



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-24:175	SUBJECT PROPERTY:	3E- 37th Street, Hamilton
ZONE:	Multiple Dwellings, Lodges, Clubs etc. (E)	ZONING BY-LAW:	Zoning By-law former City of Hamilton 6593

APPLICANTS: Owner: Adnan Abu Atiya (InterRent)
 Applicant: Harry Sahi (Sahi Designs)

The following variances are requested:

1. To permit a minimum of 0 parking spaces for a dwelling unit instead of 1.25 spaces required.
2. To permit a minimum of 0 visitor parking spaces for a dwelling unit instead of 0.25 spaces required.
2. To permit 0 loading space for a multiple dwelling instead of 1 loading space required.

PURPOSE & EFFECT: The proposal is to add a dwelling unit to a existing 73 unit Multiple Dwelling with 67 existing parking spaces.

Notes:

- i) As the multiple dwelling is existing this review is only pertaining to the proposed dwelling unit, no parking is being proposed so the parking lot is being reviewed as existing.
- ii) Unable to determine if the proposal Floor Area Ratio requirements of Section 11 (5) in Hamilton Zoning By-law 6593, additional variance may be required.
- iii) The variance is as written by applicant.
- iv) Insufficient information has been provided to complete a full zoning review of the proposal; additional variances may be required.

A-24:175

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, September 10, 2024
TIME:	1:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

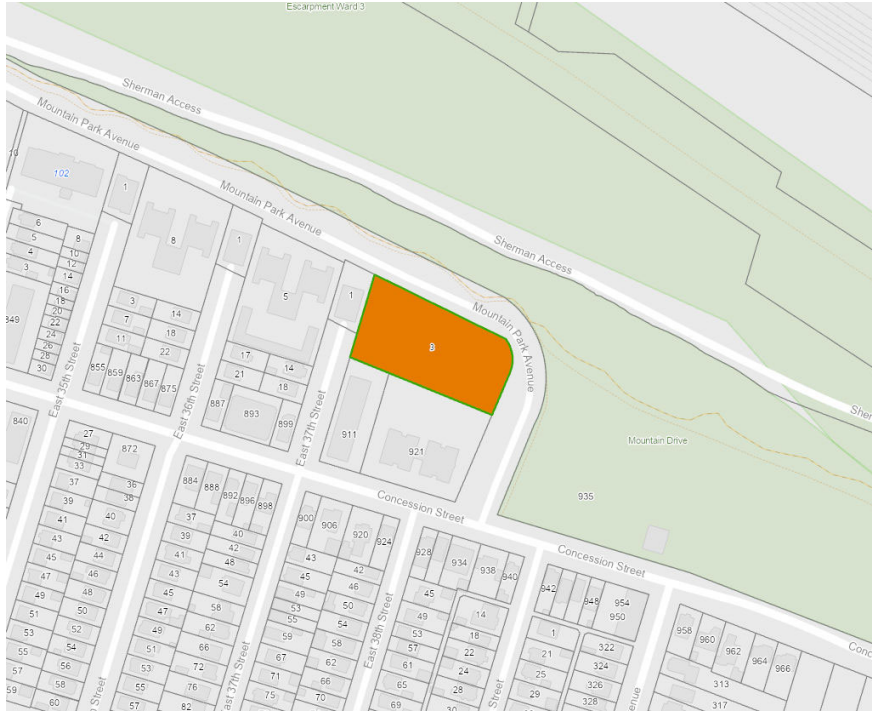
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon September 6, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon September 9, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:175, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: August 22, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

3E - 37th STREET - HAMILTON.

UNIT CONVERSION.

ARCHITECTS :.

SAHI DESIGNS.

East Tower, 77 City Centre, Dr. Suite
501, Mississauga, ON L5B 1M5
226-747-7966
sahidesigns21@gmail.com

OWNERS

INTERRENT

209 Oak Park Blvd, Suite 501
Oakville, ON, L6H 0M2

LOCATION :



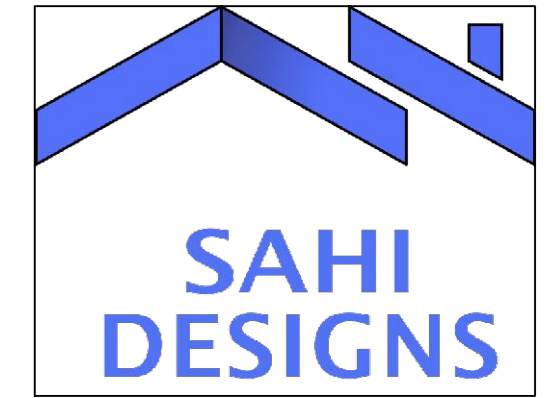
Name of Practice: 2941775 Canada Inc. (DBA Sahi Designs)
Provide Address and Contact Information:
East Tower, 77 City Centre Dr Suite 501, Mississauga, ON, L5B 1M5, 226-747-7966
Name of Project:
Unit conversion from locker room to a Bachelor unit in an apartment building.
Location:
3E-37th Street, Hamilton, L8V 4A7
Date:
4/4/2024

