



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-24:147</b>	<b>SUBJECT PROPERTY:</b>	35 Homewood Avenue, Hamilton
<b>ZONE:</b>	“R1a” (Low Density Residential – Small Lot)	<b>ZONING BY-LAW:</b>	Zoning By-law City of Hamilton 05-200, as Amended

**APPLICANTS:**      Owner: Mark Nieuwland  
                             Agent: Park Eight Inc. c/o Pete VandenArend

The following variances are requested:

1. A maximum building height of 5.3m shall be permitted instead of the maximum 4.5m permitted for accessory buildings.
2. A maximum lot coverage of 45.0m<sup>2</sup> shall be permitted for the proposed accessory building whereas the zoning By-law states that the aggregate gross floor area of all accessory buildings shall not exceed 45.0m<sup>2</sup> or 7.5% total lot coverage whichever is the lesser.
3. A minimum setback of 0.9m shall be permitted from a side lot line instead of the minimum 1.2m setback required from a side lot line.
4. A minimum setback of 0.9m shall be permitted from a rear lot line instead of the minimum 1.2m setback required from a rear lot line.

Additional Variances to By-law No. 24-052 (Not Final & Binding).

5. No Electric Vehicle parking spaces shall be permitted to be maintained whereas the zoning By-law requires a minimum of 100.0% of the parking spaces provided for a single detached dwelling to be maintained as electric vehicle parking.

**PURPOSE & EFFECT:**      To facilitate the construction of an accessory building (private garage) for the existing single detached dwelling.

**A-24:147**

**Notes:**

The applicant shall ensure that the eave/gutter projection does not exceed the maximum permitted 0.45m into a required yard; otherwise, further variances shall be required.

The applicant shall ensure that a minimum access driveway width of 2.7m is maintained; otherwise, further variance shall be required.

The applicant shall ensure that the driveway width shall not exceed the lot width or 8.0m whichever, is the lesser; otherwise, further variances shall be required.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Tuesday, July 23, 2024</b>
<b>TIME:</b>	<b>1:50 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon July 19, 2024

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon July 22, 2024

**FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:147, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

**A-24:147**

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

**DATED: July 4, 2024**

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**Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment**

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

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E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

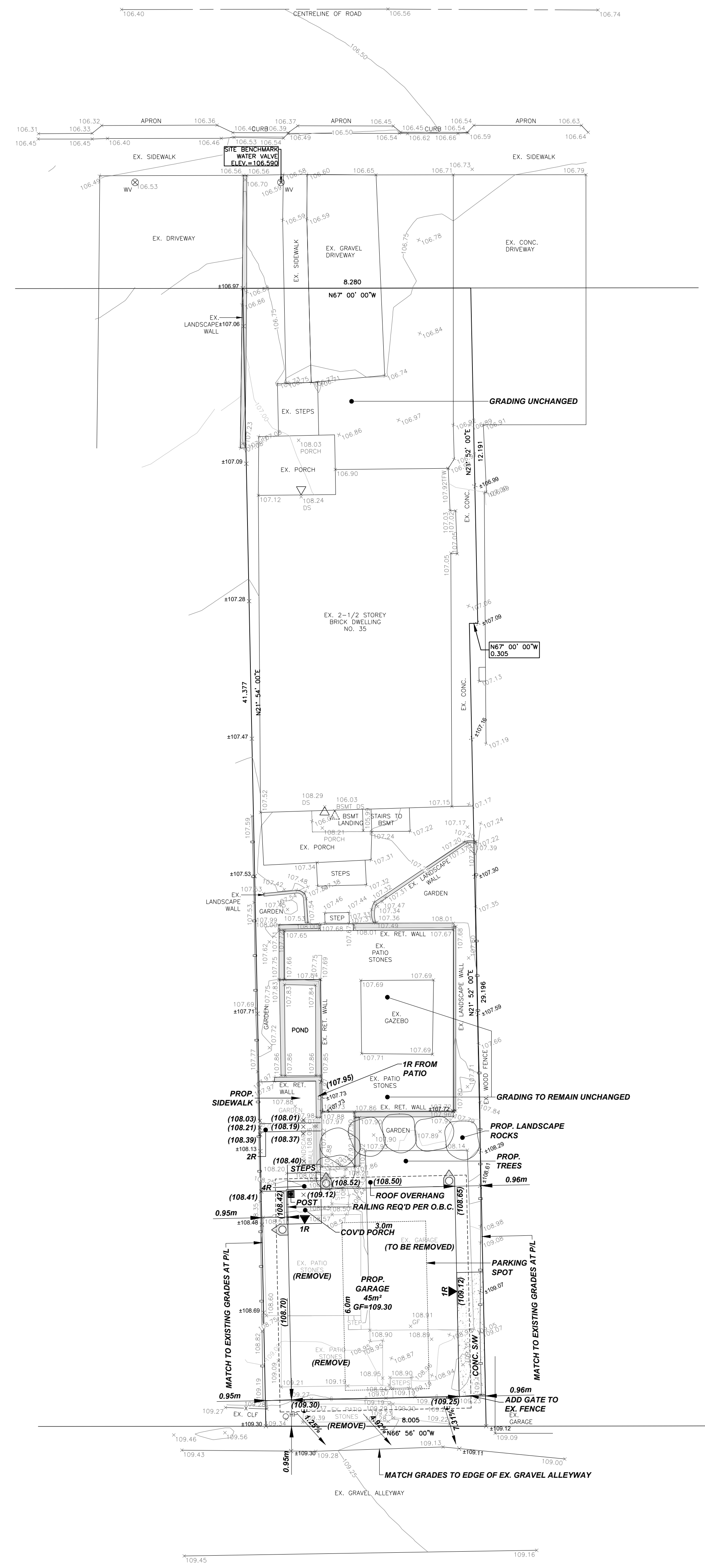
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

