



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	HM/A-22:294	SUBJECT PROPERTY:	735 Beach Boulevard, Hamilton
ZONE:	"C" (Urban Protected Residential and Etc.)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593, as Amended 99-169

APPLICANTS: Owner: Amanda & Kevin White
Agent: Barich Grenkie Surveying Ltd. (Julianna Hribljan,)

The following variances are requested:

1. A rear yard setback of 3.14 metres to the principle dwelling shall be provided instead of the required rear yard setback of 7.5 metres.
2. A rear yard setback of 0.09 metres to the deck shall be provided instead of the required 4.5 metres.
3. A side yard setback of 1.43 metres shall be provided instead of the required side yard setback of 1.7 metres.

PURPOSE & EFFECT: To permit the construction of a ½ storey addition on the existing Single-Family Dwelling notwithstanding that:

Notes:

- i. Insufficient information has been provided on the submitted site plan to determine the setback of the proposed deck in the rear yard to the rear lot line. Calculations using the submitted elevations have determined a setback from the rear lot line to the edge of the deck to be 0.09 metres where a setback of 4.5 metres is permitted as per Zoning By-Law amendment 99-169 Section 2 a). As such, a variance has been provided to address this. Be advised, should the deck be setback more than 0.09 metres to the rear lot line, additional variances may be required.
- ii. Should the variance be approved to permit a reduced side and rear yard, the eaves/ gutter as proposed shall comply with Section 18(3)(vi)(b) of Hamilton Zoning By-Law 6593.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, July 23, 2024
TIME:	1:15 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon July 19, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon July 22, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding HM/A-22:294, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: July 4, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

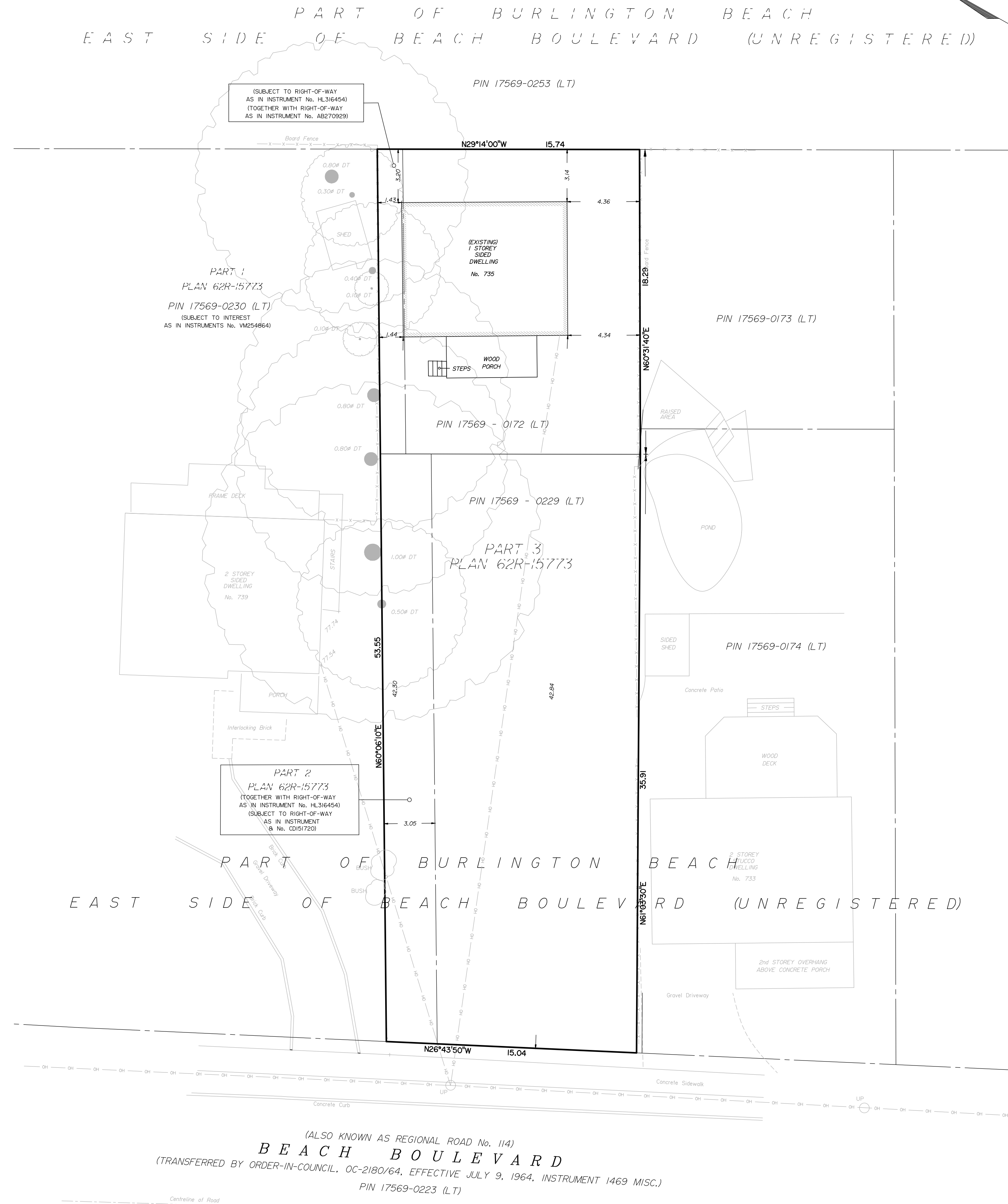
Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

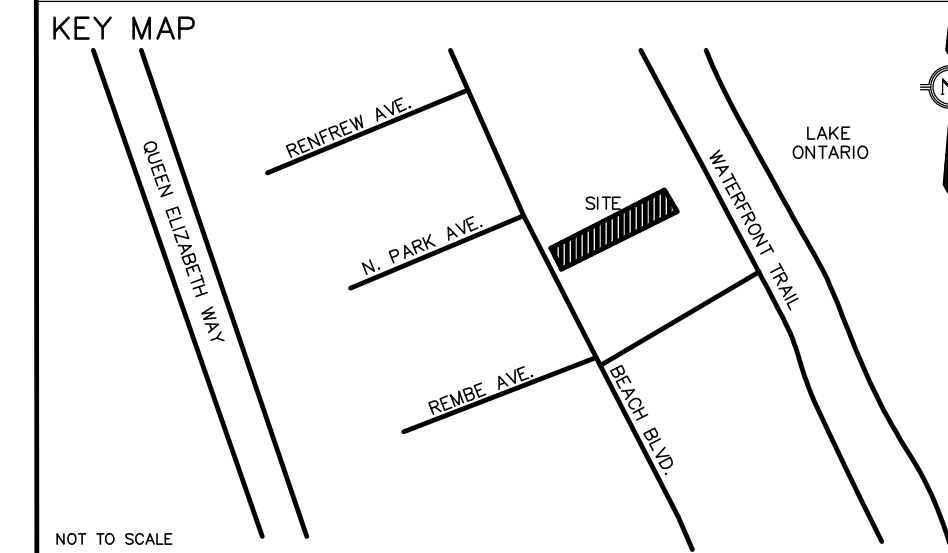
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

MUNICIPAL ADDRESS		
735 BEACH BLVD. HAMILTON		
LEGAL DESCRIPTION		
PART OF BURLINGTON BEACH, EAST SIDE OF BEACH BOULEVARD (UNREGISTERED) CITY OF HAMILTON		
ZONING		
C/S-1435		
SITE STATISTICS		
LOT AREA	N/A	831.41 m ² (EX)
FRONT YARD SETBACK	6.0 m	42.30 m
REAR YARD SETBACK	4.5 m	3.14 m*
SIDE YARD SETBACK (NORTH)	1.7 m	1.43 m*
SIDE YARD SETBACK (SOUTH)	1.7 m	4.34 m
HEIGHT(PEAK OF ROOF)	11.0 m	6.27 m
LOT FRONTAGE	12.0 m	15.04 m (EX)
LOT COVERAGE	N/A	9.60%

