



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:178	SUBJECT PROPERTY:	378 East 25th Street, Hamilton
ZONE:	R1 (Low Density Residential)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended

APPLICANTS: Owner: Tyrio Industries Inc. c/o Dennis Tyler
Agent: A.J Clarke and Associates Ltd

The following variances are requested:

1. A minimum lot width of 8.6 metres shall be provided instead of the minimum required lot width of 9.0 metres.
2. Zero (0) parking spaces shall be provided instead of the minimum required 1 parking space per semi-detached dwelling.
3. A driveway width of 65% of the lot width shall be provided on a lot without an attached garage instead of the maximum driveway width of 50% of the lot width or 8.0 metres whichever is greater.
4. Two (2) Additional Dwelling Units within a semi-detached dwelling unit shall be permitted instead of the maximum permitted one additional dwelling unit.

PURPOSE & EFFECT: To permit two new semi-detached dwellings each with two additional dwelling units, resulting in 3 total units per lot.

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, September 10, 2024
TIME:	1:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon September 6, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon September 9, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:178, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: August 22, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

378 East 25th Street Infill Housing

378 E 25th St
Hamilton, ON L8V 3B1

D P A I

Design Partners in
Architecture and Interiors

25 MAIN STREET WEST, HAMILTON,
ONTARIO, CANADA L8P 1H1
T: 905-522-0220

PROJECT #:

12315

PROJECT ISSUE STATUS:

Minor Variance

PROJECT ISSUE DATE:

07/17/24

D P A I

Design Partners in
Architecture and Interiors

Architect
DP AI Architecture Inc.
25 Main Street West
Hamilton, Ontario L8P 1H1 Canada
T: (905) 522-0220

Structural Engineer
ParkEight Inc
6 Market St. N
Dundas, Ontario L9H 2Y1
T: (905) 912 0278

MCCALLUM
HVAC DESIGN INC
design excellence with on time delivery

Mechanical Engineer
McCallum HVAC Design Inc.
2 Dewside Drive Unit 208
Brampton, Ontario L6R 3Y5
T: (905) 840-8166

ARCHITECTURAL	
DWG #	DRAWING TITLE
000	GENERAL INFORMATION
A00.00	COVER SHEET
A00.01	CONSULTANT INFORMATION & DRAWING INDEX
A00.02	GENERAL NOTES, ABBREVIATIONS, SYMBOLS & MATERIAL DESIGNATIONS
A00.20	CONSTRUCTION ASSEMBLY MATRIX - EXTERIOR ENVELOPE
A00.21	CONSTRUCTION ASSEMBLY MATRIX - INTERIOR
A00.22	FIRE & LIFE SAFETY PLANS
A00.023	FIRE & LIFE SAFETY SECTIONS
100	SITE PLAN
A01.01	SITE DEMOLITION PLAN
A01.02	SITE PLAN AND SITE STATISTICS
300	PLAN VIEWS - PROPOSED
A03.01	LEVEL 01 - FLOOR PLAN
A03.02	LEVEL 02 - FLOOR PLAN
A03.03	LEVEL 03 - FLOOR PLAN
A03.04	FOUNDATION PLAN
A03.09	ROOF PLAN
400	BUILDING ELEVATIONS
A04.00	EXTERIOR ELEVATIONS
A04.01	EXTERIOR ELEVATIONS
A04.02	EXTERIOR ELEVATIONS
A04.03	EXTERIOR ELEVATIONS
500	BUILDING SECTIONS
A05.00	BUILDING SECTIONS
A05.01	BUILDING SECTIONS
A05.10	WALL SECTIONS
600	EXTERIOR DETAILS
A06.01	3D FAÇADE DETAILS
700	VERTICAL CIRCULATION
A07.00	VERTICAL CIRCULATION DETAIL PART PLANS
900	SCHEDULES
A09.00	DOOR SCHEDULE
A09.01	DOOR SCHEDULE

ARCHITECTURAL	
DWG #	DRAWING TITLE

STRUCTURAL	
DWG #	DRAWING TITLE
S00.02	MANUFACTURER ICF DETAILS (FOR REFERENCE ONLY)

MECHANICAL	
DWG #	DRAWING TITLE
M1	MECH DRAWINGS
M2	MECH DRAWINGS
M3	MECH DRAWINGS



378 East 25th Street Infill Housing
378 E. 25th St
Hamilton, ON L8V 3B1

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25 Main Street West, Hamilton, Ontario, Canada L8P 1H1
T: 905-522-0220

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SEALS

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B	Issued for Coordination	04/17/24
A	Issued for Coordination	02/04/24

NO.	ISSUES/REVISIONS	DATE

DRAWING TITLE:

CONSULTANT
INFORMATION & DRAWING
INDEX

ISSUE DATE: 07/17/24

DRAWN BY: DS CHECKED BY: SM

PROJECT NO.: 12315 SCALE:

DRAWING NO.: REVISION:

A00.01 **E**

ABBREVIATION LIST	
ABBREV.	WORD
A	
AND	AND
AT	AT
A.F.F	ABOVE FINISH FLOOR
AL	ALUMINIUM
ARCH	ARCHITECTURAL
ATC	ACOUSTIC TILE CEILING
AUTO	AUTOMATIC
B	
B.O	BOTTOM OF
BWB	BETWEEN
BAB	ROOF ANCHOR - BOLT AROUND BEAM
BD	BOARD
BF	BARRIER FREE
BIT	BITUMINOUS
BLDG	BUILDING
BLKG	BLOCKING
BS	BLACK-OUT WINDOW SHADE
C	
C.B.U	CONCRETE BLOCK UNIT
C.L.	CENTERLINE
C.M.U	CONCRETE MASONRY UNIT
CW	COMPLETE WITH
CA ITEM	CASH ALLOWANCE ITEM
CAB	CABINET
CHAN	CHANNEL
CL	CLOSET
CLG	CEILING
CNTR	COUNTER
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CPT	CARPET
CR	CARD READER
CT	CERAMIC FLOOR TILE
CTB	CERAMIC TILE BASE
CWT	CERAMIC WALL TILE
D	
D.F	DRINKING FOUNTAIN
D.O	DOOR OPERATOR
DET	DETAIL
DIA	DIAMETER
DM	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DWG	DRAWING
DWR	DRAWER
E	
E	EAST
E.W	EACH WAY
EFG	ENTRANCE FLOOR GRILLE
EL	ELEVATION
ELECT	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
ENTR	ENTRANCE ENTRY
EQ	EQUAL
EQUIP	EQUIPMENT
ES	ELECTRIC STRIKE
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
F	
F.A	FIRE ALARM

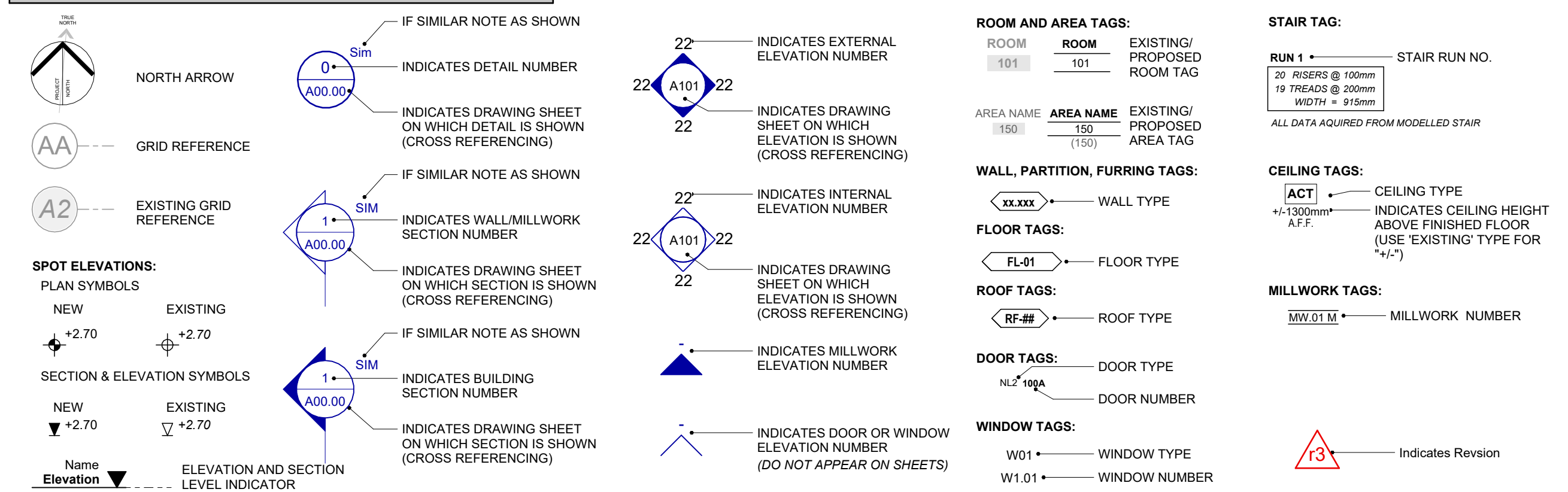
ABBREVIATION LIST	
ABBREV.	WORD
FAPS	FIRE ALARM PULL STATION
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
FIN	FINISH
FLR	FLOOR
FRR	FIRE RESISTANCE RATING
FRS	FIRE ROUTE SIGN
FT	FEET FOOT
FTG	FOOTING
G	
G.W.B	GYPSSUM WALL BOARD
GA	GAUGE
GALV	GALVANIZED
GL	GLAZING
GND	GROUND
GR	GRADE
GYP	GYPSSUM BOARD
H	
H.S.P	HOSE STAND PIPE
H.V.A.C	HEATING, VENTILATION, AIR CONDITIONING
HB	HOSE BIB
HD	HAND DRIVER
HDA	HEAVY DUTY ASPHALT
HDW	HARDWARE
HLR	HORIZONTAL LIFELINE FALL PROTECTION SYSTEM - ROOF MOUNTED
HLW	HORIZONTAL LIFELINE FALL PROTECTION SYSTEM - WALL MOUNTED
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
I	
I.D	INSIDE DIAMETER
IN	INCH INCHES
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
J	
J.C	JANITOR CLOSET
JT	JOINT
K	
K.P	KICK PLATE
L	
L.F	LINEAR FOOT
L.H	LEFT HAND
L.P	LOW POINT
LAM	LAMINATE
LAV	LAVATORY
LDA	LIGHT DUTY ASPHALT
LINO	LINOLEUM
LKR	LOCKER
LNT	LINTEL
LRG	LARGE
LVL	LEVEL
LVR	LOUVER
LVR.O	LOUVER OPENING
M	
M	METER
M.O	MASONRY OPENING
M.P	METAL PLATE
MAINT	MAINTENANCE
MAS	MASONRY

ABBREVIATION LIST	
ABBREV.	WORD
MAX	MAXIMUM
MECH	MECHANICAL
MED	MEDIUM
MFG	MANUFACTURING
MFR	MANUFACTURER
MI	MIRROR
MIN	MINIMUM
MISC	MISCELLANEOUS
MM	MILLIMETER
MTC COORD	MULTIPLE TRADE COORDINATION REQUIRED
MTD	MOUNTED
MTL	METAL
MWLLBD(L)	MURPHY WALL BED - LATERAL
MWLLBD(V)	MURPHY WALLBED - VERTICAL
N	
N	NORTH
N.S	NON-SLIP
N.T.S	NOT TO SCALE
NFWH	NON-FREEZE WALL HYDRANT
NIC	NOT IN CONTACT
NO	NUMBER
O	
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.H.	OVERHEAD
OPG	OPENING
OPP.	OPPOSITE
ORN.	ORNAMENTAL
OZ.	OUNCE
P	
P.B.	PUSH BUTTON
P.C.	PRECAST
P.P.	PUSH PLATE
P.T.D.	PAPER TOWEL DISPENSER
PAR.	PARALLEL
PART	PARTITION
PER.	PERIMETER
PERP.	PERPENDICULAR
PL.	PLATE
PLAM.	PLASTIC LAMINATE
PLF.	PLATEFORM
PNL.	PANEL
PNT	PAINT
PR.	PAIR
PREFAB	PREFABRICATED
PRFN	PRE-FINISHED
PT	PORCELAIN TILE
PTL	PUSH TO LOCK
PVC.	POLYVINYLCHLORIDE
Q	
QTR.	QUARTER
QTY.	QUANTITY
R	
R.	RADIUS
R.D.	ROOF DRAIN
R.H.	RIGHT HAND
R.O.	ROUGH OPENING
R.W.	RAIN WATER
RCA	REINFORCED CONCRETE APRON
REF.	REFRIGERATOR
REQ'D	REQUIRED
RES.	RESIDENTIAL
REX	REQUEST TO EXIT
RM.	ROOM
RSL	RESILIENT
S	

ABBREVIATION LIST	
ABBREV.	WORD
S.	SOUTH
S.C.S.	SOLID CORE STEEL
S.C.W.	SOLID CORE WOOD
S.M.	SHEET METAL
S.N.D.	SANITARY NAPKIN DISPENSER
S.P.	STEEL PLATE
S.S.	STAINLESS STEEL
S.SK.	SERVICE SINK
S.T.C.	SOUND TRANSMISSION CLASS
SC(O)T	SCUPPER - OVERFLOW TYPE
SCHED.	SCHEDULE
SQ.	SQUARE
SECT.	SECTION
SER.	SERVICE
SH.	SHOWER
SHLV.	SHELVEING
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.FT.	SQUARE FEET, SQUARE FOOT
SSUR	SOLID SURFACING (MATERIAL)
SSUR(IS)	SOLID SURFACE (MATERIAL) FOR ISLAND COUNTERTOPS
SSUR(W)	SOLID SURFACE (MATERIAL) FOR WINDOW SILLS
STA.	STANDARD
STD.	STATION
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYS.	SYSTEM
T	
T.&G.	TONGUE AND GROVE
T.T.D.	TOILET TISSUE DISPENSER
T.T.H.	TOILET TISSUE HOLDER
T/O	TOP OF
TEL.	TELEPHONE
TEMP.	TEMPERATURE
THR.	THRESHOLD
THRU.	THROUGH
TOWM	TOILET - FLOOR MOUNTED
TOWM	TOILET - WALL MOUNTED
TV.	TELEVISION
TYP.	TYPICAL
U	
U.L.C.	UNDERWRITERS' LABORATORIES CANADA
U.N.O.	UNLESS NOTED OTHERWISE
U.O.S.	UNLESS OTHERWISE SPECIFIED
U.S.S.	UNDER SIDE OF STRUCTURE
UNFIN.	UNFINISHED
UR.	URINAL
V	
V.C.T.	VINYL COMPOSITE TILE
V.P.	VENT PIPE
VEST.	VESTIBULE
VIF.	VERIFY
W	
W.	WEST
W.C.	WATER CLOSET
W.M.	WIRE MESH
W.O.	WINDOW OPENING
W.W.F.	WELDED WIRE FABRIC
W/	WITH
WO	WITHOUT
WD.	WOOD
WRGGB	WATER RESISTENT GYPSSUM BACKING BOARD
WS	WINDOW SHADE
WT	WALL TILE

