



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

<b>APPLICATION NO.:</b>	<b>A-24:174</b>	<b>SUBJECT PROPERTY:</b>	360 Book Road West, Ancaster
<b>ZONE:</b>	Agricultural (A1)	<b>ZONING BY-LAW:</b>	Zoning By-law City of Hamilton 05-200 as Amended by by-law 15-173 and by-law 24-051 (not yet final & binding)

**APPLICANTS:**      Owner: Andrew Gale  
                             Agent: Arcadis Professional Services (Canada) Inc. (Mike Crough)

The following variances are requested:

1. A minimum lot area of 0.30 hectares shall be provided instead of the minimum lot area of 1.5 hectares required.
2. A maximum building height of 6.2 metres for an additional dwelling unit-detached shall be permitted instead of the maximum height of 6.0 metres permitted.
3. A minimum distance of 4.8 metres shall be required between the rear wall of the principle dwelling and the additional dwelling unit-detached, instead of the minimum distance of 7.5 metres required.

**PURPOSE & EFFECT:**      To facilitate the conversion of an existing building to an additional dwelling unit-detached.

**Notes:**

1. Please be advised the variances have been written as requested by the applicant. If conformity with the zoning by-law cannot be achieved additional variances may be required.
2. Please be advised the property is subject to amending by-laws 24-51 and 24-52, which are not yet final and binding.

## A-24:174

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Tuesday, August 20, 2024</b>
<b>TIME:</b>	<b>1:55 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

### **PUBLIC INPUT**

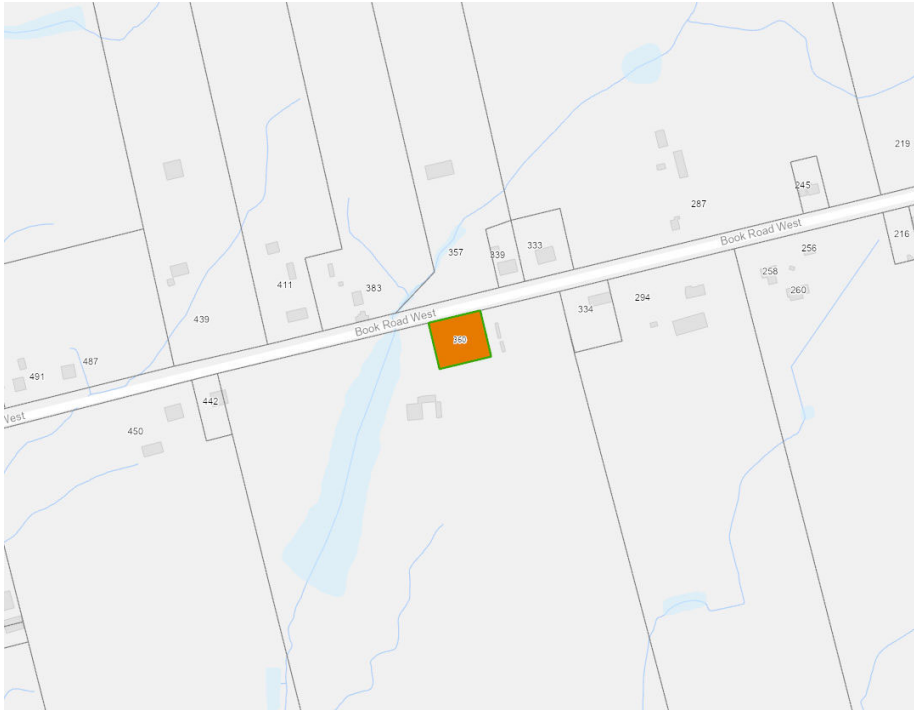
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 16, 2024

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 19, 2024

### **FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:174, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: August 1, 2024

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1**  
**PLAN OF SURVEY**  
**(WITH TOPOGRAPHIC DETAIL) OF**  
**PART OF LOT 39**  
**CONCESSION 5**  
**IN THE**  
**GEOGRAPHIC TOWNSHIP OF ANCASTER**  
**CITY OF HAMILTON**

**SCALE & NOTES**  
SCALE: 1:150  
METRES

**BARICH GRENKIE SURVEYING LTD.**  
**A DIVISION OF CANMAPLE**  
**© COPYRIGHT 2024**

**METRIC**  
DISTANCES, ELEVATIONS AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**ELEVATION NOTE**  
ELEVATIONS ARE GEODETIC ORIGIN (GOD--1928-78) AND ARE DERIVED FROM REAL TIME NETWORK (RTN) OBSERVATIONS AND NATURAL RESOURCES CANADA'S GEDC MODEL HT2.0

**BEARING NOTE**  
BEARINGS ARE UTM GRID, DERIVED FROM GPS OBSERVED REFERENCE POINTS REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17 (01° 07' WEST LONGITUDE) NAD83 (CSRS) (2010.0).

**HORIZONTAL DATUM NOTE**  
PROJECTION: UNIVERSAL TRANSVERSE MERCATOR  
(UTM, ZONE 17, UTM 18QUB)

**DATUM:** NAD83 (CSRS)(2010.0)  
**GRID SCALE CONVERSION**  
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999847.

OBSERVED REFERENCE POINTS (ORP) DERIVED FROM GPS OBSERVATIONS USING REAL TIME NETWORK (RTN) OBSERVATIONS UTM ZONE 17, NAD83 (CSRS)(2010.0). COORDINATES TO UTM ACCURACY PER SEC 14(2) OF OREG. 216/10		
MONUMENT ID	BORING POINTS	
① SM	4781495.382	EASTING
② IB	4781850.778	NORTHING
③ IB	481971.980	EASTING
④ IB	481971.980	NORTHING

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT PLANNED
  - DENOTES STANDARD IRON BAR
  - ◆ DENOTES STONE MONUMENT
  - DENOTES ORIGIN UNKNOWN
  - DENOTES ORIGIN UNKNOWN
  - DENOTES J. D. PETERS, O.L.S.
  - DENOTES PLAN 628-17546
  - DENOTES INSTRUMENT No. A875619
  - DENOTES INSTRUMENT No. C0666270
  - DENOTES UTILITY POLE
  - DENOTES TOP OF CURB ELEVATION
  - DENOTES OVERHEAD UTILITY CABLES
  - DENOTES DECIDUOUS TREE
  - DENOTES CONIFEROUS TREE
  - DENOTES GARAGE FLOOR ELEVATION
  - DENOTES INVERT ELEVATION
  - DENOTES NOT TO SCALE



THIS PLAN WAS PREPARED FOR JACQUEE & ANDREW GALE AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1**  
**DESCRIPTION SUMMARY** - LANDS DESCRIBED IN PIN 17412-0092 (LT), PART OF LOT 39, CONCESSION 5  
**REGISTERED EASEMENTS/RIGHTS-OF-WAY** - NONE FOUND ON TITLE.  
**ADDITIONAL REMARKS** - NONE  
**COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS** - THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

**REVISION NOTE**  
ADD LINES FROM DWELLING TO BARN

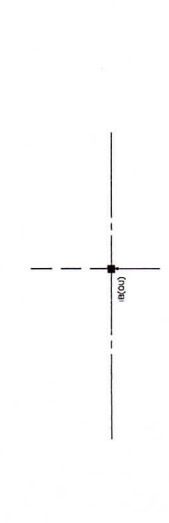
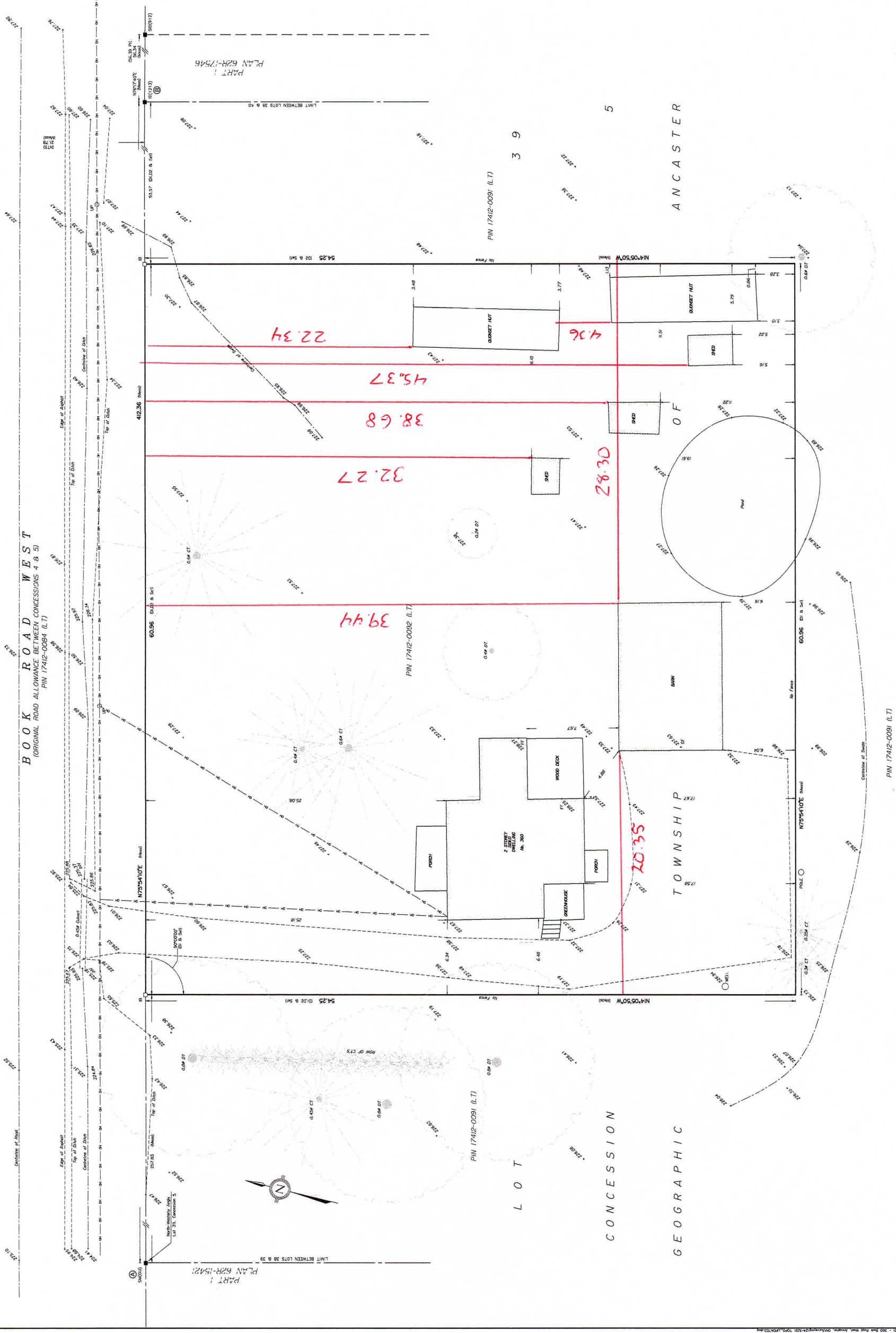
JUNE 21, 2024  
ERIC G. SALZER  
O.L.S., O.L.I.P.

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT THE MEASUREMENTS AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON MARCH 28, 2024.

APRIL 4, 2024  
ERIC G. SALZER  
O.L.S., O.L.I.P.

**Barich Grenkie**  
**Surveying Ltd.**  
**391 HWY 10 EAST, HAMILTON, ONT. L8G 2E7**  
**REG. NO. V-67925**  
DWN BY: EWA  
CHK BY: EGS  
JOB NO.: 24-3321  
A DIVISION OF CANMAPLE

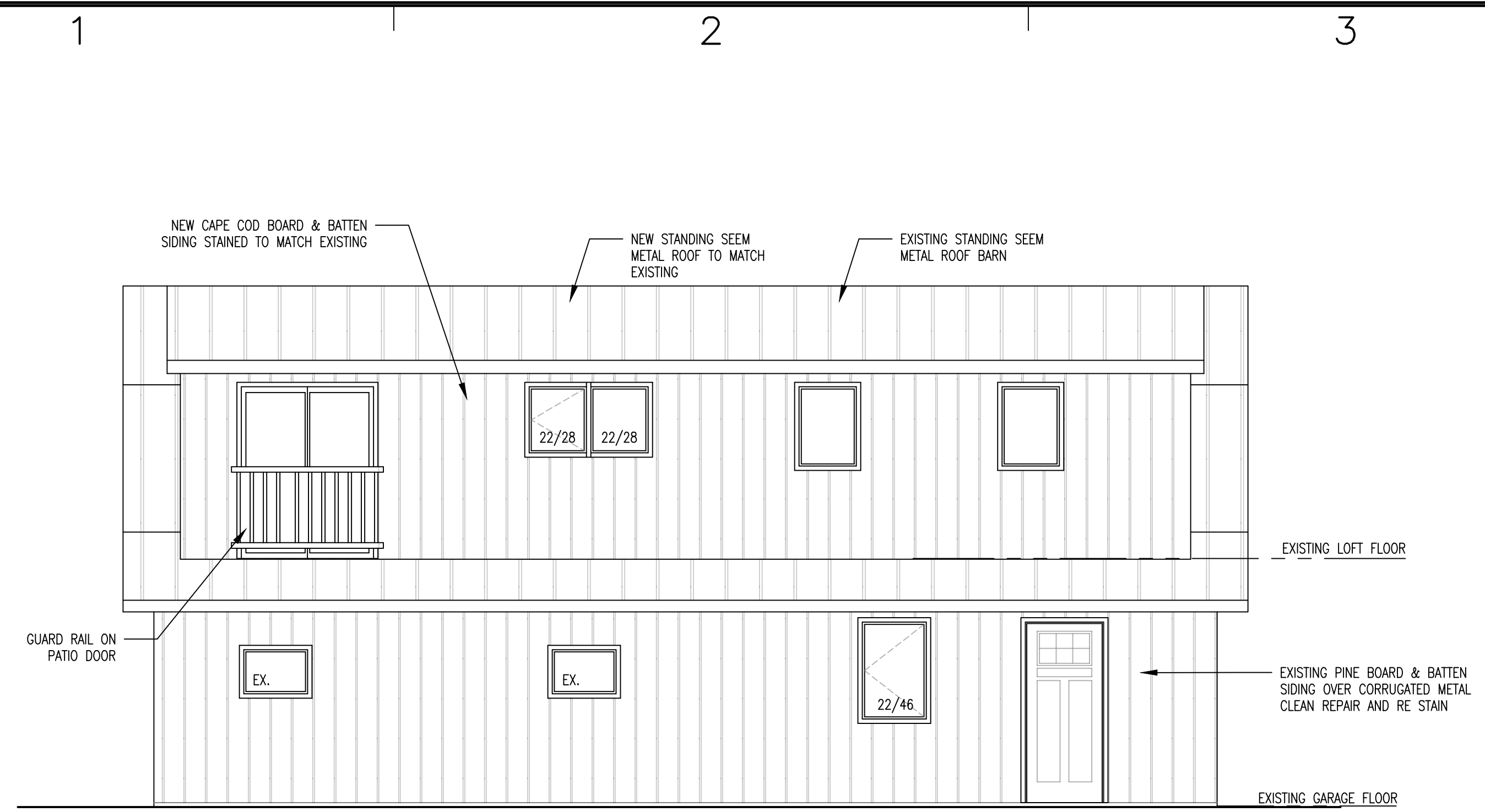
**BOOK ROAD WEST**  
**(ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 4 & 5)**  
**PIN 17412-0084 (LT)**



PIN 17412-0091 (LT)







# PROPOSED REAR ELEVATION

EXPOSED BUILDING FACE 638.94SQ.FT.  
 WINDOW OPENINGS 69SQ.FT.  
 10.8% ALLOWABLE SIDE YARD 2.5M MINIMUM

ALL CONSTRUCTION TO CONFORM TO ONTARIO BUILDING CODE  
 CONTRACTOR, OWNER TO VERIFY ALL SIZES PRIOR TO ORDERING MATERIAL, DO NOT SCALE PLANS.  
 ALL WINDOW SIZES ARE GLAZING AREA ONLY WINDOW MANUFACTURER TO SIZE RSO BASED ON THIS  
 ALL DOOR SIZES SHOWN ARE SLAB SIZES ADD 2" OVERALL FOR RSO  
 FLOOR ENGINEERING, LVL SIZING, TRUSS LAYOUTS, HVAC AND ANY SPECIAL ENGINEERING DO NOT FORM PART OF THIS PACKAGE AND MUST BE OBTAINED SEPARATELY.