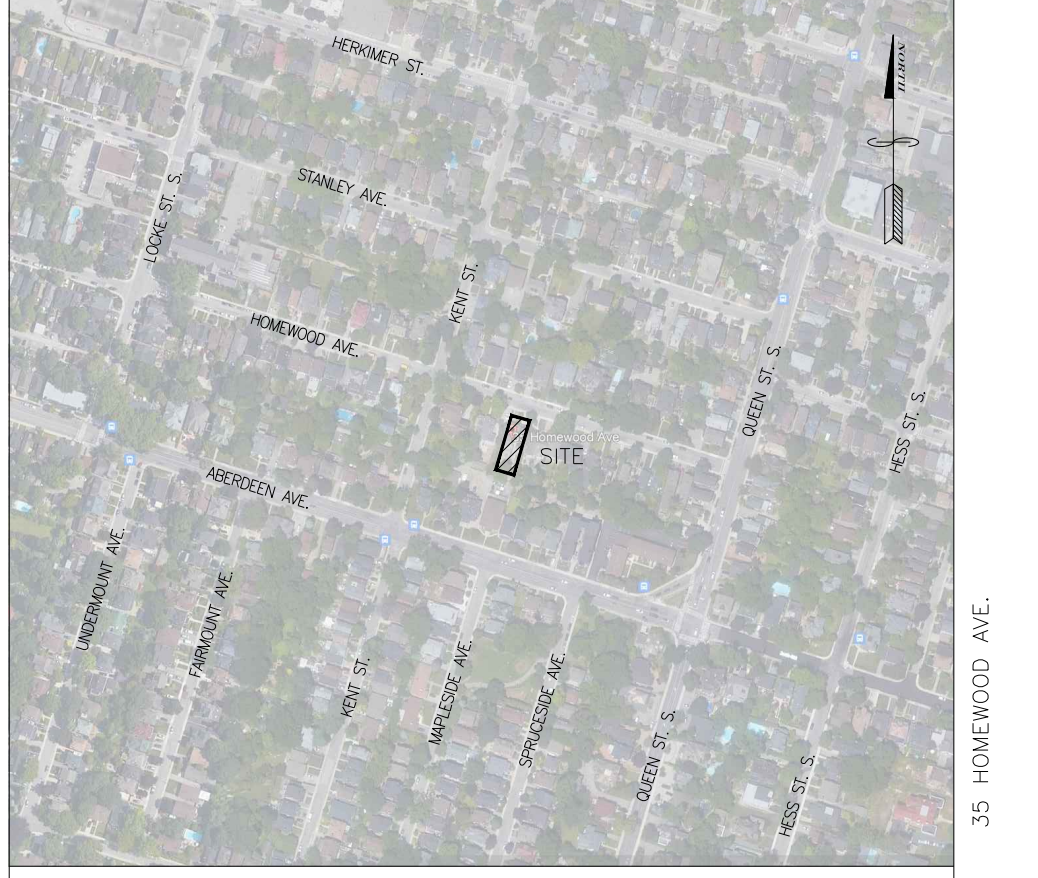
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