Ontario Building Code Data Matrix Part 3				Building Code Reference ¹
3.00	Building Code Version:	O_Reg_332/12	Last Amendment	O_Reg_191/14
3.01	Project Type:	<input type="checkbox"/> New <input type="checkbox"/> Change of use	<input type="checkbox"/> Addition <input type="checkbox"/> Addition and renovation	[A] 1.1.2
Description: Unit conversion from locker room to a Bachelor unit in an apartment building.				
3.02	Major Occupancy Classification:	Occupancy Group C	Use Residential	3.1.2.1 (f)
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	Description:	3.2.2.7
3.04	Building Area (m ²)	Description:	Existing New Total	[A] 1.4.1.2
		Building Area footprint	1,366.00 0.00 1,366.00	
		Unit Area	33.50	
		Total		

Ontario Building Code Data Matrix, Part 3
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October 2016

**NOTE : PROFESSIONAL ENGINEER
SIGNING ON THE ARCHITECTURAL
DRAWINGS ONLY. FOR THIS
CHANGE OF PURPOSE PERMIT.**



East Tower, 77 City Centre, Dr. Suite
501, Mississauga, ON L5B 1M5
226-747-7966
sahidesigns21@gmail.com

Project Title:
**LOCKER ROOM TO
BACHELOR APT PERMIT**

Project Address:
3E-37th street
Hamilton

Drawing Title:
COVER SHEET

Scale:
NTS

Date:
29/03/24

Designed :
NIRBHAYPAL SINGH, P.ENG.

Project Number:

Sheet
Number:
A0

3.16	Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High	<input type="checkbox"/> Low human occupancy <input type="checkbox"/> Minor storage building <input type="checkbox"/> Post-disaster	<input type="checkbox"/> Post-disaster shelter <input type="checkbox"/> Explosive or hazardous substances	4.1.2.1 (B) & 74.12.1B
3.17	Seismic Hazard Index:	(Ie Fa Sa (0.2)) = _____ Seismic design required for Table 4.1.8.18. Items 6 to 21: (Ie Fa Sa (0.2)) ≥ 0.35 or Post-disaster	<input type="checkbox"/> No <input type="checkbox"/> Yes		4.1.2.1(B) 4.1.8.18.(2)
3.18	Occupant Load	Floor Level/Area Design of Building	Occupancy Type C	Based On Occupant Load (Persons)	3.1.17
3.19	Barrier-free Design:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Explanation:		3.8
3.20	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Explanation:		3.3.1.2 & 3.3.1.19
3.21	Required Fire Resistance Ratings	Horizontal Assembly Everything remains as existing. No changes to the floor or to the exterior side walls.	Rating Supporting Assembly (H)	Noncombustible in lieu of rating?	3.2.2.0 - 83. & 3.2.1.4
3.22	Spatial Separation	Wall No alteration to the exterior walls and existing structure of the unit.	ESF Area (m ²) L.D. (m) L.N. or H.L.	Required EFR (H) Construction Type Required Cladding Type Required	3.2.3

Ontario Building Code Data Matrix, Part 3
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October 2016

3.05	Gross Area (m ²)	Description: Lot Area	Existing New Total	4,757.00 0.00 4,757.00	[A] 1.4.1.2
Total					
3.06	Mezzanine Area (m ²)	Description: N/A	Existing New Total		3.2.1.1
Total					
3.07	Building Height	5.00 Stores above grade 0.50 Stores below grade	14.90 (m) Above grade		[A] 1.4.1.2 & 3.2.1.1
3.08	High Building	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes			3.2.6
3.09	Number of Streets/Firefighter access	2.00 street(s)			3.2.2.10 & 3.2.5
3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2 Group/Div	Group C-Residential		3.2.2.0 - 83.
3.11	Sprinkler System (Existing to remain)	<input type="checkbox"/> Required Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected floor areas <input type="checkbox"/> in lieu of roof rating	<input checked="" type="checkbox"/> Not Required <input checked="" type="checkbox"/> selected compartments <input type="checkbox"/> basement <input type="checkbox"/> none		3.2.1.5 & 3.2.2.17
3.12	Standpipe System (Existing to remain)	<input checked="" type="checkbox"/> Not required <input type="checkbox"/> Required			3.2.9
3.13	Fire Alarm System (Existing to remain)	<input type="checkbox"/> Required Proposed: <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage <input type="checkbox"/> None	<input checked="" type="checkbox"/> Not required		3.2.4
3.14	Water Service / Supply is Adequate (Existing to remain)	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes			
3.15	Construction Type:	Restriction: <input type="checkbox"/> Combustible permitted Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	<input checked="" type="checkbox"/> Non-combustible required		3.2.2.0 - 83. & 3.2.1.4