* REQUIRES A MINOR VARIANCE WITH THE CITY OF HAMILTON



(ALSO KNOWN AS REGIONAL ROAD No. 114)
BEACH BOULEVARD
(TRANSFERRED BY ORDER-IN-COUNCIL, 0C-2180/64, EFFECTIVE JULY 9, 1964, INSTRUMENT 1469 MISC.)
PIN 17569-0223 (LT)



ADDRESS: 735 BEACH BLVD., HAMILTON

SITE PLAN FOR MINOR VARIANCE OF
PART OF BURLINGTON BEACH EAST SIDE OF BEACH BOULEVARD (UNREGISTERED)
GEOGRAPHIC TOWNSHIP OF SALT FLEET
IN THE
CITY OF HAMILTON

BARICH GRENKIE SURVEYING LTD.
A DIVISION OF GEOMAPLE
© COPYRIGHT 2022

METRIC
DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND	
DT	DENOTES DECIDUOUS TREE
DT	DENOTES SUBJECT LANDS BOUNDARY
---	DENOTES DEED LINE
---	DENOTES LOT LINE
-x-x-	DENOTES FENCE LINE
N-E-S-W	DENOTES NORTH-EAST-SOUTH-WEST
■	DENOTES DOWN SPOUT WITH SPLASH PAD

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928:1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK No. 0011965U130 HAVING AN ELEVATION OF 76.487 m.

0 02/17/2022 JMH ISSUED FOR REVIEW			
NO. DATE BY REVISIONS			
DESIGN	JMH	CHK'D	GRCH DATE
DRAWN	JMH	CHK'D	GRCH FEBRUARY 17, 2022
Scale 1:250			
0 5 10 15 METRES			

APPROVALS

STAMP

Barich Grenkie Surveying Ltd.
297 HWY No. 8 (UNIT 101) - STONEY CREEK, ON
905.662.6757
A DIVISION OF GEOMAPLE

DWN BY: JMH
CHK BY: GRCH
JOB No. 21-2819

CLIENT
KEVIN AND AMANDA WHITE

PROJECT NAME
PROPOSED GARAGE
735 BEACH BOULEVARD, HAMILTON

TITLE
SITE PLAN

PROJECT No. 21-2819 DRAWING No. 21-2819 SGP

PLOT DATE: 2021/06/09 6:21 PM

Item	Ontario Building Code Data Matrix Parts 3 & 9				OBC Reference						
					References are to Division B unless noted (A) for Division A or (C) for Division C.						
1	Project description: <input type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9 PROPOSED RENOVATION <input checked="" type="checkbox"/> Addition 11.1 to 11.4 1.1.2.(A) 1.1.2.(A), 9.10.1.3 <input type="checkbox"/> Change of Use <input checked="" type="checkbox"/> Alteration 1.1.2.7. (A) 1.1.2.7. (A)										
2	Major Occupancy(s) GROUP C				3.1.2.1.(1)	9.10.2					
3	Building Area (m ²) Existing: 74.94m ² New: 45.44m ² Total: 120.38m ²				1.4.1.2.(A)	1.4.1.2.(A)					
4	Gross Area Floor Area: 120.83m ²				1.4.1.2.(A)	1.4.1.2.(A)					
5	Number of Storeys Above Grade: 1.5 Below Grade: 1				3.2.1.1 &	9.10.4. &					
6	Number of Streets/Fire Fighter Access: 1 street				3.2.2.10 & 3.2.5.	9.10.20					
7	Building Classification C - Residential occupancies				3.2.2.20-83	9.10.2					
8	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required				3.2.2.20-83 3.2.1.5 3.2.1.17 INDEX	9.10.8.2. INDEX					
9	Standpipe Required <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No				3.2.9	N/A					
10	Fire Alarm Required <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes No				3.2.4	9.10.18.					
11	Water Service/Supply is Adequate <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				3.2.5.7	N/A					
12	High Building <input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No				3.2.6.	N/A					
13	Permitted Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both				3.2.2.20-83	9.10.6.					
14	Mezzanine(s) Area m ² N/A				3.2.1.1.(3)-(8)	9.10.4.1.					
15	Occupant load based on <input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building <input type="checkbox"/> As Noted Occupancy <u>C</u> Load <u>6</u> persons				3.1.17	9.9.1.3.					
16	Barrier-free Design <input type="checkbox"/> Yes <input type="checkbox"/> No(Explain) <input checked="" type="checkbox"/> N/A				3.8	9.5.2					
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				3.3.1.2. & 3.3.1.19	9.10.1.3(4)					
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FFR		Listed Design No. of Description (SG-2)	3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9					
		Floors	N/A				N/A				
		Roof	N/A				N/A				
		Mezzanine		N/A			N/A				
		FFR of Supporting Members		Listed Design No. of Description (SG-2)							
		Floors	N/A				N/A				
		Roof	N/A				N/A				
Mezzanine	N/A	N/A									
19	Spatial Separation - Construction of Exterior Walls				3.2.3	9.10.14					
	Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FFR (Hours)	Listed Design or	Comb. Const.	Comb. Const. Nonc. Cladding	Non-comb. Const.
	FRONT	35.1	37.7	N/A	100%	10%	N/A	N/A	YES	-	-
	REAR	56.4	4.55	N/A	28%	26.1%	N/A	N/A	YES	-	-
	LEFT	42.32	1.5	N/A	7%	0%	N/A	N/A	YES	-	-
	RIGHT	42.32	4.2	N/A	32%	19.6%	N/A	N/A	YES	-	-

ZONING REQUIREMENTS			
	REQ'D/PERMITTED UNDER ZONING BY-LAW	EXISTING	PROPOSED
ZONING DESIGNATION	RESIDENTIAL	DISTRICT "C"	N/A
MIN. SIDE YARD SETBACK	0.45 M (1.48 FT)	1.5M (4.92 FT)	1.5M (4.92 FT)
MIN. REAR YARD SETBACK	0.45 M (1.48 FT)	4.55M (14.9 FT)	1.96M (6.43 FT)
MAX BUILDING HEIGHT	11 M(36.09 FT)	6.3M (20.58 FT)	6.3M (20.58 FT)
MAX. REAR YARD AND SIDE YARD COMBINED COVERAGE	MAX 30% COVERAGE = (830.94m ² *0.3) = 249.28m ²	91.94m ² (989.63 SQ. FT)	113.31m ² (1219.7 SQ. FT)

GLAZING CALCULATIONS

EXISTING BUILDING FACE:	145.26m ²
EXISTING GLAZING:	16.6m ²
% EX. GLAZING COVERAGE:	11.4%
PROPOSED BUILDING FACE:	176.14m ²
PROPOSED GLAZING:	20.63m ²
% PROPOSED GLAZING COVERAGE:	11.7%

No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD
HAMILTON ONTARIO

GENERAL NOTES

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S0.02
PROJECT No. 21127	CHECKED BY J.P.C.	