ONTARIO BUILDING CODE DATA MATRIX							
PART 9 - HOUSING AND SMALL BUILDINGS							
Name of Practice		DPAI Architecture Inc.		Name of Project		378 East 25th St	
Address 1		25 Main Street West, Suite 1800		Location/Address		378 East 25th St	
Address 2		Hamilton, ON L8P 1H1				Hamilton, ON L8V 3B1	
Contact		David Premi		Date		2024-07-16	
O.Reg. 332/12		New Construction		O.Reg. 762/20		AMENDMENT	
9.00 BUILDING CODE VERSION		9.01 PROJECT TYPE		9.02 MAJOR OCCUPANCY CLASSIFICATION		9.10.2.	
				C Residential		Residence	
9.03 SUPERIMPOSED MAJOR OCCUPANCIES		NO				9.10.2.3.	
9.04 BUILDING AREA (m²)		DESCRIPTION		EXISTING		NEW	
		Residence		0		130	
		TOTAL		0		130	
9.05 GROSS AREA (m²)		DESCRIPTION		EXISTING		NEW	
		Level 1		0		130	
		Level 2		0		130	
		Level 3		0		130	
		TOTAL		0		390	
9.06 MEZZANINE AREA (m²)		DESCRIPTION		EXISTING		NEW	
		N/A		0		0	
		TOTAL		0		0	
9.07 BUILDING HEIGHT		STOREYS ABOVE GRADE		STOREYS BELOW GRADE		(m) ABOVE GRADE	
		3		0		10.5	
						[A] 1.4.1.2. & 9.10.4.	
9.08 NUMBER OF STREETS/ FIREFIGHTER ACCESS		1		STREET(S)		9.10.20.	
9.09 SPRINKLER SYSTEM		Not Required		DESCRIBE		PROVIDED: None	
						9.10.8.2.4. & 3.2.4.8.(4)	
9.10 FIRE ALARM SYSTEM		Not Required		TYPE		N/A	
						9.10.18. & 3.2.4.1.3.(b)	
9.11 WATER SERVICE/ SUPPLY IS ADEQUATE		Yes				9.31.3.	
9.12 CONSTRUCTION TYPE		RESTRICTIONS ACTUAL		Combustible Permitted		HEAVY TIMBER CONSTRUCTION	
						NO	
						9.10.6. 3.1.5. & 3.1.4.7.	
9.13 POST DISASTER BUILDING		No				[A] 1.1.2.2.(2) & Part 4	
9.14 OCCUPANT LOAD		FLOOR LEVEL / AREA		OCCUPANCY TYPE		BASED ON OCCUPANT LOAD (PERSONS)	
		Level 1		C		No. of sleeping rooms	
		Level 2		C		No. of sleeping rooms	
		Level 3		C		No. of sleeping rooms	
		TOTAL				18	
		DESCRIBE		Two persons per sleeping room or sleeping area in a dwelling unit or suite		9.9.1.3. Table 3.1.17.1.	
9.15 BARRIER-FREE DESIGN		No		N/A		9.5.2 & 3.8	
9.16 HAZARDOUS SUBSTANCES		No		N/A		9.10.1.3.	
9.17 REQUIRED FIRE RESISTANCE RATINGS		HORIZONTAL ASSEMBLY		RATING (H)		SUPPORTING ASSEMBLY (H)	
		FLOORS OVER BSMT		45m		45m	
		FLOORS		45m		45m	
		MEZZANINE		45m		45m	
		ROOF		N/A		N/A	
		NOTES		Per Table 9.10.8.1.(1), Per 3.2.2.47.(3), floors within dwelling units are required to be fire resistance rated, but not act as fire separations.		9.10.8.1.(1) & 9.10.8.10	
9.18 SPATIAL SEPARATION		WALL		E.B.F AREA (m²)		U.P.O AREA (m²)	
		North		186.00		11.88	
		East		71.72		14.40	
		South		-		-	
		West		67.45		13.72	
		L.D. (m)		1.50		7.90	
		L/H OR H/L		Less than 3:1		Less than 3:1	
		Permitted Max % of Openings		7.00%		40.00%	
		Proposed % of Openings		6.39%		20.08%	
		WALL		REQUIRE D FRR (H)		LISTED DESIGN OR DESCRIPTION	
		North		1 Hour		CANULC-S101 Design No. OBS/ICF 240-01 Cladding: DSC/WE/FS 15-01	
		East		45 min		CANULC-S101 Design No. OBS/ICF 240-01	
		South		-		N/A	
		West		45 min		CANULC-S101 Design No. OBS/ICF 240-01	
		CONSTRUCTION TYPE		Noncombustible Req'd		Noncombustible Req'd	
		Cladding Type		Combustible Permitted		Combustible Permitted	
9.19 NOTES		Building is not sprinklered.		OBC 3.2.2.47. Group C: Up to 3 Storeys			

GRAPHIC SYMBOLS



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378 E. 25th St
Hamilton, ON L8V 3B1



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Architecture and Interiors

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T: 905-522-0220

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A	Issued for Coordination	02/04/24

NO.	ISSUES/REVISIONS	DATE
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DRAWING TITLE:
GENERAL NOTES, ABBREVIATIONS, SYMBOLS & MATERIAL DESIGNATIONS

ISSUE DATE:	07/17/24
DRAWN BY:	DS
CHECKED BY:	SM
PROJECT NO.:	12315
SCALE:	1 : 1
DRAWING NO.:	
REVISION:	

A00.02 E

ASSEMBLIES - EXTERIOR WALLS

X-I-1		WIDTH	R-VALUE	N/A	FIRE RATING	3H
		310.4	R-VALUE CI MIN.	N/A	STC RATING	50
		ULC / OBC	CAN/ULC-S101	Design No. OBS/ICF 240-01		
EXT	INT	EXTERIOR 311mm QUAD-LOCK ULTRA-PANEL W/ 6" CONCRETE CORE (REFER TO STRUCTURAL) 13mm GYPSUM WALL BOARD (WHERE EXPOSED TO INTERIOR) (REFER TO PLAN) INTERIOR ASSEMBLY SHALL BE BUILT TO US OF STRUCTURE (UNLESS NOTED ELSEWHERE) ASSEMBLY SHALL BE BUILT AS A FIRE SEPARATION WHERE INDICATED				

X-I-1E		WIDTH	R-VALUE	52	FIRE RATING	3H
		426.7	R-VALUE CI MIN.	N/A	STC RATING	N/A
		ULC / OBC	CAN/ULC-S101	Design No. OBS/ICF 240-01		
EXT	INT	EXTERIOR 1.6mm EIFS FINISH C/W BASE COAT 1.6mm EIFS REINFORCING MESH EMBEDDED IN BASE COAT 101mm EPS INSULATION BOARD ADHERED W/ ADHESIVE 311mm QUAD-LOCK ULTRA-PANEL W/ 6" CONCRETE CORE (REFER TO STRUCTURAL) 13mm GYPSUM WALL BOARD (WHERE EXPOSED TO INTERIOR) INTERIOR ASSEMBLY SHALL BE BUILT AS A FIRE SEPARATION WHERE INDICATED				

X-I-1W		WIDTH	R-VALUE	32	FIRE RATING	3H
		347.1	R-VALUE CI MIN.	N/A	STC RATING	N/A
		ULC / OBC	CAN/ULC-S101	Design No. OBS/ICF 240-01		
EXT	INT	EXTERIOR 19mm THERMALWOOD SIDING 25mm GRAD CLIP SYSTEM ON 1x4" STRAPPING 311mm QUAD-LOCK ULTRA-PANEL W/ 6" CONCRETE CORE (REFER TO STRUCTURAL) 13mm GYPSUM WALL BOARD (WHERE EXPOSED TO INTERIOR) INTERIOR ASSEMBLY SHALL BE BUILT AS A FIRE SEPARATION WHERE INDICATED				

X-I-2		WIDTH	R-VALUE	N/A	FIRE RATING	4H
		386.6	R-VALUE CI MIN.	N/A	STC RATING	50
		ULC / OBC	CAN/ULC-S101	Design No. OBS/ICF 240-01		
EXT	INT	EXTERIOR 13mm GYPSUM WALL BOARD (WHERE EXPOSED TO INTERIOR) 203mm QUAD-LOCK ULTRA-PANEL W/ 6" CONCRETE CORE (REFER TO STRUCTURAL) 13mm GYPSUM WALL BOARD (WHERE EXPOSED TO INTERIOR) INTERIOR ASSEMBLY SHALL BE BUILT TO US OF STRUCTURE (UNLESS NOTED ELSEWHERE) ASSEMBLY SHALL BE BUILT AS A FIRE SEPARATION WHERE INDICATED				

PAR-1		WIDTH	R-VALUE	33	FIRE RATING	N/A
		323.1	R-VALUE CI MIN.	N/A	STC RATING	N/A
		ULC / OBC	N/A			
EXT	INT	EXTERIOR 1.6mm EIFS FINISH C/W BASE COAT 1.6mm EIFS REINFORCING MESH EMBEDDED IN BASE COAT 101mm EPS INSULATION BOARD ADHERED W/ ADHESIVE 311mm QUAD-LOCK ULTRA-PANEL W/ 6" CONCRETE CORE (REFER TO STRUCTURAL) 13mm SHEATHING BLOCKING SLOPED TO ROOF 25mm EIFS FINISH WRAPPED AROUND CAP INTERIOR				

PAR-2		WIDTH	R-VALUE	33	FIRE RATING	N/A
		323.4	R-VALUE CI MIN.	N/A	STC RATING	N/A
		ULC / OBC	N/A			
EXT	INT	EXTERIOR 19mm THERMALWOOD SIDING 25mm GRAD CLIP SYSTEM ON 1x4" STRAPPING 311mm QUAD-LOCK ULTRA-PANEL W/ 6" CONCRETE CORE 19mm SHEATHING METAL CAP FLASHING INTERIOR				

X-I-4		WIDTH	R-VALUE	N/A	FIRE RATING	
		285.45	R-VALUE CI MIN.	N/A	STC RATING	
		ULC / OBC				
EXT	INT	EXTERIOR 260mm QUAD-LOCK REGULAR-PANEL W/ 146mm CONCRETE CORE 13mm GYPSUM WALL BOARD (WHERE EXPOSED TO INTERIOR) INTERIOR ASSEMBLY SHALL BE BUILT TO US OF STRUCTURE (UNLESS NOTED ELSEWHERE) ASSEMBLY SHALL BE BUILT AS A FIRE SEPARATION WHERE INDICATED				

ASSEMBLIES - FLOORS

SG-Ci-100		TYPE	INSULATED CONCRETE SLAB ON GRADE
		R-VALUE	N/A
		R-VALUE CI MIN.	N/A
		ULC / OBC	N/A
EXT	INT	100mm CONCRETE SLAB ON GRADE - VAPOUR BARRIER 50mm R-10 RIGID INSULATION - HIGH DENSITY - SLAB DAMP-PROOFING & SOIL GAS BARRIER (6 MIL POLYETHYLENE) 200mm COMPACTED GRAVEL	

QD-Ci-76		TYPE	ICF DECK - STC 53
		R-VALUE	43
		R-VALUE CI MIN.	N/A
		ULC / OBC	ACI 216.1 Table 2.1
EXT	INT	76mm LIGHTWEIGHT CONCRETE TOPPING 254mm QUAD-DECK INSULATION PANEL W/ STEEL BEAMS - (SEE STRUCTURAL) 32mm 2 LAYERS 5/8" GYPSUM BOARD	

SG-C-100		TYPE	CONCRETE SLAB ON GRADE
		R-VALUE	N/A
		R-VALUE CI MIN.	N/A
		ULC / OBC	N/A
EXT	INT	100mm CONCRETE SLAB ON GRADE - VAPOUR BARRIER 200mm COMPACTED GRAVEL	

P-SW-1		TYPE	SIDEWALKS
		R-VALUE	N/A
		R-VALUE CI MIN.	N/A
		ULC / OBC	N/A
EXT	INT	150mm CONCRETE - BROOM FINISH 6mil. POLYETHYLENE VAPOUR BARRIER 150mm GRANULAR 'A' COMPACTED	

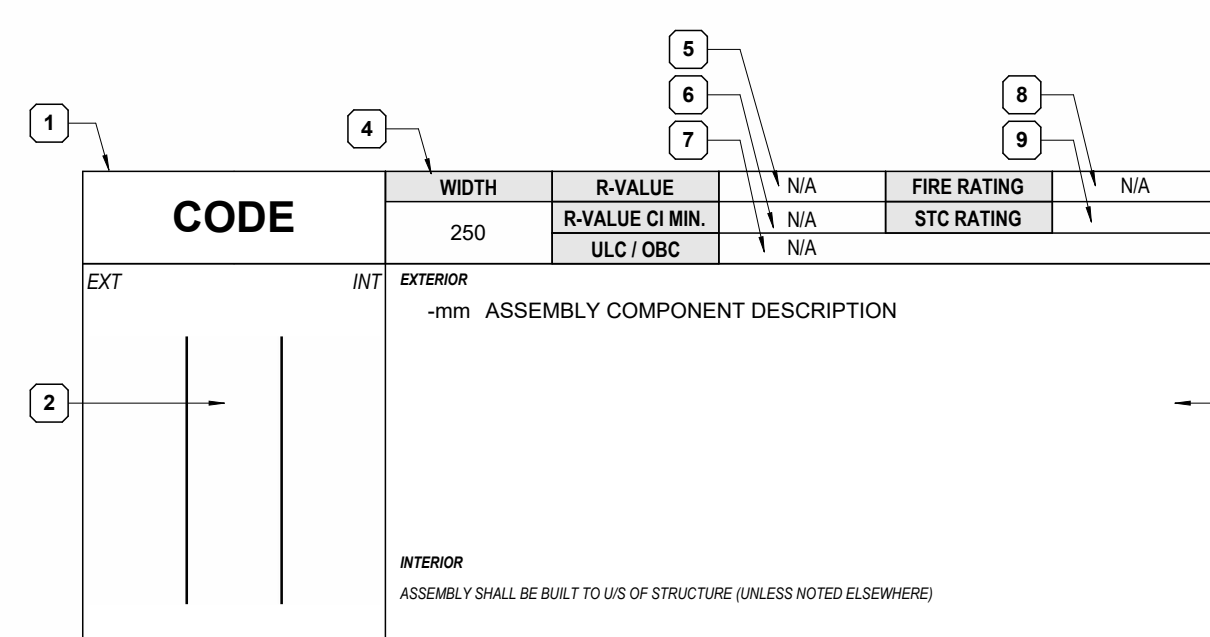
L-SOD		TYPE	SOD
		R-VALUE	N/A
		R-VALUE CI MIN.	N/A
		ULC / OBC	N/A
EXT	INT	- SOD 200mm TOP SOIL	

L-LSS		TYPE	LANDSCAPING BED
		R-VALUE	N/A
		R-VALUE CI MIN.	N/A
		ULC / OBC	N/A
EXT	INT	PLANTING BED - REFER TO LANDSCAPE DRAWINGS FOR DETAILS	

P-LDA		TYPE	LIGHT DUTY ASPHALT
		R-VALUE	N/A
		R-VALUE CI MIN.	N/A
		ULC / OBC	N/A
EXT	INT	- ASPHALT WEAR COURSE - TACK COAT - ASPHALT BASE COURSE - COMPACTED SUBGRADE	

FS-MD-38		TYPE	METAL DECK C/W CONCRETE TOPPING
		R-VALUE	N/A
		R-VALUE CI MIN.	N/A
		ULC / OBC	N/A
EXT	INT	100mm CONCRETE 38mm METAL DECK INCL. IN CONCRETE THICKNESS ABOVE)	

ASSEMBLIES - TYPE CODIFICATION



GENERAL NOTES:

- ASSEMBLY CODE ASSIGNED TO ALL ASSEMBLIES.
- INDICATIVE ASSEMBLY SECTION.
- ASSEMBLY DESCRIPTION, LISTED WITH THICKNESS AND DESCRIPTION OF ASSEMBLY LAYERS, FROM EXTERIOR FACE TO INTERIOR FACE OF ASSEMBLY.
- ASSEMBLY OVERALL WIDTH.
- THE R-VALUES GIVEN INDICATES THE CLEAR-FIELD EFFECTIVE VALUES. THESE ARE THE MINIMUM REQUIRED TO MEET THE PASSIVEHOUSE TARGETS. NOTE THAT THE EFFECTIVE R-VALUE CAN BE LESS THAN THE NOMINAL INSULATION R-VALUE BASED ON THERMAL BRIDGING ASSUMPTIONS. IT COULD ALSO BE MORE, AS IT INCLUDES THERMAL PERFORMANCE OF SUBSEQUENT LAYERS (I.E. AIR CAVITIES, DRYWALL, ETC.).
- MINIMUM R-VALUE OF THE CONTINUOUS INSULATION AS REQUIRED BY OBC.
- ULC LISTING OR OBC CODE REFERENCE FOR SPECIFIED ASSEMBLIES.
- REQUIRED FIRE-RESISTANCE RATING OR OVERALL ASSEMBLY.
- REQUIRED ACOUSTIC PERFORMANCE RATING OF OVERALL ASSEMBLY.