Ontario Building Code Data Matrix, Part 3
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East Tower, 77 City Centre, Dr. Suite
501, Mississauga, ON L5B 1M5
226-747-7966
sahidesigns21@gmail.com

Project Title:
LOCKER ROOM TO
BACHELOR APT PERMIT

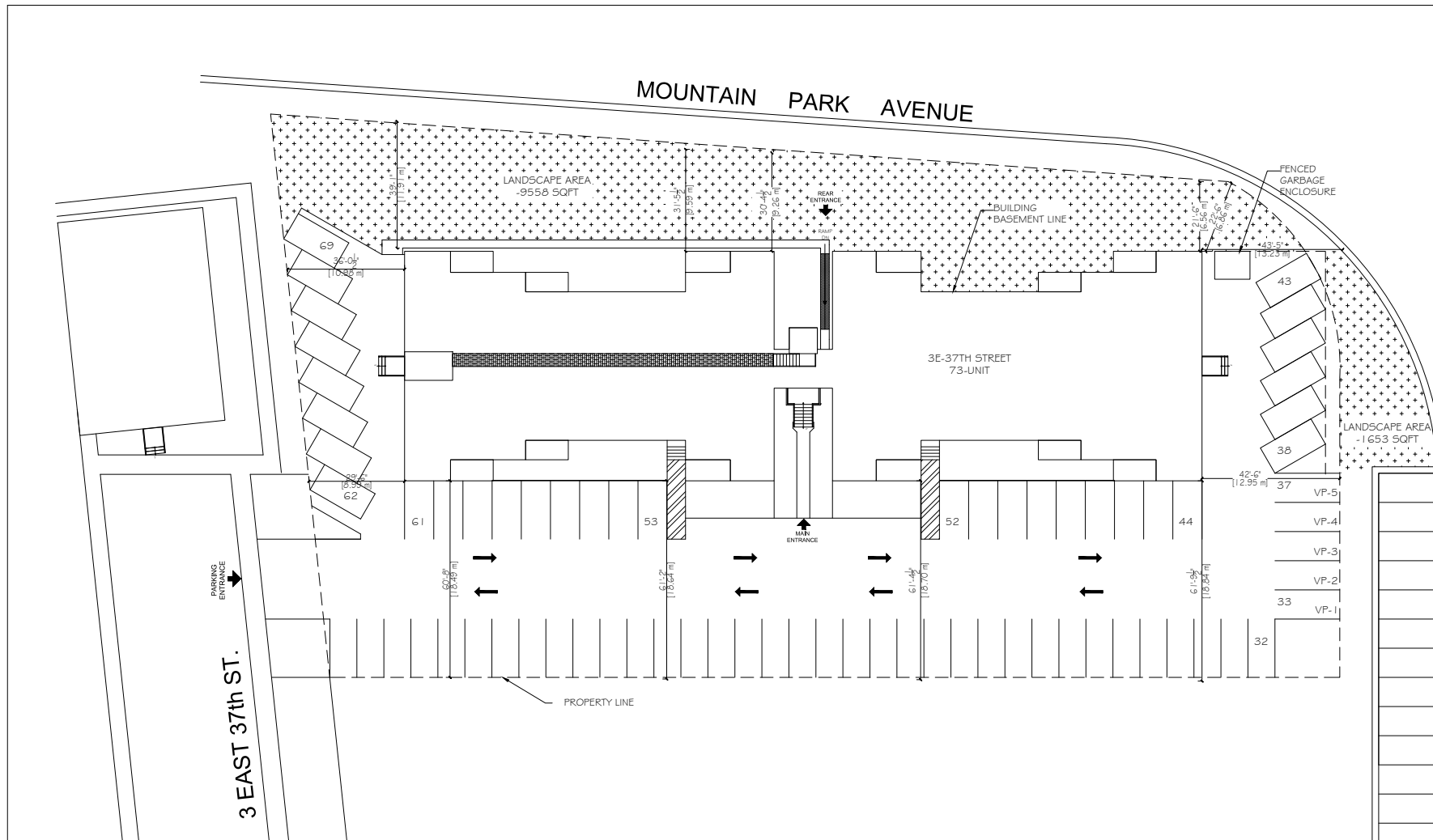
Project Address:
3E-37th street
Hamilton

Drawing Title:
SITE PLAN

Scale: Scale: 1/32" - 1' 0"	Date: 29/05/24
---------------------------------------	--------------------------

Designed :
NIRBHAYPAL SINGH,P.ENG.

Project Number:	Sheet Number: A1
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1 SITE PLAN
Scale: 1/32" - 1' 0"

1 PARKING RELIEF AND ONE LOADING SPACE RELIEF VARIANCE FOR AN ADDITIONAL UNIT (CONVERSION OF A LOCKER ROOM TO AN APARTMENT UNIT) IS BEING REQUESTED.