CONSULTANTS  
 The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.  
 QUALIFICATION INFORMATION  
 Required unless design is exempt under OBC 3.2.1 of the building code  
 Richard Weatherston 24787  
 R.S.E. BCN  
 REGISTRATION INFORMATION  
 Required unless design is exempt under Div. C 3.2.4.1 of the building code  
 R.G. CAD SERVICE INC. 29747  
 BCN

**R.G.CAD SERVICE INC.**  
 228 GREEN RD. STONEY CREEK  
 PHONE (905) 664-8061

OWNER  
**ANDREW & JACQUIE GALE**  
  
**BARN RENOVATION**  
  
**360 BOOK ROAD**  
**ANCASTER ONTARIO**

**jordanriley GROUP**

905 379-6560  
 www.jordanrileygroup.com

NOV/12/23	PRELIMINARY LAYOUT	
MARK	DATE	DESCRIPTION
PROJECT NO:	-----	
CAD DWG FILE:	360 BOOK ROAD.DWG	
DRAWN BY:	KEVIN BOOTH	
CHK'D BY:	RICHARD WEATHERSTON	
COPYRIGHT:		

SHEET TITLE  
**PROPOSED ELEVATIONS**

SCALE: 1/4" = 1'-0"

ALL CONSTRUCTION TO CONFORM TO ONTARIO BUILDING CODE. CONTRACTOR, OWNER TO VERIFY ALL SIZES PRIOR TO ORDERING MATERIAL, DO NOT SCALE PLANS.

ALL WINDOW SIZES ARE GLAZING AREA ONLY WINDOW MANUFACTURER TO SIZE RSO BASED ON THIS

ALL DOOR SIZES SHOWN ARE SLAB SIZES ADD 2" OVERALL FOR RSO

FLOOR ENGINEERING, LVL SIZING, TRUSS LAYOUTS, HVAC AND ANY SPECIAL ENGINEERING DO NOT FORM PART OF THIS PACKAGE AND MUST BE OBTAINED SEPARATELY.

CONSULTANTS

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
 Required unless design is exempt under O.B.C. 3.2.5.1 of the building code  
 Richard Weatherston  
 R.W.C. 24787  
 REGISTRATION INFORMATION  
 Required unless design is exempt under Div. C 3.2.4.1 of the building code  
 R.G. CAD SERVICE INC.  
 29747  
 FIRM NAME BCM



OWNER  
**ANDREW & JACQUIE GALE**

**BARN RENOVATION**

**360 BOOK ROAD  
 ANCASTER ONTARIO**



905 379-6560  
 www.jordanrileygroup.com

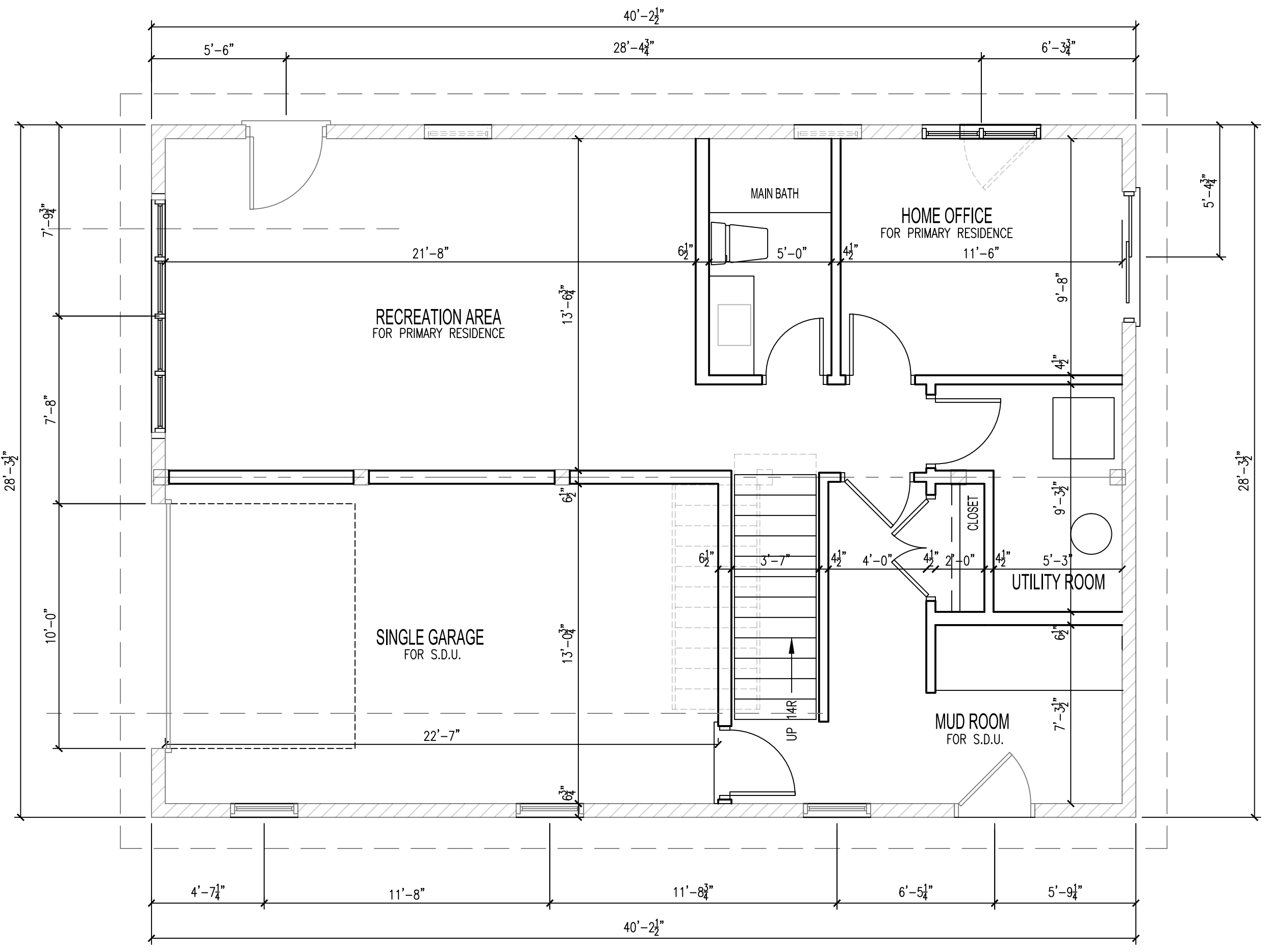
MARK	DATE	DESCRIPTION
	NOV/12/23	PRELIMINARY LAYOUT
PROJECT NO: -----		
CAD DWG FILE: 360 BOOK ROAD.DWG		
DRAWN BY: KEVIN BOOTH		
CHK'D BY: RICHARD WEATHERSTON		
COPYRIGHT:		

SHEET TITLE  
**PROPOSED FLOOR PLANS**

SCALE: 1/4" = 1'-0"

104.25 FROM EX. SLAB TO U/S JOISTS  
 7.5 AND 8" FOR FLOOR  
 112.375" TOTAL RISE/14 = 8"

WE MUST RAISE EX. SLAB HEIGHT R10 INSULATION  
 AND 2x4 STRAPPING AND 8" PLYWOOD  
 REDUCE TOTAL RISE BY 4.125"  
 TOTAL RISE NOW 108.25/14 = 7.73"/RISE



## PROPOSED MAIN FLOOR OF BARN

EXISTING COVERAGE 1137.56SQ.FT.(105.68m2)  
 MAIN FLOOR G.F.A. 822.19SQ.FT.(76.38m2)  
 LOT AREA (CONFIRM) 2  
 CONFIRM LOT COVERAGE

- SYMBOL LEGEND**
- S.B. PROVIDE SOLID BLOCKING DOWN TO FOUNDATION WALL
  - BP BEAM POCKET
  - P.L.X POINT LOAD FROM ABOVE
  - STL. POST 3.5" STEEL POST W/ 3.5x3.5 TOP PLATE AND 5.5x5.5 BASE PLATE FIXED FROM UNDERSIDE OF ANGLE TO FOOTING
  - EF EXHAUST FAN REFER TO HVAC DESIGN
  - H.M. HYDRO METER
  - G.M. GAS METER

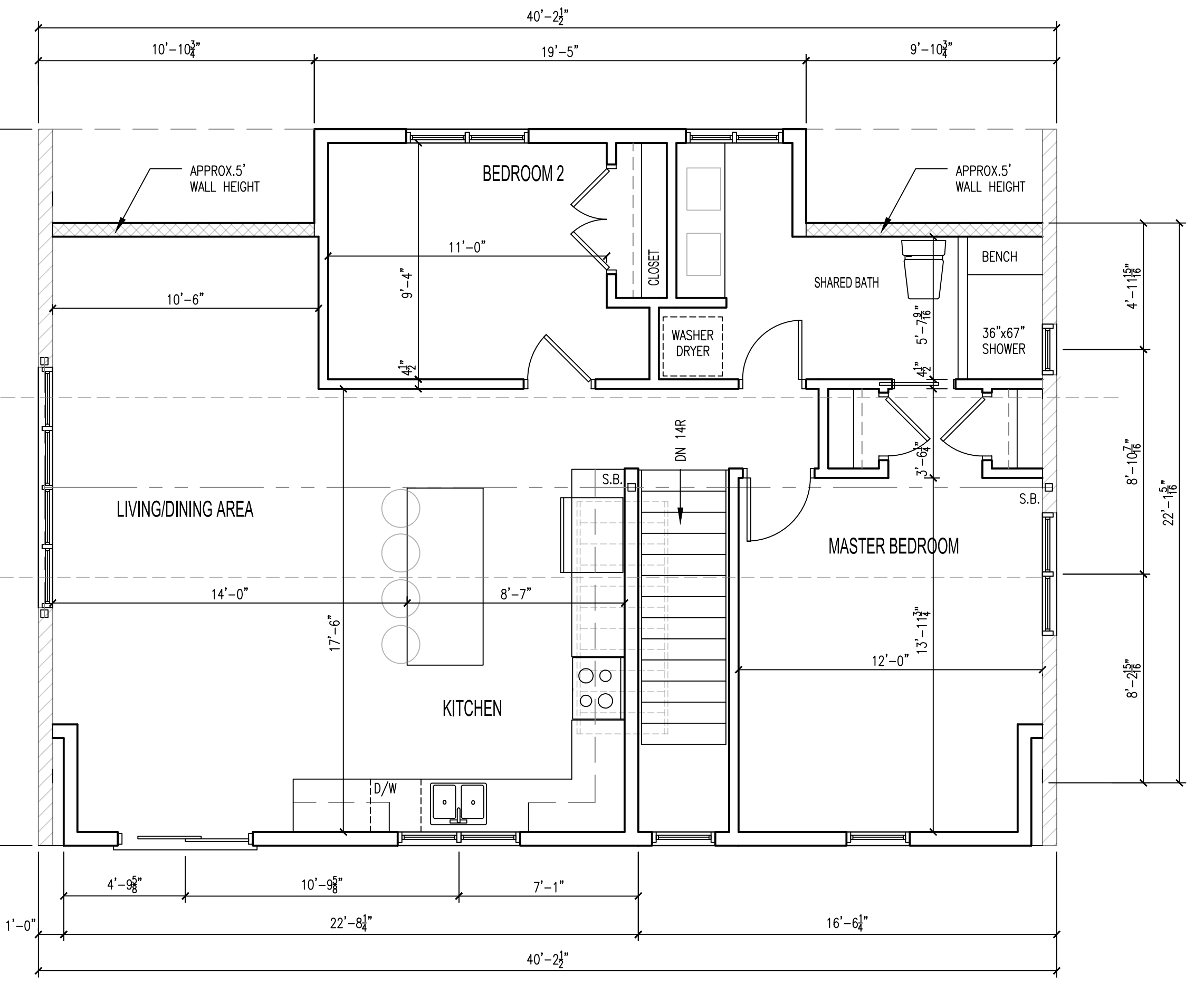
- WALL LEGEND**
- EXISTING WALLS TO REMAIN
  - EXISTING WALLS/DOORS AND WINDOWS TO REMOVE
  - NEW PROPOSED WALLS

**CONSTRUCTION NOTES**

ALL WASHROOMS, LAUNDRY AND RANGE TO HAVE EXHAUST FANS PROVIDE IN WALL BLOCKING IN ENSUITE BATH FOR FUTURE INSTALLATION OF GRAB BARS

GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ROOF SLOPES AND OVERHANGS PRIOR TO ORDERING TRUSSES ETC.