### LEGEND

- ×100.50 EXISTING ELEVATION
- ×±100.50 EXISTING ELEVATION (CALCULATED)
- ×(100.00) PROPOSED ELEVATION
- (100.00) PROPOSED APRON ELEVATION
- ×S(100.00) PROPOSED SWALE ELEVATION
- ⊕ PROPOSED DOWNSPOUT
- PROPOSED SWALE
- PROPOSED SILT FENCE
- △ EXISTING ENTRANCE LOCATION

- #### GENERAL GRADING NOTES:
1. MATCH EXISTING GRADE AT PROPERTY / DEVELOPMENT LIMITS WITH SLOPED SLOPES OF MAXIMUM 3:1 AND/OR RETAINING WALLS AS SPECIFIED.
  2. SLOPES OF SWALES FOR BOTH "BACK-TO-FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% AND NO GREATER THAN 3.3% (3:1).
  3. MINIMUM GRADE FOR APRON "WRAP-AROUND" SWALE AT THE REAR OF THE LOT SHALL BE 1.0%.
  4. WHEN MATCHING TO EXISTING GRADE AT THE LIMITS OF THE DEVELOPMENT / PROPERTY WHERE 2.0% SLOPE CANNOT BE REASONABLY ACHIEVED A 1.5% GRADE IS PERMITTED PROVIDED A 150MM SUB-DRAIN IS INSTALLED WITH THE SWALE AS PER RD-121 AND CONNECTED TO A SUITABLE OUTLET.
  5. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2.0% AND SHALL NOT BE MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS ARE NOT ALLOWED FOR ANY NEW CONSTRUCTION.
  6. GARAGE FLOOR ELEVATION SHALL BE SET A MINIMUM OF 0.30M HIGHER THAN THE BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
  7. THE TOP OF FOUNDATION WALL FOR THE DWELLING UNIT SHALL BE A MINIMUM 150MM (6") ABOVE FINISHED GRADE.
  8. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS SHALL BE GRADED AS A STRAIGHT LINE.
  9. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE PROPERTY / DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER, OTHERWISE RETAINING WALLS MUST BE USED.
  10. ALL RETAINING WALLS SHALL BE PLACED A MINIMUM 0.45M FROM PROPERTY LINES.
  11. ANY WALL OF GREATER HEIGHT THAN 1.0M MUST BE DESIGNED BY A PROFESSIONAL ENGINEER.
  12. TOP OF RETAINING WALL ELEVATIONS SHALL BE SET A MINIMUM OF 150MM ABOVE THE PROPOSED SIDE-YARD SWALES.
  13. RETAINING WALLS 0.60M AND HIGHER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. SUCH FENCES OR GUARD RAILS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
  14. ALL FILL CONTRACTED ON THE LOT(S) SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER). MATERIALS SHALL BE PLACED IN LIFTS NOT EXCEEDING 300MM DEPTH.
  15. FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS, AND PROTECTION SCHEMATICS REFER TO THE TREE PROTECTION PLAN (IF APPLICABLE).
- #### BACKYARD GRADING NOTES:
1. "REQUIRED BACKYARD" SHALL BE A MINIMUM OF 6.0 METRES UNLESS OTHERWISE DEFINED IN THE APPLICABLE ZONING BY-LAW.
  2. THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5% EXCEPT FOR SIDE OR REAR YARD SWALES AND RETAINING WALLS.
  3. WHERE THE 5% RESTRICTION ON THE BACKYARD'S GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN ADJACENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND BACK OF THE LOT.
  4. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
  5. THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDED THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF HOUSE CONSTRUCTION.
  6. BACK TO FRONT DRAINAGE SHALL ONLY BE PERMITTED WHERE THE COMBINED SIDE YARD SETBACK IS 2.0m OR MORE, PROVIDING A MINIMUM OF 2.0m BETWEEN FOUNDATION WALLS FOR ORANGE SWALES. A 1.2m SETBACK IS REQUIRED ON THE GARAGE SIDE OF THE LOT.
- #### SILTATION AND EROSION CONTROL NOTES:
1. SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED ON THE PLAN ACCORDING TO OPSD 219.110 (SEE DETAIL ON THIS SHEET).
  2. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL EVENT TO THE SATISFACTION OF THE CITY OF HAMILTON.
  3. CATCH BASIN SEDIMENT CONTROL DEVICES SHALL BE SILENT BY NOT ENVIRONMENTAL OR APPROVED EQUIVALENT, TO BE PLACED AS PER THE MANUFACTURER'S RECOMMENDATIONS (IF APPLICABLE).
  4. ADDITIONAL SILTATION CONTROL MEASURES MAY BE REQUIRED AS PER FIELD CONDITIONS AS DETERMINED BY THE CITY.