WINDOW SCHEDULE:

- W1 - EX. 55"x50" WINDOW REMOVED REPLACED W/ 45"x30" WINDOW NEW 2-2"x8" HEADER TO SUIT OPENING
- W2 - EX. 43"x30" WINDOW TO BE INFILLED EX. HEADER TO BE REMOVED
- W3 - EX. 55"x30" WINDOW REMOVED REPLACED W/ 45"x30" WINDOW NEW 2-2"x8" HEADER TO SUIT OPENING
- W4 - EX. 43"x20" WINDOW TO REMAIN EX. HEADER ADEQUATE TO REMAIN
- W5 - EX. 35"x27" WINDOW REMOVED REPLACED W/ NEW 35"x27" WINDOW NEW 2-2"x8" HEADER
- W6 - NEW 43"x48" WINDOW NEW 2-2"x8" HEADER
- W7 - NEW 33"x22" WINDOW NEW 2-2"x8" HEADER
- W8 - EX. 53"x95" WINDOW REMOVED EX. HEADER TO BE REMOVED
- W9 - EX. 16"x16" WINDOW TO BE INFILLED EX. HEADER TO BE REMOVED
- W10 - EX. 63"x146" WINDOW REMOVED REPLACED W/ 48"x72" WINDOW NEW 2-2"x8" HEADER TO SUIT OPENING

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

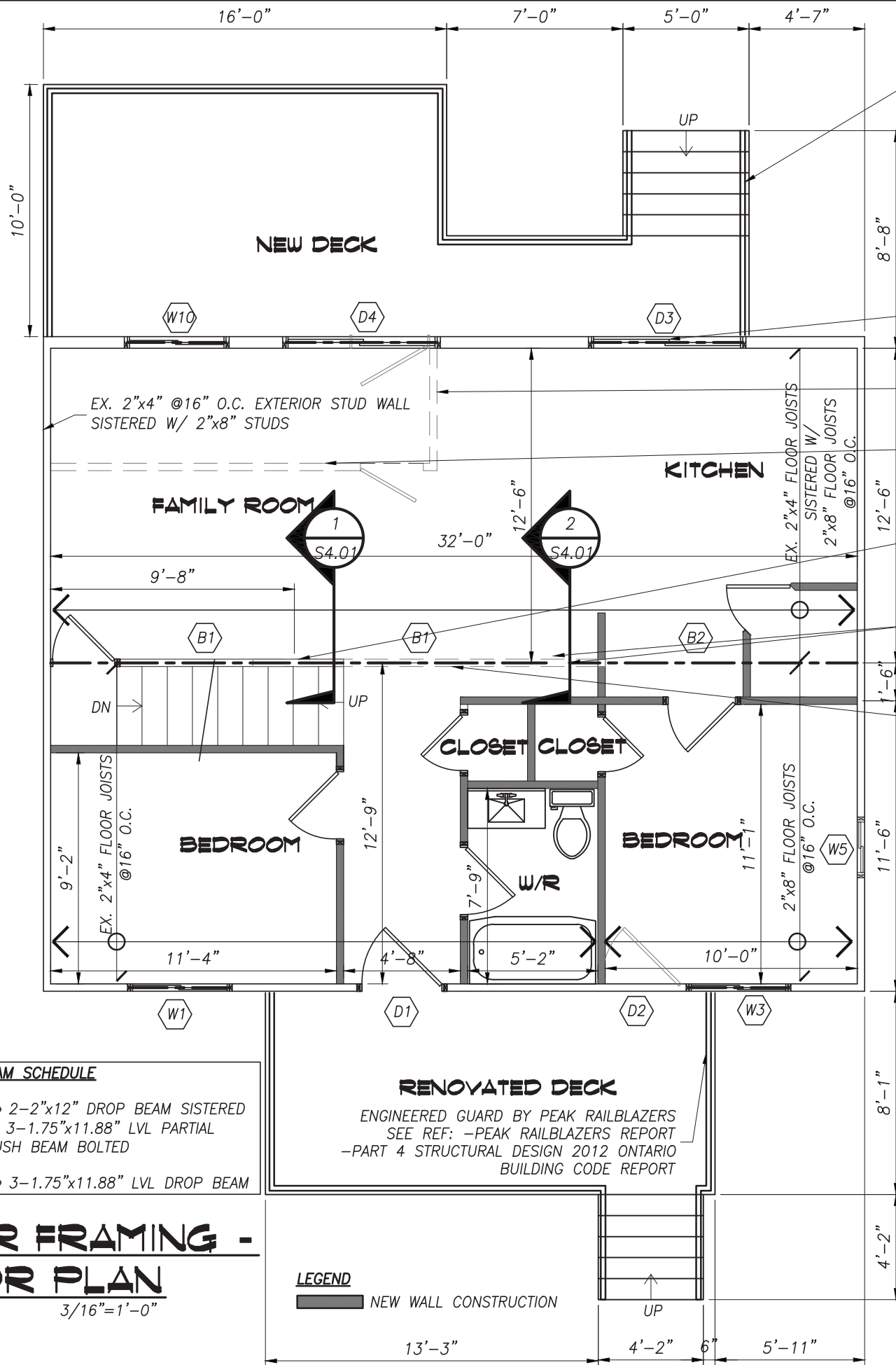
DOOR SCHEDULE:

- D1 - NEW 48"x84" DOOR NEW 2-2"x8" HEADER
- D2 - EX. 36"x84" DOOR TO BE INFILLED EX. LINTEL TO BE REMOVED
- D3 - NEW 70"x80" SLIDING DOOR NEW 2-2"x8" HEADER
- D4 - EX. 36"x84" DOOR REMOVED REPLACED W/ NEW 70"x80" SLIDING DOOR NEW 2-2"x8" HEADER TO SUIT NEW OPENING
- D5 - NEW 60"x60" SLIDING DOOR NEW 2-2"x8" HEADER

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

BEAM SCHEDULE

- B1 2-2"x12" DROP BEAM SISTERED W/ 3-1.75"x11.88" LVL PARTIAL FLUSH BEAM BOLTED
- B2 3-1.75"x11.88" LVL DROP BEAM



ENGINEERED GUARD BY PEAK RAILBLAZERS
SEE REF: -PEAK RAILBLAZERS REPORT
-PART 4 STRUCTURAL DESIGN 2012
BUILDING CODE REPORT

EX. WINDOW TO BE REMOVED
NEW 70"x80" SLIDING DOOR C/W
2-2"x8" HEADER TO SUIT OPENING

EX. NON LOAD BEARING WALL
TO BE REMOVED

EX. LOAD BEARING WALL
TO BE REMOVED

3-2"x4" BUILT UP POST
PROVIDE SOLID BLOCKING BELOW

5-2"x4" BUILT UP POST
PROVIDE SOLID BLOCKING TO BEAM BELOW

EX. LOAD BEARING WALL
TO BE REMOVED

DESIGN LOADING:

MAIN FLOOR:
DEAD LOAD = 15 psf
LIVE LOAD = 40 psf

SECOND FLOOR:
DEAD LOAD = 15 psf
LIVE LOAD = 40 psf

ROOF LOAD (HAMILTON BELOW
ESCARPMENT EAST OF HWY 403)

Ss = 27.2 psf
Sr = 8.4 psf



NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

(1) THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE MINIMUM REQUIRED HEIGHT OF EVERY REQUIRED GUARD SHALL BE,

(C) 0.75KN/M OR A CONCENTRATED LOAD OF 1.0KN APPLIED AT ANY POINT, WHICHEVER GOVERNS FOR LOCATIONS OTHER THAN THOSE DESCRIBED IN CLAUSES (A) AND (B).

No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

HAMILTON ONTARIO

SECOND FLOOR FRAMING- MAIN FLOOR PLAN

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S1.02
PROJECT No. 21127	CHECKED BY J.P.C.	