ALL FOOTINGS TO BE MINIMUM 4'-0" BELOW FINAL GRADE  
 ALL FOOTINGS TO BE PLACED ON UNDISTURBED SOIL  
 ALL DIMENSIONS ARE TO FINISHED MATERIAL



## PROPOSED LOFT OF BARN

LOFT G.F.A. 1002.61SQ.FT.(93.14m2)



Chair and Members of Committee of Adjustment c/o Ms. Jamila Sheffield  
Secretary – Treasurer, Committee of Adjustment  
City of Hamilton  
71 Main Street West – 5<sup>th</sup> Floor  
Hamilton, Ontario L8P 4Y5  
Canada

Arcadis Professional Services (Canada) Inc.  
360 James Street North – Suite 200  
Hamilton, Ontario L8L 1H5  
Canada  
Phone: 905-546-1010  
[www.arcadis.com](http://www.arcadis.com)

Date: July 15, 2024

Our Ref: 147433

**Subject: New MV Application\_ 360 Book Road W**

Dear Ms. Jamila Sheffield

## **1.0 Introduction**

Arcadis Professional Services (Canada) Inc. (“Arcadis”) is the authorized planning agent for Andrew Gale (the “Client” or “Owner”), the Owner of land municipally known as 360 Book Road West in the City of Hamilton (the “subject lands”). The Owner acquired the subject lands on October 30, 2023, which currently contain a single detached home and an associated barn. Consistent with contemporary planning legislation and policy, the Owner wishes to convert the loft of the barn into an additional dwelling unit. This minor variance application is to permit the additional dwelling unit on the subject lands, which is 0.33 hectares in area, as the City of Hamilton Zoning By-law 05-200 (the “Zoning By-law”) requires a minimum lot area of 1.5 hectares for an additional dwelling unit to be added. This application also is to permit a height of 6.2 metres for the additional dwelling unit, as the Zoning By-law permits a maximum height 6 metres, and to permit a minimum distance of 4.8 metres from the back wall of the two-storey dwelling to the barn, as the Zoning By-law requires a minimum of 7.5 metres for detached dwelling units in the Rear Yard. This report provides the required analysis, including a review of provincial and local policy, and the final recommendation that the application should be approved by the Committee.

## **2.0 Site Location and Context**

The subject lands are municipally known as 360 Book Road West and are located east of Shaver Road and west of Fiddlers Green Road. The subject lands are legally described as: PT LT 39, CON 5 ANCASTER, AS IN AB175619; ANCASTER CITY OF HAMILTON

Currently, the site has a total area of 0.33 hectares, approximate frontages of 60.96 metres on Book Road, and an approximate lot depth of 54.25 metres. Currently on the subject lands is a two-storey single detached home and an associated barn. The subject lands are accessed from Book Road to the north of the site. Please refer to **Figure 1** for an aerial image of the site and **Figure 2** for a view of the site from Book Road.



Figure 1: Aerial image of subject lands retrieved from GeoWarehouse.



Figure 2: View of single detached home from Book Road.

### 3.0 Planning Application

This minor variance application is being made to the City of Hamilton Committee of Adjustment under Subsection 45(1) of the *Planning Act*, which provides the powers to the Committee to make decisions with respect to minor variances to the Zoning By-law. A detailed discussion of the Powers of the Committee under 45(1) of the Planning Act, as well as how the proposed development falls within those powers is provided later in the report under subsection 5.1. This variance application is required to address the minimum lot area, maximum height, and minimum distance from the principal dwelling in a rear yard for an accessory dwelling unit in Rural Hamilton.

### 4.0 Proposed Development

The current development proposal is for an additional dwelling unit on the subject lands in the loft of the existing barn structure. Please refer to the Property Survey Plan, Elevations, and Floor Plans included as part of this submission. In reviewing the proposed additional dwelling unit, we have identified the required minor variances:

1. To permit a minimum lot area of 0.30 ha, whereas the Zoning By-law requires 1.5 ha for lots adding an additional dwelling unit in Rural Hamilton.
2. To permit a maximum height of 6.2 metres for the additional dwelling unit, whereas the Zoning By-law requires additional dwelling units in the A1 zone to be a maximum of six (6.0) metres.
3. To permit a minimum distance of 4.8 metres between the rear wall of the principal dwelling and the detached additional dwelling unit, whereas the Zoning By-law requires 7.5 metres in the A1 zone where the additional dwelling unit is located in the Rear Yard.

The *Planning Act* requires that minor variance applications meet the four tests within Section 45, to ensure good planning to support requested variances. It is our opinion that this proposal maintains the general intent and purpose of the Official Plan and Zoning By-law, is desirable for the appropriate development use of the lands and is minor in nature. As further described in Section 5, the Zoning By-law requirement of 1.5 hectares for lots with additional dwelling units can be reduced where it can be demonstrated that the minimum servicing requirements of Policy C.5.1 of the Plan can be achieved. A more in-depth explanation, based on applicable legislation, policy, and contextual information, is provided below to support our opinion.

### 5.0 Applicable Policy and Legislation

The subject lands are subject to several provincial and local policy and legislative documents with respect to land use planning. These will be dealt with in the subsections below.

#### 5.1 Planning Act

The Powers of the Committee of Adjustment with respect to minor variances are provided by subsection 45 (1) of the Planning Act, which states the following:

*(1) Powers of committee – The committee of adjustment, upon the application of the owner of any land, building or structure affected by any by-law that is passed under section 34 or 38, or a predecessor of such sections, or any person authorized in writing by the owner, may, despite any other Act, authorize such minor variance from the provisions of the by-law, in respect of the land, building or structure or the use thereof, as in its opinion is desirable for the appropriate development or use of the land, building or structure, if in the opinion of the committee the general intent and purpose of the by-law and of the official plan, if any, are maintained.*

**Arcadis Comment:** As discussed above, minor variances per the Planning Act need to be desirable and appropriate for the land use. The proposed variances do not change the land use and are not expected to have any noise or use impacts on neighbouring properties. Furthermore, as discussed under Section 5.5 and 5.6, the



proposed development adheres to the general intent of the Rural Hamilton Official Plan and the Zoning By-law by preserving agricultural lands while supporting the development of additional dwelling units.

## **5.2 Provincial Policy Statement**

The Provincial Policy Statement 2020 (“PPS”) was issued under section 3 of the *Planning Act* and came into effect May 1, 2020. It replaces the PPS issued April 30, 2014 and applies to all decisions in respect of the exercise of any authority that affects a planning matter made on or after this date. Planning decisions are to be consistent with the PPS. Therefore, the proposed application is subject to the PPS, including the following:

### **Subsection 1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development and Land Use Patterns**

**Policy 1.1.1** *Healthy, liveable and safe communities are sustained by:*

- a) *promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
- b) *accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
- c) *avoiding development and land use patterns which may cause environmental or public health and safety concerns;*

### **Subsection 1.1.4 Rural Areas in Municipalities**

**Policy 1.1.4.1** *Healthy, integrated and viable rural areas should be supported by:*

- a) *building upon rural character, and leveraging rural amenities and assets;*

### **Subsection 2.1 Natural Heritage**

**Policy 2.1.1** *Natural features and areas shall be protected for the long term.*

#### **Arcadis Comment:**

As discussed above, the development is consistent with the PPS for providing a mix of residential types by creating an additional dwelling unit. The proposed variances to the subject lands are not expected to have adverse impacts to surrounding properties, and will maintain the rural character of the neighbourhood. As the additional dwelling unit is being created in the loft of the existing barn structure, the natural features adjacent to the subject lands will not be impacted by dwelling construction.

## **5.3. A Place to Grow, Growth Plan for the Greater Golden Horseshoe, 2020**

A Place to Grow, the Growth Plan for the Greater Golden Horseshoe (“Growth Plan”) provides the framework for implementing the Government of Ontario’s vision for building stronger, prosperous communities by better managing growth in the region to 2051. The 2019 version of the growth was amended, taking effect August 28, 2020. Section 5(b) of the *Planning Act* requires decisions that affect planning matters shall conform to provincial plans, including the Growth Plan, or shall not conflict with them, as the case may be. Section 2.2.1 of the Growth Plan provides policy direction as to where and how the municipalities should grow. The proposed application is subject to the Growth Plan, including the following:

### **Subsection 2.2.6 Housing**



**Policy 2.2.6.1.a** support housing choice through the achievement of the minimum intensification and density targets in this Plan, as well as the other policies of this Plan by:

- i. identifying a diverse range and mix of housing options and densities, including additional residential units and affordable housing to meet projected needs of current and future residents; and
- ii. establishing targets for affordable ownership housing and rental housing.

**Arcadis Comment:** This variance application aligns with the Growth Plan by providing more housing options through the additional dwelling unit located in the loft of the barn.

#### 5.4 Rural Hamilton Official Plan

The Rural Hamilton Official Plan (the “RHOP”), adopted under the *Planning Act*, guides and directs planning and development within the City. It contains goals, objectives, and policies to manage and direct land use changes and considers their effects on social, economic and natural environment elements. As seen in **Figure 3**, the subject lands are designated as ‘Agriculture’. The permitted uses under the ‘Agriculture’ designation are limited to agricultural uses, agriculture-related commercial and agricultural-related industrial uses and on-farm secondary uses. The subject lands are also adjacent to natural heritage features which are designated as ‘Core Areas’ as shown in **Figure 4**. Core Areas are defined as, “the most important components of the Natural Heritage System in terms of biodiversity, productivity, and ecological and hydrological functions. It is the intent of this Plan to preserve and enhance Core Areas, including their environmental features or ecological functions.” The Core Area is considered a Significant Woodland per Schedule B-2 of the RHOP.

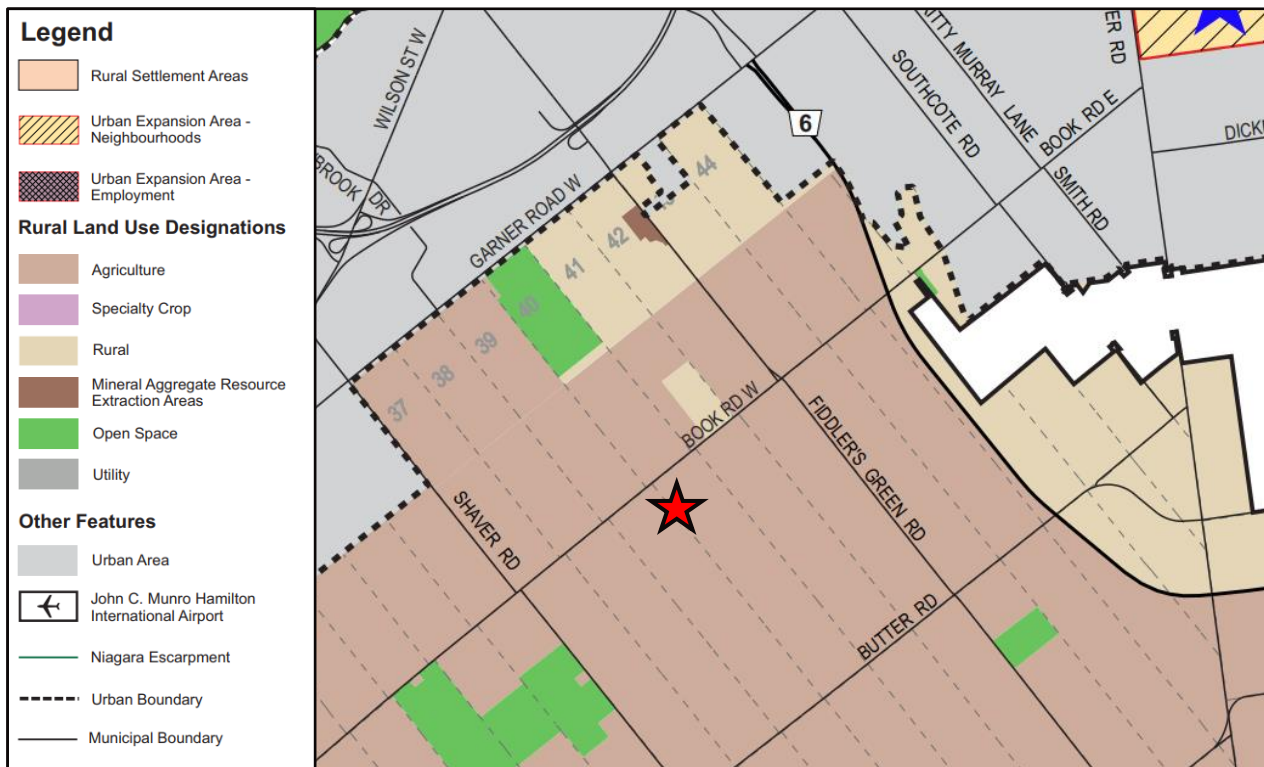


Figure 3: Excerpt of Schedule D: Rural Land Use Designations

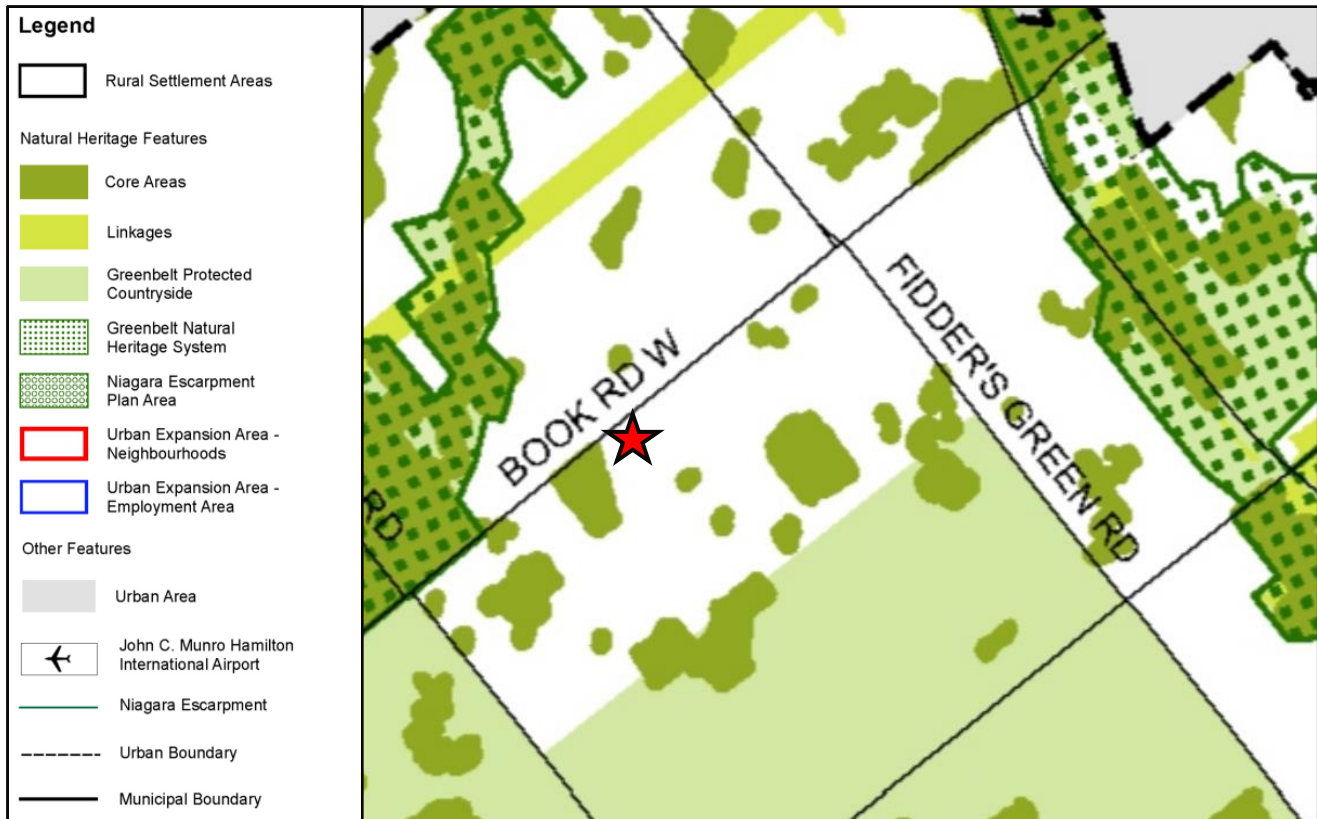


Figure 4: Excerpt of Schedule B, Natural Heritage System

The proposed application is subject to the Rural Hamilton Official Plan, including the following:

## Chapter C- City Wide Systems and Designations

### Subsection 3.1 Rural Area General Provisions

- e) *An additional dwelling unit – detached shall be permitted in Rural Hamilton subject to the following:*
  - i. *One additional dwelling unit – detached may be permitted on a lot with a minimum lot area of 1.5 hectares.*
  - ii. *The primary dwelling and the additional dwelling unit – detached can achieve the minimum servicing requirements of Policy C.5.1 of this Plan.*
  - iii. *The minimum lot area established in e) i) above may be reduced where it can be demonstrated that the minimum servicing requirements of Policy C.5.1 of this Plan can be achieved.”*

### Subsection 5.1 Private Water and Wastewater Service

**Policy 5.1.1. No draft, conditional, or final approval of development proposals shall be granted by the City for any development in Rural Hamilton that could impact existing private services or involves proposed private services until the development proposal has complied with all of the following: (OPA 23)(OPA 26)**

- a) ***Prior to or at the time of application for a proposal that could impact existing private services or involves proposed private services, development proponents shall submit complete information regarding existing or proposed private water and wastewater services. This information shall be complete to the satisfaction of the City. Where sufficient information is not available to enable a full***

*assessment of on-site and off-site water supply and/or sewage disposal impacts or if the proponent does not agree with the City's calculations, the proponent shall be required to submit a hydrogeological study report completed in accordance with Section F.3.2.5 – Hydrogeological Studies of this Plan and Hydrogeological Study Guidelines as may be approved or amended from time to time. (OPA 23)*

- b) Any information submitted or study required in Policy C.5.1.1 a) shall be completed to the satisfaction of the City in accordance with Section F.3.2.5 of this Plan and Hydrogeological Study Guidelines as may be amended from time to time. The City may request or conduct a peer review of the study or servicing information, which shall be completed by an agency or professional consultant acceptable to the City and retained by the City at the applicant's expense. (OPA 23)**
- c) The minimum size for a new lot proposed in an application for a severance, lot addition or draft plan of subdivision with an existing or proposed private water system and/or existing or proposed private sewage disposal system shall:**
  - i. be the size required to accommodate the water system and sewage disposal system with acceptable on-site and off-site impacts;*
  - ii. shall include sufficient land for a reserve discharge site or leaching bed, as determined by the requirements in Policies C.5.1.1 a) and b); and,*
  - iii. not be less than 0.4 hectare (one acre) in size. The maximum lot size shall be in accordance with Policy F.1.14.2.1 f). (OPA 26)*
- d) Development of a new land use or a new or replacement building on an existing lot that require(s) water and/or sewage servicing, may only be permitted where it has been determined by the requirements of Policies C.5.1.1 a) and b) that the soils and size of the lot are sufficient to accommodate the water system and sewage disposal system within acceptable levels of on-site or off-site impacts including nitrate impact, and shall include sufficient land for a reserve discharge site or leaching bed. The maximum lot size shall be in accordance with F.1.14.2.1 f). (OPA 26)**
- e) The private water supply and sewage disposal systems shall be capable of sustaining the proposed and existing uses within acceptable levels of on-site and off-site water quantity and quality impacts, including nitrate impact;**
- f) The existing or proposed wastewater system shall not include a sewage disposal holding tank.**
- g) The existing or proposed water supply system shall include a well with sufficient quantity of water and with potable water supply to sustain the use. A cistern system that meets current accepted standards, may, to the satisfaction of the City, be an additional component of the water supply system. (OPA 26)**
- h) Notwithstanding Policy C.5.1.1 a cistern that meets current accepted standards may be used as a primary water source in the following circumstances: (OPA 18)**
  - i. the building of a dwelling on an existing lot in accordance with Policy F.1.12.6, where insufficient water supply is due to the impacts of dewatering for mineral aggregate extraction as demonstrated by a quarry area of influence study, approved by the Province and provided by the proponent.*
  - ii. redevelopment of an existing use, on an existing lot, which is serviced by an existing water cistern, provided there is no negative impact of the proposal on the cistern.*

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July 15, 2024

- iii. *new development on an existing lot if it is demonstrated by an applicant, through the submission of evidence in the form of a well test, hydrogeological study or other, that groundwater quality or quantity is inadequate to support the use, to the satisfaction of the City.*
- iv. *the severance of an existing dwelling in accordance with Section F.1.14.2, serviced by an existing water cistern, provided there is no negative impact on the cistern.*

**Emphasis added above.**

**Arcadis Comment:**

As discussed above, the subject lands have a total area of approximately 0.33 hectares, which fall below the 1.5-hectare requirement in the RHOP. It is our opinion that the proposed variance is appropriate based on the policy above which permits an ADU on a reduced lot size, subject to confirmation of the servicing capabilities of the subject lands. It is the intent of Policy 3.1 (e), iii. to support the development of additional dwelling units on sites demonstrating adequate servicing. The submitted Well Report, Septic Design/Assessment, and Soil Analysis included in this submission are intended to provide technical review staff with the base information necessary to review this application.

The Well Report provides the analysis of the water quantity produced by the on-site well. The Septic Design/Assessment considers the existing and proposed sewage volume demands for the subject lands and provides a design option. The Assessment proposes enhancements to the sewage system, including a leaching bed. The Assessment demonstrates the private sewage capacity for the subject lands will be adequate for supporting the additional dwelling unit. Please refer to the Well Report, Septic Assessment, and Soil Analysis included in this submission for more details. It is our opinion that these reports provide information to technical staff to review the proposed additional dwelling unit on the existing lot size, as per the referenced policy requirements.

**Subsection 2.3 Core Areas**

**Policy 2.3.3** *Any development or site alteration within or adjacent to Core Areas shall not negatively impact their environmental features or ecological functions.*

**Subsection 2.5. Core Areas- Outside of the Greenbelt Plan Area**

**Policy 2.5.3** *New development or site alteration proposed within or adjacent to significant woodlands, significant wildlife habitat, significant valley lands, and significant areas of natural and scientific interest shall not be permitted unless the ecological function of the land has been evaluated and it has been demonstrated through an Environmental Impact Statement in accordance with Section F.3.2.1 that there will be no negative impacts on the natural features or their ecological functions.*

**Policy 2.5.5** *New development or site alteration subject to Sections C.2.3.4, C.2.5.2, C.2.5.3 and C.2.5.4 requires, prior to approval, the submission and acceptance of an Environmental Impact Statement which demonstrates to the satisfaction of the City in consultation with the relevant Conservation Authority that:*

- a) *There shall be no negative impacts on the Core Areas or their ecological functions.*
- b) *Connectivity between Core Areas shall be maintained, or where possible, enhanced for the movement of surface and ground water, plants and wildlife across the landscape;*
- c) *The removal of other natural features shall be avoided or minimized by the planning and design of the proposed use or site alteration wherever possible.*

**Arcadis Comment:**



As discussed above, the proposed variances for the subject lands are not expected to impart negative impacts on the adjacent Core Area, as the additional dwelling unit is proposed within the existing barn structure. The creation of the additional dwelling unit in the loft of the barn supports the development of diverse housing options, while maintaining the use of the subject lands and protecting the adjacent Core Area. Since there are no proposed physical changes to the property to accommodate the dwelling itself, it is our opinion that additional studies are unnecessary.

### 5.5 City of Hamilton Zoning By-law 05-200, 2005

The City of Hamilton Zoning By-law 05-200 (the “Zoning By-law”) regulates the types of land uses and activities that may occur on a property or within buildings; and the height, location, massing and character of buildings and structures. The Zoning By-law implements the policies of the Official Plan as it is used to translate these policies into more specific permitted land uses and lays out the requirements for lot and buildings by establishing zone categories and regulations which apply to all lands in the municipality. As seen in **Figure 5** below, the subject lands are zoned as Agriculture (A1).

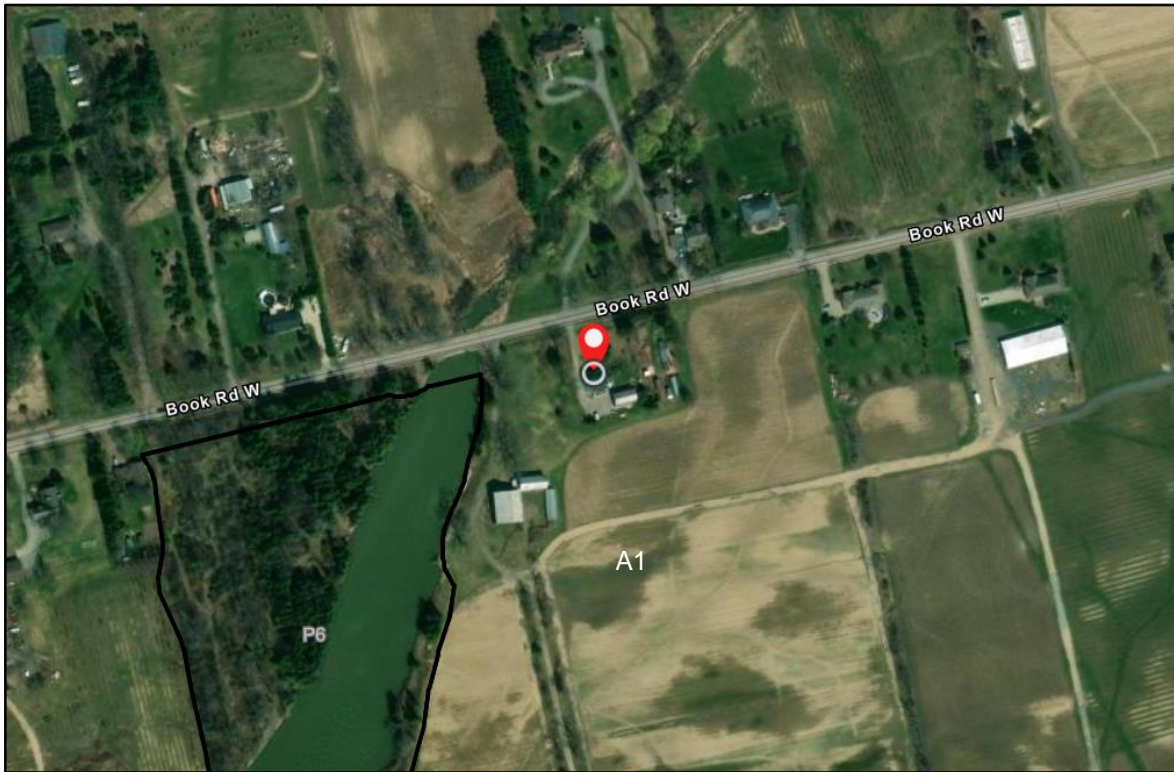


Figure 5: Zoning Mapping, retrieved from the City of Hamilton

The A1 Agriculture Zone permits the following uses:

- *Agriculture*
- *Community Garden*
- *Residential Care Facility*
- *Secondary Uses to Agriculture*
- *Single Detached Dwelling*
- *Veterinary Service- Farm Animal*

**Subsection 12.1.3.3. Single Detached Dwelling and Residential Care Facility Regulations**

Table 1: Zone Provisions

Regulation	Permitted	Provided (Existing Single Detached Dwelling)
Minimum Lot Area	0.4 ha	0.33 ha
Minimum Lot Width	30.0 m	60.96 m
Maximum Building Height	10.5 m	/
Minimum Front Yard	10.0 m	22.39 m
Minimum Side Yard	3.0 m	6.34 m
Minimum Rear Yard	10.0 m	17.58 m
Maximum Capacity for Residential Care Facility	Shall not exceed 10 residents.	N/A
Home Business Regulations	In accordance with the requirements of Section 4.21 of this By-law	N/A
Accessory Buildings	In accordance with the requirements of Sections 4.8 of this By-law	N/A
Parking	In accordance with the requirements of Section 5 of this By-law.	N/A

**Arcadis Comment:**

As shown above, the single detached dwelling is permitted under the Zoning By-law, aside from the minimum lot area, which is being amended as part of the application for an additional dwelling unit to 0.33 hectares. But the lot itself exists, and the lot area is not being changed through the proposal. The single detached home will also experience no physical changes as part of the proposed variances.