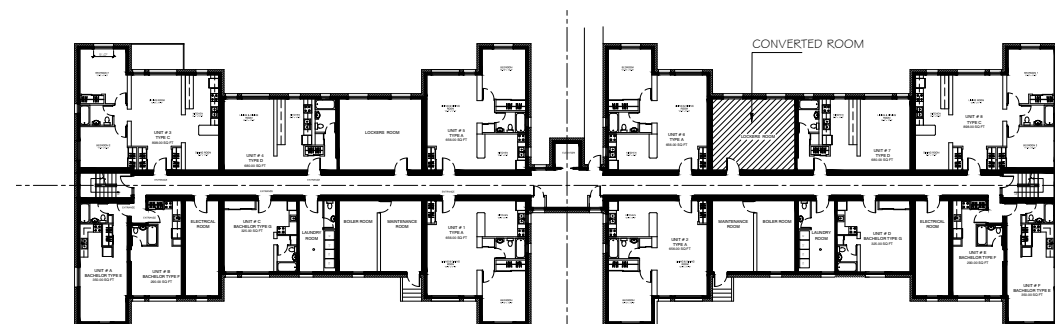
TOTAL NUMBER OF EXISTING UNIT - 73 UNITS
PROPOSED NUMBER OF UNIT - 1 UNIT
TOTAL NUMBER OF EXISTING CAR PARKING - 67
(EXISTING NO. OF VISITOR'S CAR PARKING- 5= VP1, VP2, VP3, VP4, VP5.)

SITE STATISTIC

1. LOT NO.: 42
2. PLAN NO.: 296
3. LOT FRONTAGE: 53.10 M
4. LOT DEPTH: 311'-3 1/2" (94.89 M)
5. LOT AREA: 51213.46SQFT(4757.88SQM)
6. NO. OF STOREYS: 5 STOREY
7. ASPHALT AREA:
8. STRUCTURE HEIGHT: 49 FEET
9. LOT COVERAGE: 17,111 SF
10. LOT FRONT SET BACK: 27'-1 1/2" (8.27)
11. LOT REAR SET BACK: 46'-3 1/2" (14.11M)
12. LOT SIDE SET BACK: 20'-6 1/2" (6.26M)

GENERAL NOTE

- DO NOT SCALE THE DRAWINGS
- CONTRACTORS TO CARRY LIABILITY INSURANCE FOR PERFORMING THE WORK
- CONTRACTORS RESPONSIBLE TO ENSURE PROPER SAFETY PRECAUTIONS ARE IN PLACE THROUGH OUT THE CONSTRUCTION FOR ALL CONSTRUCTION METHODS AND MATERIAL SUPPLIES.
- OWNER AND CONTRACTOR ARE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION INCLUDING ANY SAFETY PRECAUTIONS.
- PRECAUTIONS DURING CONSTRUCTION
- EXISTING STRUCTURE TO BE PROTECTED DURING CONSTRUCTION FROM ANY WEATHER ISSUES, SECURITY OR RELATED DAMAGES.
- VERIFY/ REINFORCE EXISTING VERIFY EXISTING SITE CONDITIONS DURING CONSTRUCTION.
- INSPECTIONS
- ALL CONSTRUCTION TO ADHERE TO THE ONTARIO BUILDING CODE REQUIREMENT AS WELL AS OTHER CODES AND AUTHORITIES HAVING JURISDICTION.
- CONTACTOR ARE RESPONSIBLE TO ARRANGE FOR REQUIRED INSPECTIONS BY LOCAL BUILDING AUTHORITIES



1 KEY PLAN
Scale: 1/4" - 1' 0"

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501, Mississauga, ON L5B 1M5
226-747-7966
sahidesigns21@gmail.com

