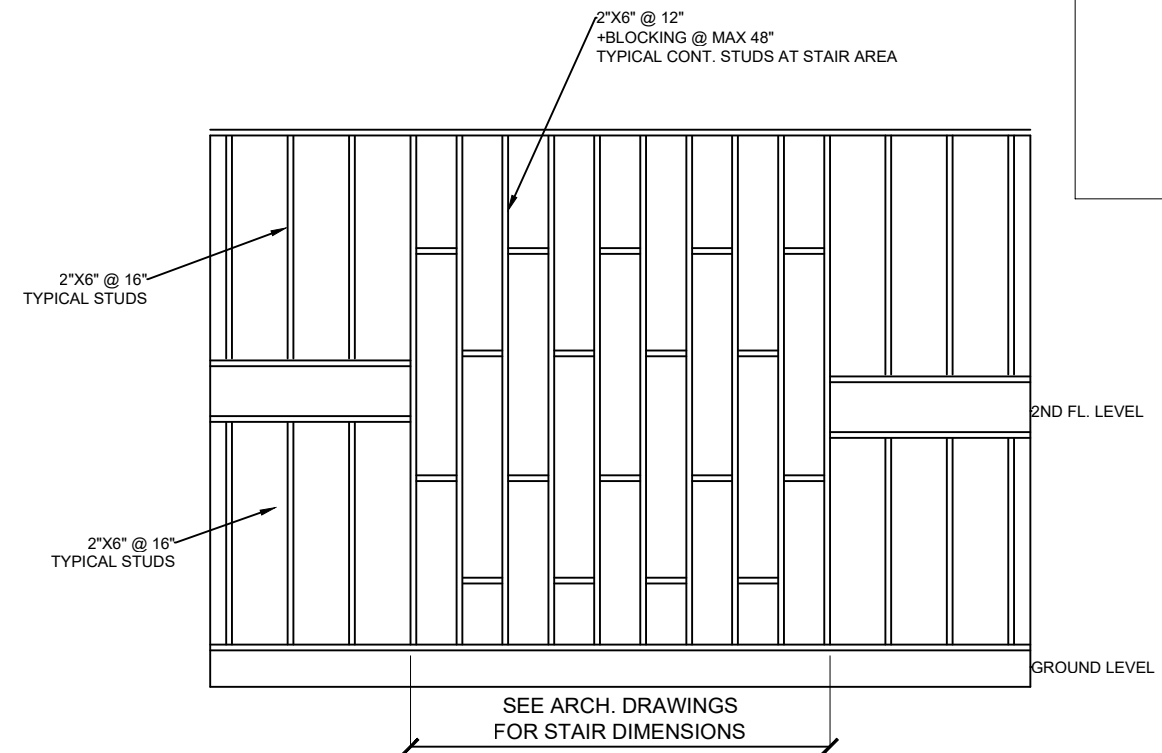
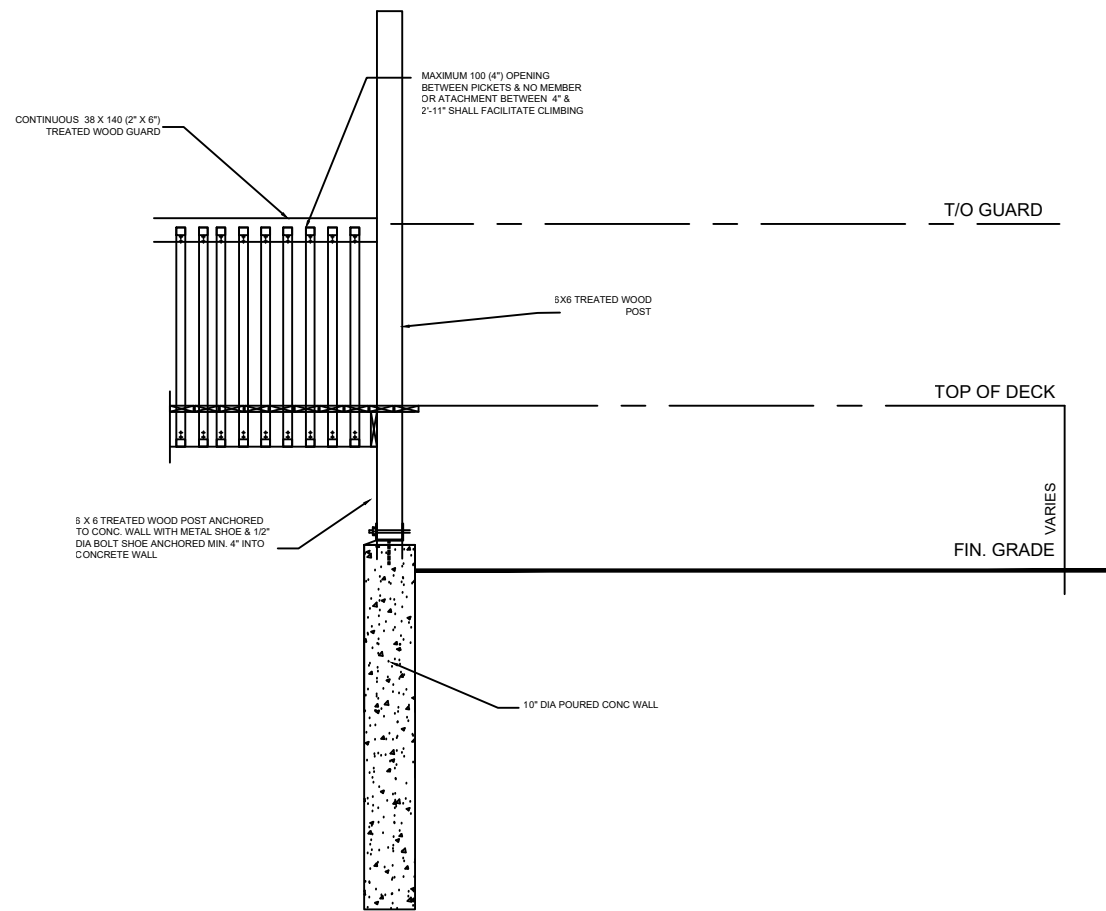
2215-689