**KEY PLAN** N.T.S.

**BENCHMARK NOTE:**  
 ELEVATION = 106.813 (CGVD-1928.78)  
 MONUMENT: 0011965U651  
 HOUSE NO. 181 HERKIMER STREET, AT SOUTHWEST CORNER OF QUEEN STREET SOUTH, PLATE IN EAST BRICK WALL NEAR NORTHEAST CORNER.

**SITE BENCHMARK:**  
 ELEVATION = 106.590m  
 WATER VALVE AS INDICATED ON PLAN.

- #### GENERAL NOTES:
1. TENDERER SHALL SATISFY THEMSELVES AS TO THE NATURE OF THE GROUND AND BID ACCORDINGLY.
  2. ALL ROCK LINE INDICATIONS SHOWN ON THE PLAN MUST BE VERIFIED BY THE CONTRACTOR.
  3. CONTRACTOR SHALL VERIFY LOCATIONS AND INVERTS OF ALL EXISTING SANITARY AND STORM SEWERS AND WATERMANS, PRIVATE DRAINS AND WATER SERVICES, GAS MAINS, CABLE TV, HYDRO AND TELEPHONE DUCTS ETC AT START OF CONSTRUCTION.

NO:	DATE:	DESCRIPTION:
0	2024-05-15	FIRST SUBMISSION

REVISIONS

NO:	DATE:	DESCRIPTION:

SEAL

**LandSmith** ENGINEERING & CONSULTING LTD.  
 1059 UPPER JAMES STREET, SUITE 207  
 HAMILTON, ON L9C 3A6  
 ANDREW@LANDSMITH.CA  
 289-309-3632

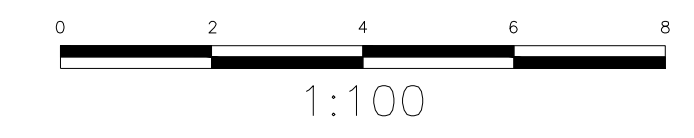
CLIENT: PARK EIGHT

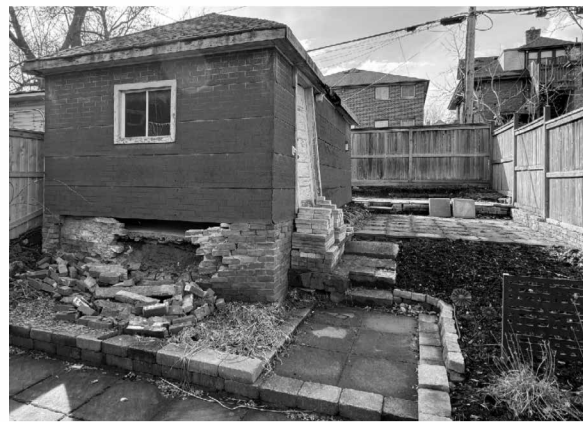
MUNICIPALITY: CITY OF HAMILTON

PROJECT NAME: 35 HOMEWOOD AVE.