GENERAL NOTES - WALL ASSEMBLIES

- EXTERIOR WALL ASSEMBLIES**
 - THE SPECIFICATIONS, INSTALLATION, AND PERFORMANCE OF AIR BARRIER SYSTEMS AND VAPOUR BARRIERS MUST MEET OR EXCEED DIV. B PART 5 OF THE ONTARIO BUILDING CODE
 - THE REQUIREMENTS FOR AN AIR BARRIER AND A VAPOUR BARRIER ARE INTENDED TO BE PROVIDED AS CONTINUOUS PLANES WITHIN THE BUILDING ENVELOPE. ENSURE CONTINUITY OF AIR AND VAPOUR MEMBRANES BETWEEN COMPONENTS, TO ADJACENT CONSTRUCTION AND AT ALL PENETRATIONS TO PREVENT OR RETARD PASSAGE OF MOISTURE LADEN AIR AND/OR THE DIFFUSION OF WATER VAPOUR.
 - EXTERIOR ASSEMBLIES NOTING STUD FRAMING SHALL BE CONSTRUCTED USING WIND LOAD BEARING FRAMING DESIGNED TO CARRY REQUIRED LATERAL LOADS. PROVIDE ENGINEERED SHOP DRAWING PRIOR TO COMMENCEMENT OF WORK.
- INTERIOR WALL ASSEMBLIES**
 - GENERAL REQUIREMENTS**
 - THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF WORK.
 - PROVIDE LATERAL BRACING AS REQUIRED
 - FURRING TO EXTEND TO 150MM ABOVE FINISHED CEILING OR TO US OF STRUCTURE WHERE NO CEILING EXISTS UNLESS OTHERWISE NOTED. REFER TO REFLECTED CEILING PLANS
 - WHERE INTERIOR DOORS ARE CLOSE TO AN INSIDE CORNER, PROVIDE MIN. 150MM CLEARANCE FROM DOOR JAMB TO ADJACENT WALL AS INDICATED ON DETAIL. TITLED FRAME TYPES
 - PROVIDE STEEL REINFORCING AS REQUIRED IN ALL INTERIOR GLAZED SCREENS (ALUMINUM OR HOLLOW METAL) TO US OF DECK AND/OR FIRE RATED FLOOR ASSEMBLY
 - WALL ACCESS PANELS - WHERE POSSIBLE, ACCESS PANELS IN WALLS TO BE LOCATED ON SIDE WALLS OR IN LOCATION WITH MINIMAL VISUAL IMPACT. ACCESS PANELS TO PAINTED TO MATCH WALL FINISH IN WASHROOMS ACCESS PANELS TO BE GALVANIZED STEEL PAINTED TO MATCH WALL FINISH. ALL ACCESS PANELS TO BE KEYED WITH THE SAME LOCK.
 - LOAD BEARING PARTITIONS (INTERIOR)**
 - WHERE A PARTITION IS A LOAD BEARING WALL, REFER TO THE STRUCTURAL DRAWINGS FOR DESIGN REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF WORK.
 - STEEL STUD FRAMED PARTITIONS (INTERIOR)**
 - ALL PARTITIONS ARE TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
 - PROVIDE DEFLECTION DETAIL AT TOP OF ALL WALLS THAT ABUT UNDERSIDE OF DECK OR STRUCTURE. SEE ALSO TOP OF WALL DETAILS AS INDICATED.
 - WHERE SOUND ATTENUATION BATTS ARE CALLED FOR ON THE WALL TYPE, SEAL PERIMETER OF WALLS AND AROUND PENETRATIONS THROUGH WALLS WITH ACOUSTIC SEALANT. APPLY CONTINUOUS ACOUSTIC SEALANT TO BOTH SIDES OF TRACK AT THE JUNCTIONS WITH FLOORS AND ROOF DECKS, AND AROUND PENETRATIONS TO PARTITIONS. RECESSED OUTLETS ARE TO BE STAGGERED SO THAT ONLY ONE OUTLET IS INSTALLED BETWEEN TWO STUDS.
 - DO NOT FASTEN METAL STUDS TO CURTAIN WALL MULLIONS OR TEE BAR GRIDS.
 - WHERE INTERIOR DOORS ARE CLOSE TO AN INSIDE CORNER, PROVIDE MIN. CLEARANCE FROM DOOR JAMB TO ADJACENT WALL AS INDICATED ON DETAIL.
 - CONTRACTOR SHALL ENSURE STEEL STUD THICKNESS, SIZE AND SPACING IS ADEQUATE FOR THE HEIGHTS OF PARTITIONS INDICATED. CONTRACTOR SHALL PROVIDE BRACING AS REQUIRED.
 - USE WATER RESISTANT GYPSUM WALL BOARD ON ALL WET SIDES OF PARTITIONS.
 - MASONRY PARTITIONS (INTERIOR)**
 - HEIGHT OF CONCRETE MASONRY UNIT WALLS TO BE TO UNDERSIDE OF FLOOR/ROOF DECK ABOVE UNLESS OTHERWISE NOTED.
 - WHERE CONCRETE UNIT MASONRY WALLS ABUT REINFORCED CONCRETE WALLS AND PIERS, RAKE BACK MORTAR JOINT WHERE THE TWO MATERIALS MEET AND PROVIDE CONTINUOUS SEALANT
 - FIRE RATED PARTITIONS (INTERIOR)**
 - FOR WALL ASSEMBLIES THAT DENOTE FRR (FIRE RESISTANCE RATING), THE ASSEMBLY SHALL BE CONSTRUCTED AS A FIRE SEPARATION AT THE LOCATIONS INDICATED IN THE CONTRACT DRAWINGS GRAPHICALLY USING LINES AND/OR TEXT AND SYMBOLS
 - AT RECESSED PANEL INSTALLATIONS (E.G. ELECTRICAL PANELS) WITHIN RATED WALLS PROVIDE FOR CONTINUITY OF THE REQUIRED RATING BEHIND THE PANEL. REFER TO THE ONTARIO BUILDING CODE DIVISION B, SECTION 3.1.9.2 FOR REQUIREMENTS FOR COMBUSTIBILITY OF SERVICE PENETRATIONS AND SECTION 3.1.10.2 FOR RATING OF FIREWALLS.
 - WHERE FIRE RATED PARTITIONS ABUT NON-RATED PARTITIONS THE FIRE RATED ASSEMBLY SHALL BE CONTINUOUS AND UNINTERRUPTED BY THE ABUTTING WALLS TO MAINTAIN A CONTINUOUS FIRE SEPARATION.
 - SEAL PERIMETER OF FIRE RATED WALLS AND AROUND PENETRATIONS THROUGH FIRE RATED WALLS WITH APPROVED FIRES TOP MATERIALS. DO NOT SEAL CLEARANCE SPACES WITHIN FIRE DAMPERS. SEAL ONLY IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
 - WHERE DUCTS, PIPES, AND CONDUITS PENETRATE RATED PARTITIONS, ENSURE FIRE-SEALANT IS PROVIDED IN GAPS/OPENINGS
 - ACOUSTIC PARTITIONS**
 - WHERE ACOUSTIC BLANKET INSULATION IS SPECIFIED AS A COMPONENT PART OF A WALL OR PARTITION ASSEMBLY, CONTRACTOR SHALL PROVIDE A CONTINUOUS SEALANT TO BOTH STUDS AND TRACKS ALONG PARTITION PERIMETER
 - IN ACOUSTIC PARTITIONS, RECESSED OUTLETS ARE TO BE STAGGERED, AND CONTINUOUS FLEXIBLE SEALANT SHALL BE PROVIDED AT THE JUNCTIONS WITH FLOORS, CEILINGS AND STRUCTURAL MEMBERS. CONTRACTOR SHALL PROVIDE FLEXIBLE SEALANT AROUND PENETRATIONS IN THE PARTITION.
 - BLOCKING FOR MILLWORK & SPECIALITIES**
 - PROVIDE BLOCKING IN PARTITIONS AND WALLS (INTERIOR AND EXTERIOR) FOR THE FOLLOWING:
 - WINDOW FRAMES, MILLWORK, FIXTURES AND FITTINGS, HANDRAILS, GRAB BARS, TACKBOARDS, WHITEBOARDS, MIRRORS, WASHROOM ACCESSORIES AND OTHER ITEMS AS REQUIRED.
 - PROVIDE BLOCKING TO ACCOMMODATE ALL SURFACE MOUNTED AND FURRED-IN ACCESSORIES AND FIXTURES UNLESS OTHERWISE INDICATED.

ASSEMBLIES - ROOFS

RF-2		TYPE	R-VALUE	14.1	FIRE RATING	
		FLAT	R-VALUE CI MIN.	40	SRI VALUE	92
		ULC / OBC				
EXT	INT	EXTERIOR - 2-ply MODIFIED BITUMEN ROOFING SYSTEM 13mm PROTECTION BOARD - TAPERED INSULATION (AS INDICATED) 175mm POLYISO INSULATION BOARD (MECHANICALLY FASTENED) VAPOUR BARRIER 13mm GYPSUM BOARD UNDERLAY - 10.5" ICF DECK (REFER TO STRUCTURAL) INTERIOR				

RF-3		TYPE	R-VALUE		FIRE RATING	
		FLAT	R-VALUE CI MIN.		SRI VALUE	
		ULC / OBC				
EXT	INT	EXTERIOR - 2-ply MODIFIED BITUMEN ROOFING SYSTEM - PLYWOOD SHEATHING - 2X6" WOOD FLOOR JOISTS @ 16" O.C. C/W 5/4" DECK BOARDS - (SLOPE DOWN AWAY FROM BUILDING) - SOFFIT INTERIOR				

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SEALS

NO.	ISSUES/REVISIONS	DATE
D	Minor Variance	07/17/24
C	Revised for Permit	xx/xx/24
B	Issued for Permit	04/23/24
A	Issued for Coordination	04/17/24

DRAWING TITLE:
CONSTRUCTION ASSEMBLY MATRIX - EXTERIOR ENVELOPE

ISSUE DATE: 07/17/24
 DRAWN BY: Author CHECKED BY: Checker
 PROJECT NO.: 12315 SCALE: As indicated
 DRAWING NO.: REVISION:

A00.20 D

ASSEMBLIES - PARTITION WALLS

P2-W-1		WIDTH	R-VALUE	N/A	FIRE RATING	N/A
		105	R-VALUE CI MIN. ULC / OBC	N/A	STC RATING	
EXT	INT	EXTERIOR 13mm GYPSUM WALL BOARD 92mm WOOD STUDS @ 400mm O.C., C/W 92mm MINERAL WOOL INSULATION (WIDTH OF STUD) INTERIOR ASSEMBLY SHALL BE BUILT TO US OF STRUCTURE (UNLESS NOTED ELSEWHERE)				

P1-Wi-2		WIDTH	R-VALUE	N/A	FIRE RATING	N/A
		90	R-VALUE CI MIN. ULC / OBC	N/A	STC RATING	39
EXT	INT	EXTERIOR 13mm GYPSUM WALL BOARD 64mm WOOD STUDS @ 400mm O.C., C/W 64mm MINERAL WOOL INSULATION (WIDTH OF STUD) 13mm GYPSUM WALL BOARD INTERIOR ASSEMBLY SHALL BE BUILT TO US OF STRUCTURE (UNLESS NOTED ELSEWHERE)				

P2-Wi-2		WIDTH	R-VALUE	N/A	FIRE RATING	N/A
		118	R-VALUE CI MIN. ULC / OBC	N/A	STC RATING	47
EXT	INT	EXTERIOR 13mm GYPSUM WALL BOARD 92mm WOOD STUDS @ 400mm O.C., C/W 92mm MINERAL WOOL INSULATION (WIDTH OF STUD) 13mm GYPSUM WALL BOARD INTERIOR ASSEMBLY SHALL BE BUILT TO US OF STRUCTURE (UNLESS NOTED ELSEWHERE)				

P3-Wi-2		WIDTH	R-VALUE	N/A	FIRE RATING	N/A
		178	R-VALUE CI MIN. ULC / OBC	N/A	STC RATING	51
EXT	INT	EXTERIOR 13mm GYPSUM WALL BOARD 152mm WOOD STUDS @ 400mm O.C., C/W 152mm MINERAL WOOL INSULATION (WIDTH OF STUD) 13mm GYPSUM WALL BOARD INTERIOR ASSEMBLY SHALL BE BUILT TO US OF STRUCTURE (UNLESS NOTED ELSEWHERE)				

P2-W-1		WIDTH	R-VALUE	N/A	FIRE RATING	N/A
		105	R-VALUE CI MIN. ULC / OBC	N/A	STC RATING	
EXT	INT	EXTERIOR 13mm GYPSUM WALL BOARD 92mm WOOD STUDS @ 400mm O.C., C/W 92mm MINERAL WOOL INSULATION (WIDTH OF STUD) INTERIOR ASSEMBLY SHALL BE BUILT TO US OF STRUCTURE (UNLESS NOTED ELSEWHERE)				

ASSEMBLIES - CEILINGS

GB		WIDTH	R-VALUE	N/A	FIRE RATING	
			R-VALUE CI MIN. ULC / OBC	N/A	STC RATING	
EXT	INT	EXTERIOR 12.7mm GYSPUM BOARD - METAL FURRING CHANNELS @ 400mm O/C max. - BRIDGING CHANNEL @ 400mm O/C MAX. - or DRYWALL CEILING SUSPENSION SYSTEM - HANGER WIRES TO STRUCTURE INTERIOR				

GB-FR		WIDTH	R-VALUE	N/A	FIRE RATING	1HR
			R-VALUE CI MIN. ULC / OBC	N/A	STC RATING	
EXT	INT	EXTERIOR 15.9mm GYSPUM BOARD (FIRE RESISTANT) 15.9mm TYPE X GYSPUM BOARD 92mm METAL STUDS @ 400mm O/C INTERIOR				

ASSEMBLIES - SHAFT WALLS

SW2-Wi-2		WIDTH	R-VALUE	N/A	FIRE RATING	1 HR
		117.3	R-VALUE CI MIN. ULC / OBC	N/A	STC RATING	45
EXT	INT	EXTERIOR - FIRE RATED SHAFTWALL 16mm TYPE 'X' GYPSUM WALL BOARD 102mm WOOD STUDS @ 610mm O.C., MAX. 75mm MINERAL WOOL INSULATION (WIDTH OF CAVITY) 25mm GYPSUM WALL BOARD INTERIOR ASSEMBLY SHALL BE BUILT TO US OF STRUCTURE (UNLESS NOTED ELSEWHERE) ASSEMBLY SHALL BE BUILT AS A FIRE SEPERATION WHERE INDICATED				