Project Title:
LOCKER ROOM TO
BACHELOR APT PERMIT

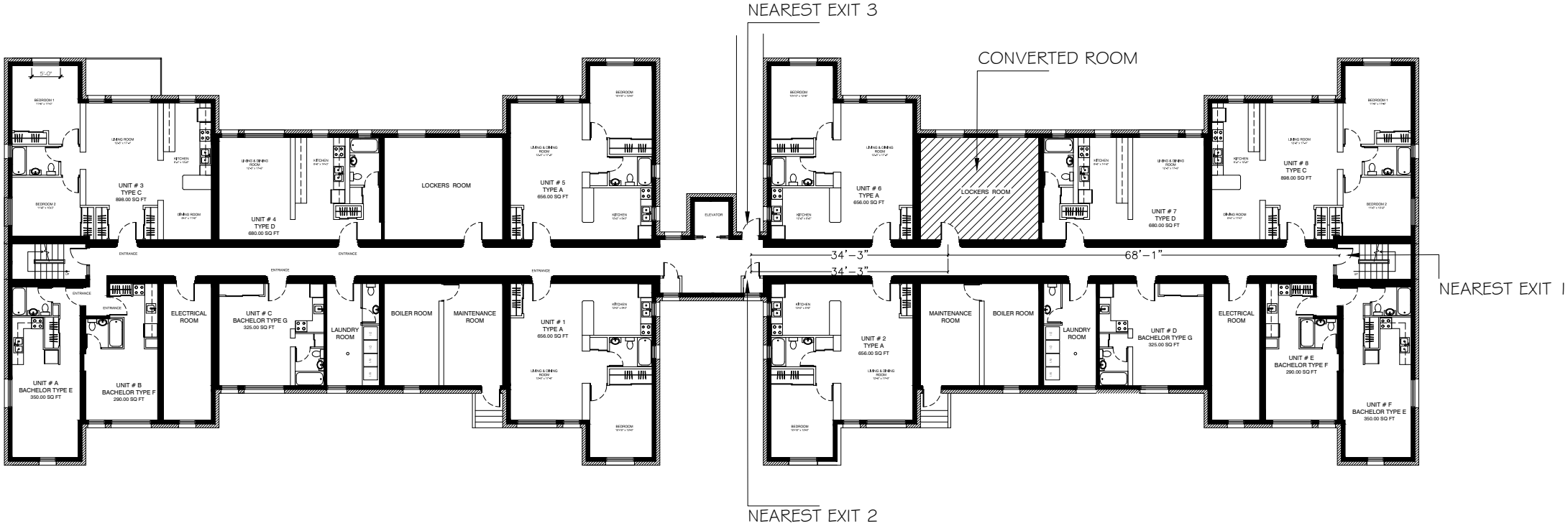
Project Address:
3E-37th street
Hamilton

Drawing Title:
BASEMENT FLOOR PLAN-
NEAREST EXIT

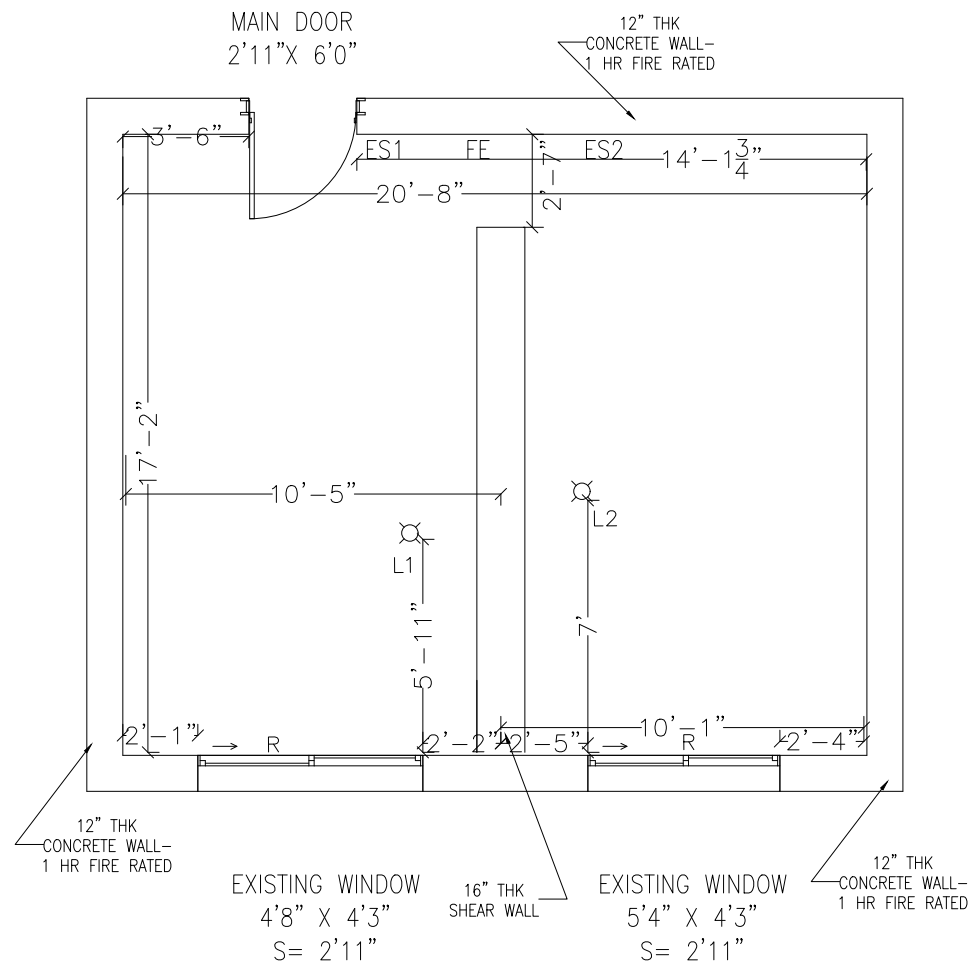
Scale: Scale: 1/2" - 1' 0"	Date: 29/05/24
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Designed :
NIRBHAYPAL SINGH,P.ENG.