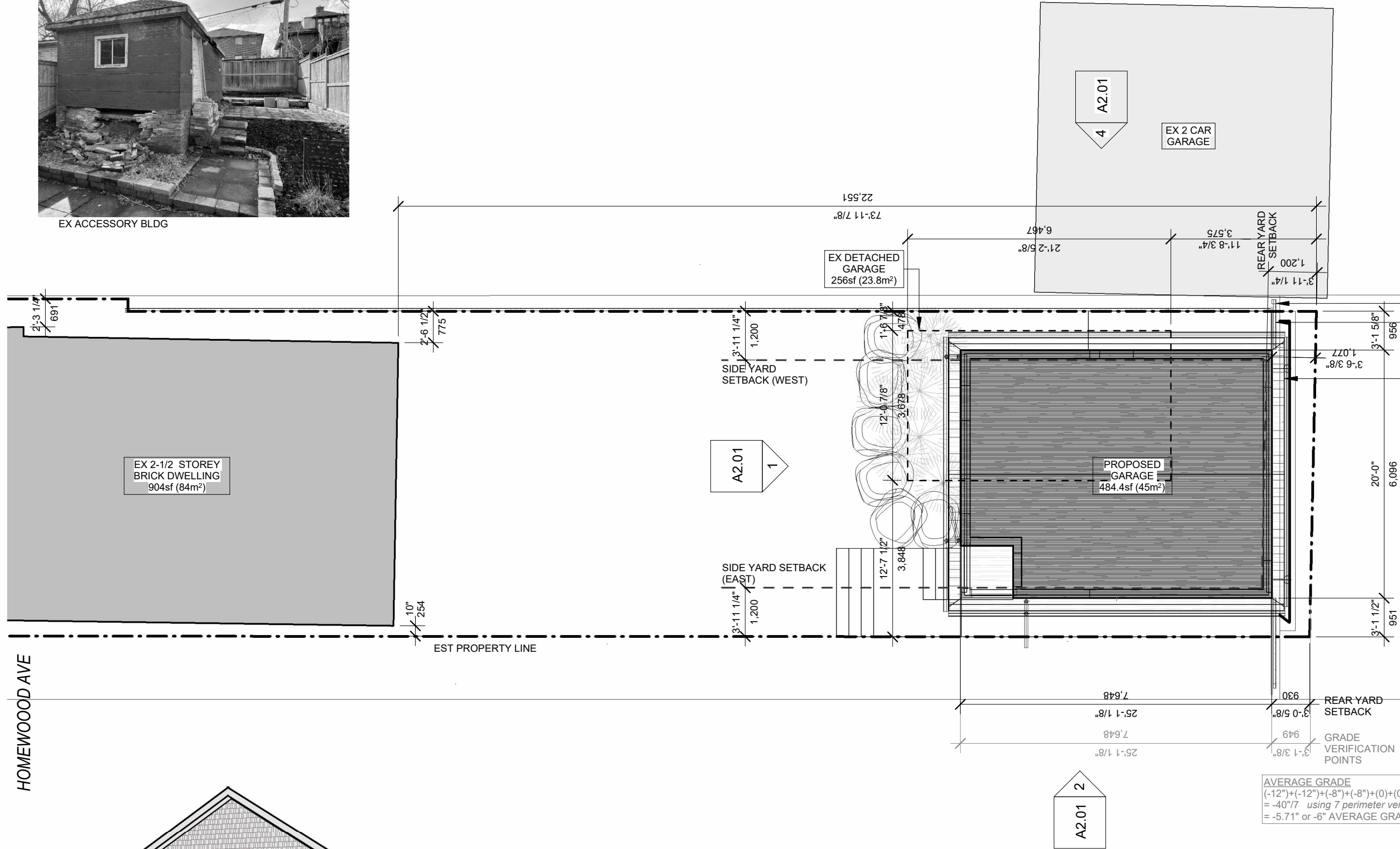
TITLE: SITE GRADING PLAN

SCALE: 1:100	DATE: 2024-04-12
CHECKED BY: AS	DESIGNED BY: BC
DWG No: 24018PRK	SHEET No: GP



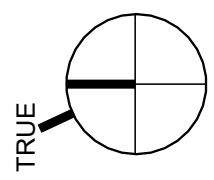


EX ACCESSORY BLDG



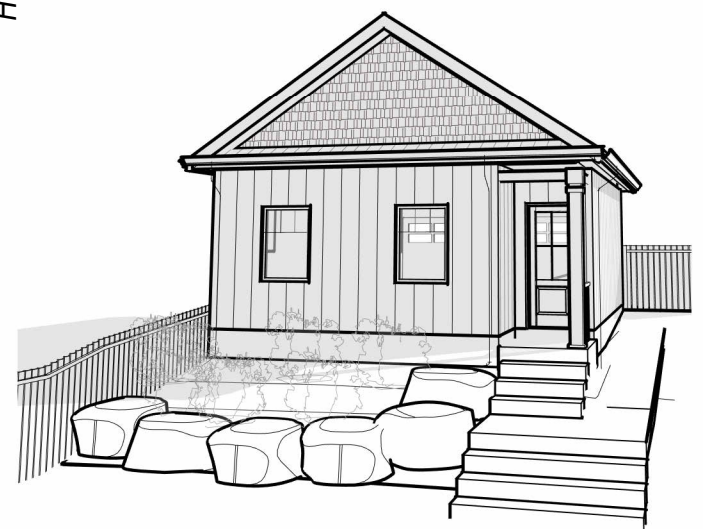
EX WOOD FENCE  
MODIFY EX WD FENCE  
FOR ACCESS GATE

1'-0" PROP OVERHANG &  
5" GUTTER PROJECTION  
<1' 6-7/8" MAX PERMITTED  
≤ 1'-5" PROPOSED



HOMWOOD AVE

EX GRAVEL ALLEYWAY



**SITE PLAN LEGEND**

- EX BUILDING
- EX BUILDING
- PROPOSED ADDITIONS

**SITE STATISTICS**  
ZONING DESIGNATION = R1a LOW DENSITY RESIDENTIAL 05-200

	PERMITTED	PROVIDED	
LOT AREA	270m <sup>2</sup> minimum	344.4m <sup>2</sup>	UNCHANGED
LOT FRONTAGE	9m minimum	8.28m	UNCHANGED