Project No.

11 OF 14

Sheet No.

A-11

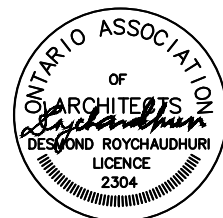


1
A12

REAR TREATED WOOD DECK
NOT TO SCALE

2
A12

WALL SIDE ON STAIRS ON GROUND/FLOOR
NOT TO SCALE



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BEARING WALL AND REAR DECK DETAILS

RESIDENTIAL - 2 UNITS

72 HOLMES AVE, HAMILTON ONTARIO

Drawing Title

Project

I.S

M.M

AS SHOWN

2215-689

12 OF 14

Drawn by

Checked by

Scale

Project No.

Sheet No.

SEPT 15, 2023 Plot Date

JUNE 13, 2024 Revised

Drawing No.

A-12

GENERAL NOTES

- 1 STRIP FOOTING
SUPPORTING EXTERIOR WALLS
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 75 Kpa.

- 2 FOUNDATION WALL (SEE O.B.C. 9.15.4)
8" POURED CONCRETE WITH 15M @ 16" O.C. VERTICALLY (SEE BASEMENT FLOOR PLAN FOR REBAR LOCATION) AND OPT. DRAINAGE LAYER DRAINAGE REQUIRED WHEN BASEMENT INSULATION EXTENDS 900mm (2'-11") BELOW FINISHED GRADE MAX. WALL HEIGHT 2300mm (7'-7") USING

- 3 BRICK-STONE-BLOCK VENEER CONSTRUCTION (2 X 6)
90mm (4") OR 75mm (3") FACE BRICK OR STONE
90mm (4") BLOCK WITH 2 LAYERS 6mm (1/4") PARING AND 1 LAYER 1/8" STUCCO FINISH CONFORMING TO O.B.C. 9.28. MAXIMUM 11000mm (36'-1") HIGH

- 4 FRAME WALL CONSTRUCTION (2 X 6)
STUCCO BOARD OR SIDING AS PER ELEVATION
0.7kg/sq.m (NO.15) BUILDING PAPER
12.7mm (1/2") EXTERIOR TYPE SHEATHING