**Subsection 4.33 Additional Dwelling Unit and Additional Dwelling Unit- Detached**

**Policy 4.33.4- Additional Dwelling Unit – Detached in Agricultural (A1), Rural (A2) and Settlement Residential (S1) Zone**

- a) For lands within an A1, A2, S1 Zone, a maximum of one Additional Dwelling Unit – Detached shall be permitted on a lot containing a Single Detached Dwelling having a minimum lot area of 1.5 hectares.
  - i. Notwithstanding 4.33.4 a) above, an Additional Dwelling Unit – Detached shall not be permitted on lands identified in Figures 24.1 to 24.5 of Schedule “F” – Special Figures.
- b) In addition to Section 4.33.4 a), a legally established accessory building existing as of May 12, 2021, may be converted to the one Additional Dwelling Unit – Detached permitted on a lot containing an existing Single Detached Dwelling subject to the following provision:

- i. Any additions over 10% of the existing gross floor area of the legally established accessory building converted to an Additional Dwelling Unit – Detached shall be in accordance with the regulations of Section 4.33.4.*
- c) All the regulations of the By-law applicable to the existing dwelling shall continue to apply unless specifically provided in Section 4.33.4.*
- d) An Additional Dwelling Unit – Detached shall only be permitted in a Rear and/or interior Side Yard.*
- e) A minimum 1.2 metre setback shall be provided from the interior Side Lot Line and Rear Lot Line*
  - i. Notwithstanding Section 4.33.4 e), an eave or a gutter may extend a maximum of 0.45 metres into a required minimum setback area.*
  - ii. In addition to Section 4.33.4 e), a landscaped strip is required to be provided within the required side yard adjacent to an Additional Dwelling Unit – Detached and shall be limited to sod, ground cover, permeable pavers, or a planting strip, and may include a visual barrier.*
- f) An Additional Dwelling Unit – Detached shall not be located closer to the flankage street than the principal dwelling.*
- g) An unobstructed path with a minimum 1.0 metre width and minimum 2.1 metre clearance in height from a street line to the entrance of the Additional Dwelling Unit – Detached shall be provided and maintained.*
- h) The following building separation shall be provided: i) Where an Additional Dwelling Unit – Detached is in the Rear Yard, a minimum distance of 7.5 metres shall be required between the rear wall of the principal dwelling and the Additional Dwelling Unit – Detached. ii) Where an Additional Dwelling Unit – Detached is in an Interior Side Yard, the following is required: A) A minimum distance of 4.0 metres shall be provided between the side wall of the principal dwelling and an Additional Dwelling Unit – Detached; and, B) An Additional Dwelling Unit – Detached shall be set back a minimum 5.0 metres from the front façade of the principal dwelling.*
- i) A maximum height of 6.0 metres shall be permitted. i) Notwithstanding Section 4.33.4 i), balconies and rooftop patios shall be prohibited above the first floor level.*
- j) The maximum gross floor area shall not exceed the principal dwelling.*
- k) Notwithstanding 4.33.4 g) above, the maximum combined lot coverage of all accessory buildings, Farm Labour Residence(s) and the Additional Dwelling Unit – Detached shall be 25%.*
- l) The waste disposal and water supply systems shall be in accordance with Section 4.22 iii).*

**Arcadis Comment:**

As discussed above, the proposed development requests a variance to permit a minimum lot area of 0.33 hectares for a single detached dwelling with one additional detached dwelling unit. The development also requires variances to permit a minimum distance of 4.8 metres between the rear wall of the principal dwelling and the detached additional dwelling unit and to permit a maximum height of 6.2 metres for the additional dwelling unit. These variances support the development of the dwelling unit and follow the intent of Zoning By-law by converting an accessory building for residential purposes. It is our opinion that these changes are minor and allow for the proposed development to occur effectively and efficiently within the subject lands without having negative impacts on the adjacent Core Area and surrounding agricultural lands. The additional dwelling unit complies with the other regulations under Policy 4.33.4, and it is our opinion that the proposed development provides necessary housing while maintaining the land use of the surrounding area.

Ms. Jamila Sheffield  
City of Hamilton  
July 15, 2024

#### **Subsection 4.22 Adequate Services**

##### **Policy 4.22 iii) For lands in a Rural zone,**

1. *An approved waste disposal and water supply systems to sustain the use of land for buildings shall be provided and maintained to the satisfaction of the Chief Building Official; and,*
2. *All regulatory approvals have been received to the satisfaction of the General Manager of the Planning and Economic Development Department and/or his or her designate.*

##### **Arcadis Comment:**

Please refer to the Well Report, Septic Assessment, and Soil Analysis included in this submission. These reports are intended to demonstrate adequate servicing for supporting the additional dwelling unit, and to give technical review staff sufficient information to assess the proposal.

#### **6.0 Conclusion and Recommendations**

As the proposed Minor Variances do not change the site context or function, it is our opinion that they maintain the general intent of the Official Plan and Zoning By-Law, are minor in nature, and are desirable and appropriate for the efficient use of the property. This proposal aligns with current provincial and City objectives, policies and legislation to address housing supply issues.

We trust that an adequate explanation and justification have been provided for the relief being requested.

In support of the application, please find enclosed the following:

- One (1) completed and signed copy of the Minor Variance Application Form;
- One (1) copy of the Property Survey;
- One (1) copy of Elevation and Floor Plan Drawings
- One (1) copy of a Septic Assessment
- One (1) copy of a Well Report
- One (1) copy of a Soil Analysis

We trust the enclosed is in order, however, should you have any questions or require any additional information, please do not hesitate to contact the undersigned at [mike.crough@arcadis.com](mailto:mike.crough@arcadis.com) or 905-546-1010 ext. 63114.

Sincerely,

**Arcadis Professional Services (Canada) Inc.**



Mike Crough, MCIP, RPP  
Principal- Planning



Jason Weisbrot  
Co-op Student, Planning



# Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

<b>A. Project Information</b>			
Building number, street name <b>360 Book Road West, Ancaster</b>	Unit no.	Lot/con.	
Municipality <b>Hamilton</b>	Postal code	Plan number/ other description	
<b>B. Individual who reviews and takes responsibility for design activities</b>			
Name <b>Peter Vanderboom</b>	Firm <b>Alpha Ex</b>		
Street address <b>1431 Wilson Street West</b>	Unit no.	Lot/con.	
Municipality <b>Ancaster</b>	Postal code <b>L0R 1R0</b>	Province <b>ON</b>	E-mail <b>office.alphaex@gmail.com</b>
Telephone number <b>(905) 304-7114</b>	Fax number ( )	Cell number <b>(905) 971-0833</b>	
<b>C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]</b>			
House	HVAC – House	Building Structural	
Small Buildings	Building Services	Plumbing – House	
Large Buildings	Detection, Lighting and Power	Plumbing – All Buildings	
Complex Buildings	Fire Protection	<input checked="" type="checkbox"/> On-site Sewage Systems	
Description of designer's work  <b>Prepare design for new class 4 on-site sewage system to service existing SFD and proposed ADU.</b>			
<b>D. Declaration of Designer</b>			
I <u>Peter Vanderboom</u> declare that (choose one as appropriate):  (print name)			
<input checked="" type="checkbox"/> I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: <u>40181</u> Firm BCIN: <u>40434</u>			
<input type="checkbox"/> I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code. Individual BCIN: _____ Basis for exemption from registration: _____			
The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____ I			
certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. I have submitted this application with the knowledge and consent of the firm.			
<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">               _____         </div> <div style="text-align: center;">               _____         </div> </div>			

**NOTE:**

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

## Schedule 2: Sewage System Installer Information

<b>A. Project Information</b>			
Building number, street name <b>360 Book Road West, Ancaster</b>		Unit number	Lot/con.
Municipality <b>Hamilton</b>	Postal code	Plan number/ other description	
<b>B. Sewage system installer</b>			
Is the installer of the sewage system engaged in the business of constructing on-site, installing, repairing, servicing, cleaning or emptying sewage systems, in accordance with Building Code Article 3.3.1.1, Division C?			
X Yes (Continue to Section C)		No (Continue to Section E)	Installer unknown at time of application (Continue to Section E)
<b>C. Registered installer information (where answer to B is "Yes")</b>			
Name <b>Alpha Ex</b>		BCIN <b>40434</b>	
Street address <b>1431 Wilson Street West</b>		Unit number	Lot/con.
Municipality <b>Ancaster</b>	Postal code <b>L0R 1R0</b>	Province <b>ON</b>	E-mail <b>office.alphaex@gmail.com</b>
Telephone number <b>(905) 304-7114</b>	Fax (    )	Cell number <b>(905) 971-0833</b>	
<b>D. Qualified supervisor information (where answer to section B is "Yes")</b>			
Name of qualified supervisor(s)  <b>Peter Vanderboom</b>		Building Code Identification Number (BCIN)  <b>40181</b>	
<b>E. Declaration of Applicant:</b>			
I _____ declare that: (print name)			
X I am the applicant for the permit to construct the sewage system. If the installer is unknown at time of application, I shall submit a new Schedule 2 prior to construction when the installer is known;			
<u>OR</u>			
I am the holder of the permit to construct the sewage system, and am submitting a new Schedule 2, now that the installer is known.			
I certify that:			
1. The information contained in this schedule is true to the best of my knowledge.			
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.			
_____		_____	
Date		Signature of applicant	

360 BOOK ROAD WEST

AWCASTER

DESIGN CALCULATIONS  
FOR CLASS 2, 4 & 5 ON-SITE SEWAGE SYSTEM



Owner:	Designer: BCIN PETE VANDERBOOM 4/10/81	Installer: ALPHA EX BCIN Number: 40734
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STEP 1 EXISTING FARM HOUSE

DAILY SEWAGE FLOW (Based on Hydraulic Loads for Fixtures, Floor Area, and Number of Bedrooms)

Plumbing Fixture Description	Existing Number of Fixtures	Proposed Number of Fixtures	Total x Fixture Units Value = Number of Fixture Units	
Bathroom group (toilet, sink, bathtub)	2	1	6	12
Toilet (alone)	1		4	4
Washbasin	1	N/A	1.5	1.5
Bathtub or Shower			1.5	
Kitchen Sink(s)	2		1.5	3
Bar Sink			1.5	
Dishwasher	2		1.5	3
Washing Machine	1		1.5	1.5
Bidet			1	
Laundry Tub			1.5	
Other:				
Total Fixture Units				25

Proposed: ( $m^2$ ) ( N/A $ft^2$ )
Existing: ( $m^2$ ) ( 2202 $ft^2$ )
Total Finished Floor Area Excluding Area of Finished Basement 205 $m^2$ 2202 $ft^2$ (Multiply $m^2 \times 10.764 = ft^2$ )

From the chart below, please calculate the expected daily sewage flow for your proposed building, and mark the total in the space provided. For non-residential occupancies see Table 8.2.1.3 B O.B.C.

Residential Occupancy	Existing	Q in Litres	Calculations
1 Bedroom		750	
2 Bedrooms		1100	
3 Bedrooms		1600	
4 Bedrooms		2000	
5 Bedrooms	5	2500	2500
<b>Additional Flow for:</b>			
Each Bedroom over 5		500	
Floor Space for each 10m <sup>2</sup> over 200 m <sup>2</sup> up to 400 m <sup>2</sup>	1	100	100
Floor Space for each 10m <sup>2</sup> over 400 m <sup>2</sup> up to 600 m <sup>2</sup>		75	
Floor Space for each 10m <sup>2</sup> over 600 m <sup>2</sup> OR*		50	
Each fixture unit over 20 fixture units total	5	50	250
<b>TOTAL</b>			2750

\*NOTE: Where you need to do multiple calculations, signified by the "OR" in the table, do the calculation for daily sewage flow based on bedrooms and floor space first, then fixture units, and use the larger of the two calculations.

Other Occupancy (Table 8.2.1.3 (B))			
Establishment Type:	Occupant Load	Volume (Litres)	Calculations

<p>EXPECTED DAILY DESIGN SEWAGE FLOW (Q): <u>2750</u> Litres (Use Q for the following calculations)</p>
---

TOTAL DAILY DESIGN FLOW =

$$2750 + 1100 = 3850 \text{ L/DAY}$$

360 BOOK ROAD WEST  
ANCLASTER

DESIGN CALCULATIONS  
FOR CLASS 2, 4 & 5 ON-SITE SEWAGE SYSTEM

Owner:	Designer: BCIN PETE VAN DER BOOM 40181	Installer: ALPHA EX BCIN Number: 40484
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STEP 1 PROPOSED ADU

DAILY SEWAGE FLOW (Based on Hydraulic Loads for Fixtures, Floor Area, and Number of Bedrooms)

Plumbing Fixture Description	Existing Number of Fixtures	Proposed Number of Fixtures	Total x Fixture Units Value = Number of Fixture Units		
Bathroom group (toilet, sink, bathtub)		1	6	6	
Toilet (alone)		1	4	1	
Washbasin		2	1.5	3	
Bathtub or Shower			1.5		
Kitchen Sink(s)		1	1.5	1.5	
Bar Sink			1.5		
Dishwasher		1	1.5	1.5	
Washing Machine		1	1.5	1.5	
Bidet			1		
Laundry Tub			1.5		
Other:					
Total Fixture Units				14.5	

Proposed: ( 200 m <sup>2</sup> ) ( 2156 ft <sup>2</sup> )
Existing: (        m <sup>2</sup> ) (        ft <sup>2</sup> )
Total Finished Floor Area Excluding Area of Finished Basement m <sup>2</sup> ft <sup>2</sup> (Multiply m <sup>2</sup> x 10.764 = ft <sup>2</sup> )

From the chart below, please calculate the expected daily sewage flow for your proposed building, and mark the total in the space provided. For non-residential occupancies see Table 8.2.1.3 B O.B.C.

Residential Occupancy	Existing	Q in Litres	Calculations
1 Bedroom		750	
2 Bedrooms	2	1100	1100
3 Bedrooms		1600	
4 Bedrooms		2000	
5 Bedrooms		2500	
<b>Additional Flow for:</b>			
Each Bedroom over 5		500	
Floor Space for each 10m <sup>2</sup> over 200 m <sup>2</sup> up to 400 m <sup>2</sup>		100	
Floor Space for each 10m <sup>2</sup> over 400 m <sup>2</sup> up to 600 m <sup>2</sup>		75	
Floor Space for each 10m <sup>2</sup> over 600 m <sup>2</sup> OR*		50	
Each fixture unit over 20 fixture units total		50	
<b>TOTAL</b>			1100

\*NOTE: Where you need to do multiple calculations, signified by the "OR" in the table, do the calculation for daily sewage flow based on bedrooms and floor space first, then fixture units, and use the larger of the two calculations.