SECOND FLOOR FRAMING - MAIN FLOOR PLAN

SCALE: 3/16"=1'-0"

LEGEND
NEW WALL CONSTRUCTION

PLOT DATE: 2021/06/09 6:22 PM

WINDOW SCHEDULE:

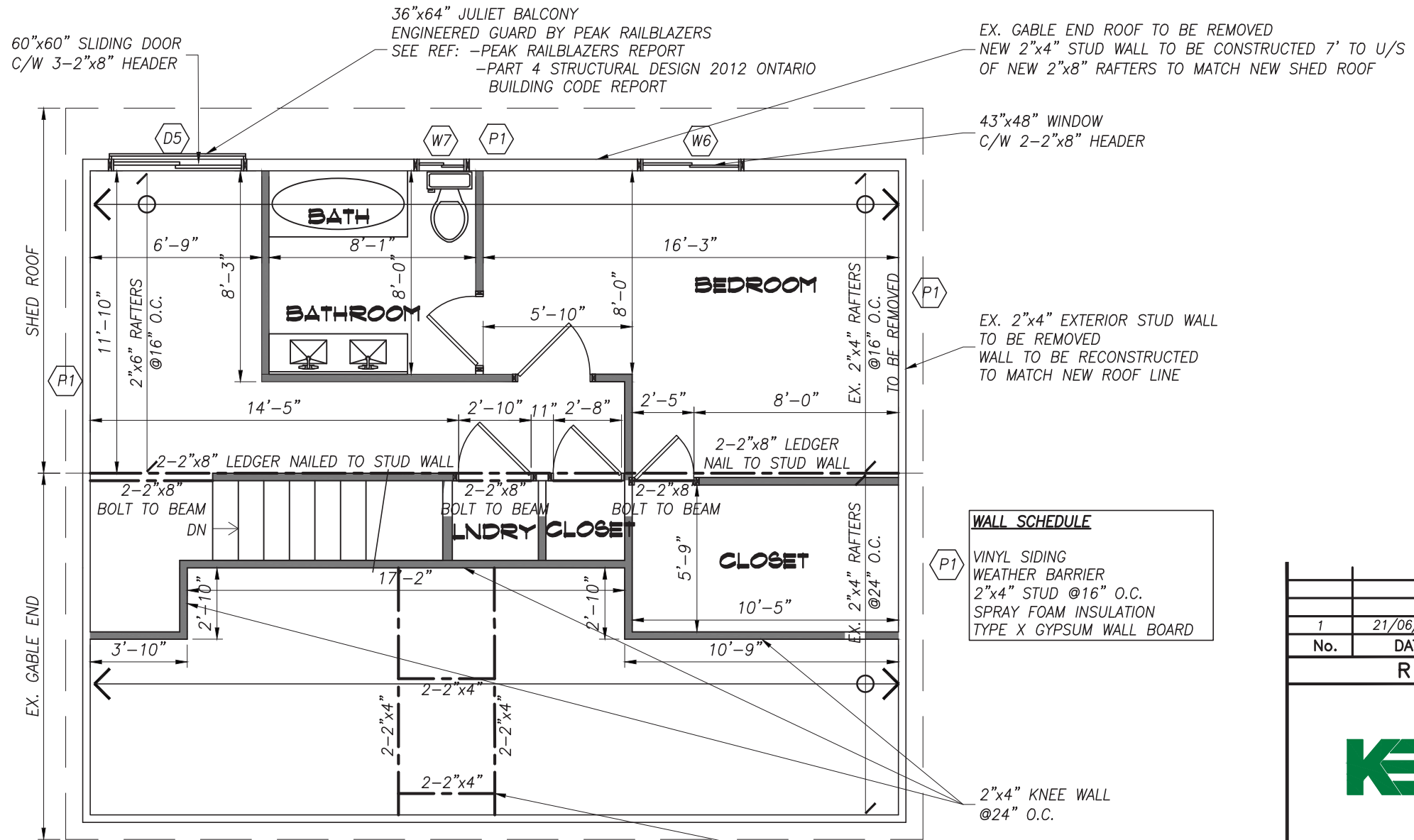
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REPLACED W/ 45"x30" WINDOW
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EX. HEADER TO BE REMOVED
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EX. HEADER ADEQUATE TO REMAIN
- W5 - EX. 35"x27" WINDOW REMOVED
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EX. HEADER TO BE REMOVED
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EX. HEADER TO BE REMOVED
- W10 - EX. 63"x146" WINDOW REMOVED
REPLACED W/ 48"x72" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

DOOR SCHEDULE:

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EX. LINTEL TO BE REMOVED
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NEW 2-2"x8" HEADER
- D4 - EX. 36"x84" DOOR REMOVED
REPLACED W/ NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER TO SUIT NEW OPENING
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LEGEND

NEW WALL CONSTRUCTION

ROOF FRAMING PLAN

SCALE: 3/16"=1'-0"

EX. GABLE END ROOF TO BE REMOVED
NEW 2"x4" STUD WALL TO BE CONSTRUCTED 7' TO U/S
OF NEW 2"x8" RAFTERS TO MATCH NEW SHED ROOF

43"x48" WINDOW
C/W 2-2"x8" HEADER

EX. 2"x4" EXTERIOR STUD WALL
TO BE REMOVED
WALL TO BE RECONSTRUCTED
TO MATCH NEW ROOF LINE

WALL SCHEDULE
VINYL SIDING
WEATHER BARRIER
2"x4" STUD @16" O.C.
SPRAY FOAM INSULATION
TYPE X GYPSUM WALL BOARD

2"x4" KNEE WALL
@24" O.C.

SKYLIGHT FRAMING

No.	DATE	REVISION
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REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

HAMILTON

ONTARIO

ROOF FRAMING PLAN



DATE JUNE 2021	DRAWN BY JD	DRAWING No. S1.03
PROJECT No. 21127	CHECKED BY J.P.C.	

PLOT DATE: 2021/06/09 6:22 PM

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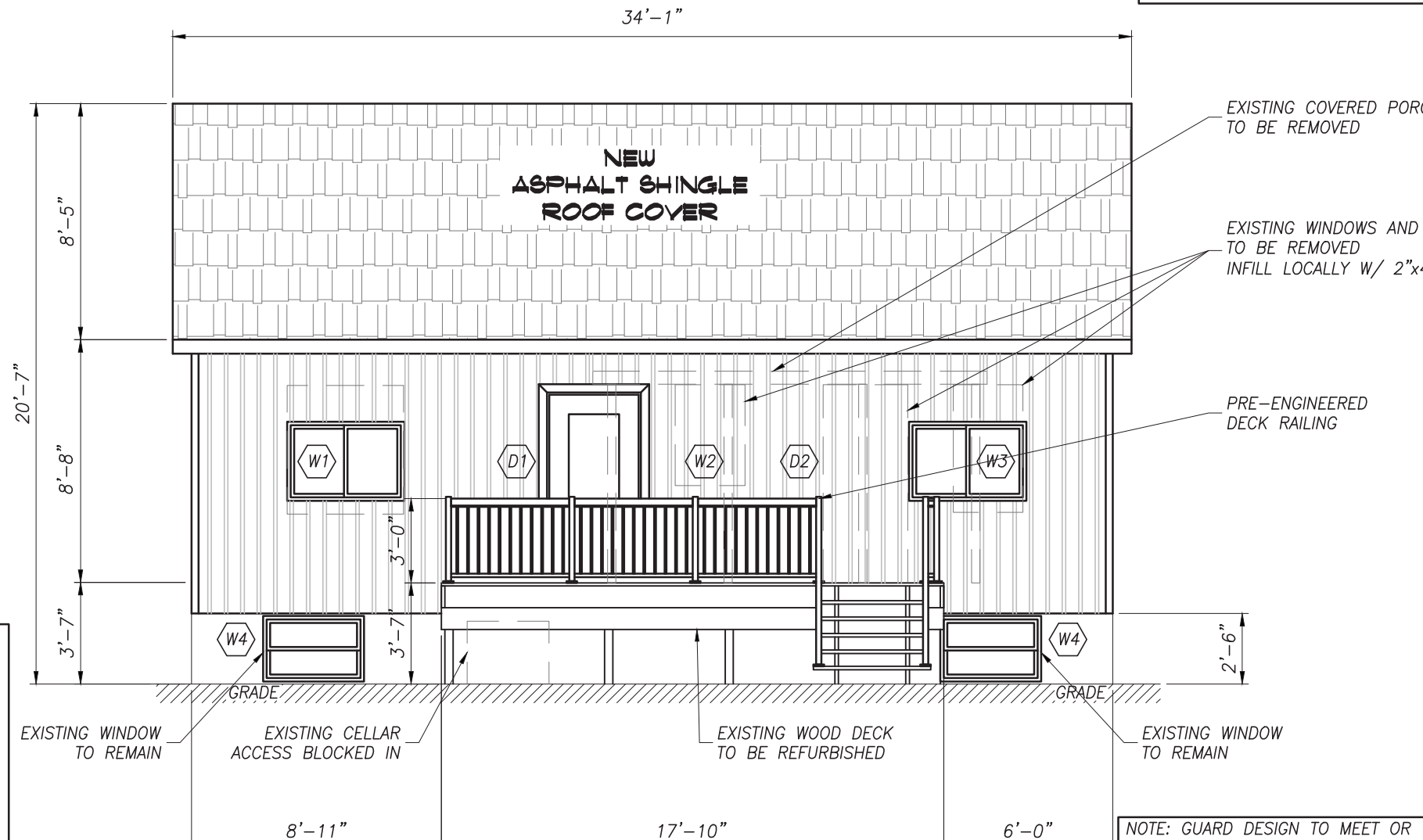
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EXISTING BUILDING FACE:	145.26m ²
EXISTING GLAZING:	16.6m ²
% EX. GLAZING COVERAGE:	11.4%
PROPOSED BUILDING FACE:	176.14m ²
PROPOSED GLAZING:	20.63m ²
% PROPOSED GLAZING COVERAGE:	11.7%