- 5 INTERIOR STUD PARTITION
38 X (2 X 4) @ 400mm (16") O/C BEARING 38 X 89 (2 X 4) @ 600mm (24") O/C NON BEARING 12.7mm (1/2") INT. GYPSUM WALLBOARD BOTH SIDES 38 X 89 (2 X 4) BOTTOM PLATE & TRIPLE STUDS AT CORNERS

- 6 INTERIOR STUD PARTITION (FOR 2 STOREYS)
38 X (2 X 4) @ 400mm (16") OR 38 X 89 (2 X 4) @ 300mm (12") O/C FOR 3 STOREYS WITH 12.7mm (1/2") GYPSUM WALLBOARD BOTH SIDES

- 7 BEARING PARTITION (BASEMENT)
38 X (2 X 4) @ 400mm (16") FOR 2 STOREYS
38 X 89 (2 X 4) SILL ON DAMPPROOFING MATERIAL 12.7mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O/C ON 100mm (4") HIGH CONC. CURB ON 350 X 150 (13 3/4" X 6") POURED CONC. FOOTING ON UNDISTURBED SOIL

- 8 BEARING PARTITION (FIRST FLOOR)
38 X (2 X 4) @ 400mm (16") O/C
38 X 89 (2 X 4) SILL PLATE

- 9 PARTY WALL CONSTRUCTION (BLOCK WALL)
12.7mm (1/2") GYP. WALL BOARD TAPED JOINTS ON 19 X 64 (1 X 3) WOOD SPACERS @ 400mm (16") O/C ON EACH SIDE

- 10 PARTY WALL CONSTRUCTION (WOOD FRAME WALL)
12.7mm (1/2") GYP. WALL BOARD TAPED JOINTS ON RESIL. METAL CHANNELS ON EACH SIDE

- 11 ROOF CONSTRUCTION
10.25 kg/sq.m (NO. 210) ASPHALT SHINGLES
TYPE "S" ROLL ROOFING FROM EDGE OF ROOF EXTENDING A MIN. DISTANCE OF 900mm (2'-11") UP TO ROOF SLOPE TO A LINE NOT LESS THAN 300mm (12") PAST THE INSIDE FACE OF THE EXTERIOR WALL

- 12 GARAGE SLAB
100mm (4") 32 MPa. (4650P.S.I.) CONCRETE SLAB AT 28 DAYS WITH 5-8% AIR ENT. ON 100mm (4") CRUSHED STONE (SEE 9.3.1.6 OF THE O.B.C.)

ROOF RAFTERS (WHERE NO CEILING IS INSTALLED)
MAXIMUM CLEAR SPAN
TABLE WITH 3 COLUMNS: RAFTER SIZE, ROOF SNOW LOAD 21 PSF, RAFTER SPACING

ROOF JOISTS (WHERE CEILING IS INSTALLED)
MAXIMUM CLEAR SPAN
TABLE WITH 3 COLUMNS: JOIST SIZE, ROOF SNOW LOAD 21 PSF, JOIST SPACING

- 13 EXPOSED FLOOR AND EXTERIOR
PROVIDE (R-24) INSULATION 0.15mm (0.006") VAPOUR BARRIER / CONTINUOUS AIR BARRIER AND FINISHED SOFFIT

- 14 SUBFLOOR, JOISTS STRAPPING AND BRIDGING
FINISHED FLOOR ON 15.9mm (5/8") T & G SUB-FLOOR ON WOOD FLOOR JOISTS FOR CERAMIC TILE APPLICATION (SEE O.B.C. 9.30.6)

- 15 BASEMENT SLAB
100mm (4") 15 MPa. (2200P.S.I.) CONCRETE SLAB ON 0.15mm (0.006") DAMP PROOFING AND 127mm (5") CRUSHED STONE. PROVIDE R-10 2" THICK RIGID INSULATION UNDER SLAB WHENEVER IT IS HEATED

- 16 GARAGE WALLS & CEILINGS
12.7mm (1/2") GYPSUM WALL BOARD ON WALLS AND CEILINGS BETWEEN HOUSE AND GARAGE

- 17 DOOR (BETWEEN GARAGE AND DWELLING UNIT)
A) A DOOR BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL BE TIGHT FITTING AND WEATHER STRIPPING TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GASES AND EXHAUST FUMES AND SHALL BE FITTED WITH A SELF CLOSING DEVICE