Other Occupancy (Table 8.2.1.3 (B))			
Establishment Type:	Occupant Load	Volume (Litres)	Calculations

<p>EXPECTED DAILY DESIGN SEWAGE FLOW (Q): <u>1100</u> Litres (Use Q for the following calculations)</p>
---

TOTAL DAILY DESIGN FLOW =  
1100 + 2750 = 3850 L/DAY



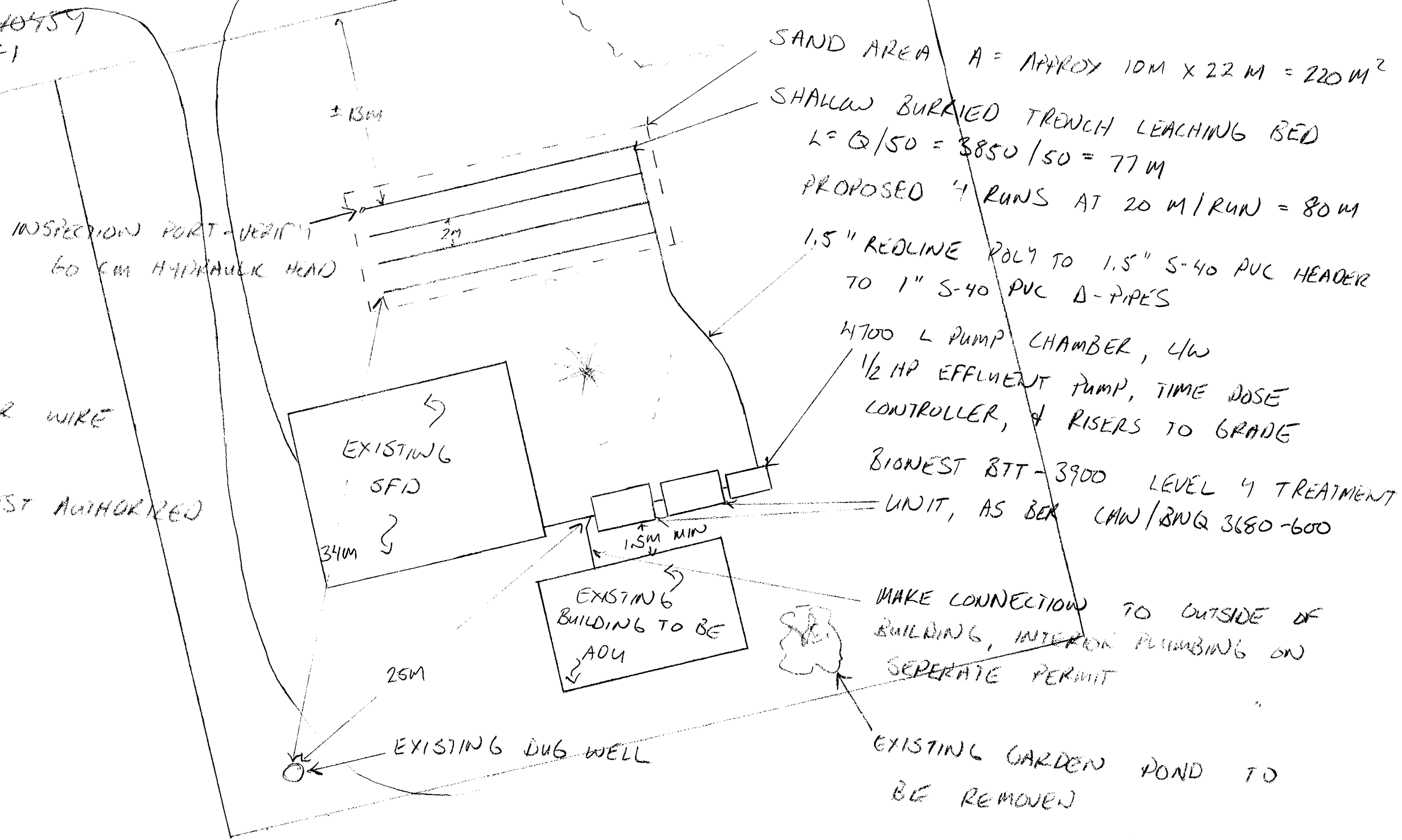
360 BOOK ROAD WEST, ANCLASTER

DAILY DESIGN FLOW Q = 3850 L/DAY

PERC TIME T = 35 MIN / CM

DESIGN BY ALPHA EX BUN 40459

PETE VANDER BOOM BUN 40181



- \* PROVIDE 14 GAUGE TRACER WIRE AND ALL COMPONENTS
- \* INSTALLER MUST BE BIONEST AUTHORIZED INSTALLER

# Winona Concrete & Pipe Products Ltd.

489 Main Street West, Grimsby, Ontario L3M 1T4  
 Ph. 905-945-8515 Email: info@winonaconcrete.com Fax. 905-945-1149  
 Southern Ontario Toll Free 800-361-8515

## Concrete Septic Tank (Trickle)



Date: July 10, 2013

Model: 100T-PL20

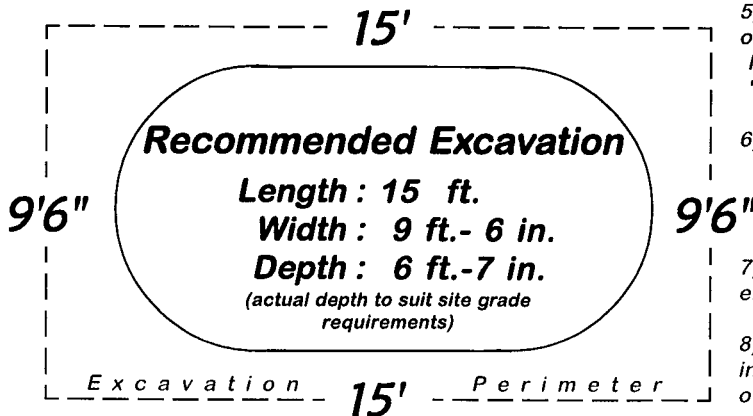
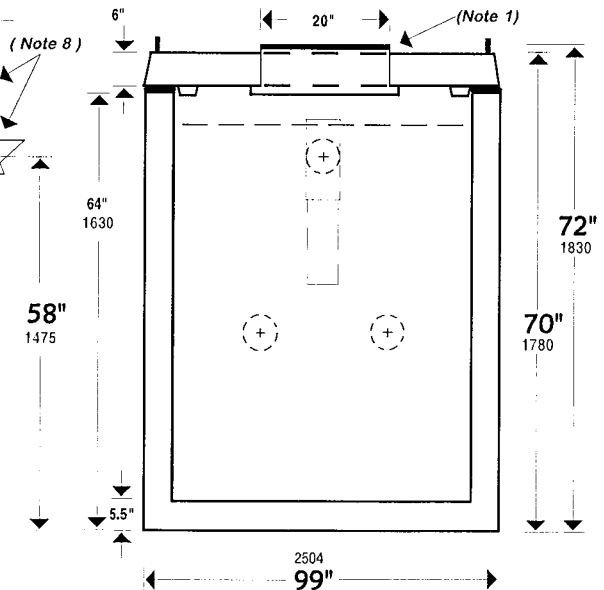
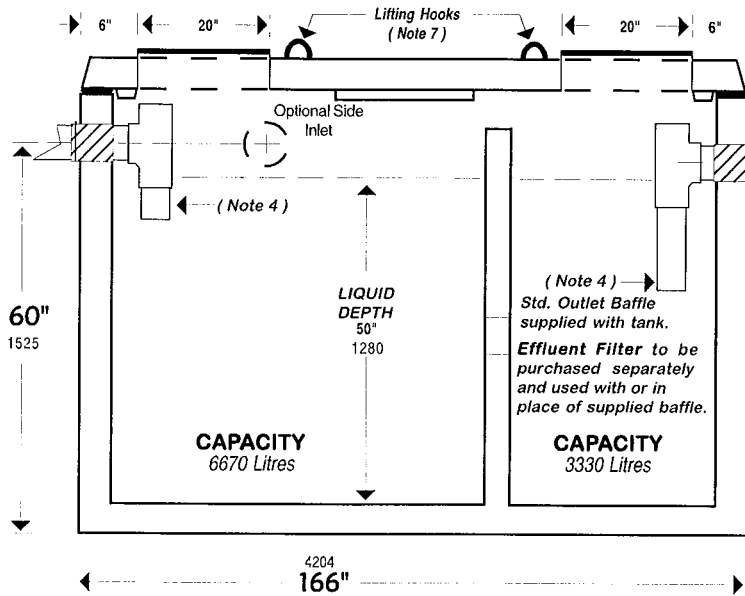
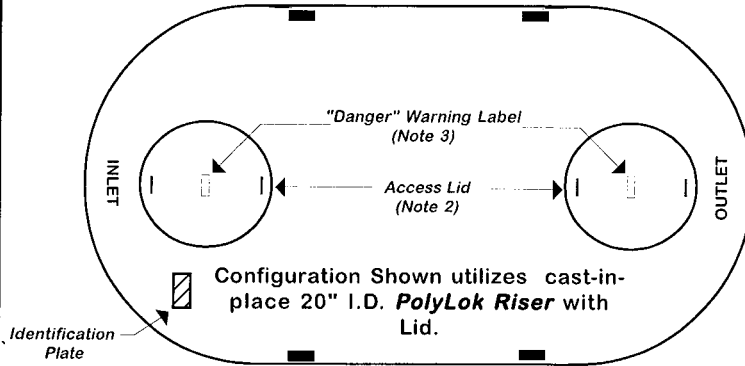
Capacity: 10,000 litres (2200 Gal)

### Product Information ...

- 1) **POLYLOK ACCESS RISERS** (20" or 24" dia.) cast-in place. Additional 6"/12" high gasketed sections may be added to suit.
- 2) **POLYLOK RISER LID** fastened to riser section with (6) stainless hex head self tappers (supplied)
- 3) **"DANGER" WARNING LABEL** (English / French) shown on lid surface.
- 4) **INLET / OUTLET BAFFLES** are 4" PVC-BDS Fittings / Pipe, fabricated & supplied with tank for contractor to affix on to end of soil pipe entering tank through 4" flexible rubber boot.

**NEW - Effective Jan.2007:** An Effluent Filter must be installed at outlet. Various styles available upon request.

Drawings are dimensional (not necessarily to scale) with unit of measure in millimeters unless noted otherwise.



5) Cement is Portland Type 10 &/or 30 unless noted otherwise.

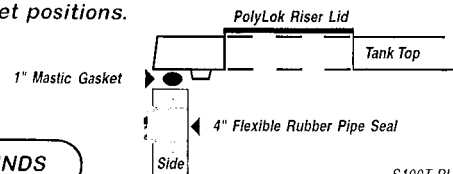
Minimum 28-day Concrete Strength: 32 MPa "NON-SUL". Not suitable for sulphate soils

6) Steel Reinforcing as follows:

- Top & Bottom ..... 10 mm
- Sides ..... 10 mm
- Partition ..... 4x4 6/6 WW mesh

7) 1/2" Galvanized Wire Rope Lifting Hooks (4) embedded vertically 24" down into side walls.

8) Detail view below showing typical Top - Side interface and use of flexible Pipe Boot at inlet & outlet positions.



9) Design Burial Depth (cover) .....1000 mm  
 Not intended for use in areas of vehicular traffic loading.  
 "AGINP" Above ground installation not permitted

www.winonaconcrete.com

**DRY WEIGHT 24,400 POUNDS**

S100T-PL20 13.07.10

# Winona Concrete & Pipe Products Ltd.

489 Main Street West, Grimsby, Ontario L3M 1T4  
 Ph. 905-945-8515 Email: info@winonaconcrete.com Fax. 905-945-1149  
 Southern Ontario Toll Free 800-361-8515



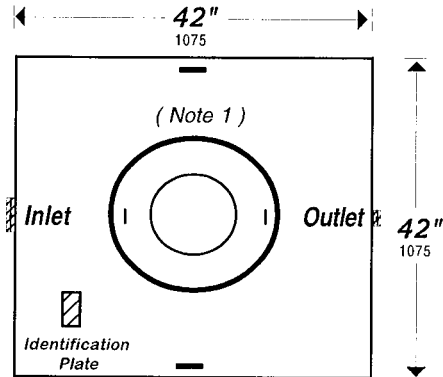
## Concrete Effluent / Pump Tank

Date: July 10, 2013  
 Model: **PC10EP-PL20**  
 Capacity: 1000 litres (220 gal)

Drawings are dimensional (not necessarily to scale) with unit of measure in millimeters unless otherwise noted.

### Product Information ...

Configuration Shown utilizes cast-in-place 20" I.D. x 10" high **PolyLok Riser** with Lid.



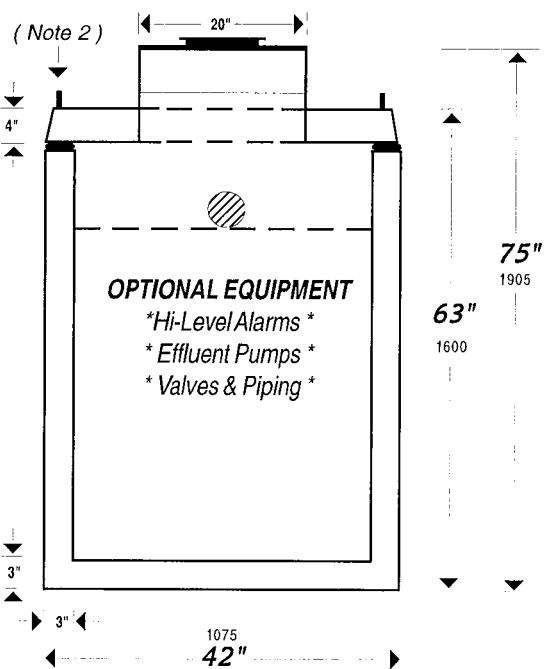
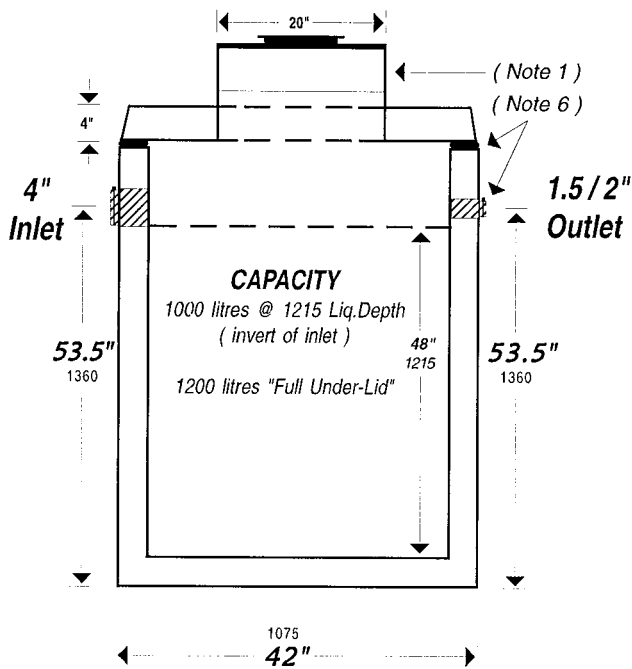
1a) **PolyLok Riser** ( 20" or 24" dia., plastic ) comprised of one section cast-in place and second (upper) section assembled with Gasket and SS screws.

1b) For **At or Above Grade** riser installation, additional 6" or 12" high riser sections c/w Gasket & SS screws may be added to suit.

1c) **PolyLok Access Lid w/Carbon Vent** fastened to upper riser section with gasket & stainless hex head self-tappers. Lifting handles (2) are recessed into lid surface.

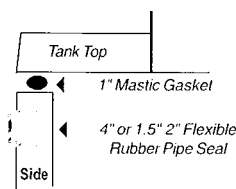
1d) "**DANGER**" **Warning Label** (English & French) is shown on lid surface.

2) 1/4" galvanized wire rope lifting hooks embedded vertically 24" down into side walls, extending 3" above top surface.



6) Detail view showing typical Top - Side interface with use of mastic gasket & flexible pipe seal.

Inlet / outlet positions sized per 4" DWV @ inlet & combination 1.5" x 2" DWV @ outlet.



3) Steel Reinforcing as follows:  
 Top, Bottom & Sides ..... 10 mm

4a) Cement is Portland Type 10 &/or 30 unless noted otherwise. .

