



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:150	SUBJECT PROPERTY:	51 Peer Court, Ancaster
ZONE:	"R4-592" (Residential 4)	ZONING BY-LAW:	Zoning By-law former Town of Ancaster 87-57, as Amended

APPLICANTS: Owner: Sashendra Baldeo and Divya Sharma
Agent: Greg Poticary and Charleigh Roberts

The following variances are requested:

1. To permit a deck over 1.2 metres in height (and associated steps) to have a setback to the rear lot line of 2.6 metres instead of 6.0 metres required.

PURPOSE & EFFECT: To permit the construction a deck (22.3m²) with associated steps in the rear yard of an existing single detached dwelling.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, July 23, 2024
TIME:	2:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

A-24:150

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon July 19, 2024


Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon July 22, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:150, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: July 4, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

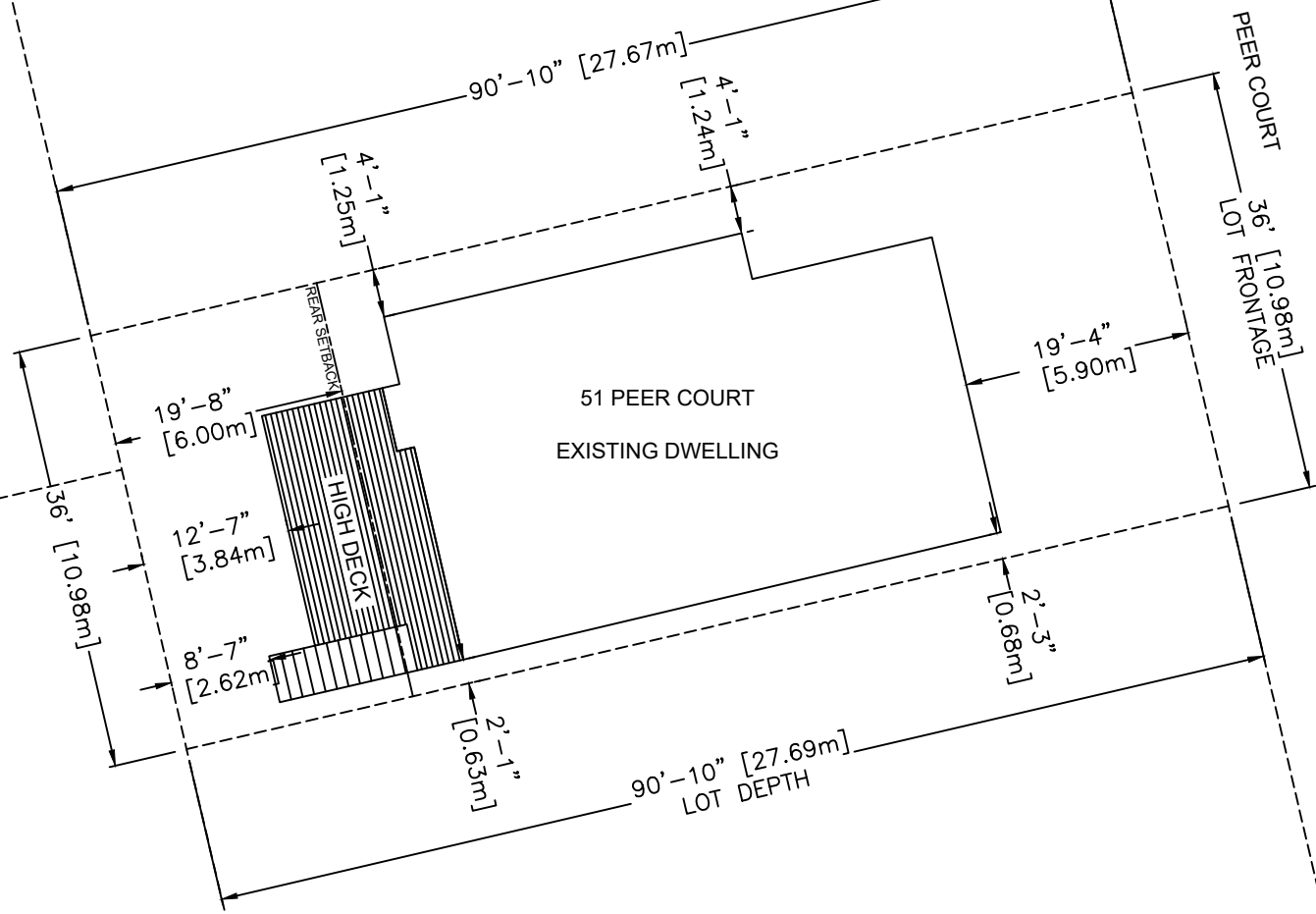
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



1 SITE PLAN
 SCALE: 1/16" = 1' - 0"

Hickory Dickory Decks
 Head Office
 115 Dundas St W
 Dundas, On L9H 7L6
 905-689-4774
 hddoffice@gmail.com

Project Name:
SHAWN BALDEO

Project Address:
**51 PEER COURT
 ANCASTER, ON
 L9K 0C5**

I have reviewed and take responsibility for the design and am qualified in the appropriate category as a designer under subsection 3.2.5 of Division C of the Ontario Building Code.
 Name: Brad Arnold
 BCIN #: 24758
 Signature:

Drawn By:
STEPHANIE ALLEN

Date:
MAY 16, 2024


SP101

GENERAL NOTES

- ① A MINIMUM LIVE LOAD OF 1.9 kPA APPLIED IN ALL LOCATIONS
- ② THE PRESCRIBED SNOW LOAD FOR SELECTED ONTARIO LOCATIONS IS INDICATED IN TABLE 1.2 IN SUPPLEMENTARY GUIDELINE SB-1 OF THE ONTARIO BUILDING CODE. THE SNOW LOAD SHALL BE APPLIED AS THE MINIMUM LIVE LOAD WHERE IT IS GREATER THAN 1.9 kPA
- ③ LUMBER NO. 2 SPF OR BETTER TO BE USED ALONG WITH CORROSION RESISTANT SPIRAL NAILS OR SCREWS
- ④ CANTILEVERED JOISTS AND BEAMS ARE LIMITED TO 1/6 THE MEMBERS LENGTH
- ⑤ CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL. THE BEARING CAPACITY OF THE SOIL SHALL BE DETERMINED PRIOR TO CONSTRUCTION
- ⑥ HELICAL PILES SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS AND BE INSTALLED BY CERTIFIED INSTALLER. HELICAL CONFORMITY REPORT TO BE RECEIVED FROM INSTALLER/ENGINEER.
- ⑦ JOISTS SPANNING MORE THAN 6'-0" TO HAVE BRIDGING AT LEAST EVERY 6'-0"
- ⑧ MAXIMUM BEAM & JOIST CANTILEVERS:
 - 2"X6" MEMBERS = NOT PERMITTED
 - 2"X8" MEMBERS = 1'-4"
 - 2"X10" MEMBERS = 2'-0"
 - 2"X12" MEMBERS = 2'-0"
- ⑨ MINIMUM BEARING FOR BEAMS & JOISTS:
 - MIN. BEAM BEARING = 3½"
 - MIN. JOIST BEARING = 1½"
- ⑩ INSTALLATION OF MANUFACTURED LOW MAINTENANCE DECK BOARDS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
- ⑪ INSTALLATION OF PRE-FABRICATED COMPONENTS (RAILING SYSTEMS, ETC.) TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS

- ⑫ EXTERIOR STAIRS:
 - MIN. RISE = 4⅞"
 - MAX. RISE = 7⅞"
 - MIN. RUN = 10"
 - MAX. RUN = 14"
 - MIN. WIDTH = 34"
 - MIN. HEADROOM = 6'-5"
 - ⑬ EXTERIOR GUARDS:
 - DECK TO GRADE > 5'-11" = 3'-6" HEIGHT
 - DECK TO GRADE < 5'-11" = 3'-0" HEIGHT
 - STAIRS = 3'-0" HEIGHT
 - MAX. BETWEEN PICKETS = 4"
- NO MEMBER OR ATTACHMENT BETWEEN 5½" - 3'-0" HIGH SHALL FACILITATE CLIMBING

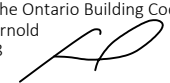
Hickory Dickory Decks



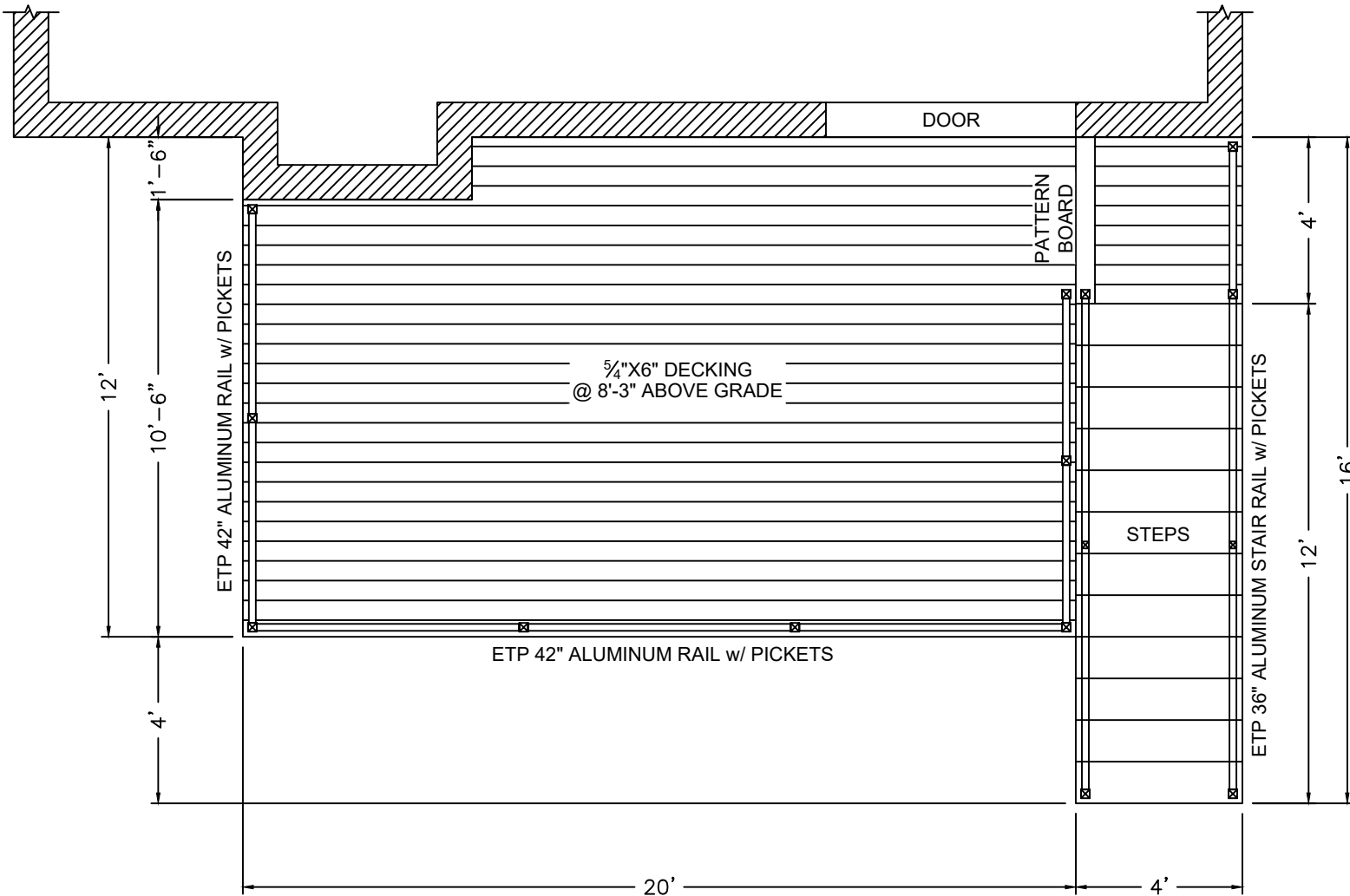
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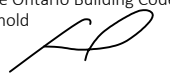
Drawn By: STEPHANIE ALLEN	A001
Date: MAY 16, 2024	A001