GENERAL NOTES - WALL ASSEMBLIES

- EXTERIOR WALL ASSEMBLIES**
 - THE SPECIFICATIONS, INSTALLATION, AND PERFORMANCE OF AIR BARRIER SYSTEMS AND VAPOUR BARRIERS MUST MEET OR EXCEED DIV. B PART 5 OF THE ONTARIO BUILDING CODE
 - THE REQUIREMENTS FOR AN AIR BARRIER AND A VAPOUR BARRIER ARE INTENDED TO BE PROVIDED AS CONTINUOUS PLANES WITHIN THE BUILDING ENVELOPE. CONTINUITY OF AIR AND VAPOUR MEMBRANES BETWEEN COMPONENTS, TO ADJACENT CONSTRUCTION AND AT ALL PENETRATIONS TO PREVENT OR RETARD PASSAGE OF MOISTURE LADEN AIR AND/OR THE DIFFUSION OF WATER VAPOUR.
 - EXTERIOR ASSEMBLIES NOTING STUD FRAMING SHALL BE CONSTRUCTED USING WIND LOAD BEARING FRAMING DESIGNED TO CARRY REQUIRED LATERAL LOADS. PROVIDE ENGINEERED SHOP DRAWING PRIOR TO COMMENCEMENT OF WORK.
- INTERIOR WALL ASSEMBLIES**
 - GENERAL REQUIREMENTS**
 - THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF WORK.
 - ALL PARTITIONS TO EXTEND TO UIS OF STRUCTURE UNLESS OTHERWISE NOTED. PROVIDE LATERAL BRACING AS REQUIRED.
 - FURRING TO EXTEND TO 150MM ABOVE FINISHED CEILING OR TO UIS OF STRUCTURE WHERE NO CEILING EXISTS UNLESS OTHERWISE NOTED. REFER TO REFLECTED CEILING PLANS.
 - WHERE INTERIOR DOORS ARE CLOSE TO AN INSIDE CORNER, PROVIDE MIN. 150MM CLEARANCE FROM DOOR JAMB TO ADJACENT WALL.
 - PROVIDE STEEL REINFORCING AS REQUIRED IN ALL INTERIOR GLAZED SCREENS (ALUMINUM OR HOLLOW METAL) TO UIS OF DECK AND/OR FIRE RATED FLOOR ASSEMBLY.
 - WALL ACCESS PANELS - WHERE POSSIBLE, ACCESS PANELS IN WALLS TO BE LOCATED ON SIDE WALLS OR IN LOCATION WITH MINIMAL VISUAL IMPACT. ACCESS PANELS TO PAINTED TO MATCH WALL FINISH IN WASHROOMS ACCESS PANELS TO BE GALVANIZED STEEL PAINTED TO MATCH WALL FINISH. ALL ACCESS PANELS TO BE KEYPED WITH THE SAME LOCK.
 - LOAD BEARING PARTITIONS (INTERIOR)**
 - WHERE A PARTITION IS A LOAD BEARING WALL, REFER TO THE STRUCTURAL DRAWINGS FOR DESIGN REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF WORK.
 - STEEL STUD FRAMED PARTITIONS (INTERIOR)**
 - ALL PARTITIONS ARE TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
 - PROVIDE DEFLECTION DETAIL AT TOP OF ALL WALLS THAT ABUT UNDERSIDE OF DECK OR STRUCTURE. SEE ALSO TOP OF WALL DETAILS AS INDICATED.
 - WHERE SOUND ATTENUATION BATTS ARE CALLED FOR ON THE WALL TYPE, SEAL PERIMETER OF WALLS AND AROUND PENETRATIONS THROUGH WALLS WITH ACOUSTIC SEALANT. APPLY CONTINUOUS ACOUSTIC SEALANT TO BOTH SIDES OF TRACK AT THE JUNCTIONS WITH FLOORS AND ROOF DECKS, AND AROUND PENETRATIONS TO PARTITIONS. RECESSED OUTLETS ARE TO BE STAGGERED SO THAT ONLY ONE OUTLET IS INSTALLED BETWEEN TWO STUDS.
 - DO NOT FASTEN METAL STUDS TO CURTAIN WALL MULLIONS OR TEE BAR GRIDS.
 - WHERE INTERIOR DOORS ARE CLOSE TO AN INSIDE CORNER, PROVIDE MIN. CLEARANCE FROM DOOR JAMB TO ADJACENT WALL AS INDICATED ON DETAIL. TITLED FRAME TYPES
 - CONTRACTOR SHALL ENSURE STEEL STUD THICKNESS, SIZE AND SPACING IS ADEQUATE FOR THE HEIGHTS OF PARTITIONS INDICATED. CONTRACTOR SHALL PROVIDE BRACING AS REQUIRED.
 - USE WATER RESISTANT GYPSUM WALL BOARD ON ALL WET SIDES OF PARTITIONS.
 - MASONRY PARTITIONS (INTERIOR)**
 - HEIGHT OF CONCRETE MASONRY UNIT WALLS TO BE TO UNDERSIDE OF FLOOR/ROOF DECK ABOVE UNLESS OTHERWISE NOTED.
 - WHERE CONCRETE UNIT MASONRY WALLS ABUT REINFORCED CONCRETE WALLS AND PIERS, RAKE BACK MORTAR JOINT WHERE THE TWO MATERIALS MEET AND PROVIDE CONTINUOUS SEALANT
 - FIRE RATED PARTITIONS (INTERIOR)**
 - FOR WALL ASSEMBLIES THAT DENOTE FRR (FIRE RESISTANCE RATING), THE ASSEMBLY SHALL BE CONSTRUCTED AS A FIRE SEPERATION AT THE LOCATIONS INDICATED IN THE CONTRACT DRAWINGS GRAPHICALLY USING LINES AND/OR TEXT AND SYMBOLS
 - AT RECESSED PANEL INSTALLATIONS (E.G. ELECTRICAL PANELS) WITHIN RATED WALLS PROVIDE FOR CONTINUITY OF THE REQUIRED RATING BEHIND THE PANEL. REFER TO THE ONTARIO BUILDING CODE DIVISION B, SECTION 3.1.9.2 FOR REQUIREMENTS FOR COMBUSTIBILITY OF SERVICE PENETRATIONS AND SECTION 3.1.10.2 FOR RATING OF FIREWALLS.
 - WHERE FIRE RATED PARTITIONS ABUT NON-RATED PARTITIONS THE FIRE RATED ASSEMBLY SHALL BE CONTINUOUS AND UNINTERRUPTED BY THE ABUTTING WALLS TO MAINTAIN A CONTINUOUS FIRE SEPERATION.
 - SEAL PERIMETER OF FIRE RATED WALLS AND AROUND PENETRATIONS THROUGH FIRE RATED WALLS WITH APPROVED FIRESTOP MATERIALS. DO NOT SEAL CLEARANCE SPACES WITHIN FIRE DAMPERS. SEAL ONLY IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
 - WHERE DUCTS, PIPES, AND CONDUITS PENETRATE RATED PARTITIONS, ENSURE FIRE-SEALANT IS PROVIDED IN GAPS/OPENINGS
 - ACOUSTIC PARTITIONS**
 - WHERE ACOUSTIC BLANKET INSULATION IS SPECIFIED AS A COMPONENT PART OF A WALL OR PARTITION ASSEMBLY, CONTRACTOR SHALL PROVIDE A CONTINUOUS SEALANT TO BOTH STUDS AND TRACKS ALONG PARTITION PERIMETER
 - IN ACOUSTIC PARTITIONS, RECESSED OUTLETS ARE TO BE STAGGERED, AND CONTINUOUS FLEXIBLE SEALANT SHALL BE PROVIDED AT THE JUNCTIONS WITH FLOORS, CEILINGS AND STRUCTURAL MEMBERS. CONTRACTOR SHALL PROVIDE FLEXIBLE SEALANT AROUND PENETRATIONS IN THE PARTITION.
 - BLOCKING FOR MILLWORK & SPECIALITIES**
 - PROVIDE BLOCKING IN PARTITIONS AND WALLS (INTERIOR AND EXTERIOR) FOR THE FOLLOWING:
 - WINDOW FRAMES, MILLWORK, FIXTURES AND FITTINGS, HANDRAILS, GRAB BARS, TACKBOARDS, WHITEBOARDS, MIRRORS, WASHROOM ACCESSORIES AND OTHER ITEMS AS REQUIRED.
 - PROVIDE BLOCKING TO ACCOMMODATE ALL SURFACE MOUNTED AND FURRED-IN ACCESSORIES AND FIXTURES UNLESS OTHERWISE INDICATED.



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SEALS

D	Minor Variance	07/17/24
C	Revised for Permit	xx/xx/24
B	Issued for Permit	04/23/24
A	Issued for Coordination	04/17/24

NO.	ISSUES/REVISIONS	DATE
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DRAWING TITLE:
CONSTRUCTION ASSEMBLY MATRIX - INTERIOR

ISSUE DATE: 07/17/24

DRAWN BY: Author CHECKED BY: Checker

PROJECT NO.: 12315 SCALE: As indicated

DRAWING NO.: REVISION:

A00.21 D

GENERAL NOTES - FIRE & LIFE SAFETY

1. GENERAL REQUIREMENTS
1. FOR WALL ASSEMBLIES THAT BEAR THE NOTE "CONSTRUCT AS FIRE SEPARATION WHERE NOTED, THE ASSEMBLY SHALL BE CONSTRUCTED AS A FIRE SEPARATION AT THE LOCATIONS INDICATED IN THE CONTRACT DRAWINGS.
2. ALL PENETRATIONS THROUGH NEW AND EXISTING FIRE SEPARATIONS ARE TO BE SEALED TO MEET REQUIREMENTS OF THE SEPARATION NOTED.
3. AT RECESSED PANEL INSTALLATIONS (E.G. ELECTRICAL PANELS) WITHIN RATED WALLS PROVIDE FOR CONTINUITY OF THE REQUIRED RATING BEHIND THE PANEL. REFER TO THE ONTARIO BUILDING CODE DIVISION 9, SECTION 3.1.9.2 FOR REQUIREMENTS FOR COMBUSTIBILITY OF SERVICE PENETRATIONS AND SECTION 3.1.10.2 FOR RATING OF FIREWALLS.
4. WHERE FIRE RATED PARTITIONS ADJUT NON-RATED PARTITIONS THE FIRE RATED ASSEMBLY SHALL BE CONTINUOUS AND UNINTERRUPTED BY THE ABUTTING WALLS TO MAINTAIN A CONTINUOUS FIRE SEPARATION.
5. SEAL PERIMETER OF FIRE RATED WALLS AND AROUND PENETRATIONS THROUGH FIRE RATED WALLS WITH APPROVED FIRESTOP MATERIALS. DO NOT SEAL CLEARANCE SPACES WITHIN FIRE DAMPERS. SEAL ONLY IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

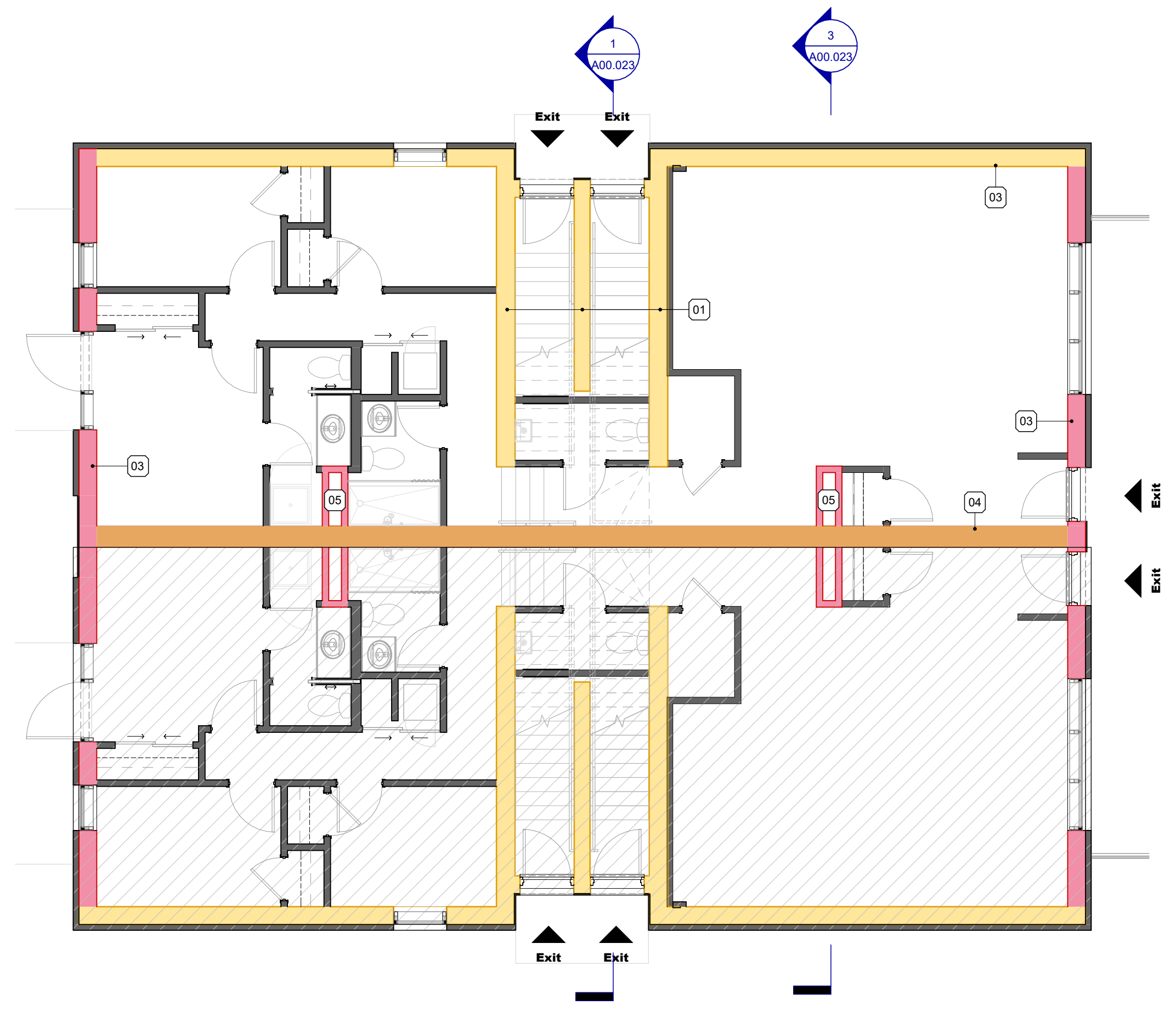
FIRE AND LIFE SAFETY LEGEND

WALL ASSEMBLY FRR REQUIREMENTS

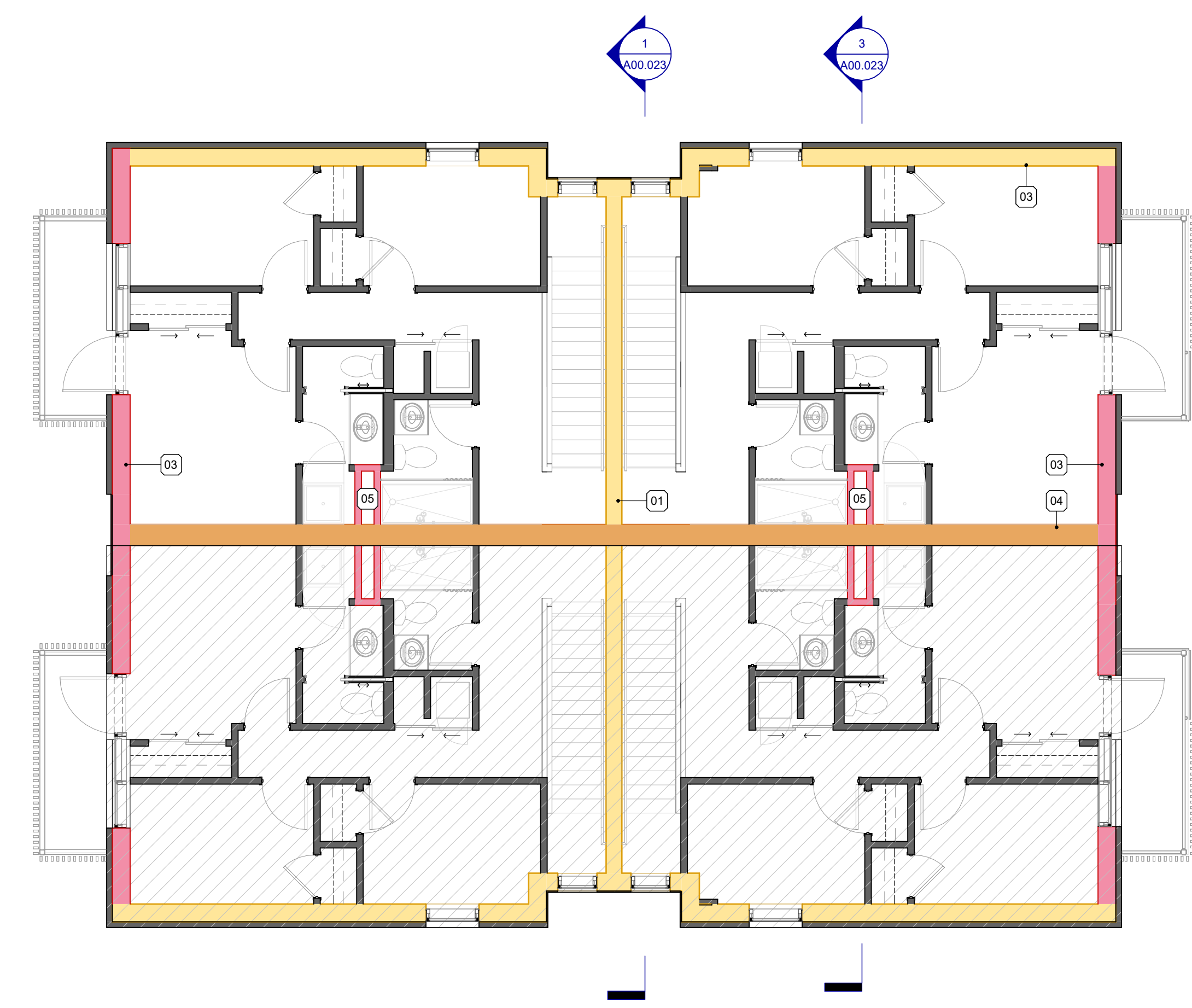
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	45min	FRR SEPERATION
	1HR	FRR SEPERATION
	2HR	FRR SEPERATION