4b) Minimum 28-day Concrete Strength: 32 MPa

4c) "NON-SUL". Not suitable for sulphate soils

4d) Concrete Water-to-Cement Ratio 0.45:1 or less

5a) Max Design Burial Depth (Cover) .....1500 mm

5b) "AGINP" Above ground installation not permitted

360 BOOK ROAD WEST, ANCASTER

DESIGN BY ALPHA EX BUN 40434  
PETE VANDERBOOM BUN 40181

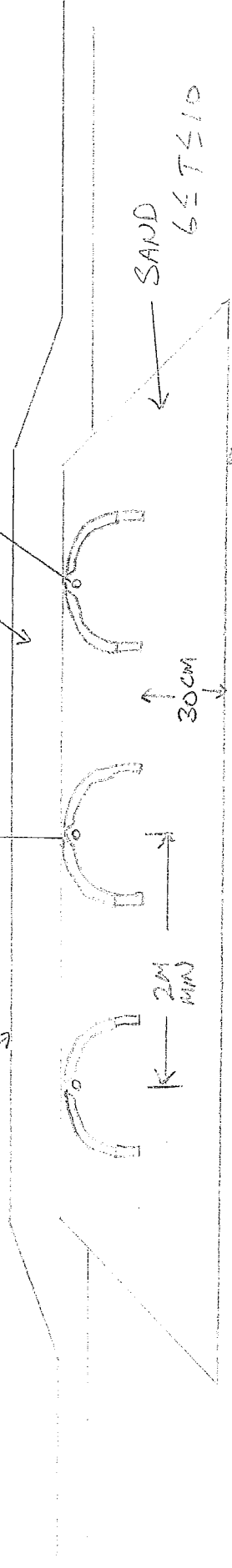
ST

SUITABLE NATIVE TOPSOIL  
OR IMPORTED TOPSOIL

ESTABLISH VEGETATIVE  
COVER

INFILTRATOR QUICK 4  
EQR-36 CHAMBER

D-PIPE 1" S40 PVC - PROVIDE  
1/8" ORIFICES 1 PER METRE  
W/ 1 DRAIN HOLE PER 3 METERS



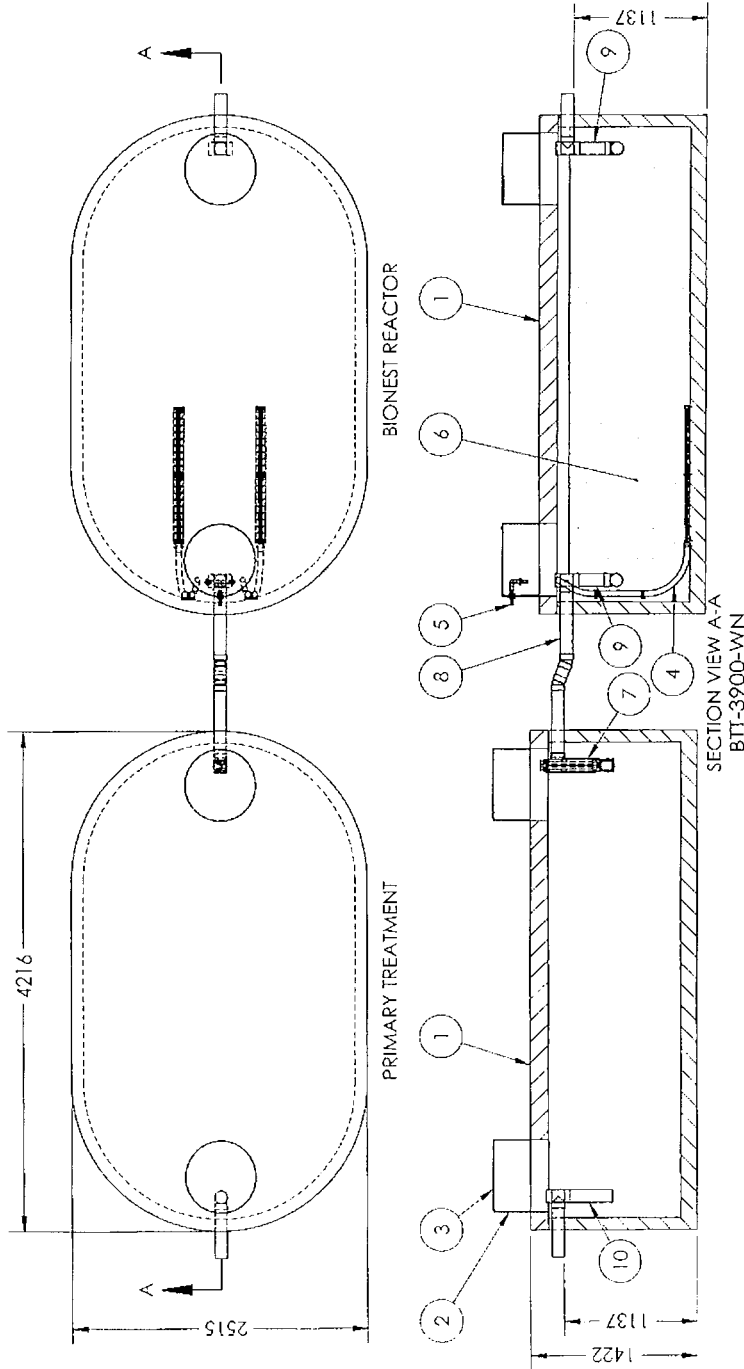
SOIL  $T < 125 \text{ mm/um}$

SCARIFY BASE BEFORE  
PLACING SAND

\* PROVIDE 14 GAUGE TRACER WIRE AS REQUIRED



All trademarks shown are property of Bionest Technologies Inc. and used under license.  
 © 2019 Bionest Technologies Inc.  
 This drawing is made available for information purposes only. Do not alter.



NO.	QTY.	DESCRIPTION
1	2	WINONA TANK MODEL PC79EP-PL20
2	4	RISER 610mm [24"], MAX. HEIGHT 610mm [24"]
3	4	RISER LID 610mm [24"] (ACCESSIBLE AT ALL TIME)
4	1	FLEXIBLE AIR DIFFUSEUR (2 X 1 m)
5	1	MANIFOLD 2 OUTLETS
6	25	BIONEST MEDIA BAG
7	1	POLYLOK PL-122 EFFLUENT FILTER OR CERTIFIED EQUIVALENT
8	1	FLOW CONNECTING PIPE
9	2	INLET/OUTLET DEVICE
10	1	PRIMARY TREATMENT TANK INLET DEVICE
11	1	HIBLOW HP-150 AIR PUMP (NOT SHOWN)

NOTE: BIONEST® COMPONENTS MUST BE INSTALLED BY ICS INC., THE ONLY AUTHORIZED BIONEST INSTALLER. FOR FURTHER INFORMATION PLEASE CONTACT YOUR REGIONAL ADVISOR AT 1 888 538 5662.

UNLESS OTHERWISE STATED, THIS DOCUMENT MUST NOT BE USED FOR CONSTRUCTION, FABRICATION OR INSTALLATION.

#	CERTIFICATION	ISSUE / DESCRIPTION / ECO	DATE APPROVED
1			

**BIONEST**  
 Wastewater Treatment Solutions™  
 5515, Steeles P.O. Box 40070  
 Scarborough, Ontario, Canada, M1T 3A7  
 Tel: 818 538-5662 Fax: 818 538-5707  
 www.bionest.ca

PROJECT NAME: ZENITH  
 ONTARIO MODELS  
 CONFIGURATION FOR WINONA TANKS

PROJECT #	NAME OF THE PROJECT	DATE	VERSION
CANEMO 3680-800	Winona - 3680-800	2019-06-14	1
PREPARED BY	F. Frederic Allaire	DATE	2019-06-14
REVIEW BY	A. Mekou	DATE	2019-07-10
REVISION	NGIBRIS	FORMAT	A3-L
SHEET	1/1		

SCALE: 1:40

# Winona Concrete & Pipe Products Ltd.

489 Main Street West, Grimsby, Ontario L3M 1T4  
 Ph. 905-945-8515 Email: info@winonaconcrete.com Fax. 905-945-1149  
 Southern Ontario Toll Free 800-361-8515



**Concrete Effluent / Pump Tank**  
 Date: July 10, 2013  
 Model: **PC47EP-PL24**  
 Capacity: 4,700 litres (1,030 gal)

Drawings are dimensional (not necessarily to scale)  
 with unit of measure in millimeters unless otherwise noted.

Configuration Shown utilizes cast-in-place  
 24" I.D. x 10" high **PolyLok Riser** with Lid.

## Product Information ...

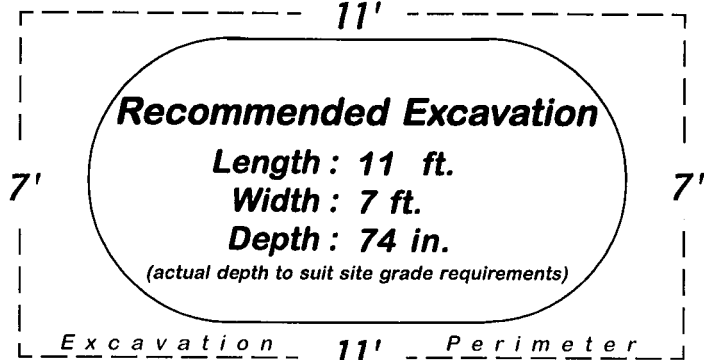
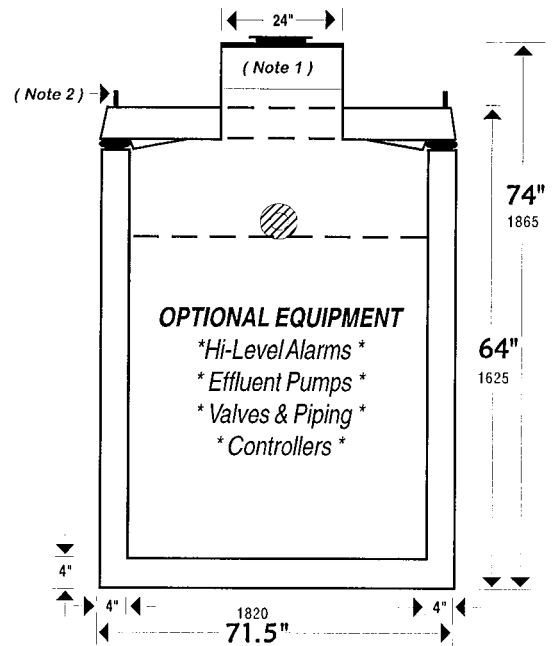
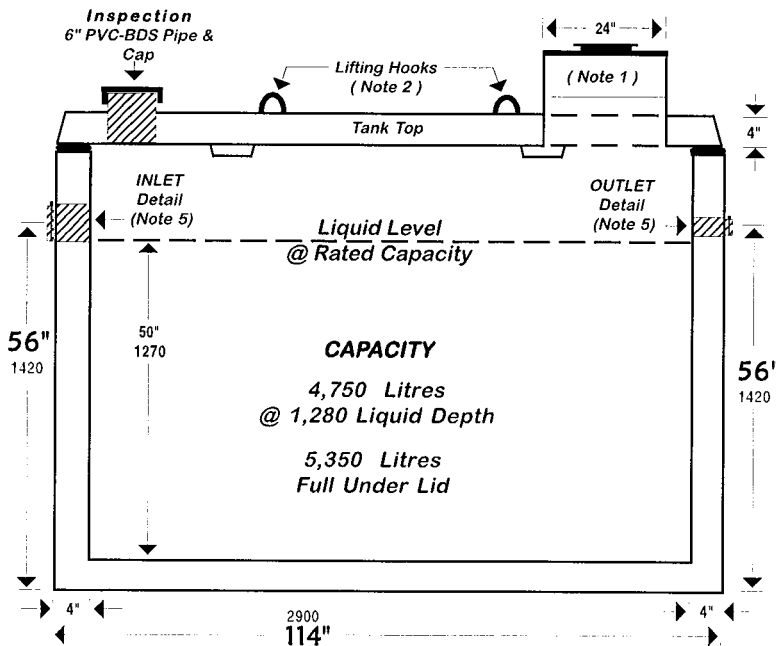
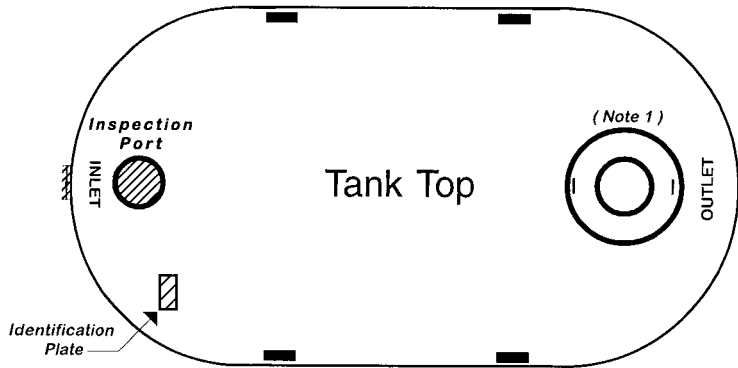
1a) **PolyLok Riser** ( 24" dia., plastic ) comprised of one section cast-in place and 2nd (upper) section assembled with Gasket & SS screws.

1b) For **At or Above Grade** riser installation, additional 6" or 12" high riser sections c/w Gasket & SS screws may be added to suit.

1c) **PolyLok Access Lid w/Carbon Vent** fastened to upper riser section with gasket & stainless hex head self - tappers. Lifting handles (2) are recessed into lid surface.

1d) "**DANGER**" **Warning Label** (English & French) is shown on lid surface.

2) 3/8" galvanized wire rope lifting hooks embedded vertically 24" down into side walls, extending 4" above top surface.

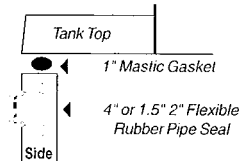


- 3) Steel Reinforcing as follows:  
 Top, Bottom & Sides ..... 10 mm
- 4a) Cement is Portland Type 10 &/or 30 unless noted otherwise. .
- 4b) Minimum 28-day Concrete Strength: 32 MPa
- 4c) "NON-SUL". Not suitable for sulphate soils
- 4d) Concrete Water-to-Cement Ratio 0.45:1 or less
- 5) Detail view showing typical Top - Side interface with use of mastic gasket & flexible pipe seal. Inlet / outlet positions sized per 4"DWV @ inlet & combination 1.5" x 2" DWV @ outlet.