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MAY 16, 2024

A101



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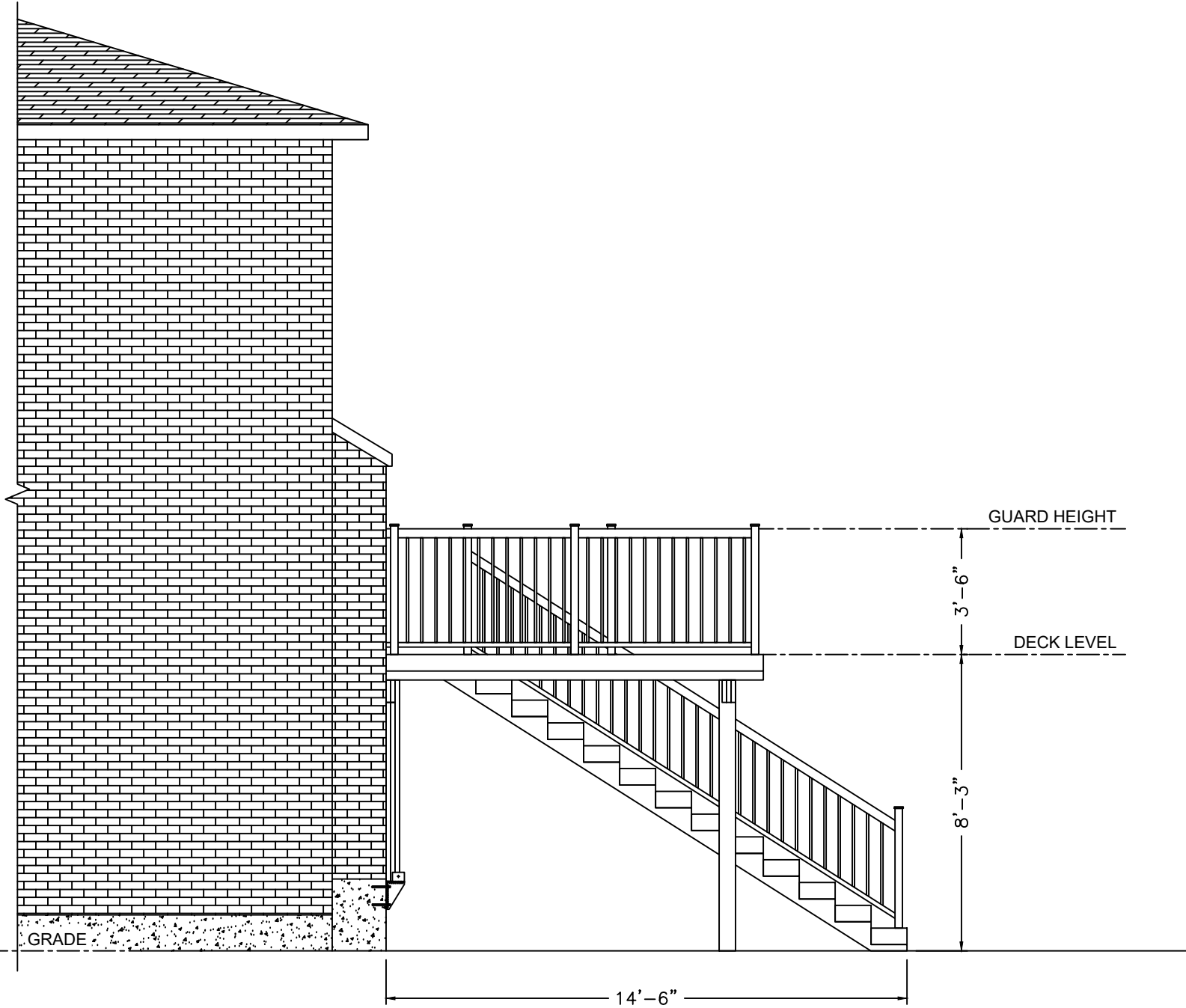
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Drawn By:
STEPHANIE ALLEN