- 18 BASEMENT INSULATION AND STRAPPING
R-10 CONT. RIGID INSULATION AGAINST FOUNDATION WALL HELD IN PLACE WITH 2 X 4 STUDS AT 16" O.C. AND R-12 INSULATING BATTS IN BETWEEN STUDS

- 19 ANCHOR BOLTS
38 X 89 (2 X 4) SILL PLATE WITH 12.7mm (1/2") DIAMETER ANCHOR BOLTS 200mm (8") LONG MIN. EMBEDDED 100mm (4") INTO CONC. AT 2400mm (7'-10") O/C

- 20 STEEL PIPE COLUMN
STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE

- 21 ADJUSTABLE STEEL PIPE COLUMN
STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE

- 22 METAL FLASHING
0.33mm (0.013") GALVANIZED PAINTED STEEL

- 23 WEeping TILE
100mm (4") DIAMETER WEeping TILE 150mm (6") CRUSHED STONE OVER AND AROUND ALL FOOTINGS, INCLUDING GARAGE FOOTINGS

- 24 EXTERIOR CONCRETE STEPS
EXTERIOR CONCRETE STEPS TO CONFORM WITH ARTICLE 9.8.7.1 OF THE O.B.C.

- 25 WOOD SHUTTERS
WOOD SHUTTERS TO BE 305mm (12") WIDE

- 26A STRAPPING
19 X 64mm (1 X 3) CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM

- 26B STEEL PIPE COLUMN
STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE

- 27 ADJUSTABLE STEEL PIPE COLUMN
STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE

- 28 STEEL PIPE COLUMN
STEEL PIPE COLUMN SEE O.B.C. 9.15.3.3 FOR FOOTING SIZE

- 29 ATTIC ACCESS HATCH
ATTIC HATCH TO BE WEATHER STRIPPED MIN. 510 X 710mm (20" X 28") AND BACKED WITH R-60 RIGID INSULATION

- 30 CAPPED RANGE HOOD VENT WITH BIRD SCREEN

- 31 CAPPED DRYER VENT WITH BIRD SCREEN

- 32 MAIN STAIRS AND EXTERIOR STAIRS
TO HAVE UNIFORM TREADS AND RISERS (SEE 9.8.2 & 9.8.4 OF THE O.B.C.)

- 33 GUARD RAIL
OPENINGS THROUGH A GUARD OF AN BALCONY, AN EXIT STAIRS, STAIRS, LANDINGS AND THE FLOOR LEVEL AROUND A STAIRS WELL IN A DWELLING UNIT SHALL BE OF A SIZE SO AS TO PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF 100mm (4") IN RESIDENTIAL OCCUPANCIES AND A MINIMUM OF 200mm (8") IN OTHER OCCUPANCIES

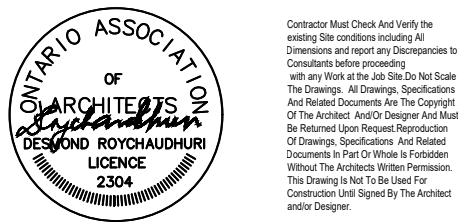
- 34 LINEN CLOSET
LINEN CLOSET SHALL HAVE 4 SHELVES MIN. 330mm (14") DEEP

- 35 CLOTHES CLOSET TO BE PROVIDED WITH A HANGING ROD AND 330mm (12") OF SHELF ABOVE

- 36 MECHANICAL EXHAUST FAN - VENTED TO EXTERIOR TO PROVIDE A MINIMUM OF ONE AIR CHANGE PER HOUR AND SHALL CONFORM TO 9.32.5 OF THE O.B.C.

- 37 DIRECT VENT GAS FIRE PLACE VENT TO BE MIN. 300mm (12") FROM ANY OPENING ABOVE FIN. GRADE REFER TO GAS UTILIZATION CODE

- 38 STEEL BEARING PLATE FOR MASONRY WALLS
280 X 280 X 16mm (11" x 11" x 5/8") STEEL PLATE FOR STEEL BEAMS



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Design & Project Managers
16 Nashville Ave Unit A Toronto, Ontario, M6M 1J1
Tel: 519-941-8304 Cell: 416-804-7595
mannymarcos13@gmail.com

Table with drawing metadata: Drawing Title (GENERAL NOTES), Project (RESIDENTIAL - 2 UNITS), Drawing No. (A-13), Date (SEPT 15, 2023), Checked by (M.M.), Sheet No. (13 OF 14).