FRONT YARD SETBACK	6m when front access	32.79m	
SIDE YARD SETBACKS	1.2m	.951m / .956m	
REAR YARD SETBACK	1.2m	.930m	
BUILDING HEIGHT	4m	5.3m	

[\*] Denotes existing condition

**LOT COVERAGE SUMMARY:**  
LOT AREA: 344.4m<sup>2</sup> EX UNCHANGED

	EXISTING	PROPOSED	EX UNCHANGED
EX BUILDING AREA:	84m <sup>2</sup>	84m <sup>2</sup>	EX UNCHANGED
ACCESSORY BLDG AREAS:			
DETACHED GARAGE	23.8m <sup>2</sup>	45m <sup>2</sup>	
	107.8m <sup>2</sup>	129m <sup>2</sup>	TOTAL COVERAGE
LOT COVERAGE DWELLING:	24.4%	24.4%	EX UNCHANGED
LOT COVERAGE ACCESSORY:	6.9%	13%	
LOT COVERAGE TOTAL :	31.3%	37.4%	6.1% increase in lot coverage

**AVERAGE GRADE**  
(-12")+(-12")+(-8")+(-8")+(0)+(0)+(0)  
= -40"/7 using 7 perimeter verification points  
= -5.71" or -6" AVERAGE GRADE