Date:
MAY 16, 2024

A201

1 DECK FRONT ELEVATION
 SCALE: 1/4" = 1' - 0"




1 DECK SOUTH SIDE ELEVATION
SCALE: 1/4" = 1' - 0"

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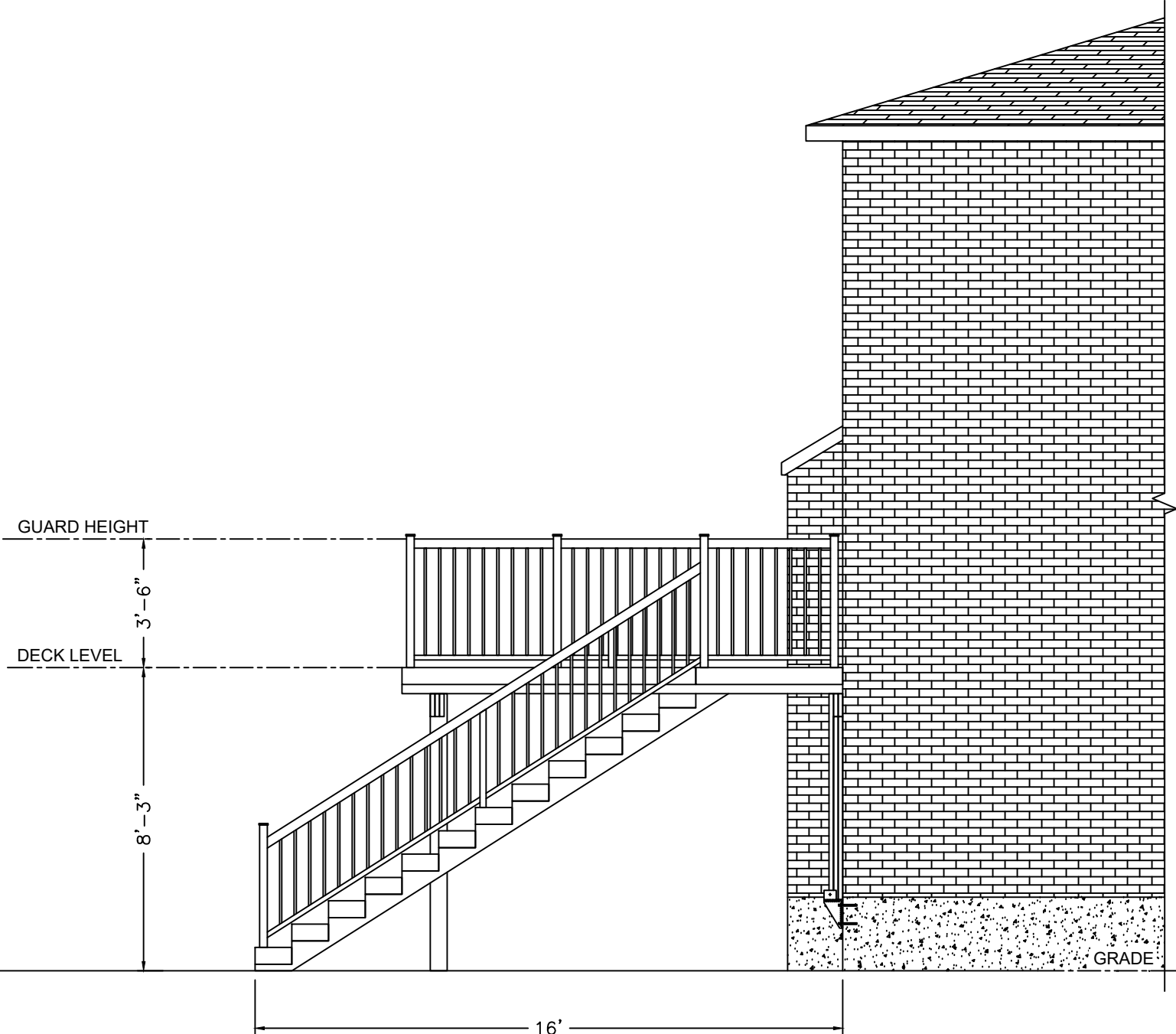
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 Name: Brad Arnold
 BCIN #: 24758
 Signature: 


Drawn By:
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Date:
MAY 16, 2024

A201




1 DECK NORTH SIDE ELEVATION
 SCALE: 1/4" = 1' - 0"

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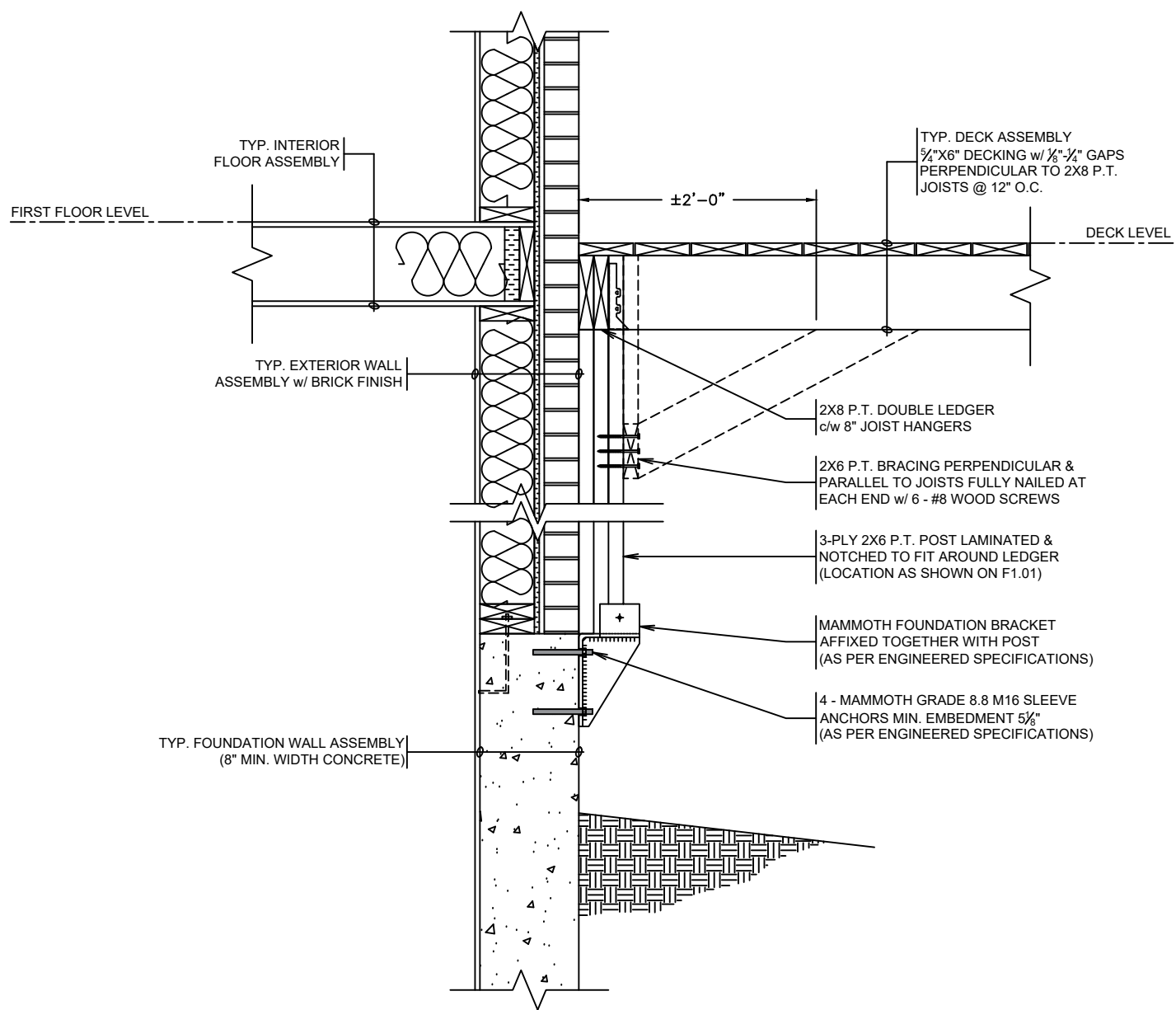
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 Name: Brad Arnold
 BCIN #: 24758
 Signature: 