Project Number:	Sheet Number: A2
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1 BASEMENT FLOOR PLAN
Scale:1/2" -1'-0"

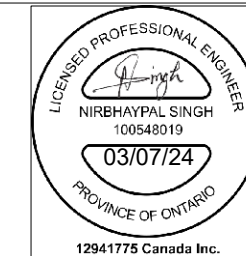


1 EXISTING LOCKER ROOM PLAN
Scale: 3/16" = 1'-0"



1 KEY PLAN
Scale: 1/32" = 1'-0"

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Project Title:
**LOCKER ROOM TO
BACHELOR APT PERMIT**

Project Address:
3E-37th street
Hamilton

Drawing Title:
**EXISTING LOCKER ROOM
PLAN**

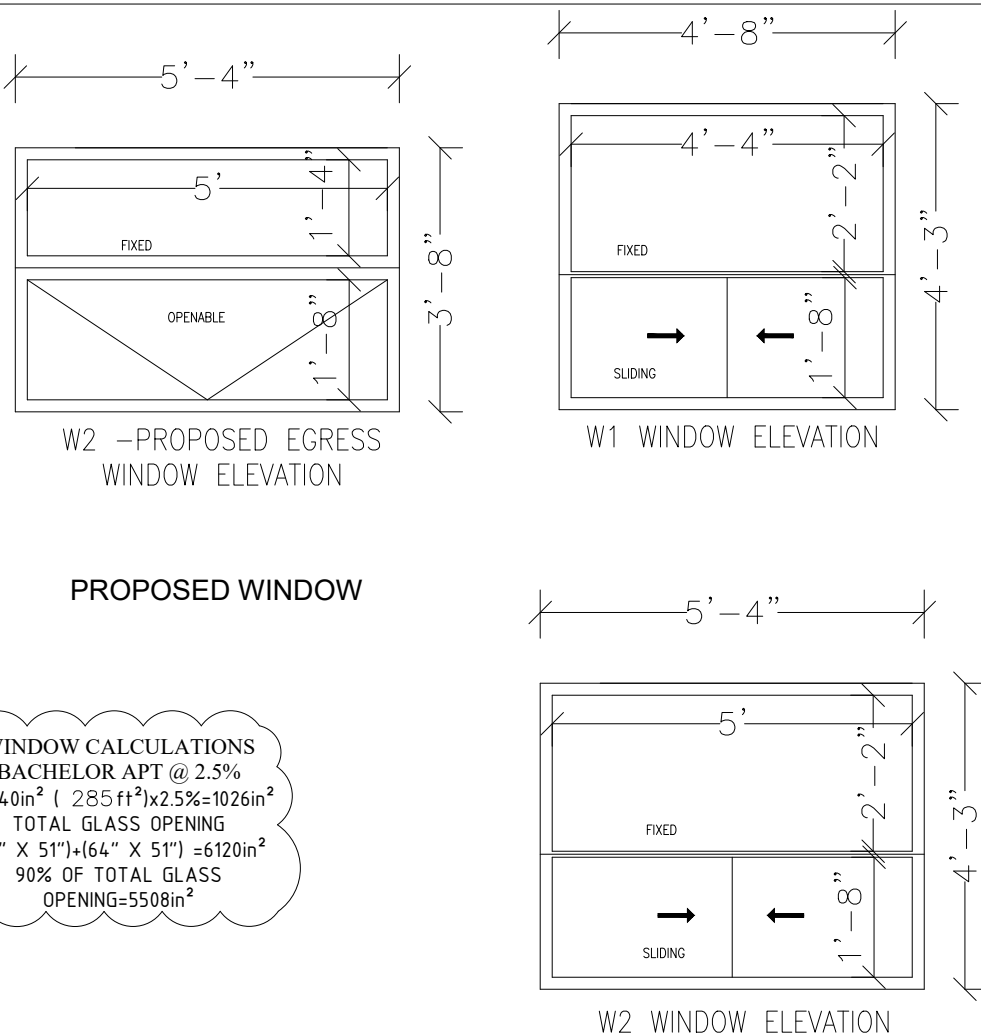
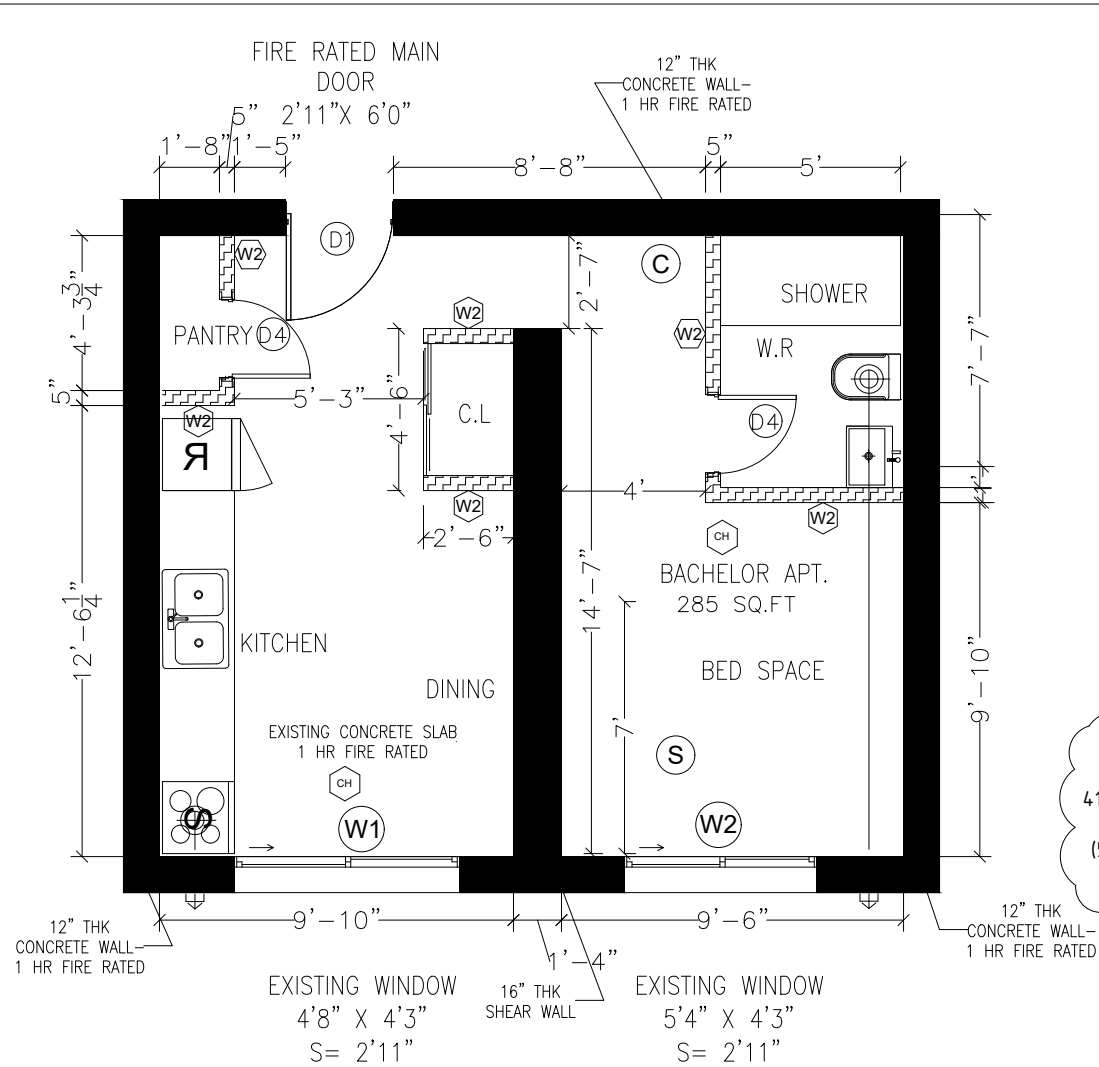
Scale:
3/16" = 1'-0"