**ACCESSORY BLDG  
RE-BUILD**  
35 HOMEWOOD AVE, HAMILTON

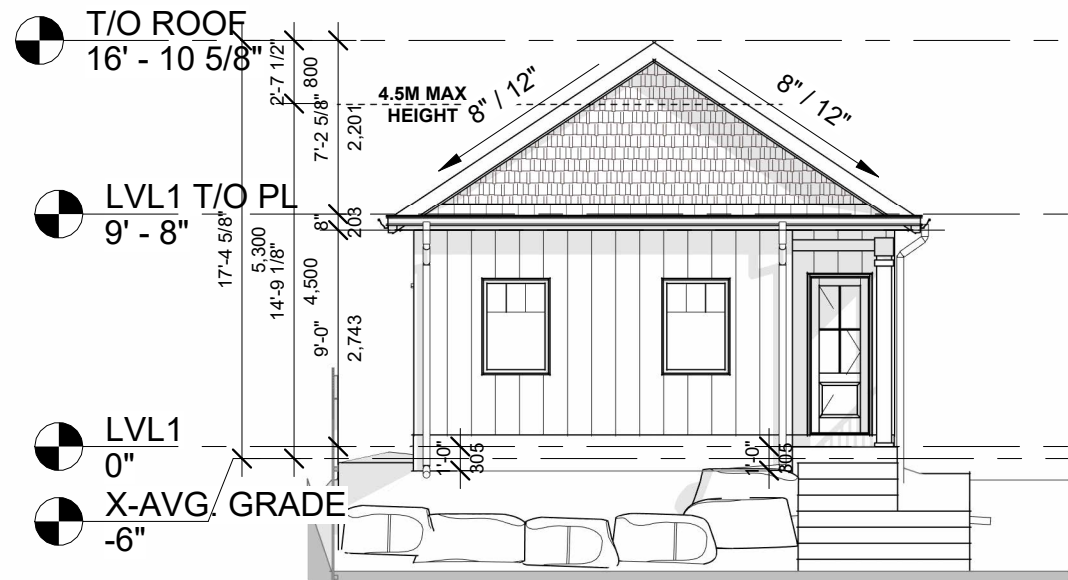
Project No. 24011  
Revisions

Scale As indicated

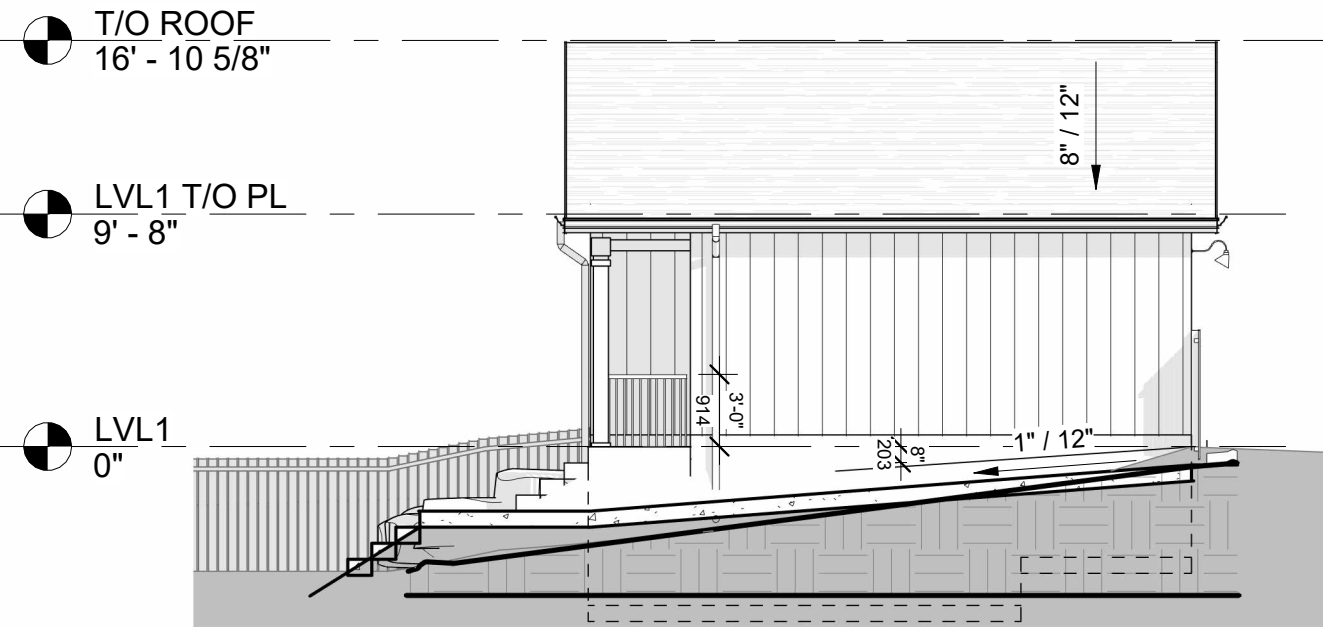
**SITE PLAN**

**SP1.01**

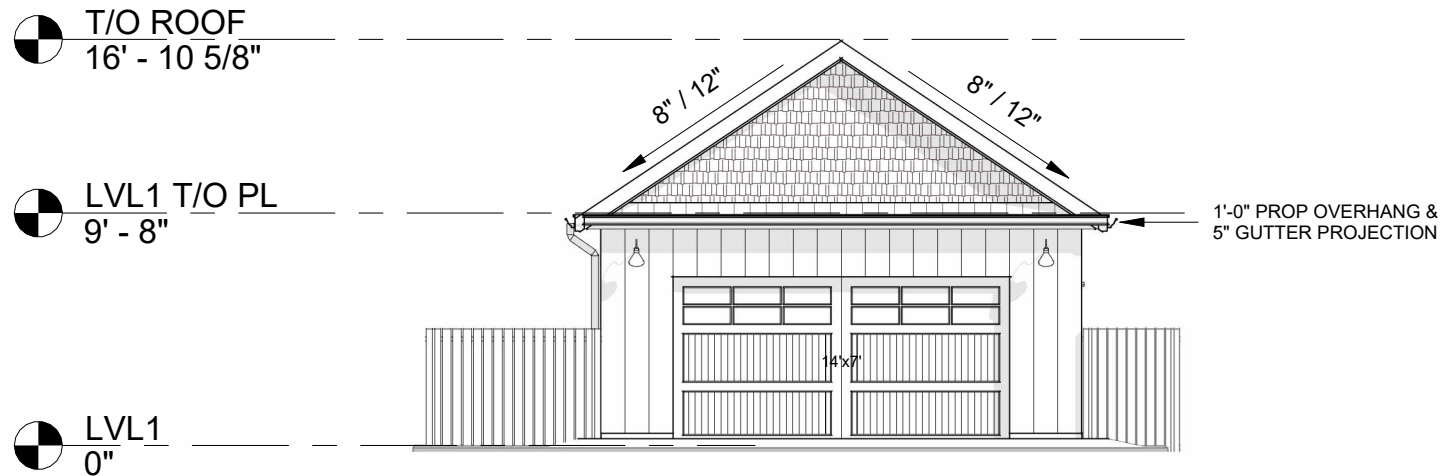
Sheet No. ©2021



① EXTR ELEV FRONT  
1/8" = 1'-0"



② EXTR ELEV SIDE (EAST)  
1/8" = 1'-0"



③ EXTR ELEV REAR  
1/8" = 1'-0"



④ EXTR ELEV SIDE (SOUTH)  
1/8" = 1'-0"



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME		
Registered Owners(s)	Mark Nieuwland		
Applicant(s)	Park Eight inc care of Pete VandenArend		
Agent or Solicitor			
			E-mail:

1.2 All correspondence should be sent to  Owner  Applicant  
 Agent/Solicitor

1.2 All correspondence should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No  
If YES, provide email address where sign is to be seen

1.5 All correspondence may be sent by email  Yes\*  No  
If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:



Municipal Address	35 Homewood Ave, Hamilton, ON L8P 2M1		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot	12	Concession	
Registered Plan Number	187	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

N/A

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Relief from;

- Acc Bldg size to lot area 7.5%

- Max height /

- Side & Rear yard setbacks

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Consistent with surrounding homes along shared alleyway, clients wish to build garage which is comparable to established 2-car garages in the area. **Size:** Req'd <45m<sup>2</sup> - 7.5% lot size 270sf/ Proposed <45m<sup>2</sup> 484.4sf

**Height:** Req'd 4.5m/ Proposed 5.3m **Setbacks:** Req'd **Side yard** 1.2m Proposed .950m [3'-1"] **Rear yard** 1.2m Req'd .950 Proposed

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

N/A Ex use legal and recognized

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
8.28m	41.37m	334.4m <sup>2</sup>	8.5m

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Ex Dwelling	6.53m	22.55m	.254m/.775m	±1950's
Ex Garage	31.33m	3.57m	.478m/3.85m	±1950's

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Ex Dwelling				unchanged
Prop Garage	32.79m	.930m	.951/.956	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Ex Dwelling	904sf [84m <sup>2</sup> ]	2260sf [210m <sup>2</sup> ]	2-1/2	±34'-6" [10.5m]
Ex Garage	6.7m <sup>2</sup>	-	1	±13'-2" [4m]

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Prop Garage	484.4sf [45m <sup>2</sup> ]	484.4sf [45m <sup>2</sup> ]	1	17'-5" [5.3m]