Drawn By:
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A201



1 DECK STRUCTURAL ATTACHMENT
 SCALE: 3/4" = 1' - 0"

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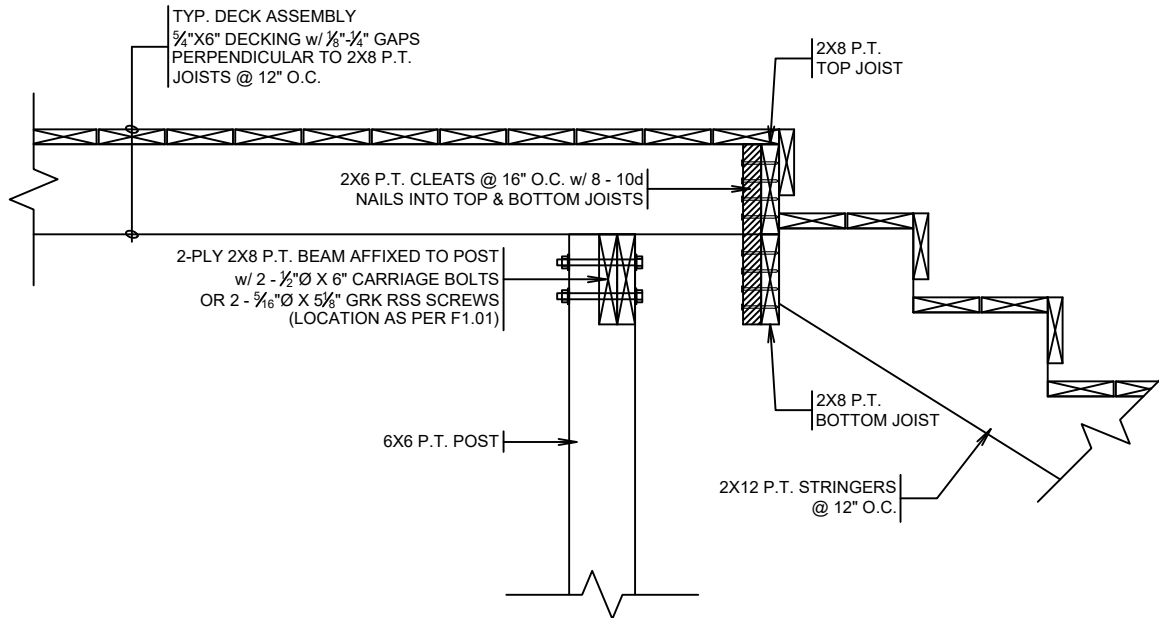
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 Name: Brad Arnold
 BCIN #: 24758
 Signature: *Brad Arnold*


Drawn By:
STEPHANIE ALLEN

Date:
MAY 16, 2024

A301




1 DECK STAIR ATTACHMENT
 SCALE: $\frac{3}{4}$ " = 1' - 0"

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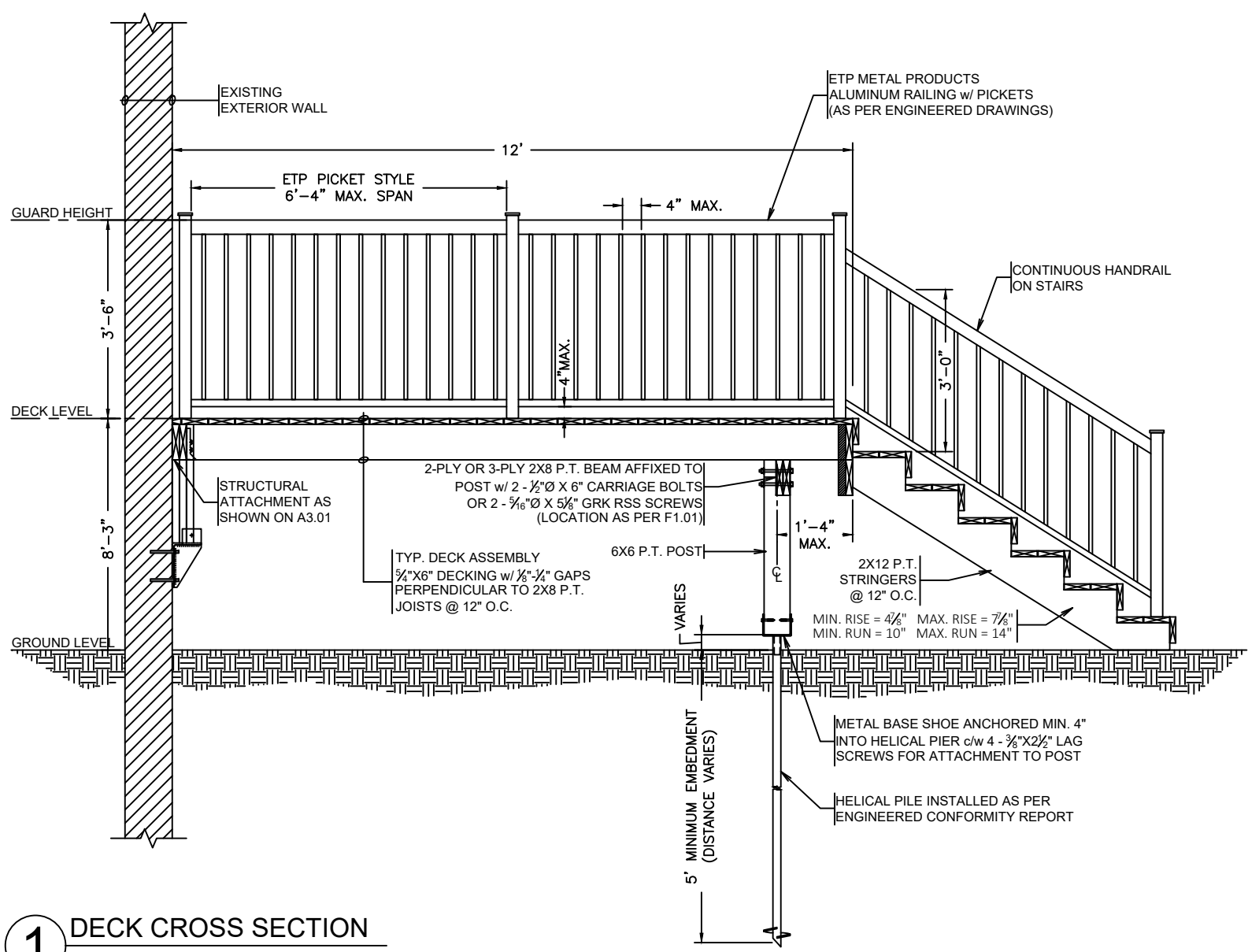
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 BCIN #: 24758
 Signature: 