FRONT ELEVATION

SCALE: 3/16"=1'-0"

NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

(1) THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE MINIMUM REQUIRED HEIGHT OF EVERY REQUIRED GUARD SHALL BE,

(C) 0.75KN/M OR A CONCENTRATED LOAD OF 1.0KN APPLIED AT ANY POINT, WHICHEVER GOVERNS FOR LOCATIONS OTHER THAN THOSE DESCRIBED IN CLAUSES (A) AND (B).



No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

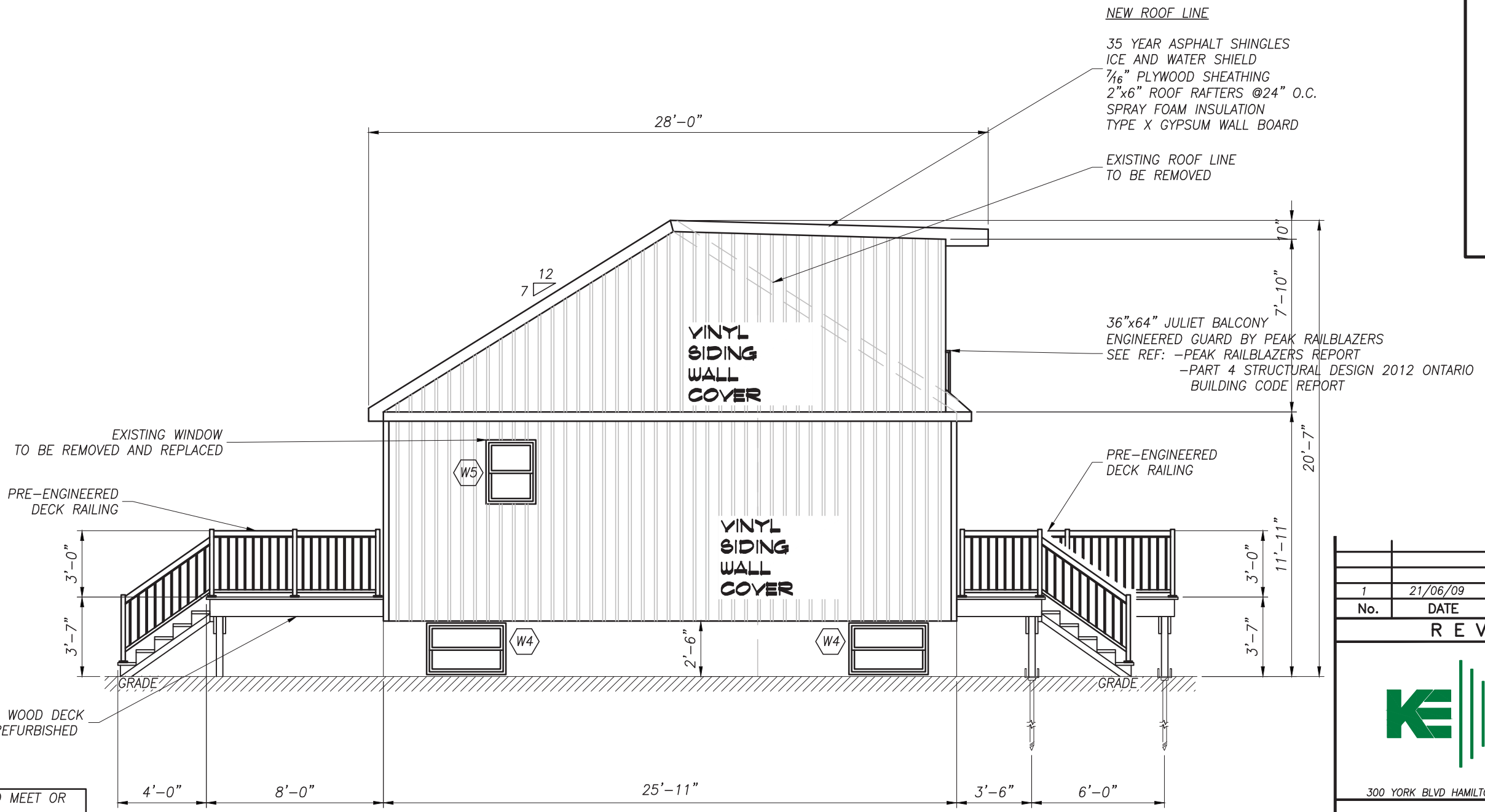
735 BEACH BOULEVARD

HAMILTON

ONTARIO

FRONT ELEVATION

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S2.01
PROJECT No. 21127	CHECKED BY J.P.C.	



NEW ROOF LINE
 35 YEAR ASPHALT SHINGLES
 ICE AND WATER SHIELD
 7/16" PLYWOOD SHEATHING
 2"x6" ROOF RAFTERS @24" O.C.
 SPRAY FOAM INSULATION
 TYPE X GYPSUM WALL BOARD

EXISTING ROOF LINE
 TO BE REMOVED

36"x64" JULIET BALCONY
 ENGINEERED GUARD BY PEAK RAILBLAZERS
 SEE REF: -PEAK RAILBLAZERS REPORT
 -PART 4 STRUCTURAL DESIGN 2012 ONTARIO
 BUILDING CODE REPORT

EXISTING WINDOW
 TO BE REMOVED AND REPLACED

PRE-ENGINEERED
 DECK RAILING

PRE-ENGINEERED
 DECK RAILING

EXISTING WOOD DECK
 TO BE REFURBISHED

NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

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RIGHT ELEVATION

SCALE: 3/16"=1'-0"



No.	DATE	REVISION
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REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

HAMILTON

ONTARIO

LEFT ELEVATION

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S2.02
PROJECT No. 21127	CHECKED BY J.P.C.	

PLOT DATE: 2021/06/09 6:23 PM

WINDOW SCHEDULE:

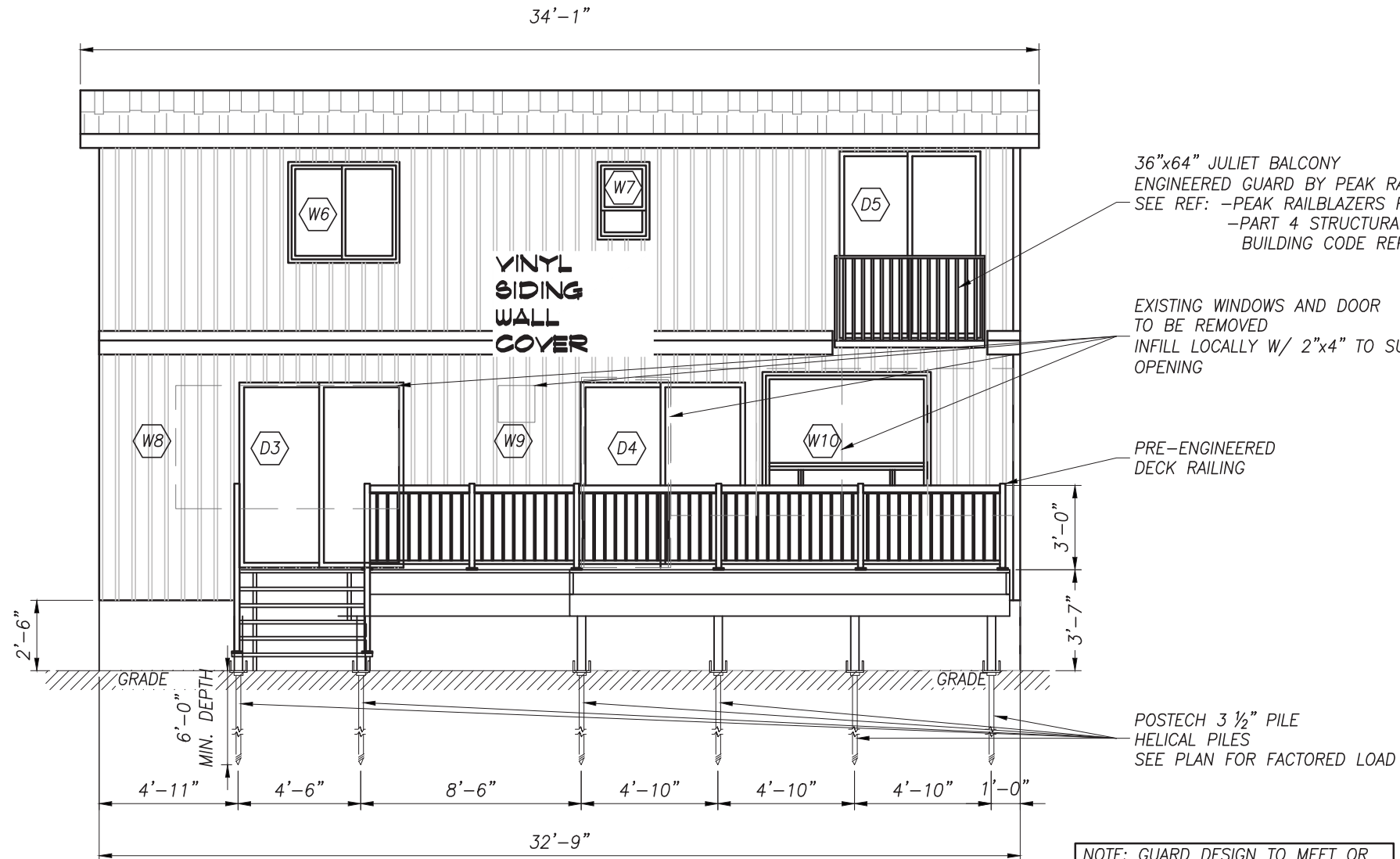
- W1 - EX. 55"x50" WINDOW REMOVED
REPLACED W/ 45"x30" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING
- W2 - EX. 43"x30" WINDOW TO BE INFILLED
EX. HEADER TO BE REMOVED
- W3 - EX. 55"x30" WINDOW REMOVED
REPLACED W/ 45"x30" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING
- W4 - EX. 43"x20" WINDOW TO REMAIN
EX. HEADER ADEQUATE TO REMAIN
- W5 - EX. 35"x27" WINDOW REMOVED
REPLACED W/ NEW 35"x27" WINDOW
NEW 2-2"x8" HEADER
- W6 - NEW 43"x48" WINDOW
NEW 2-2"x8" HEADER
- W7 - NEW 33"x22" WINDOW
NEW 2-2"x8" HEADER
- W8 - EX. 53"x95" WINDOW REMOVED
EX. HEADER TO BE REMOVED
- W9 - EX. 16"x16" WINDOW TO BE INFILLED
EX. HEADER TO BE REMOVED
- W10 - EX. 63"x146" WINDOW REMOVED
REPLACED W/ 48"x72" WINDOW
NEW 2-2"x8" HEADER TO SUIT OPENING

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28

DOOR SCHEDULE:

- D1 - NEW 48"x84" DOOR
NEW 2-2"x8" HEADER
- D2 - EX. 36"x84" DOOR TO BE INFILLED
EX. LINTEL TO BE REMOVED
- D3 - NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER
- D4 - EX. 36"x84" DOOR REMOVED
REPLACED W/ NEW 70"x80" SLIDING DOOR
NEW 2-2"x8" HEADER TO SUIT NEW OPENING
- D5 - NEW 60"x60" SLIDING DOOR
NEW 2-2"x8" HEADER

NOTE: NEW WINDOWS AND SLIDING GLASS DOOR TO HAVE MAX U-VALUE OF 0.28



REAR ELEVATION

SCALE: 3/16"=1'-0"

36"x64" JULIET BALCONY
ENGINEERED GUARD BY PEAK RAILBLAZERS
SEE REF: -PEAK RAILBLAZERS REPORT
-PART 4 STRUCTURAL DESIGN 2012 ONTARIO
BUILDING CODE REPORT

EXISTING WINDOWS AND DOOR
TO BE REMOVED
INFILL LOCALLY W/ 2"x4" TO SUIT NEW WINDOW/DOOR
OPENING

PRE-ENGINEERED
DECK RAILING

POSTECH 3 1/2" PILE
HELICAL PILES
SEE PLAN FOR FACTORED LOAD

NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

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No.	DATE	REVISION
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REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

HAMILTON

ONTARIO

REAR ELEVATION

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S2.03
PROJECT No. 21127	CHECKED BY J.P.C.	