Mi-Ko Urban Consulting Inc.

• Land Use Planners • Development Consultants
• Project Managers • Design Consultants

16 High St, Etobicoke, Ontario - M8Y 3N8 - Tel: 416-230-6935

By Email Only

To: Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, Ontario,
L8P 4Y5

Tel: 905-546-2424 ext. 4221
Email cofa@hamilton.ca

Re: 72 Holmes Avenue
HM/A- 24:2

Dear Secretary Treasurer

In regards to the above noted application and on behalf of Mr. Paul Seguro and Ms. Susan Seguro, I am requesting the Committee reschedule the meeting for the same. This application was 'tabled' at the meeting of February 13th, 2024. The primary reason for this tabling was my client had request for 3 'Secondary Units' whereas the Bylaw permits 1 Secondary Unit.

At that time, the City was preparing for new zoning bylaws, 24-051 & 24-052, which would be in keeping with the Governments of Ontario's and Canada's intensification initiatives.

Those bylaws were passed on April 10th, 2024. These bylaws permit up to 3 additional Secondary Units, subject to certain provisions. As I understand, there were 4 appeals. Despite the appeals has nothing to do with my client's property, my client was informed by City staff that, due to the appeals, these bylaws are not in affect.

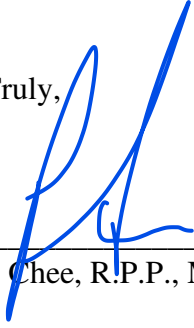
Without going into the merits and appropriateness of that assertion, my clients wish to proceed under the current Zoning Bylaw, namely 6593, for a Single Dwelling with a single Secondary Unit. The variance required to enable this, is as follows:

Variance 1. *The reduction of the required Parking Space from 4 spaces to 1*

It should be noted that this variance is in keeping with the Council enacted but not final and binding, Zoning Bylaws 24-051/24-052, and as such, is in keeping with the 4 tests of a Minor Variance pursuant to 45(1) of the Planning Act. Enclosed is my clients' revised Site Plan and House Drawings.

In closing, it would be appreciated if you can amend the application accordingly and return it to the earliest Committee meeting available. If you have any questions, please do not hesitate to contact me. Thank you.

Yours Truly,

A handwritten signature in blue ink, appearing to be 'PKC', written over a horizontal line.

Peter K. Chee, R.P.P., M.C.I.P.

cc. Client



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)	Paul & Susan Seguro		
Applicant(s)	Peter Chee, Miko Urban Consulting Inc.		
Agent or Solicitor			Phone: E-mail:

1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent

[Redacted]

1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Credit over phone*

Cheque

[Redacted]

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	72 Holmes Avenue		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number	516	Lot(s)	74
Reference Plan Number (s)	62R-22177	Part(s)	Parts 1 & 2

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

A easement with Lot 75 for the purpose of Section 9.10.14.2(4) of the OBC (Limit. Dist.)

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

(See Planning Brief, Attached)

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

(See Planning Brief, Attached)

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
7.57	30.48	231.485	15.24

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Vacant Lands				
See C.of A., H/MA-23:111	6.0	6.0	1.2m & 0.90m	03/01/2024
Detached dwelling with 1 Primary Unit and 2 Secondary Units				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Detached dwelling with 1 Primary Unit and 2 Secondary Units	6.0m	6.0m	1.20m & 0.90m	03/01/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Vacant Lands				
See C.of A., H/MA-23:111				
Detached dwelling with 1 Primary Unit and 2 Secondary Units	98.5m ²	285.73m ²	2	9.0

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Detached dwelling with 1 Primary Unit and 2 Secondary Units	98.5m ²	285.73m ²	2	9.0

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Detached Dwelling with 3 units.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Detached Dwellings

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

Dec 29, 2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Vacant Lands

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Vacant Lands - see C.of A., H/MA-23:111

7.4 Length of time the existing uses of the subject property have continued:

Since 1912

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighborhood-See Brief Attached

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? C. of A., H/MA-23:111

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: C. of A., H/MA-23:111

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 3

8.3 Additional Information (please include separate sheet if needed):

(See Planning Brief)

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for *Minor Variance*
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-