Drawn By:
STEPHANIE ALLEN

Date:
MAY 16, 2024

A3 02




1 DECK CROSS SECTION
SCALE: 3/8" = 1' - 0"

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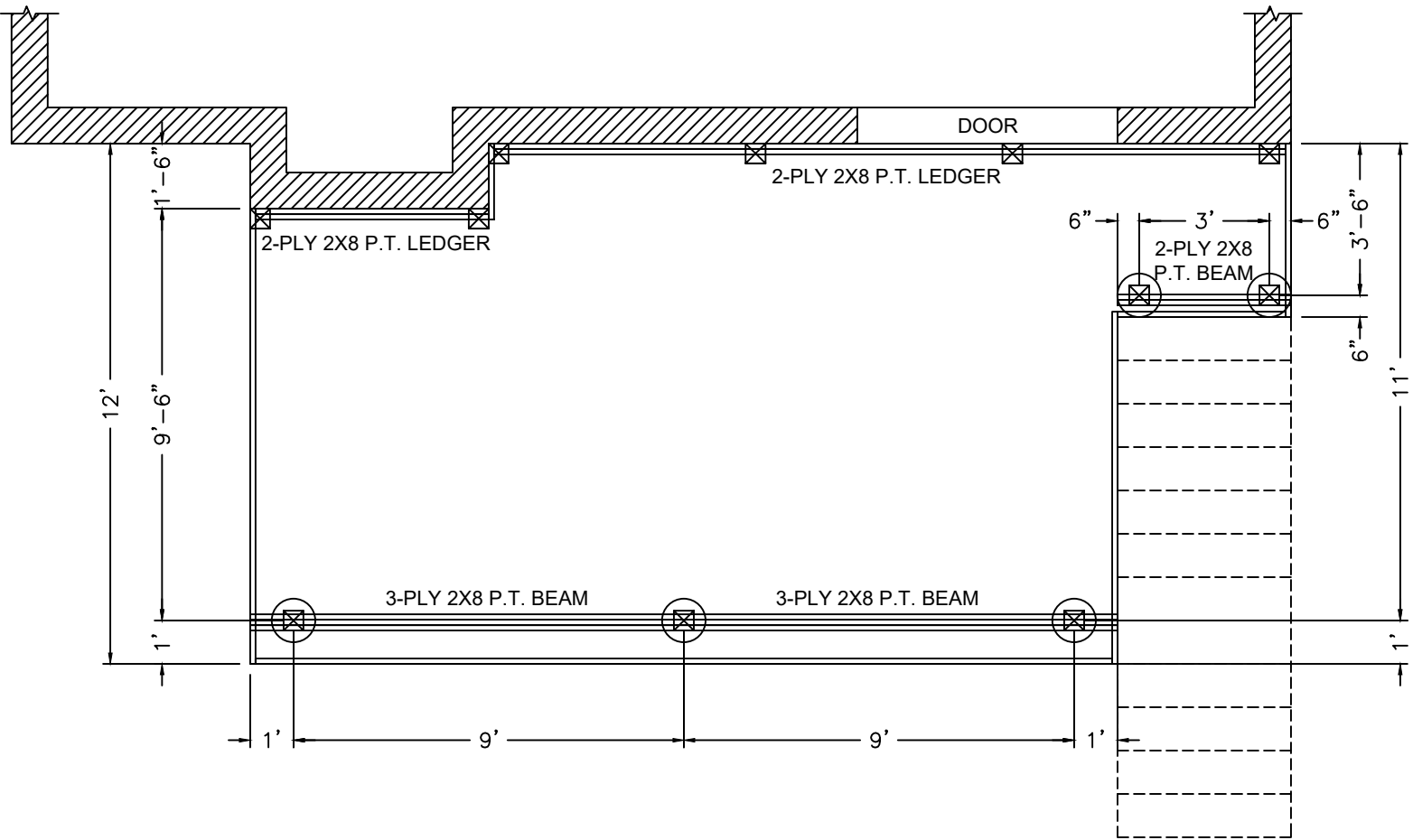
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 Name: Brad Arnold
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 Signature: 

Drawn By:
STEPHANIE ALLEN

Date:
MAY 16, 2024

A401



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3-PLY 2X6 P.T. POSTS ON ENG. FOUNDATION BRACKETS