NOTES

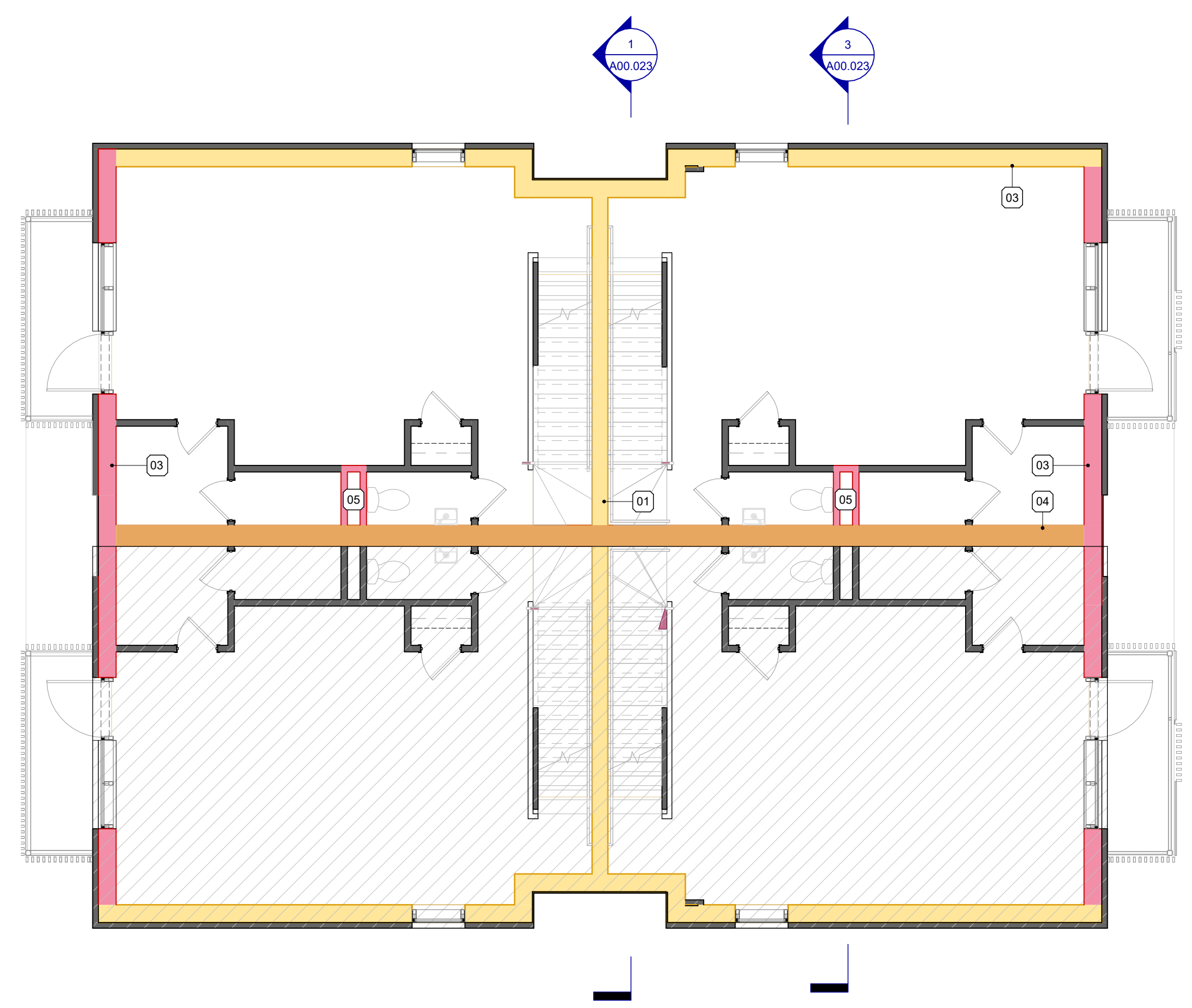
No.	NOTE
01	PER 9.10.9.14. SEPARATION OF RESIDENTIAL SUITES
02	PER 3.2.2.47.(3) GROUP C, UP TO 3 STOREYS
03	PER 9.10.15. CONSTRUCTION OF EXPOSING BUILDING FACE AND WALLS ABOVE EXPOSING FACE
04	PER 9.10.11.1. REQUIRED FIREWALLS
05	PER 9.10.1.3. ITEMS UNDER PART 3, JURISDICTION/3.6.3.1. FIRE SEPARATIONS FOR VERTICAL SERVICE SPACE
06	PER 3.1.10.3. CONTINUITY OF FIREWALLS



1 LEVEL 01 - FIRE & LIFE SAFETY PLANS
1 : 75



3 LEVEL 03 - FIRE & LIFE SAFETY PLANS
1 : 75



2 LEVEL 02 - FIRE & LIFE SAFETY PLANS
1 : 75

D	Minor Variance	07/17/24
C	Revised for Permit	xx/xx/24
B	Issued for Permit	04/23/24
A	Issued for Coordination	04/17/24

NO.	ISSUES/REVISIONS	DATE
DRAWING TITLE:		

FIRE & LIFE SAFETY PLANS

ISSUE DATE:	07/17/24
DRAWN BY:	Author
CHECKED BY:	Checker
PROJECT NO.:	12315
SCALE:	As indicated
DRAWING NO.:	
REVISION:	

A00.22 **D**



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SEALS

GENERAL NOTES - FIRE & LIFE SAFETY

1. GENERAL REQUIREMENTS

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- WHERE FIRE RATED PARTITIONS ADJUT NON-RATED PARTITIONS THE FIRE RATED ASSEMBLY SHALL BE CONTINUOUS AND UNINTERRUPTED BY THE ADJUTING WALLS TO MAINTAIN A CONTINUOUS FIRE SEPARATION.
- SEAL PERIMETER OF FIRE RATED WALLS AND AROUND PENETRATIONS THROUGH FIRE RATED WALLS WITH APPROVED FIRESTOP MATERIALS. DO NOT SEAL CLEARANCE SPACES WITHIN FIRE DAMPERS. SEAL ONLY IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

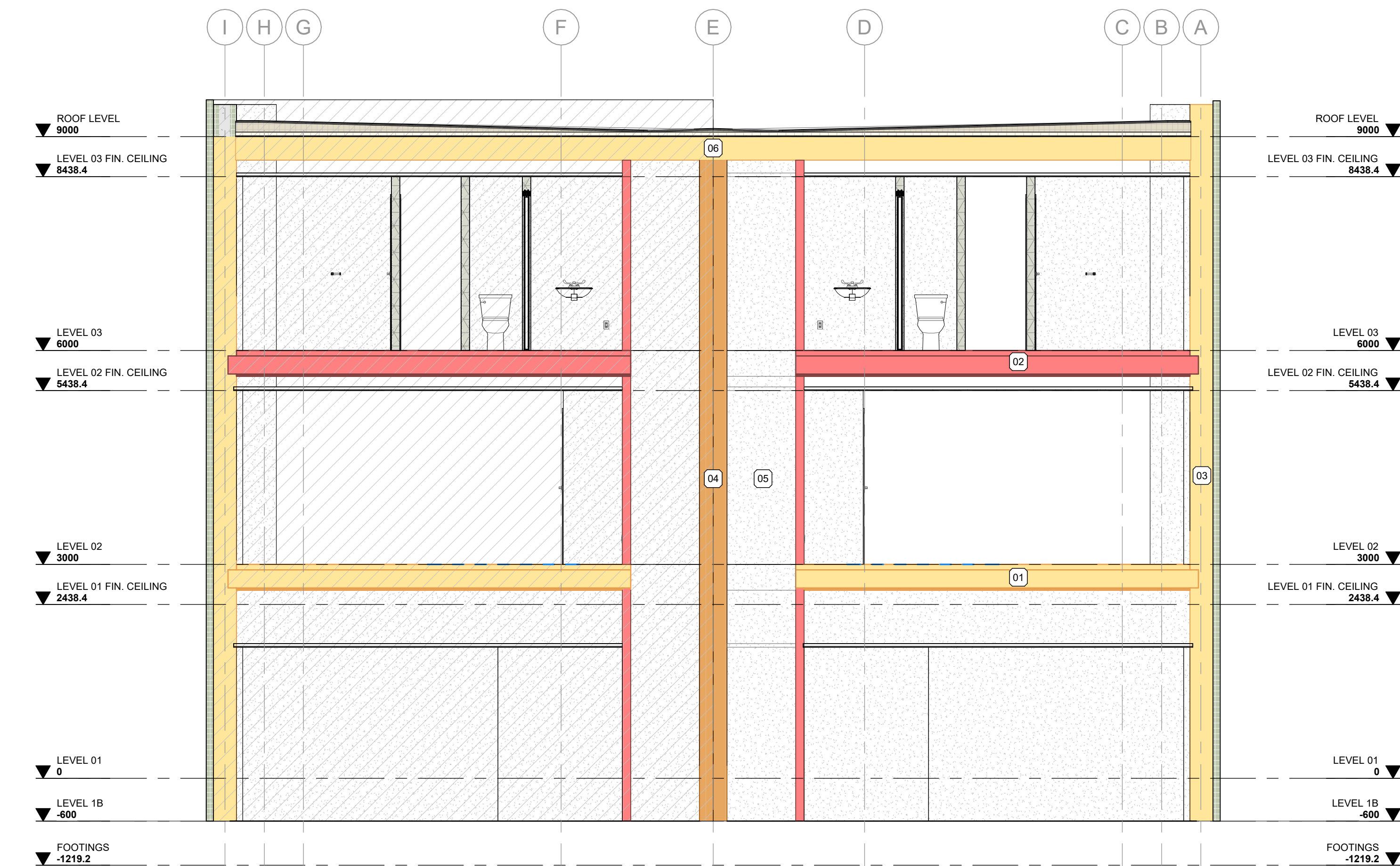
FIRE AND LIFE SAFETY LEGEND

WALL ASSEMBLY FRR REQUIREMENTS

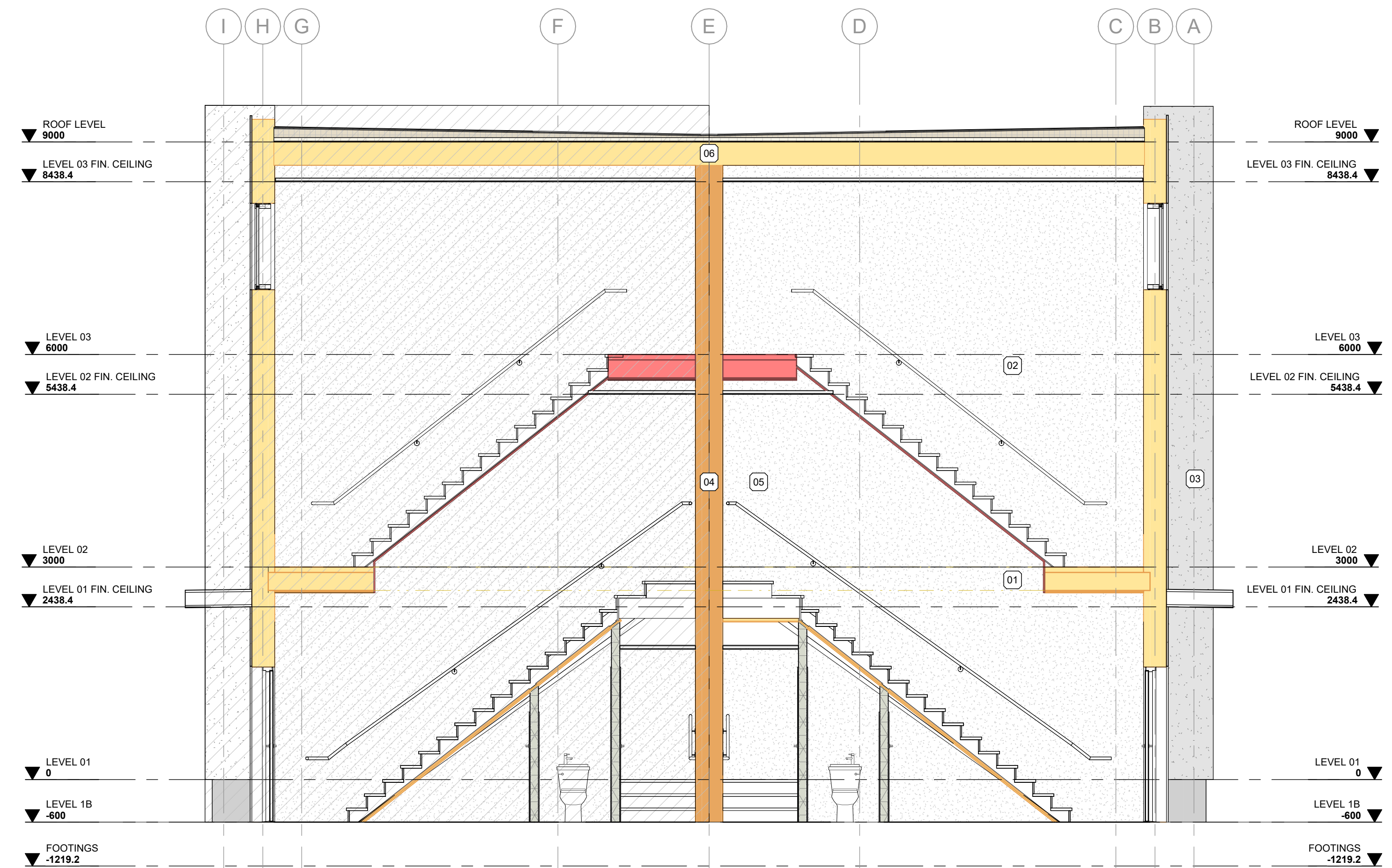
- 0HR FRR SEPERATION
- 45min FRR SEPERATION
- 1HR FRR SEPERATION
- 2HR FRR SEPERATION