Date:
29/03/24

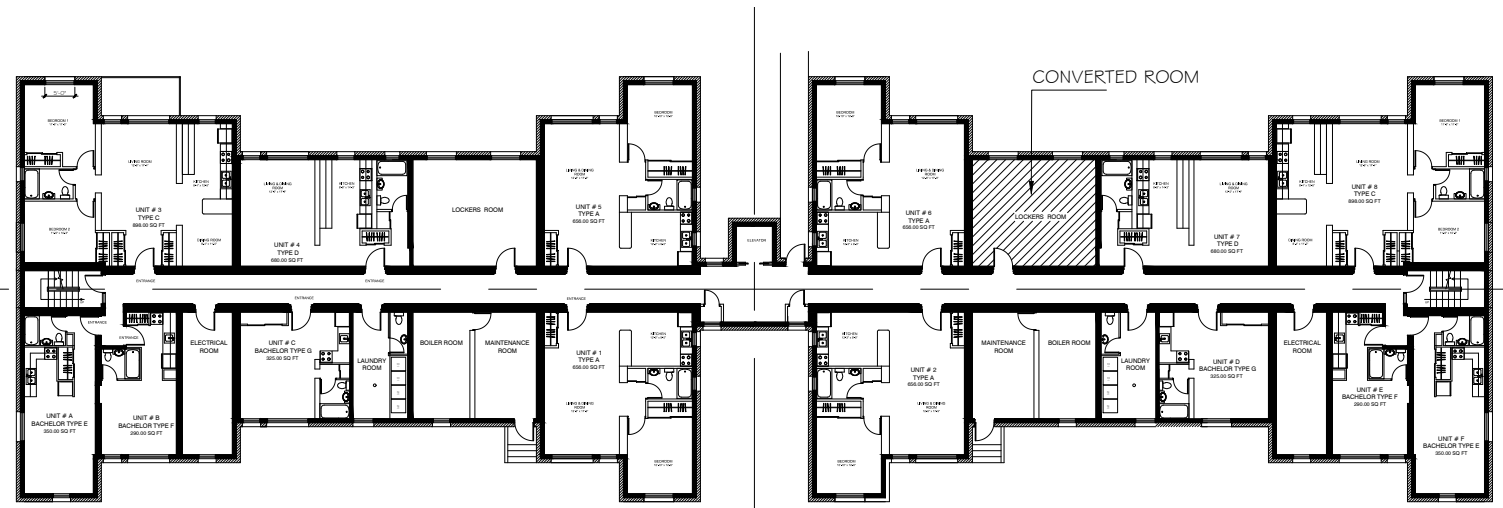
Designed :
NIRBHAYPAL SINGH, P.ENG.

Project Number:

Sheet
Number:
A3

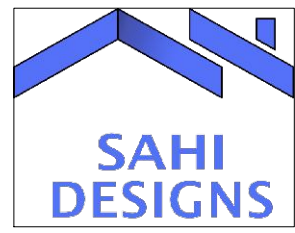


WINDOW CALCULATIONS
BACHELOR APT @ 2.5%
41,040in² (285 ft²)x2.5%=1026in²
TOTAL GLASS OPENING
(56" X 51")+(64" X 51") =6120in²
90% OF TOTAL GLASS
OPENING=5508in²



- 1 PROPOSED BACHELOR APT PLAN Scale: 3/16" - 1'-0"
- D4 26"X80" DOOR 1" SHORT A.F.F. TO ALLOW FOR RETURN AIR
- THIS BACHELOR APARTMENT UNIT HAS ITS OWN RADIATORS FOR HEATING PURPOSES
- NO (HVAC) DUCTWORK FOR THIS APARTMENT. THIS APARTMENT WILL HAVE ITS OWN SPLIT AC SYSTEM.
- CH 8' FROM BASEMENT UNFINISHED FLOOR LEVEL
- W2 INTERIOR WALL CONSTRUCTION : (PROPOSED)
 - 1/2" DRYWALL
 - 2" X 4" WOOD STUD @ 16" O.C.
 - 1/2" DRYWALL
- S SMOKE ALARM

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East Tower, 77 City Centre, Dr. Suite 501, Mississauga, ON L5B 1M5
226-747-7966
sahidesigns21@gmail.com

Project Title:
LOCKER ROOM TO BACHELOR APT PERMIT

Project Address:
3E-37th street
Hamilton

Drawing Title:
PROPOSED BACHELOR APT. PLAN

Scale:
3/16" = 1'-0"

Date:
29/05/24

Designed :
NIRBHAYPAL SINGH, P.ENG.

Project Number:

Sheet Number:
A4



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME		
Registered Owners(s)			
Applicant(s)			
Agent or Solicitor			
			E-mail:

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes*

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Cheque



*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	3E-37th Street, Hamilton, L8V 4A7		
Assessment Roll Number			
Former Municipality			
Lot	42	Concession	
Registered Plan Number	296	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Applying for the relief of additional parking space for adding an additional residential unit in an apartment building of total number of existing units as 73. Total number of existing parkings is 67. Proposed number of total units will be 74. Also, applying for the relief of one parking of loading space which triggers in by adding an additional unit.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Because there is no way to extend the existing driveway/paved asphalt to the front or on the side of the property.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
90.47	50.23	4544.30	7

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Multi unit apartment residential building	8.27	14.11	6.26	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Not applicable				

4.3 Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Multi unit apartment residential building	16000	80000	5	14.93

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Not applicable				

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Multi unit apartment residential unit building.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Multi unit apartment residential unit building.

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

1980

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Multi unit apartment residential unit building.

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Multi unit apartment residential unit building.

7.4 Length of time the existing uses of the subject property have continued:

44years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? E _____

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: E _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 73

8.2 Number of Dwelling Units Proposed: 74

8.3 Additional Information (please include separate sheet if needed):

Applying for the relief of additional parking space for adding an additional residential unit in an apartment building of total number of existing units as 73. Total number of existing parkings is 67. Proposed number of total units will be 74. Also, applying for the relief of one parking of loading space which triggers in by adding an additional unit.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-