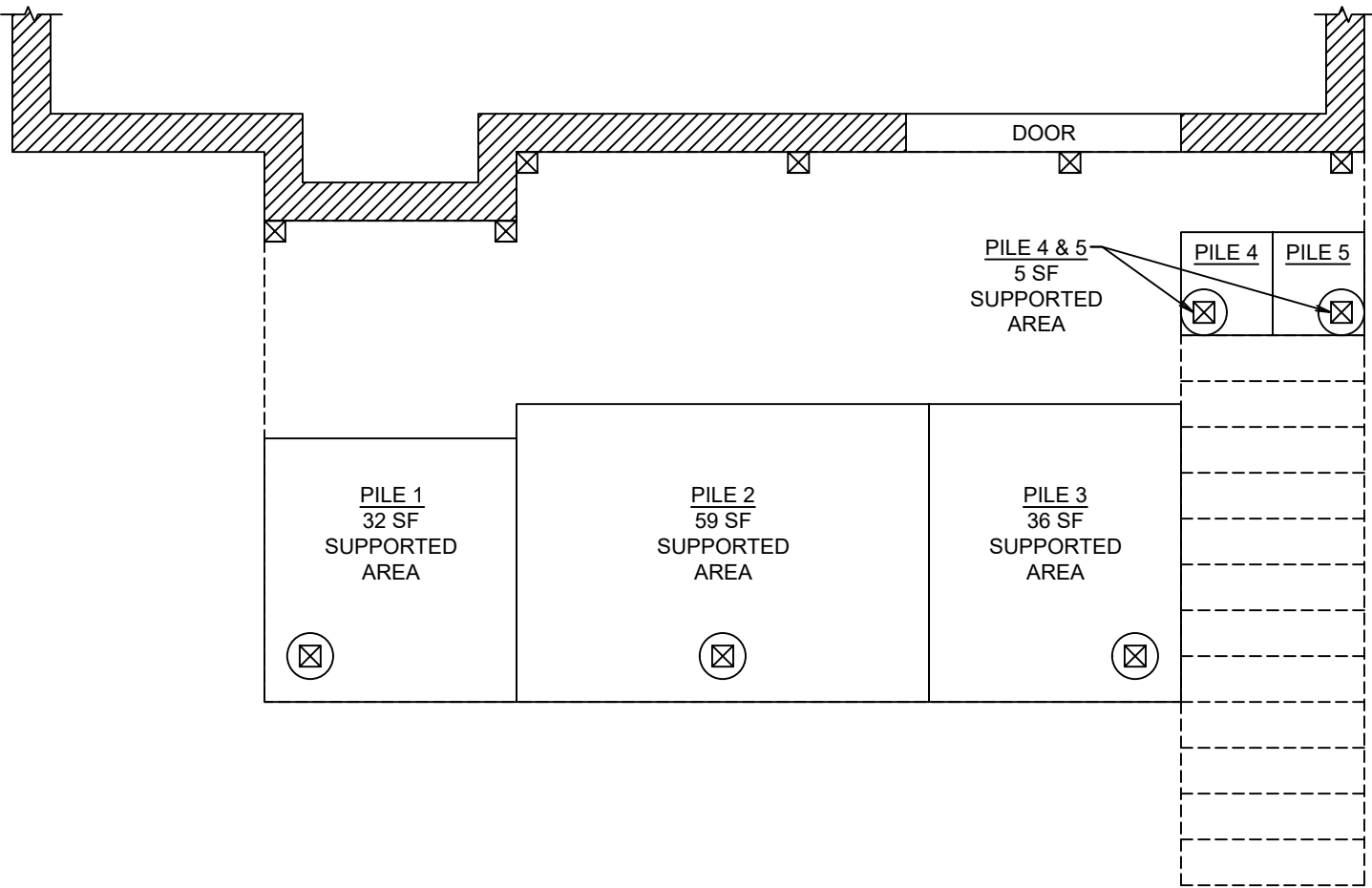
6X6 P.T. POSTS ON HELICAL PILES (AS PER ENGINEERING)