NOTES

- | No. | NOTE |
|-----|--|
| 01 | PER 9.10.9.14. SEPARATION OF RESIDENTIAL SUITES |
| 02 | PER 3.2.2.47 (3) GROUP C, UP TO 3 STOREYS |
| 03 | PER 9.10.15. CONSTRUCTION OF EXPOSING BUILDING FACE AND WALLS ABOVE EXPOSING FACE |
| 04 | PER 9.10.11.1. REQUIRED FIREWALLS |
| 05 | PER 9.10.1.3. ITEMS UNDER PART 3 JURISDICTION/3.6.3.1. FIRE SEPARATIONS FOR VERTICAL SERVICE SPACE |
| 06 | PER 3.1.10.3. CONTINUITY OF FIREWALLS |



3 FLS - SECTION
1 : 50



1 FLS - SECTION THRU STAIRS
1 : 50

PLOT DATE: 2024-07-18 11:17 AM

C	Minor Variance	07/17/24
B	Revised for Permit	xx/xx/24
A	Issued for Permit	04/23/24

NO.	ISSUES/REVISIONS	DATE
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DRAWING TITLE:

FIRE & LIFE SAFETY SECTIONS

ISSUE DATE: 07/17/24

DRAWN BY: Author CHECKED BY: Checker

PROJECT NO.: 12315 SCALE: As indicated

DRAWING NO.: REVISION:

A00.023 C

GENERAL NOTES - SITE PLAN - DEMOLITION

1. GENERAL REQUIREMENTS
1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL EXISTING BY-LAWS, CODES, MUNICIPAL GOVERNMENTS AND AUTHORITIES HAVING JURISDICTION. OBTAIN ALL PERMITS REQUIRED IN ACCORDANCE WITH THE CONTRACT.
2. DEMOLITION SCOPE SHOWN IS SCHEMATIC. CAREFUL EXAMINATION OF EXISTING SITE CONDITIONS IS REQUIRED TO DETERMINE FULL SCOPE OF DEMOLITION.
3. REFER TO SUPPLEMENTAL REPORTS LISTED UNDER SPECIFICATION SECTION - INFORMATION AVAILABLE FOR REVIEW TO DETERMINE FULL SCOPE OF DEMOLITION.
4. WHERE 'COMPLETE' OR 'COMPLETELY' IS ASSOCIATED WITH REMOVALS, THE INTENT IS THAT THE ITEM IS REMOVED IN ITS ENTIRETY INCLUDING ASSOCIATED FITTINGS AND APPURTENANCES.
5. WHERE AN ITEM IS NOTED FOR REMOVAL THAT HAS ASSOCIATED MECHANICAL OR ELECTRICAL SERVICES, THESE SERVICES SHALL BE TERMINATED AT AN APPROPRIATE LOCATION AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.



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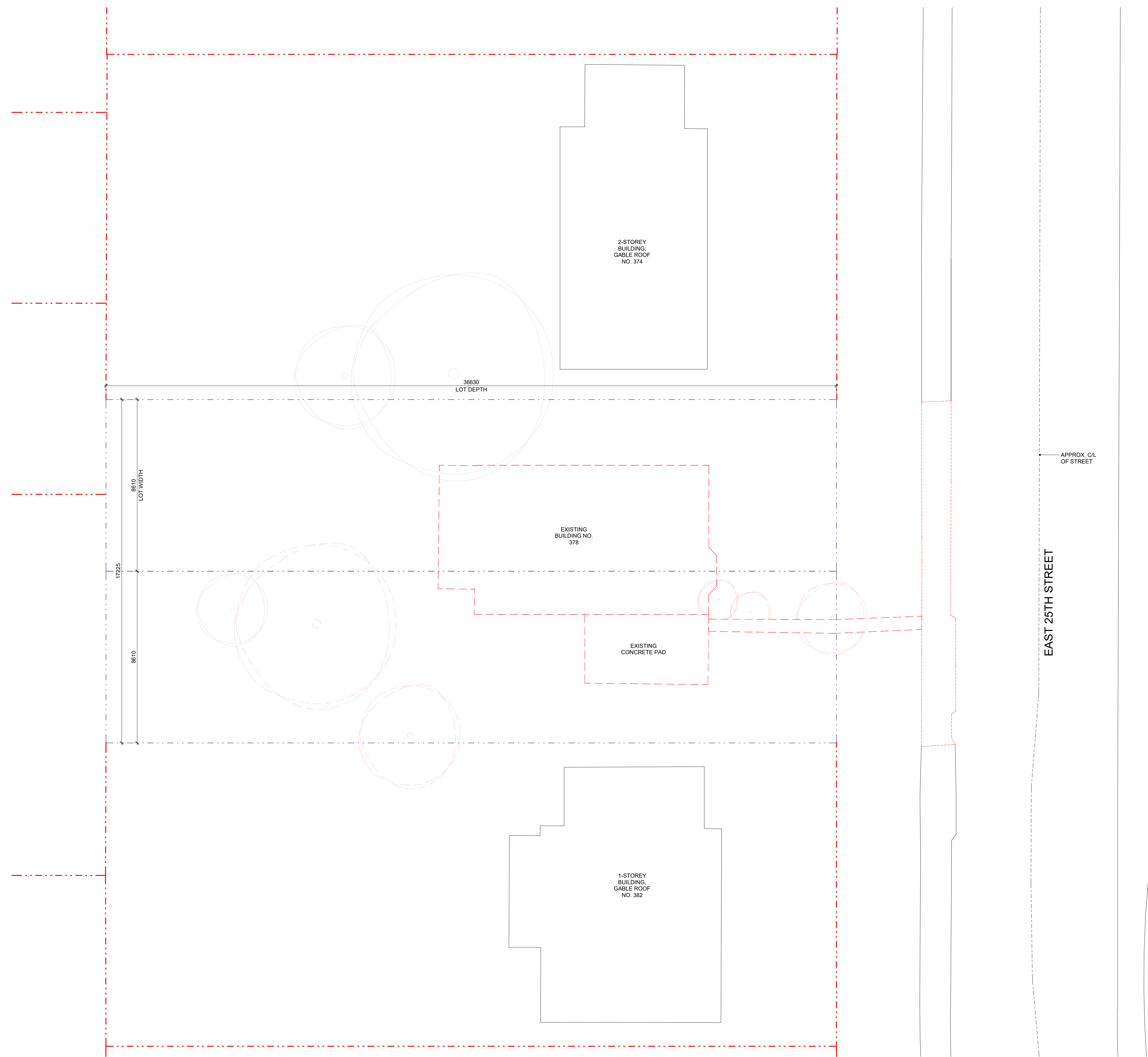
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SEALS

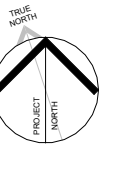


C	Minor Variances	07/17/24
B	Issued for Coordination	04/17/24
A	Issued for Coordination	02/04/24

NO.	ISSUES/REVISIONS	DATE

DRAWING TITLE:

SITE DEMOLITION PLAN



ISSUE DATE: 07/17/24

DRAWN BY: Author CHECKED BY: Checker

PROJECT NO.: 12315 SCALE: As indicated

DRAWING NO.: A01.01 REVISION: C



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SEALS
NOT FOR CONSTRUCTION

GENERAL NOTES - SITE PLAN

- GENERAL REQUIREMENTS**
 - CONTRACTOR SHALL CO-ORDINATE ALL WORK NOTED HERE WITH THE SPECIFICATION DOCUMENTS - FOR GENERAL REQUIREMENTS, EXISTING CONDITIONS, EXCAVATION & BACKFILLING, LANDSCAPING, ETC. AS REQUIRED FOR COMPLETE SITE RELATED WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE RECORDS OF CONSTRUCTION TO FACILITATE AS-BUILT DRAWINGS.
- PROJECT BOUNDARIES**
 - THE CONTRACT CONSISTS OF ALL WORK WITH-IN THE "PROPERTY LINE" AND/OR "SITE EXTENTS" LINE AS INDICATED PLUS ANY WORK SPECIFICALLY NOTED OUTSIDE OF THAT LINE OR AS REQUIRED TO DELIVER A OPERATIONAL, FUNCTIONING PROJECT.
 - THE TERM "SITE EXTENTS" REFERS TO THE AREA THAT THE CONTRACTOR IS REQUIRED TO ENCLOSE WITH CONSTRUCTION FENCING FOR THE DURATION OF THE WORK.
 - ALL WORK DONE OUTSIDE OF THESE LIMITS MUST BE EXECUTED IN STRICT ACCORDANCE WITH THE STANDARDS OF THE MUNICIPALITY AND ALL OTHER AUTHORITIES HAVING JURISDICTION. MAKE GOOD AT NO ADDITIONAL COST TO THE OWNER OR MUNICIPALITY ANY DAMAGE CAUSED BY THIS CONSTRUCTION TO MATERIALS OR FINISHES BEYOND THE "PROPERTY LINE" INDICATED.
- EXECUTION**
 - CONTRACTOR IS TO RESTRICT ALL WORK, EQUIPMENT AND MATERIALS STORAGE TO AREA(S) WITHIN THE "PROPERTY LINE" EXCEPT WHERE NOTED OTHERWISE. PRIMARY SITE ACCESS POINT & CONSTRUCTION PARKING IS TO BE CONFIRMED WITH OWNER. NO PARKING IS PERMITTED IN THE MUNICIPAL RIGHT-OF-WAY.
 - LOCATE EXCAVATED MATERIALS & TOPSOIL PILES SO AS NOT TO IMPEDE PROGRESS OF THE WORK OR AS DIRECTED. "DOUBLE HANDLING" OF MATERIALS AS A RESULT OF CONTRACTOR PLANNING OR EXECUTION OF THE WORK WILL NOT BE CONSIDERED AS A BASIS FOR CLAIM. AT COMPLETION OF THE PROJECT, ANY EXCESS MATERIAL IS TO BE REMOVED AND AREA MADE GOOD TO CONSULTANTS SATISFACTION.
 - FOR TRENCHING & BACKFILLING OF ALL SERVICE LINES AND DIVISION OF RESPONSIBILITY REFER TO APPROPRIATE SPECIFICATION SECTIONS AND DRAWINGS. TRENCHING & BACKFILLING NOT IDENTIFIED BY A PARTICULAR SUB-TRADE WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE TRENCHING AND BACKFILLING. GRADE FINISHED WORK TO MATCH SURROUNDING SURFACES.
- LOCATION OF SERVICES**
 - NOTE THAT THE EXACT LOCATIONS OF ALL NEW MECHANICAL & ELECTRICAL ITEMS ARE APPROXIMATE UNLESS DIMENSIONS ARE GIVEN. ADJUST LOCATIONS AS REQUIRED AND AS APPROVED BY CONSULTANT TO SUIT SITE CONDITIONS.
 - NOTE THAT ALL MECHANICAL AND ELECTRICAL UNDERGROUND AND ABOVEGROUND SERVICE LINES INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE INDICATED AS ACCURATELY AS POSSIBLE FROM INFORMATION SUPPLIED. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT TYPES, LOCATIONS, DEPTHS AND MARKING ALL UNDERGROUND AND ABOVEGROUND SERVICES WITHIN ALL AREAS OF CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO GAS LINES, WATER LINES, ELECTRICAL LINES, TELEPHONE, CABLE TV, ETC. VERIFY EXACT LOCATIONS WITH THE APPROPRIATE AUTHORITIES BEFORE EXCAVATING.
 - PRIOR TO COMMENCING WORK TO PLACE VERTICAL ELEMENTS SUCH AS FLAGPOLES AND LIGHT STANDARDS ENSURE ADEQUATE CLEARANCE FROM EXISTING ABOVE GROUND ELEMENTS SUCH AS OVERHEAD WIRES CABLES ETC. NOTIFY THE CONSULTANT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
 - ALL FINISHED PAVING AND GRADING TO BE TO NEW LEVELS SHOWN. ALL DRAINAGE TO BE POSITIVE, LEAVING NO POCKETS IN FINISHED GRADE. FINISHED GRADING TO SLOPE 1:12 AND ASPHALT TO SLOPE MAX 1:10 AWAY FROM BUILDING UNLESS SHOWN OTHERWISE. NEW GRADES TO MEET EXISTING GRADES FALLING AWAY FROM BUILDING AND FEATHERED OUT EVENLY.

NOTES

- | No. | NOTE |
|-----|---------------------------------|
| 03 | CURB CUTS AT SIDEWALK |
| 04 | APPROXIMATE CENTRELINE OF ROAD |
| 05 | MUNICIPAL SIDEWALK |
| 06 | EXISTING TREE TO REMAIN |
| 07 | OUTLINE OF BALCONY ABOVE |
| 08 | LANDSCAPED AREA |
| 09 | PAVED WALKWAY |
| 10 | CONCRETE SLAB PATIO |
| 11 | PATIO SCREEN |
| 12 | PAVING STONE PATH |
| 13 | PLANTING BED |
| 14 | ASPHALT PARKING SPOT |
| 15 | CONCRETE STEPS W/ METAL RAILING |

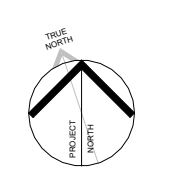
Project Statistics - Residential

Zoning	Residential R1			
Plan No.	995			
Lot No.	49-50			
Net Lot Area	315.5			sqm
Lot Frontage	8.61			m
Building Coverage	130			sqm
Gross Floor Area				
Level 1	130			sqm
Level 2	130			sqm
Level 3	130			sqm
Total	390			sqm
Height	Required / Allowed	Proposed	Conforms	
	10.5 m MAX	10.5 m	yes	
Setbacks	Required / Allowed	Proposed	Conforms	
Front Yard	4 m MIN	7.9 m	Yes	
Side Yard South	1.2 m MIN	1.5 m	Yes	
Side Yard North	1.2 m MIN	1.5 m	Yes	
Rear Yard	7.5 m MIN	10.3 m	Yes	
Landscaped Soft Area	Required / Allowed	Proposed	Conforms	
	30 % MIN	54 %	Yes	

G	Minor Variance	07/17/24
F	Issued for Zoning	06/19/24
E	Revised for Permit	xx/xx/24
D	Issued for Coordination	05/21/24
C	Issued for Permit	04/23/24
B	Issued for Coordination	04/17/24
A	Issued for Coordination	02/04/24