- 6a) Max. Design Burial Depth (cover) .....1000 mm
- 6b) "AGINP" Above ground installation not permitted
- 6c) Not intended for use in areas of vehicular traffic loading.

www.winonaconcrete.com

**DRY WEIGHT 10,300 POUNDS**



PC47EP-PL20 2013.07



**E3 Laboratories Inc.**

SS#4, 360 York Rd., Unit 10, Niagara-on-the-Lake, Ontario L0S 1J0

Email: info@e3labs.ca

Tel: (905) 641-9000, Fax: (905) 641-9001

**CERTIFICATE OF ANALYSIS**

Alpha Excavation & Contracting Inc.  
Olivia Arstall  
1431 Wilson St. W.  
Ancaster  
LOR 1R0  
Tel: 905-304-7114

Fax:  
**Email: office@alphaex.ca**

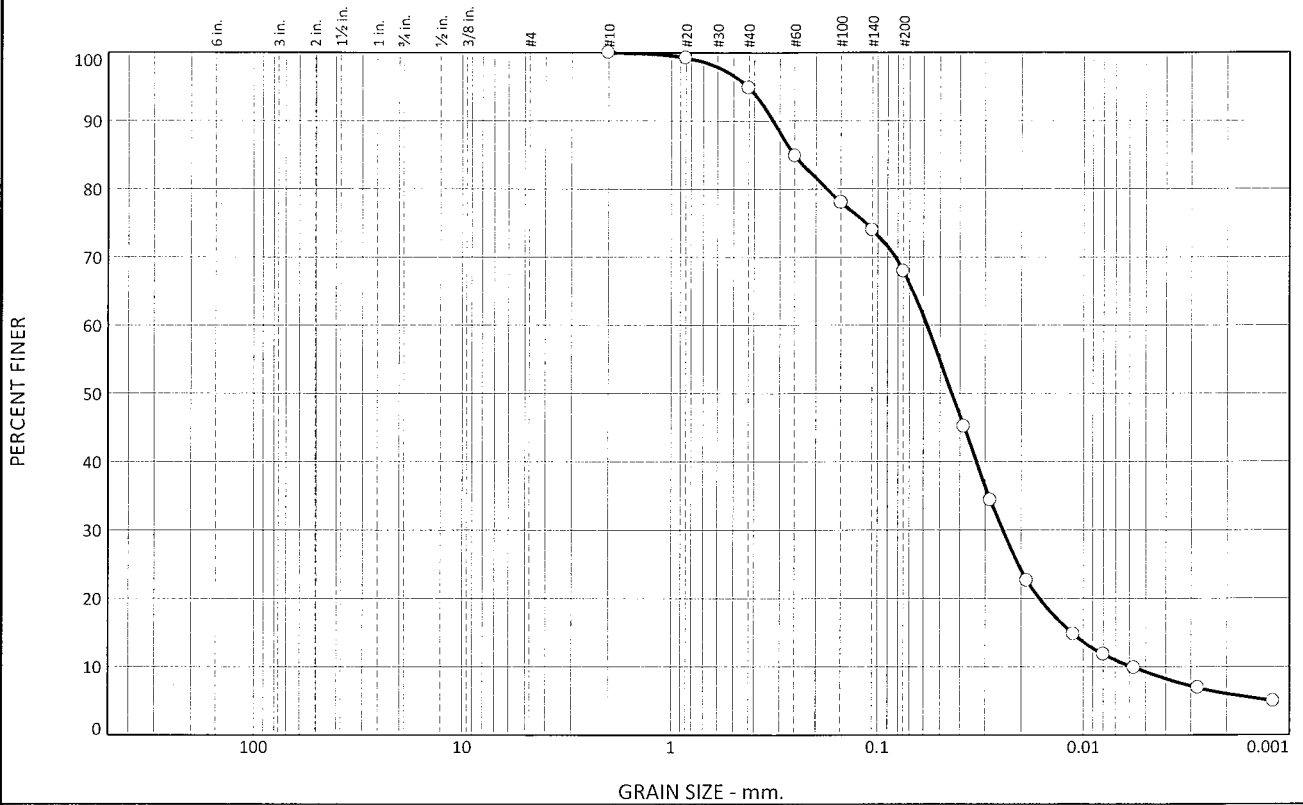
Work Order No.:2657397  
Received : 2024-03-04  
PO Number:  
Reported: 2024-03-15  
Project Name:  
Chain of Custody No.: 2657397

Client Sample ID	Sample			Result	Unit	RDL	Date	
	Date	Lab ID	Parameter				Analyzed	Method
360 Book Rd West Ancaste	2024-03-01	788242	T Time	See	Attached		2024-03-07	Subcontracted

Reported by:

\_\_\_\_\_  
Nilou Ghazi, Ph.D.,P.Eng.  
Laboratory Manager

# Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	0.0	0.0	5.1	27.0	61.9	6.0

SIEVE SIZE OR DIAMETER	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
2mm	100.0		
0.850mm	99.2		
0.425mm	94.9		
0.250mm	84.9		
0.150mm	78.0		
0.106mm	74.0		
0.075mm	67.9		
0.0382 mm.	45.1		
0.0283 mm.	34.4		
0.0188 mm.	22.6		
0.0112 mm.	14.7		
0.0080 mm.	11.8		
0.0057 mm.	9.8		
0.0028 mm.	6.9		
0.0012 mm.	4.9		

**Soil Description**

**Atterberg Limits**  
 PL= \_\_\_\_\_ LL= \_\_\_\_\_ PI= \_\_\_\_\_

**Coefficients**  
 D<sub>90</sub>= 0.3243 D<sub>85</sub>= 0.2518 D<sub>60</sub>= 0.0578  
 D<sub>50</sub>= 0.0437 D<sub>30</sub>= 0.0247 D<sub>15</sub>= 0.0114  
 D<sub>10</sub>= 0.0059 C<sub>u</sub>= 9.81 C<sub>c</sub>= 1.79

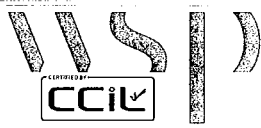
**Classification**  
 USCS= \_\_\_\_\_ AASHTO= \_\_\_\_\_

**Remarks**

\* (no specification provided)

**Location:** 360 Book Rd West, Ancaster (Front)  
**Sample Number:** R24-30(F#788242)

**Date:** Mar 07, 2024



**Client:** E3 Laboratories Inc  
**Project:** Soil Lab Testing Galaxy

**Project No:** CA0016612.3265

**Figure**

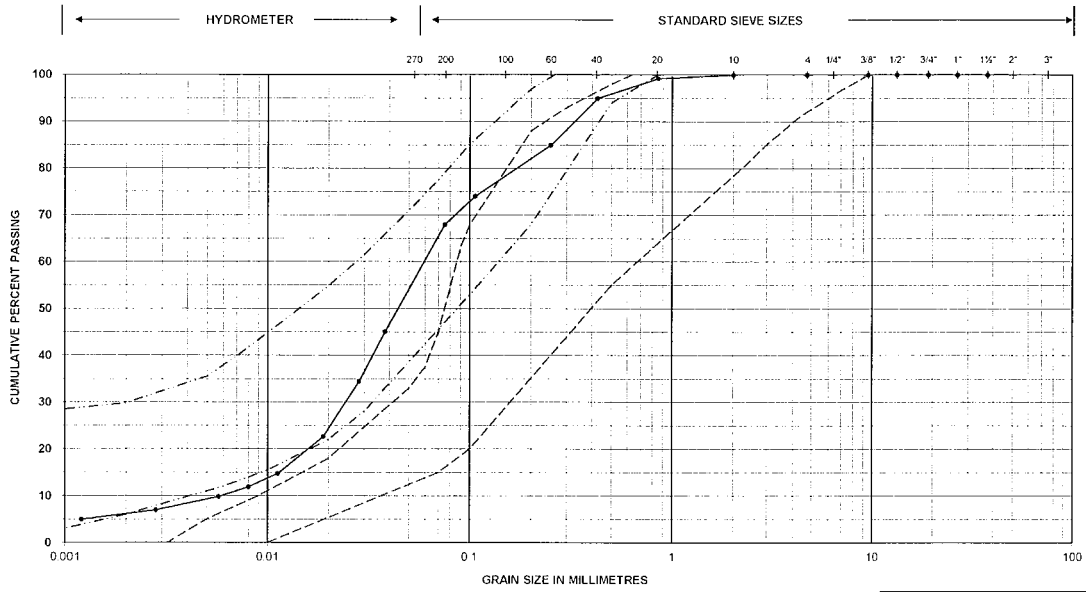
**Tested By:** Cassandra / Pavithra

**Checked By:** Harun Rashid





# PARTICLE SIZE DISTRIBUTION 1.S702/ASTM D422



Unified Classification System

SILT AND CLAY	SAND	GRAVEL
---------------	------	--------

GRAVEL	0 %
SAND	32 %
SILT	62 %
CLAY	6 %

..... sm envelope T = 8 - 20 min/cm

----- ml envelope T = 20 - 50 min/cm

Estimated T = 35 min/cm

Project Name:	E3 Laboratories	Project No.:	CA0016612.3265
Location ID.:	360 Book Rd	Sample No./Depth:	E3#788242

Sieve Size	% Passing Coarse	Sieve Size	% Passing Fine	Hydrometer (mm)	% Passing
37.5 mm	100.0	2.00 mm	100.00	0.038	45.1
26.5 mm	100.0	0.850 mm	99.2	0.019	22.6
19.0 mm	100.0	0.425 mm	94.9	0.008	11.8
13.2 mm	100.0	0.250 mm	84.9	0.003	6.9
9.50 mm	100.0	0.106 mm	74.0	0.001	4.9
4.75 mm	100.0	0.075 mm	67.9		

Note: More information is available upon request

Tested by Cassandra Meade Reviewed by Harun Rashid Date 7-Mar-24

I



**CRYSTALFLOW**

566 Enfield Rd  
Burlington, ON  
L7T 2X5

WWW.CRYSTALFLOW.COM  
(905) 637-2876  
email: info@crystalflow.com

## Well report

Date: Mar 25, 2024

Client: Jacquie Gale

Address: 360 Book Rd W

### Well Information:

Well Type: Bored with 36" ID concrete casing      Total Depth: 62.6 feet

Static level: 4.6 feet

Well Yield: 2.0 GPM

### Well Test:

The well was pumped using the existing well equipment for the duration of 90 minutes. The flow rate of the water being pumped was 7.2 Gallons per minute.

The well recovery rate was then observed for 60 minutes following the pump down.

Based on the observed pump down and recovery test the well produces approximately 2.0 US Gallons Per Minute.

This is consistent with other wells in the area.

The well volume is 53 gallons per foot with 58 feet of water when the water level is at static. (53 x 58 = 3074 gallons of holding capacity)

Inspected by,

Tyler Harrison - Class 1 and 4 MOE Well Technician License #T-4820

Crystalflow - MOE Well Contractor License #7325



Hamilton

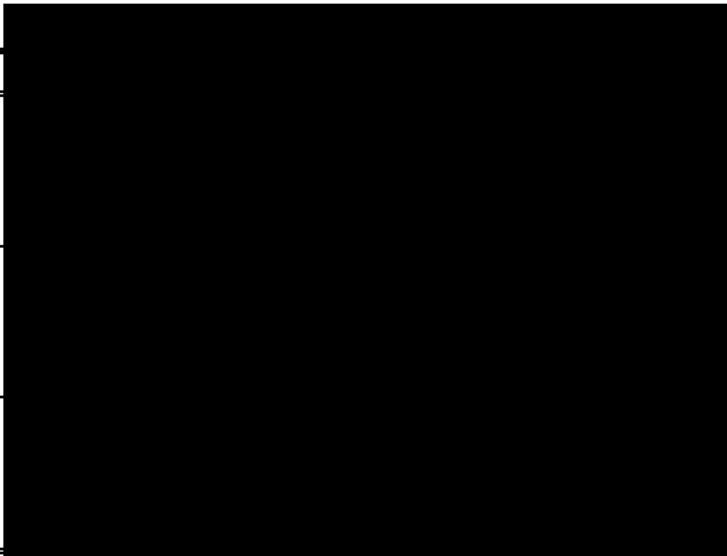
Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME
<b>Registered Owners(s)</b>	Andrew Gale
<b>Applicant(s)</b>	Arcadis Professional Services (Canada) Inc. (Co Mike Crough)
<b>Agent or Solicitor</b>	Arcadis Professional Services (Canada) Inc. (Mike Crough)



1.2 Primary contact  Applicant  Owner  Agent/Solicitor

1.3 Sign should be sent to  Applicant  Owner  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type  In person  Credit over phone\*  Cheque

\*Must provide number above

## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	360 Book Road West, Hamilton		
Assessment Roll Number			
Former Municipality	Ancaster		
Lot	39	Concession	5
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

## 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To permit a minimum lot area of 0.33 ha, maximum height of 6.2 m for the additional dwelling unit, and minimum distance of 4.8 m between the rear wall of the principal dwelling and the detached additional dwelling unit. Please see the Minor Variance letter included in this submission for more details.

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The proposed additional dwelling unit is located in the loft of the existing barn. The required minor variances have been requested to permit the development of the dwelling unit. Please see the Minor Variance letter included in this submission for more details.

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
60.96 m	54.25 m	0.33 ha	7± m

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing: **See Concept Plan**

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Detached Dwelling	25.08 m	17.58 m	6.34 m	
Barn Structure	39.44 m	6.04 m	20.35 m, 28.30 m	
3 Accessory Sheds	32.27 m, 38.68 m, 45.37 m	19.61 m, 11.22 m, 5.16 m	16.10 m, 11.51 m, 5.79 m	
2 Quonset Huts	22.34 m	3.10 m	0.86 m, 3.48 m	

Proposed: **See Concept Plan- No setback changes to Barn Structure**

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Barn Structure with ADU	39.44 m	6.04 m	20.35 m, 28.30 m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing: **See Concept Plan**

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Detached Dwelling		204.39 sqm	2	
Barn Structure	76.38 sqm	169.52 sqm	2	6.01 m
3 Accessory Sheds				
2 Quonset Huts				

Proposed: **See Concept Plan**

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Barn Structure with ADU	76.38 sqm	169.52 sqm	2	6.01 m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
  - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
  - swales

- ditches
- other means (specify)



4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year \_\_\_\_\_

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

The subject lands will maintain its land use (residential) with the additional dwelling unit.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

The adjacent property uses are agricultural, residential, and conservation/natural heritage.

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

The lands were acquired on October 30, 2023

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Unknown

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

Unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Agriculture

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) \_\_\_\_\_

Please provide an explanation of how the application conforms with the Official Plan.

Supports the preservation of agricultural lands, while providing diverse housing options through the additional dwelling unit. The subject lands will be privately serviced as identified in supporting information provided with the application.

7.6 What is the existing zoning of the subject land? Agriculture (A1)

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: \_\_\_\_\_

---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: \_\_\_\_\_

## **8 ADDITIONAL INFORMATION**

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 2

8.3 Additional Information (please include separate sheet if needed):

Please see the other materials completed as part of this submission.

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
- 
-