Drawn By:
STEPHANIE ALLEN

Date:
MAY 16, 2024

101
E101

1 DECK FOUNDATION PLAN
 SCALE: 1/4" = 1' - 0"



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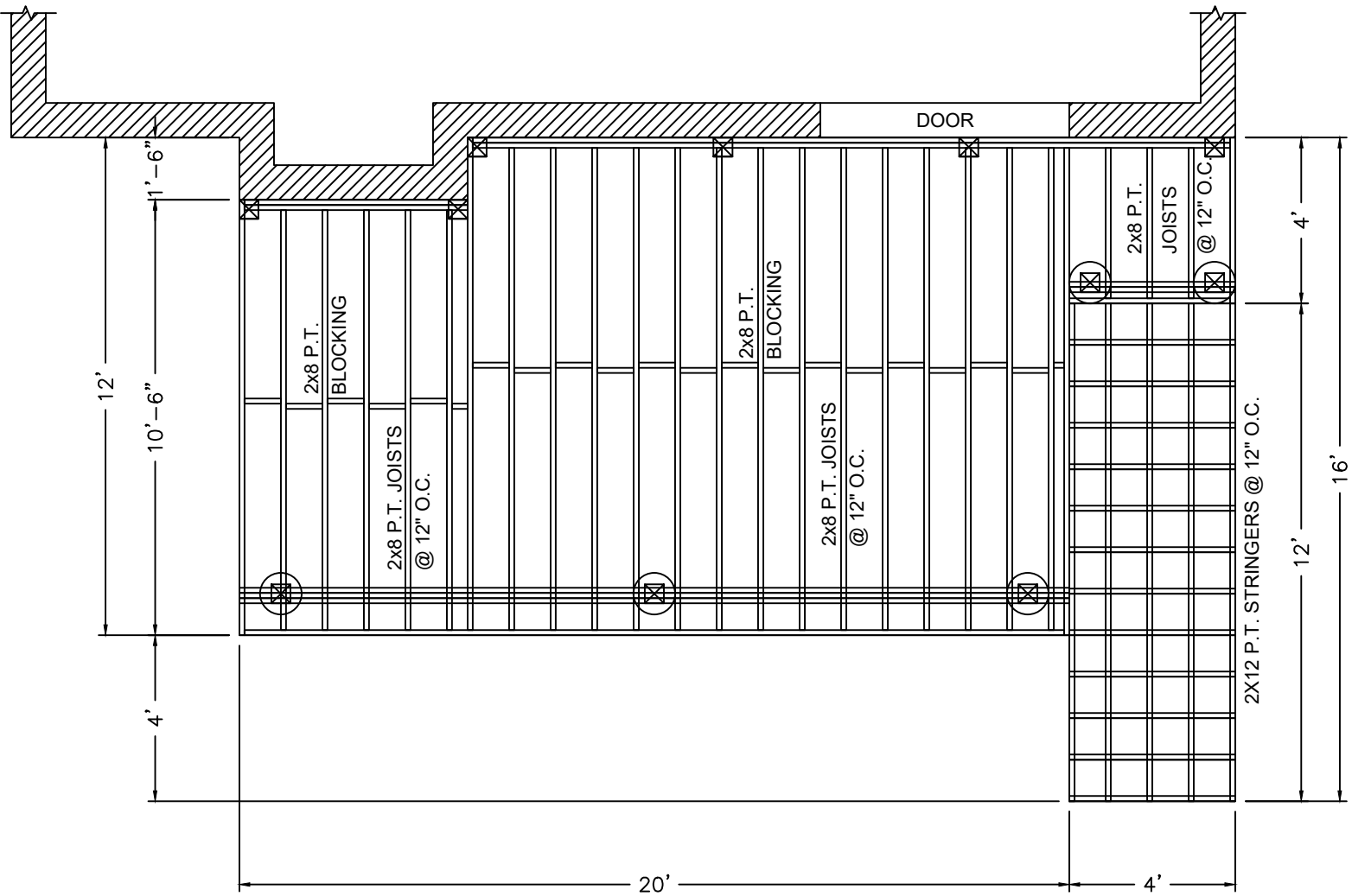
6X6 P.T. POSTS ON HELICAL PILES (AS PER ENGINEERING)


Drawn By:
STEPHANIE ALLEN

Date:
MAY 16, 2024

101
F201


1 DECK FOOTING PLAN
 SCALE: 1/4" = 1' - 0"



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3-PLY 2X6 P.T. POSTS ON ENG. FOUNDATION BRACKETS

6X6 P.T. POSTS ON HELICAL PILES (AS PER ENGINEERING)

Drawn By:
STEPHANIE ALLEN

Date:
MAY 16, 2024

101
S101

1 DECK SUBSTRUCTURE PLAN
 SCALE: 1/4" = 1' - 0"



Hamilton

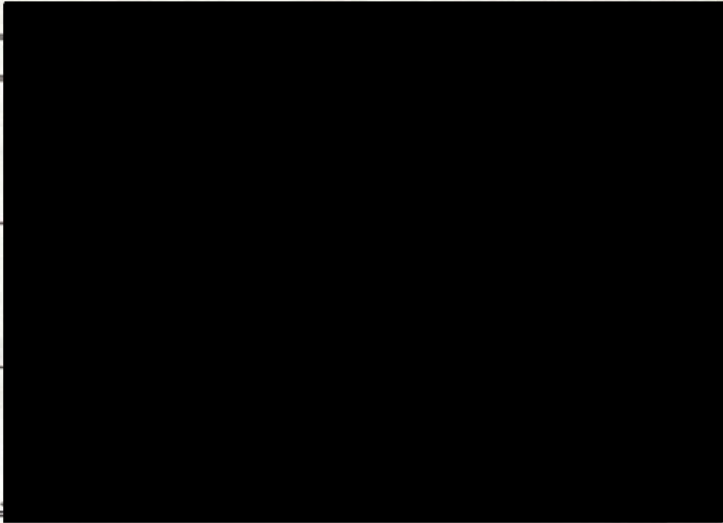
Committee of Adjustment
City Hall, 5th Floor,
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Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Sashendra Baldeo Divya Sharma
Applicant(s)	Sashendra Baldeo Divya Sharma
Agent or Solicitor	GREG POTTICARY / CHARLEIGH ROBERTS



1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Cheque

Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	51 PETER COURT, ANCASTER ON. L9K 0C5		
Assessment Roll Number			
Former Municipality	ANCASTER ON.		
Lot	198	Concession	
Registered Plan Number	624-1135	Lot(s)	198
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

WOULD LIKE TO CONSTRUCT A DECK THAT ENCLOSES ON REAR SETBACK LIMIT OF 6m. WOULD LIKE TO BE 3.84m FROM REAR LOT LINE.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

THE PROPOSED DECK WOULD ONLY BE ABLE TO EXTEND 1.4m ACCORDING TO CURRENT ZONING LIMIT.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
10.98m	27.69m	304m ²	UNSURE

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
DWELLING	5.9m	7.5m	1.25m, 0.68m	2010

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
DECK	21.6m	3.84m	2.8m, 0.63m	AUGUST, 2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
House	Aprx. 1250sqft (116m ²)	116m ²	2	2.8m 2.8m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Deck	Aprx. 240sqft 22.30 m ²	226 sqft (21m ²)	1	2.51m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED DWELLINGS

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

May 23, 2020

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Home

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Home

7.4 Length of time the existing uses of the subject property have continued:

4 years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) LOW DENSITY RESIDENTIAL 2a

↳ CONFORMS TO AREA & SITE SPECIFIC POLICY.

Please provide an explanation of how the application conforms with the Official Plan.

IT IS SINGLE DETACHED DWELLING AND WITH OUR DECK WE WON'T BE INFRINGING ON (10M) LOT FRONTAGE.

** INTERACTIVE ZONING MAP COULD NOT*

7.6 What is the existing zoning of the subject land?

~~FIND ADDRESS~~

R4-592 ANCASTER 87-57 BY-LAW

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0 Just a Deck

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-