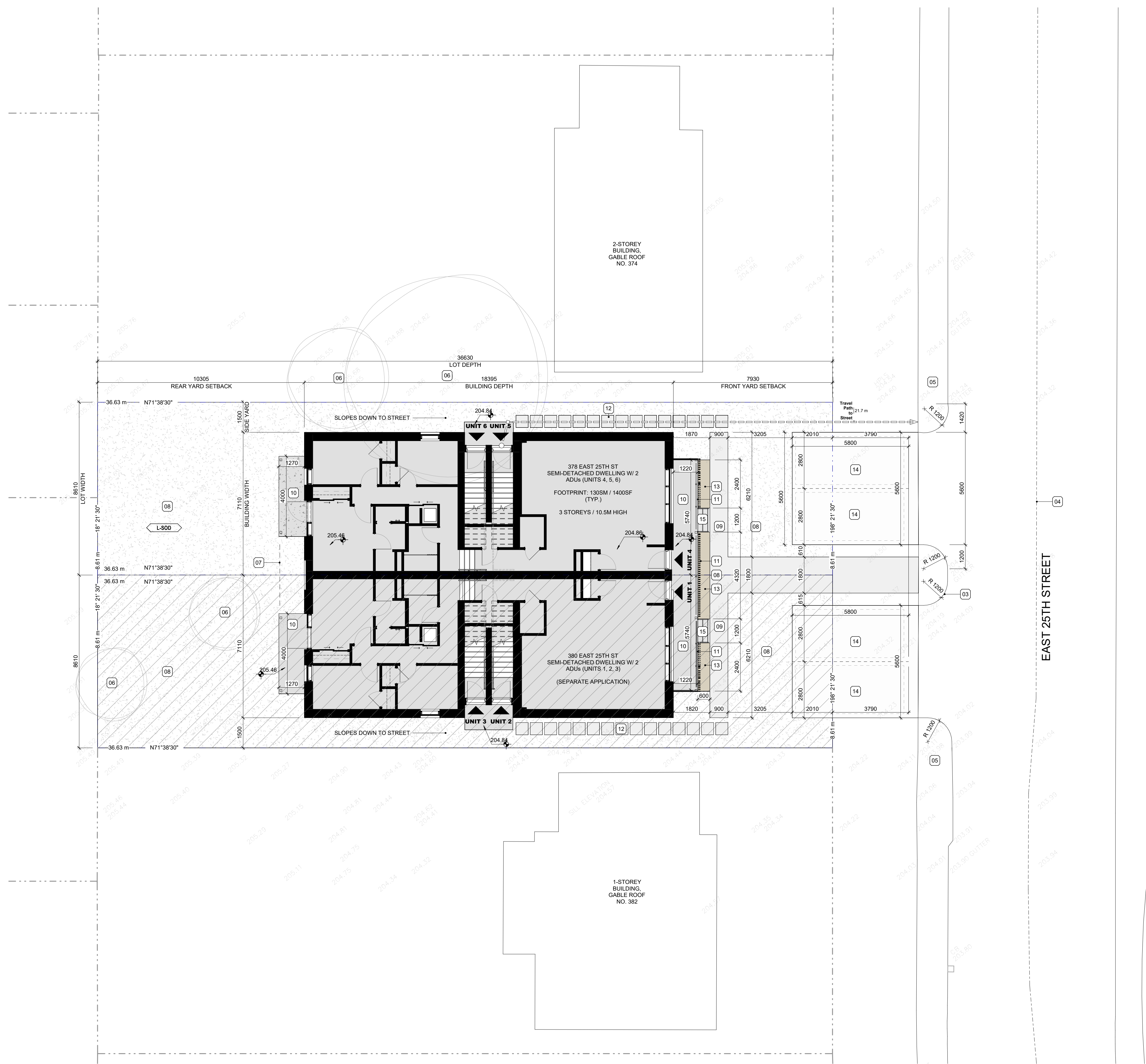
NO. ISSUES/REVISIONS DATE
 DRAWING TITLE:

SITE PLAN AND SITE STATISTICS



ISSUE DATE: 07/17/24
 DRAWN BY: AF CHECKED BY: DP
 PROJECT NO.: 12315 SCALE: As indicated
 DRAWING NO.: REVISION:

A01.02 G



1 SITE PLAN
 1 : 100

[PLOT DATE: 2024-07-19 13:17]



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SEALS

GENERAL NOTES - FLOOR PLAN

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1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL EXISTING BY-LAWS, CODES, MUNICIPAL GOVERNMENTS AND AUTHORITIES HAVING JURISDICTION. OBTAIN ALL PERMITS REQUIRED IN ACCORDANCE WITH THE CONTRACT.
2. CAREFUL EXAMINATION OF ALL TENDER DOCUMENTS IS REQUIRED TO DETERMINE THE FULL SCOPE OF THE WORK.
3. DO NOT SCALE THE DRAWINGS. VERIFY ALL CONDITIONS ON-SITE BEFORE PROCEEDING WITH WORK. ANY CONFLICT OR DISCREPANCY BETWEEN INFORMATION ON DRAWINGS AND ACTUAL FIELD CONDITIONS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION PRIOR TO COMMENCING WORK.
4. DIMENSIONS SHOWN ARE TAKEN TO FACE OF CMU, POURED CONCRETE, OR WALL STUD UNLESS NOTED OTHERWISE. ALL GWB OR CMU PARTITIONS TO EXTEND TIGHT TO US OF ROOF DECKS UNLESS NOTED OTHERWISE.
5. REFER TO STRUCTURAL DRAWINGS FOR LATERAL SUPPORT AT THE TOP OF CMU WALLS.
6. ALL INTERIOR ALUM SCREENS SHALL HAVE GWB AND METAL STUD ASSEMBLIES FROM TOP OF SCREEN/DOOR FRAME TO UNDERSIDE OF DECK UNLESS A LINTEL HAS BEEN PROVIDED BY STRUCTURAL WITH BLOCK WALL ABOVE TO US DECKS.
7. WHERE SCREENS OR DOORS OCCUR WITHIN WALLS CONSTRUCTED AS FIRE SEPARATIONS, THE WALL ABOVE SUCH SCREENS OR DOORS SHALL BE CONSTRUCTED TO PROVIDE THE REQUIRED FIRE RESISTANCE RATING INDICATED.
8. ON ALL EXPOSED CORNERS OF EXPOSED MASONRY WALLS PROVIDE BULLNOSE BLOCK AT ALL COURSES ABOVE THE FIRST COURSE UNLESS NOTED OTHERWISE.
9. WHERE DUCTS, PIPES, AND CONDUITS PENETRATE EXPOSED MASONRY PARTITIONS, CUT BLOCKS TO SUIT REQUIRED OPENINGS TO MINIMIZE PATCHING.
10. CONSTRUCT PARTITIONS AND WALLS AS FIRE SEPARATIONS WHERE INDICATED ON PLAN.
11. REVIEW PLANS, ELEVATIONS AND DETAILS FOR MILLWORK, SCREENS, DOORS AND ALL WALL HUNG ITEMS AND ENSURE THAT ADEQUATE BLOCKING IS PROVIDED WITHIN PARTITIONS AND CEILINGS.
12. CONTRACTOR TO PROVIDE ALL NECESSARY FASTENINGS, ANCHORS, BRACKETS, ACCESSORIES AND SUPPORTS REQUIRED TO EXECUTE THE WORK.
13. WHERE FIRE RATED PARTITIONS ADJUT NON-RATED PARTITIONS THE CONTINUITY OF THE FIRE RATED ASSEMBLY SHALL BE MAINTAINED.
14. SEAL PERIMETER OF WALLS AND AROUND PENETRATIONS THROUGH WALLS WITH ACOUSTIC SEALANT WHERE SOUND ATTENUATION BATTS ARE CALLED FOR ON THE WALL TYPE.
15. SEAL PERIMETER OF FIRE RATED WALLS AND AROUND PENETRATIONS THROUGH FIRE RATED WALLS WITH APPROVED FIRESTOP MATERIALS.
16. UNLESS OTHERWISE INDICATED ALL DOORS SHALL BE INSTALLED SO THAT THE EDGE OF DOOR (NOT FRAME) ON HINGE SIDE IS 100MM FROM ANY ADJACENT INSIDE CORNER.
17. REFER TO ELECTRICAL DWGS FOR LOCATIONS OF PANELS, DOOR CONTROLS, SECURITY DEVICES ETC. NOT SHOWN ON ARCHITECTURAL DRAWINGS.
18. WALL ACCESS PANELS - WHERE POSSIBLE, ACCESS PANELS IN WALLS ARE TO BE LOCATED ON SIDE WALLS OR IN LOCATIONS WITH MINIMAL VISUAL IMPACT. ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT WALL FINISHES UNLESS OTHERWISE NOTED. ALL ACCESS PANELS ARE TO BE KEYPAD AS DIRECTED BY OWNER.
19. WHERE MULTIPLE EXPOSED EQUIPMENT ITEMS ARE INDICATED ON THE SAME WALL, INSTALL EQUIPMENT WITH VERTICAL OR HORIZONTAL CENTRE LINES ALIGNED, AS APPLICABLE UNLESS OTHERWISE NOTED.
20. WHERE EXPOSED MECH. AND/OR ELECT. DEVICES AND EQUIP. SUCH AS FIRE EXTINGUISHER CABINETS, ELEC. PANELS, CABINET HEATER, CEILING MOUNTED DEVICES, ETC. ARE INDICATED IN THE SAME WALL OR CEILING, INSTALL EQUIPMENT WITH VERTICAL OR HORIZONTAL CENTER LINES ALIGNED, AS APPLICABLE.

LEGEND - PLAN GA

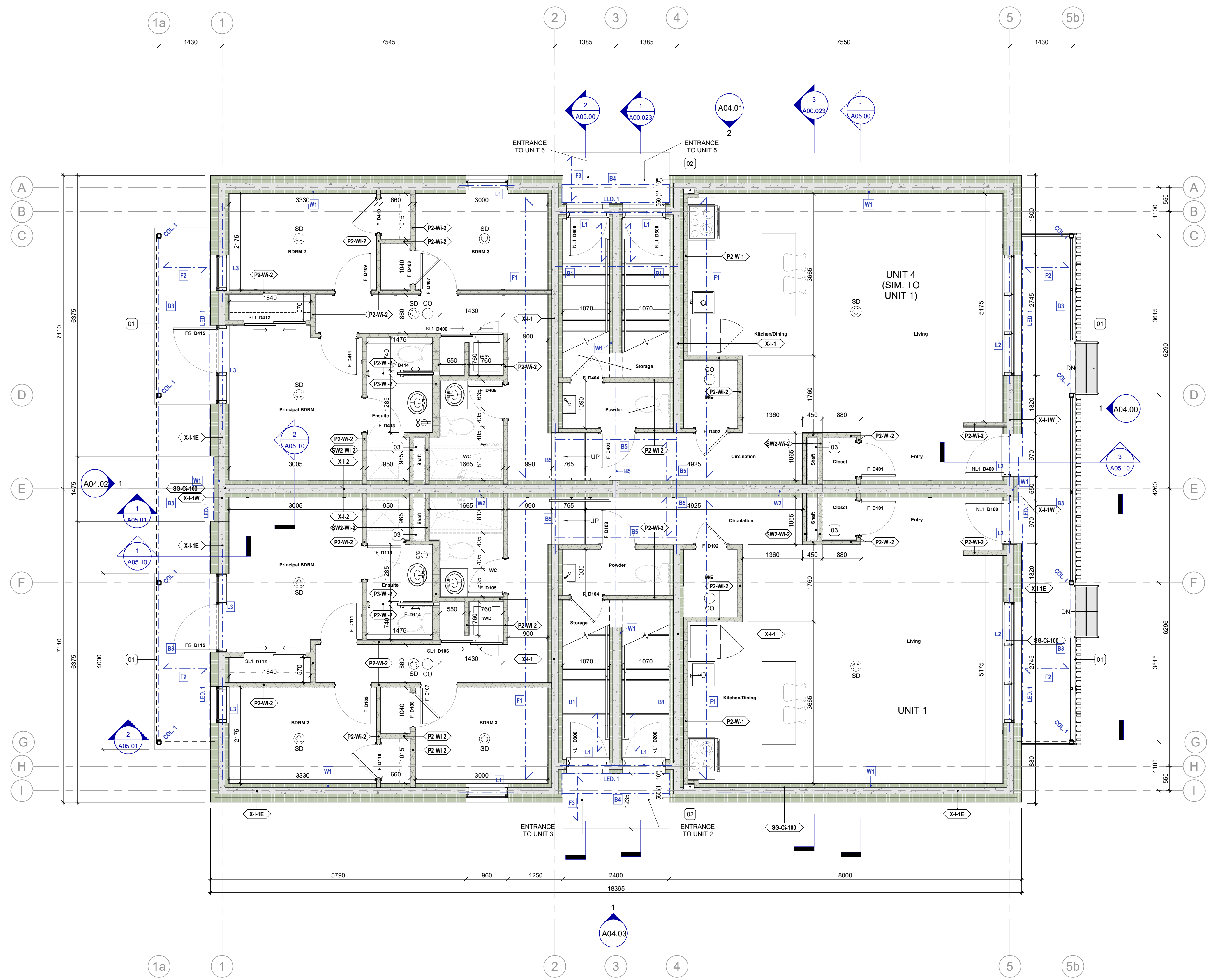
- SYMBOLS**
- SD SMOKE DETECTOR
 - CO CARBON MONOXIDE DETECTOR
 - XX STRUCTURAL TAGS - REFER TO S00.01

NOTES

No.	NOTE
01	OUTLINE OF BALCONY ABOVE
02	PLUMBING CHASE
03	TYP. SLAB OPENING - REFER TO MANUFACTURER DETAIL
04	RESERVED
05	RESERVED
06	RESERVED
07	RESERVED
08	RESERVED
09	RESERVED
10	RESERVED
11	RESERVED
12	RESERVED
13	RESERVED
14	RESERVED
15	RESERVED
16	RESERVED
17	RESERVED
18	RESERVED
19	RESERVED
20	RESERVED

UNIT BREAKDOWN

No.	AREA
UNIT 1	117.98 m ²
UNIT 2	129.4 m ²
UNIT 3	129.51 m ²
UNIT 4	117.98 m ²
UNIT 5	129.4 m ²
UNIT 6	129.51 m ²



1 LEVEL 01 - FLOOR PLAN
1 : 50

No.	ISSUES/REVISIONS	DATE
E	Minor Variance	07/17/24
D	Revised for Permit	xx/xx/24
C	Issued for Permit	04/23/24
B	Issued for Coordination	04/17/24
A	Issued for Coordination	02/04/24

DRAWING TITLE:

LEVEL 01 - FLOOR PLAN

ISSUE DATE: 07/17/24

DRAWN BY: Author CHECKED BY: Checker

PROJECT NO.: 12315 SCALE: As indicated

DRAWING NO.: REVISION:

A03.01 E



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SEALS

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- WHERE DUCTS, PIPES, AND CONDUITS PENETRATE EXPOSED MASONRY PARTITIONS, CUT BLOCKS TO SUIT REQUIRED OPENINGS TO MINIMIZE PATCHING.
- CONSTRUCT PARTITIONS AND WALLS AS FIRE SEPARATIONS WHERE INDICATED ON PLAN.
- REVIEW PLANS, ELEVATIONS AND DETAILS FOR MILLWORK, SCREENS, DOORS AND ALL WALL HUNG ITEMS AND ENSURE THAT ADEQUATE BLOCKING IS PROVIDED WITHIN PARTITIONS AND CEILINGS.
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- SEAL PERIMETER OF WALLS AND AROUND PENETRATIONS THROUGH WALLS WITH ACOUSTIC SEALANT WHERE SOUND ATTENUATION BATTS ARE CALLED FOR ON THE WALL TYPE.
- SEAL PERIMETER OF FIRE RATED WALLS AND AROUND PENETRATIONS THROUGH FIRE RATED WALLS WITH APPROVED FIRESTOP MATERIALS.
- UNLESS OTHERWISE INDICATED ALL DOORS SHALL BE INSTALLED SO THAT THE EDGE OF DOOR (NOT FRAME) ON HINGE SIDE IS 100MM FROM ANY ADJACENT INSIDE CORNER.
- REFER TO ELECTRICAL DWGS FOR LOCATIONS OF PANELS, DOOR CONTROLS, SECURITY DEVICES ETC. NOT SHOWN ON ARCHITECTURAL DRAWINGS.
- WALL ACCESS PANELS - WHERE POSSIBLE, ACCESS PANELS IN WALLS ARE TO BE LOCATED ON SIDE WALLS OR IN LOCATIONS WITH MINIMAL VISUAL IMPACT. ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT WALL FINISHES UNLESS OTHERWISE NOTED. ALL ACCESS PANELS ARE TO BE KEYPAD AS DIRECTED BY OWNER.
- WHERE MULTIPLE EXPOSED EQUIPMENT ITEMS ARE INDICATED ON THE SAME WALL, INSTALL EQUIPMENT WITH VERTICAL OR HORIZONTAL CENTRE LINES ALIGNED, AS APPLICABLE UNLESS OTHERWISE NOTED.
- WHERE EXPOSED MECH. AND/OR ELEC. DEVICES AND EQUIP. SUCH AS FIRE EXTINGUISHER CABINETS, ELEC. PANELS, CABINET HEATER, CEILING MOUNTED DEVICES, ETC. ARE INDICATED IN THE SAME WALL OR CEILING, INSTALL EQUIPMENT WITH VERTICAL OR HORIZONTAL CENTER LINES ALIGNED, AS APPLICABLE.