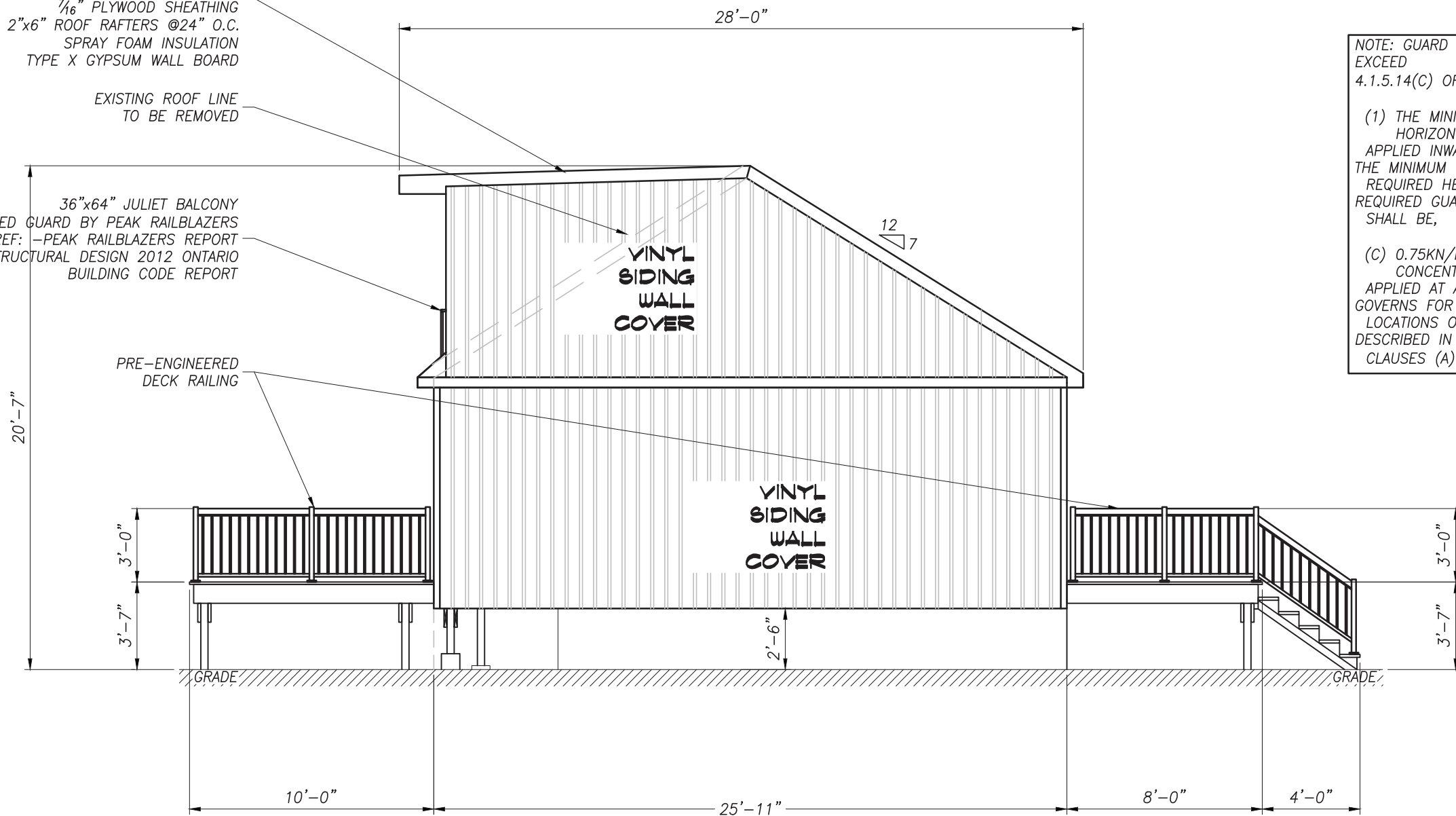
NEW ROOF LINE

35 YEAR ASPHALT SHINGLES
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SPRAY FOAM INSULATION
TYPE X GYPSUM WALL BOARD

EXISTING ROOF LINE
TO BE REMOVED

36"x64" JULIET BALCONY
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BUILDING CODE REPORT

PRE-ENGINEERED
DECK RAILING



NOTE: GUARD DESIGN TO MEET OR EXCEED 4.1.5.14(C) OF THE O.B.C.

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LEFT ELEVATION

SCALE: 3/16"=1'-0"



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1	21/06/09	ISSUED FOR PERMIT

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

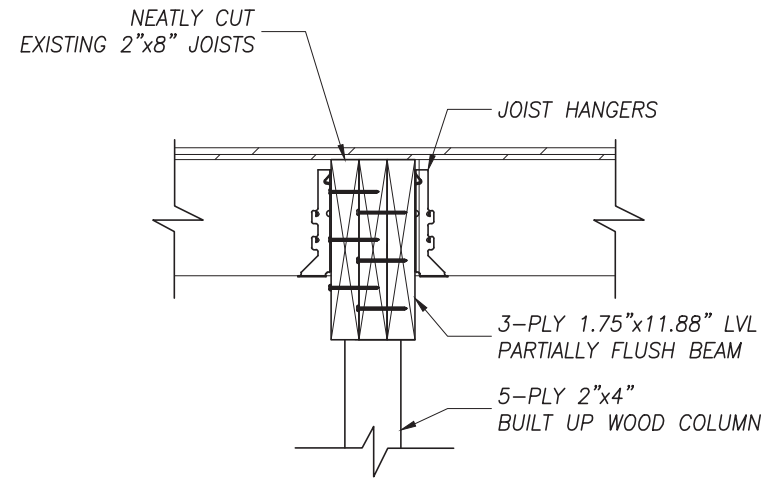
HAMILTON

ONTARIO

RIGHT ELEVATION

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S2.04
PROJECT No. 21127	CHECKED BY J.P.C.	

PLOT DATE: 2021/06/09 6:23 PM

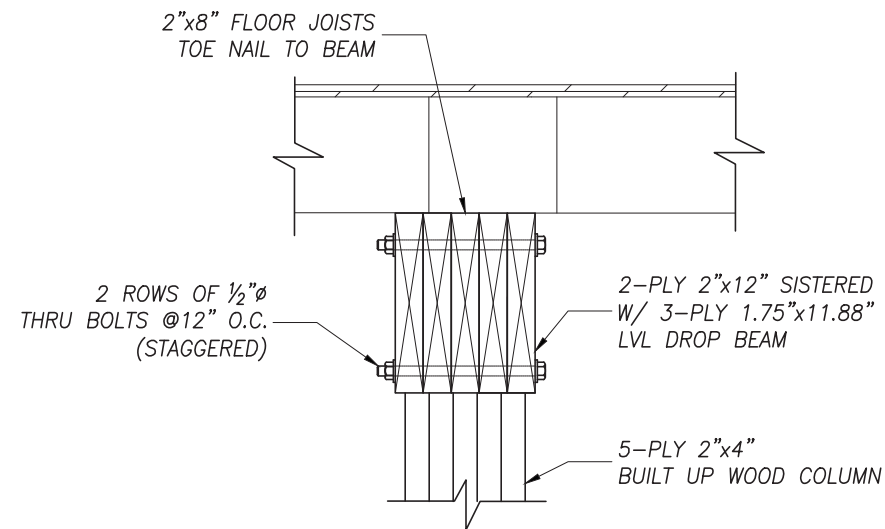


PARTIALLY FLUSH BEAM DETAIL

SCALE:

1"=1'-0"

1
S1.02

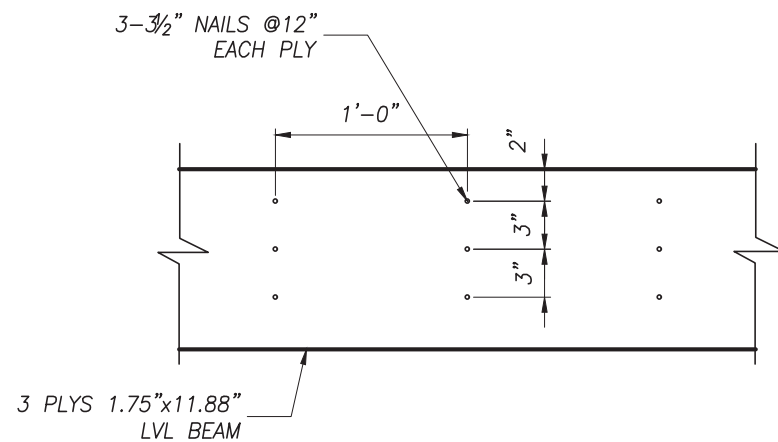


DROP BEAM DETAIL

SCALE:

1"=1'-0"

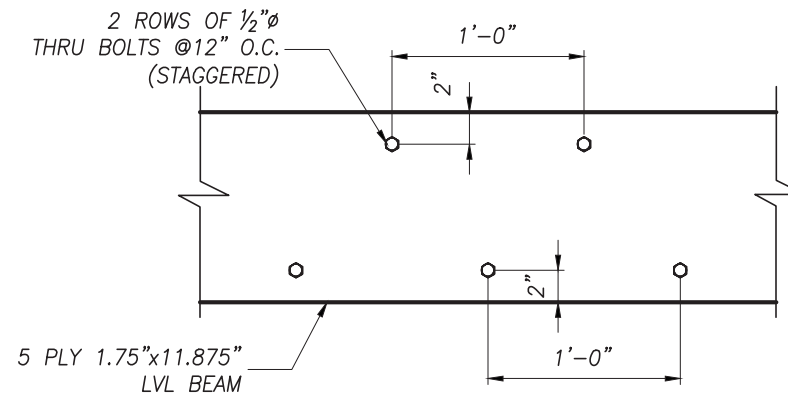
2
S1.01



BEAM NAILING PATTERN

SCALE:

1"=1'-0"



BEAM BOLTING PATTERN

SCALE:

1"=1'-0"

No.	DATE	REVISION
1	21/06/09	ISSUED FOR PERMIT

REVISIONS



300 YORK BLVD HAMILTON, ONTARIO L8R 3K6 905-333-9119

INTERIOR/EXTERIOR HOME RENOVATION

735 BEACH BOULEVARD

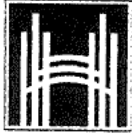
HAMILTON

ONTARIO

SECTIONS

DATE JUNE 2021	DRAWN BY JD	DRAWING No. S4.01
PROJECT No. 21127	CHECKED BY J.P.C.	





Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE

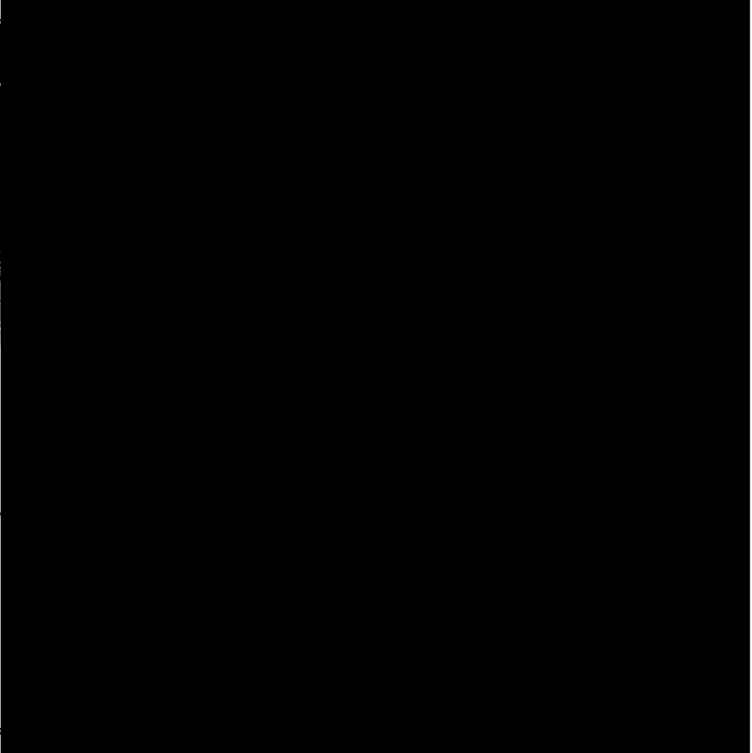
FOR OFFICE USE ONLY.	
APPLICATION NO. _____	DATE APPLICATION RECEIVED _____
PAID _____	DATE APPLICATION DEEMED COMPLETE _____
SECRETARY'S SIGNATURE _____	

The Planning Act

Application for Minor Variance or for Permission

The undersigned hereby applies to the Committee of Adjustment for the City of Hamilton under Section 45 of the *Planning Act*, R.S.O. 1990, Chapter P.13 for relief, as described in this application, from the Zoning By-law.

1, 2	NAME
Registered Owners(s)	Amanda & Kevin White
Applicant(s)*	Julianna Hribljan Barich Grenkie Surveying Ltd.
Agent or Solicitor	Julianna Hribljan Barich Grenkie Surveying Ltd.



Note: Unless otherwise requested all communications will be sent to the agent, if any.

3. Names and addresses of any mortgagees, holders of charges or other encumbrances:

Mortgage for the property is with: CIBC 1273 Barton St. E. Hamilton, ON. L8H 2V4

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

4. Nature and extent of relief applied for:

The existing dwelling has had a 1/2 storey addition and would need the following minor variances:
rear yard setback - 3.14 m
side yard setback - 1.43 m

Second Dwelling Unit Reconstruction of Existing Dwelling

5. Why it is not possible to comply with the provisions of the By-law?

The existing dwelling did not comply with the zoning by-law, previously to work being done on it. The owners have added a second storey to the house. By keeping inline with the first floor of the house the second floor does not meet the minimum setbacks.

6. Legal description and Address of subject lands (registered plan number and lot number or other legal description and where applicable, **street and street number**):

Part of Burlington Beach East Side of Beach Boulevard (Unregistered)

735 Beach Boulevard, Hamilton

7. PREVIOUS USE OF PROPERTY

Residential Industrial Commercial

Agricultural Vacant

Other _____

8.1 If Industrial or Commercial, specify use _____

8.2 Has the grading of the subject land been changed by adding earth or other material, i.e. has filling occurred?

Yes No Unknown

8.3 Has a gas station been located on the subject land or adjacent lands at any time?

Yes No Unknown

8.4 Has there been petroleum or other fuel stored on the subject land or adjacent lands?

Yes No Unknown

8.5 Are there or have there ever been underground storage tanks or buried waste on the subject land or adjacent lands?

Yes No Unknown

8.6 Have the lands or adjacent lands ever been used as an agricultural operation where cyanide products may have been used as pesticides and/or sewage sludge was applied to the lands?

Yes No Unknown

8.7 Have the lands or adjacent lands ever been used as a weapon firing range?

Yes No Unknown

8.8 Is the nearest boundary line of the application within 500 metres (1,640 feet) of the fill area of an operational/non-operational landfill or dump?

Yes No Unknown

8.9 If there are existing or previously existing buildings, are there any building materials remaining on site which are potentially hazardous to public health (eg. asbestos, PCB's)?

Yes No Unknown

8.10 Is there any reason to believe the subject land may have been contaminated by former uses on the site or adjacent sites?

Yes No Unknown

8.11 What information did you use to determine the answers to 8.1 to 8.10 above?

Information was provided by client.

8.12 If previous use of property is industrial or commercial or if YES to any of 8.2 to 8.10, a previous use inventory showing all former uses of the subject land, or if appropriate, the land adjacent to the subject land, is needed.

Is the previous use inventory attached? Yes No

9. ACKNOWLEDGEMENT CLAUSE

I acknowledge that the City of Hamilton is not responsible for the identification and remediation of contamination on the property which is the subject of this Application – by reason of its approval to this Application.



10. Dimensions of lands affected:

Frontage	15.04 m	_____
Depth	53.55 m	_____
Area	828.31 m	_____
Width of street	13.12 m	_____

11. Particulars of all buildings and structures on or proposed for the subject lands: (Specify ground floor area, gross floor area, number of stories, width, length, height, etc.)

Existing:_____

1.5 Storey Sided Dwelling		
Gross floor area: 79.69 m2		
Width: 9.80 m	Length: 8.08 m	Height:

Proposed

1.5 Storey Sided Dwelling		
Gross floor area: 79.69 m2		
Width: 9.80 m	Length: 8.08 m	Height:

12. Location of all buildings and structures on or proposed for the subject lands; (Specify distance from side, rear and front lot lines)

Existing:_____

Front Yard Setback: 42.30 m
Rear Yard Setback: 3.14 m
Side Yard Setback (North): 1.43 m
Side Yard Setback (South): 4.34 m

Proposed:_____

For the 1/2 Storey Addition:	
Rear Yard Setback: 3.14 m	
Side Yard Setback (North): 1.43 m	
Side Yard Setback (South): 4.34 m	

13. Date of acquisition of subject lands:
March 2020
-
14. Date of construction of all buildings and structures on subject lands:
The dwelling - originally constructed in 1950. July 2020 the 1/2 storey was built.
-
15. Existing uses of the subject property (single family, duplex, retail, factory etc.):
Single family dwelling
-
16. Existing uses of abutting properties (single family, duplex, retail, factory etc.):
Single family dwellings on all abutting properties.
-
17. Length of time the existing uses of the subject property have continued:
70+ years
-
18. Municipal services available: (check the appropriate space or spaces)
Water _____ Connected _____
Sanitary Sewer _____ Connected _____
Storm Sewers _____
19. Present Official Plan/Secondary Plan provisions applying to the land:

Neighbourhoods
20. Present Restricted Area By-law (Zoning By-law) provisions applying to the land:

C/S-1435
21. Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)
 Yes No
- If yes, please provide the file number:
- 21.1 If a site-specific zoning by-law amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?
 Yes No
- 21.2 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.
22. Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?
 Yes No
23. Additional Information (please include separate sheet if needed)
24. The applicant shall attach to each copy of this application a plan showing the dimensions of the subject lands and of all abutting lands and showing the location, size and type of all buildings and structures on the subject and abutting lands, and where required by the Committee of Adjustment such plan shall be signed by an Ontario Land Surveyor.