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)
- 

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)
- 

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage system
  - privately owned and operated individual septic system
  - other means (specify)
- 

4.7 Type of access: (check appropriate box)

- provincial highway
  - municipal road, seasonally maintained
  - municipal road, maintained all year
  - right of way
  - other public road
- 

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
Single detached Dwelling (unchanged)

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4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
Single detached Dwellings

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## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:  
April 17, 2021

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7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Residential

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7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Residential

---

7.4 Length of time the existing uses of the subject property have continued:  
120+ years

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7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): -

Rural Settlement Area: -

Urban Hamilton Official Plan designation (if applicable) Neighborhoods

Please provide an explanation of how the application conforms with the Official Plan.

*Proposed scope is scaled reasonably, fits within the community context without changing the use, occupancy or original charm of the home.*

*This accessory building re-build improves usefulness for the homeowners, while staying withing neighborhood precedent.*

7.6 What is the existing zoning of the subject land? R1a LOW DENSITY RESIDENTIAL

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

Yes       No

If yes, please provide the file number:

HM/A-07:158 Application was for dormers on East & West of dwelling

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes  No

If yes, please provide the file number:

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7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes  No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- √  Application Fee *Will be paid w credit card upon receipt*
- √  Site Sketch
- √  Complete Application form
- √  Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
- \_\_\_\_\_
- \_\_\_\_\_