LEGEND - PLAN GA

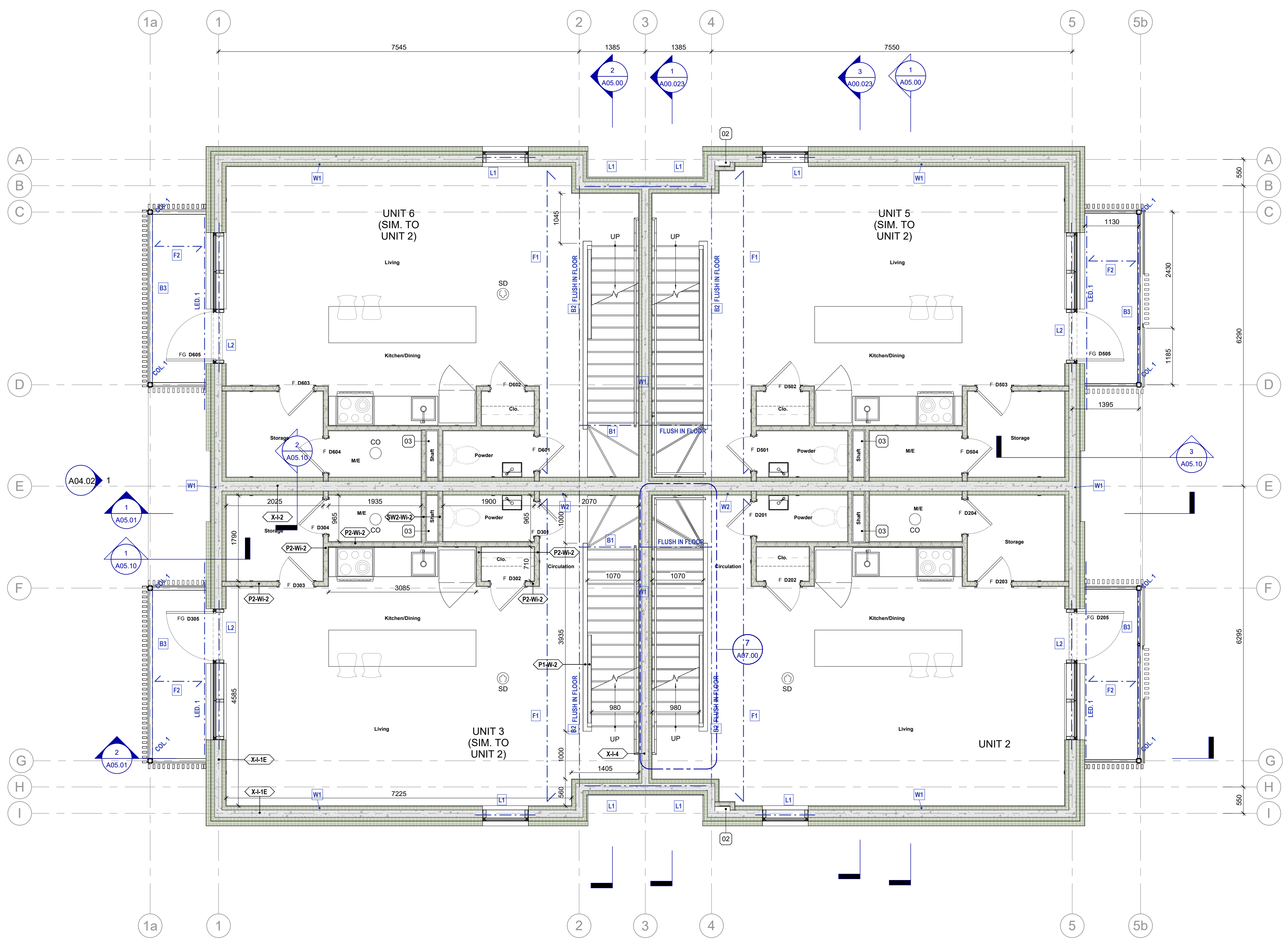
- SYMBOLS**
- SD SMOKE DETECTOR
 - CO CARBON MONOXIDE DETECTOR
 - XX STRUCTURAL TAGS - REFER TO S00.01

NOTES

No.	NOTE
01	OUTLINE OF BALCONY ABOVE
02	PLUMBING CHASE
03	TYP. SLAB OPENING - REFER TO MANUFACTURER DETAIL
04	RESERVED
05	RESERVED
06	RESERVED
07	RESERVED
08	RESERVED
09	RESERVED
10	RESERVED
11	RESERVED
12	RESERVED
13	RESERVED
14	RESERVED
15	RESERVED
16	RESERVED
17	RESERVED
18	RESERVED
19	RESERVED
20	RESERVED

UNIT BREAKDOWN

No.	AREA
UNIT 1	117.98 m ²
UNIT 2	129.4 m ²
UNIT 3	129.51 m ²
UNIT 4	117.98 m ²
UNIT 5	129.4 m ²
UNIT 6	129.51 m ²



E	Minor Variance	07/17/24
D	Revised for Permit	xx/xx/24
C	Issued for Permit	04/23/24
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DRAWING TITLE:

LEVEL 02 - FLOOR PLAN

ISSUE DATE: 07/17/24

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SEALS

GENERAL NOTES - FLOOR PLAN

1. GENERAL REQUIREMENTS

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL EXISTING BY-LAWS, CODES, MUNICIPAL GOVERNMENTS AND AUTHORITIES HAVING JURISDICTION. OBTAIN ALL PERMITS REQUIRED IN ACCORDANCE WITH THE CONTRACT.
- CAREFUL EXAMINATION OF ALL TENDER DOCUMENTS IS REQUIRED TO DETERMINE THE FULL SCOPE OF THE WORK.
- DO NOT SCALE THE DRAWINGS. VERIFY ALL CONDITIONS ON-SITE BEFORE PROCEEDING WITH WORK. ANY CONFLICT OR DISCREPANCY BETWEEN INFORMATION ON DRAWINGS AND ACTUAL FIELD CONDITIONS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION PRIOR TO COMMENCING WORK.
- DIMENSIONS SHOWN ARE TAKEN TO FACE OF CMU, POURED CONCRETE, OR WALL STUD UNLESS NOTED OTHERWISE. ALL GWB OR CMU PARTITIONS TO EXTEND TIGHT TO US OF ROOF DECKS UNLESS NOTED OTHERWISE.
- REFER TO STRUCTURAL DRAWINGS FOR LATERAL SUPPORT AT THE TOP OF CMU WALLS.
- ALL INTERIOR ALUM SCREENS SHALL HAVE GWB AND METAL STUD ASSEMBLIES FROM TOP OF SCREEN/DOOR FRAME TO UNDERSIDE OF DECK UNLESS A LINTEL HAS BEEN PROVIDED BY STRUCTURAL WITH BLOCK WALL ABOVE TO US DECKS.
- WHERE SCREENS OR DOORS OCCUR WITHIN WALLS CONSTRUCTED AS FIRE SEPARATIONS, THE WALL ABOVE SUCH SCREENS OR DOORS SHALL BE CONSTRUCTED TO PROVIDE THE REQUIRED FIRE RESISTANCE RATING INDICATED.
- ON ALL EXPOSED CORNERS OF EXPOSED MASONRY WALLS PROVIDE BULLNOSE BLOCK AT ALL COURSES ABOVE THE FIRST COURSE UNLESS NOTED OTHERWISE.
- WHERE DUCTS, PIPES, AND CONDUITS PENETRATE EXPOSED MASONRY PARTITIONS, CUT BLOCKS TO SUIT REQUIRED OPENINGS TO MINIMIZE PATCHING.
- CONSTRUCT PARTITIONS AND WALLS AS FIRE SEPARATIONS WHERE INDICATED ON PLAN.
- REVIEW PLANS, ELEVATIONS AND DETAILS FOR MILLWORK, SCREENS, DOORS AND ALL WALL HUNG ITEMS AND ENSURE THAT ADEQUATE BLOCKING IS PROVIDED WITHIN PARTITIONS AND CEILINGS.
- CONTRACTOR TO PROVIDE ALL NECESSARY FASTENINGS, ANCHORS, BRACKETS, ACCESSORIES AND SUPPORTS REQUIRED TO EXECUTE THE WORK.
- WHERE FIRE RATED PARTITIONS ADJUT NON-RATED PARTITIONS THE CONTINUITY OF THE FIRE RATED ASSEMBLY SHALL BE MAINTAINED.
- SEAL PERIMETER OF WALLS AND AROUND PENETRATIONS THROUGH WALLS WITH ACOUSTIC SEALANT WHERE SOUND ATTENUATION BATTS ARE CALLED FOR ON THE WALL TYPE.
- SEAL PERIMETER OF FIRE RATED WALLS AND AROUND PENETRATIONS THROUGH FIRE RATED WALLS WITH APPROVED FIRESTOP MATERIALS.
- UNLESS OTHERWISE INDICATED ALL DOORS SHALL BE INSTALLED SO THAT THE EDGE OF DOOR (NOT FRAME) ON HINGE SIDE IS 10MM FROM ANY ADJACENT INSIDE CORNER.
- REFER TO ELECTRICAL DWGS FOR LOCATIONS OF PANELS, DOOR CONTROLS, SECURITY DEVICES ETC. NOT SHOWN ON ARCHITECTURAL DRAWINGS.
- WALL ACCESS PANELS - WHERE POSSIBLE, ACCESS PANELS IN WALLS ARE TO BE LOCATED ON SIDE WALLS OR IN LOCATIONS WITH MINIMAL VISUAL IMPACT. ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT WALL FINISHES UNLESS OTHERWISE NOTED. ALL ACCESS PANELS ARE TO BE KEYPAD AS DIRECTED BY OWNER.
- WHERE MULTIPLE EXPOSED EQUIPMENT ITEMS ARE INDICATED ON THE SAME WALL, INSTALL EQUIPMENT WITH VERTICAL OR HORIZONTAL CENTRE LINES ALIGNED, AS APPLICABLE UNLESS OTHERWISE NOTED.
- WHERE EXPOSED MECH. AND/OR ELECT. DEVICES AND EQUIP. SUCH AS FIRE EXTINGUISHER CABINETS, ELEC. PANELS, CABINET HEATER, CEILING MOUNTED DEVICES, ETC. ARE INDICATED IN THE SAME WALL OR CEILING, INSTALL EQUIPMENT WITH VERTICAL OR HORIZONTAL CENTER LINES ALIGNED, AS APPLICABLE.

LEGEND - PLAN GA - Dependent 2

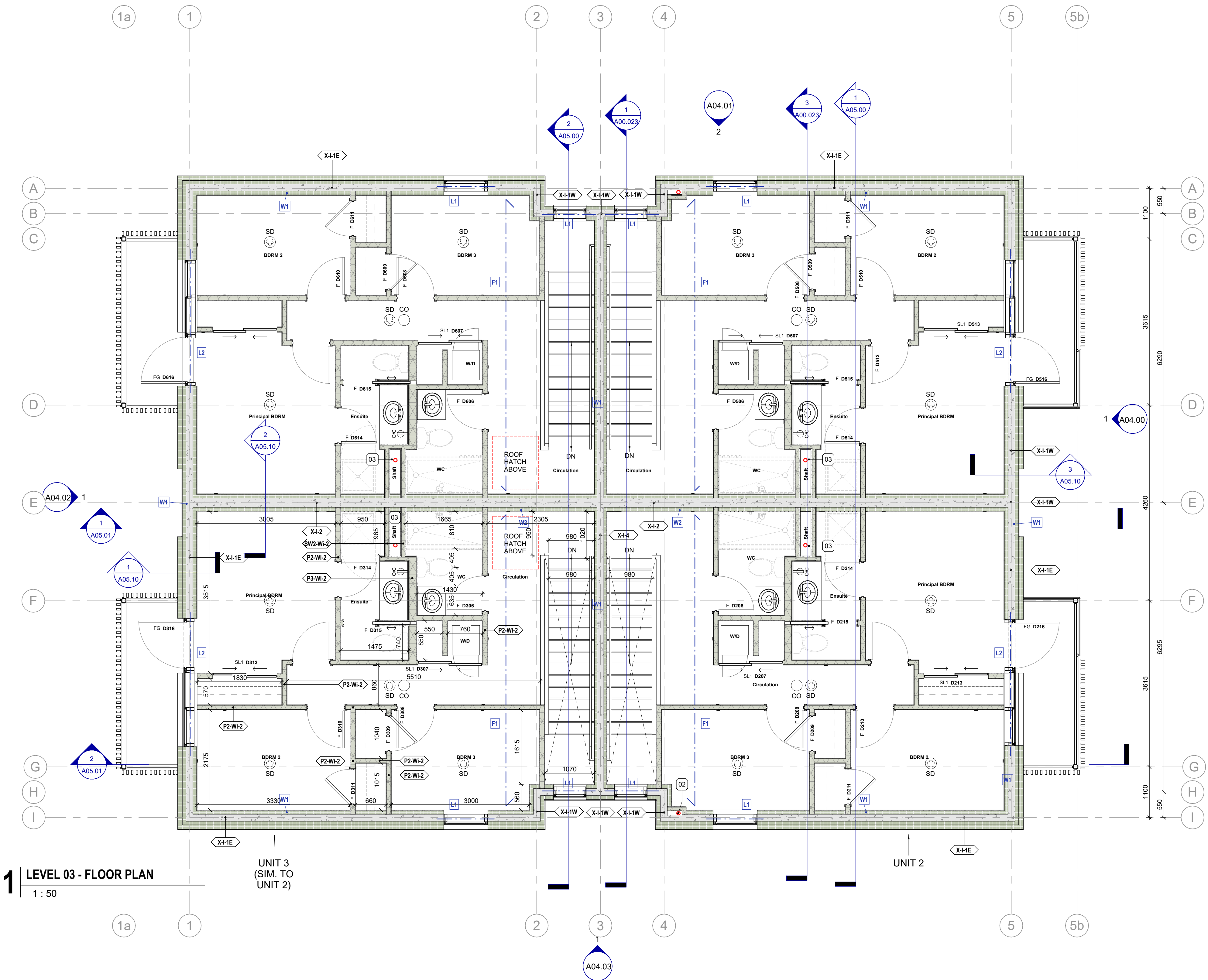
- SYMBOLS**
- SD SMOKE DETECTOR
 - CO CARBON MONOXIDE DETECTOR
 - XX STRUCTURAL TAGS - REFER TO S00.01

NOTES

No.	NOTE
01	OUTLINE OF BALCONY ABOVE
02	PLUMBING CHASE
03	TYP. SLAB OPENING - REFER TO MANUFACTURER DETAIL
04	RESERVED
05	RESERVED
06	RESERVED
07	RESERVED
08	RESERVED
09	RESERVED
10	RESERVED
11	RESERVED
12	RESERVED
13	RESERVED
14	RESERVED
15	RESERVED
16	RESERVED
17	RESERVED
18	RESERVED
19	RESERVED
20	RESERVED

UNIT BREAKDOWN

No.	AREA
UNIT 1	117.98 m ²
UNIT 2	129.4 m ²
UNIT 3	129.51 m ²
UNIT 4	117.98 m ²
UNIT 5	129.4 m ²
UNIT 6	129.51 m ²



1 LEVEL 03 - FLOOR PLAN
 1 : 50

UNIT 3
 (SIM. TO
 UNIT 2)

UNIT 2

E	Minor Variance	07/17/24
D	Revised for Permit	xx/xx/24
C	Issued for Permit	04/23/24
B	Issued for Coordination	04/17/24
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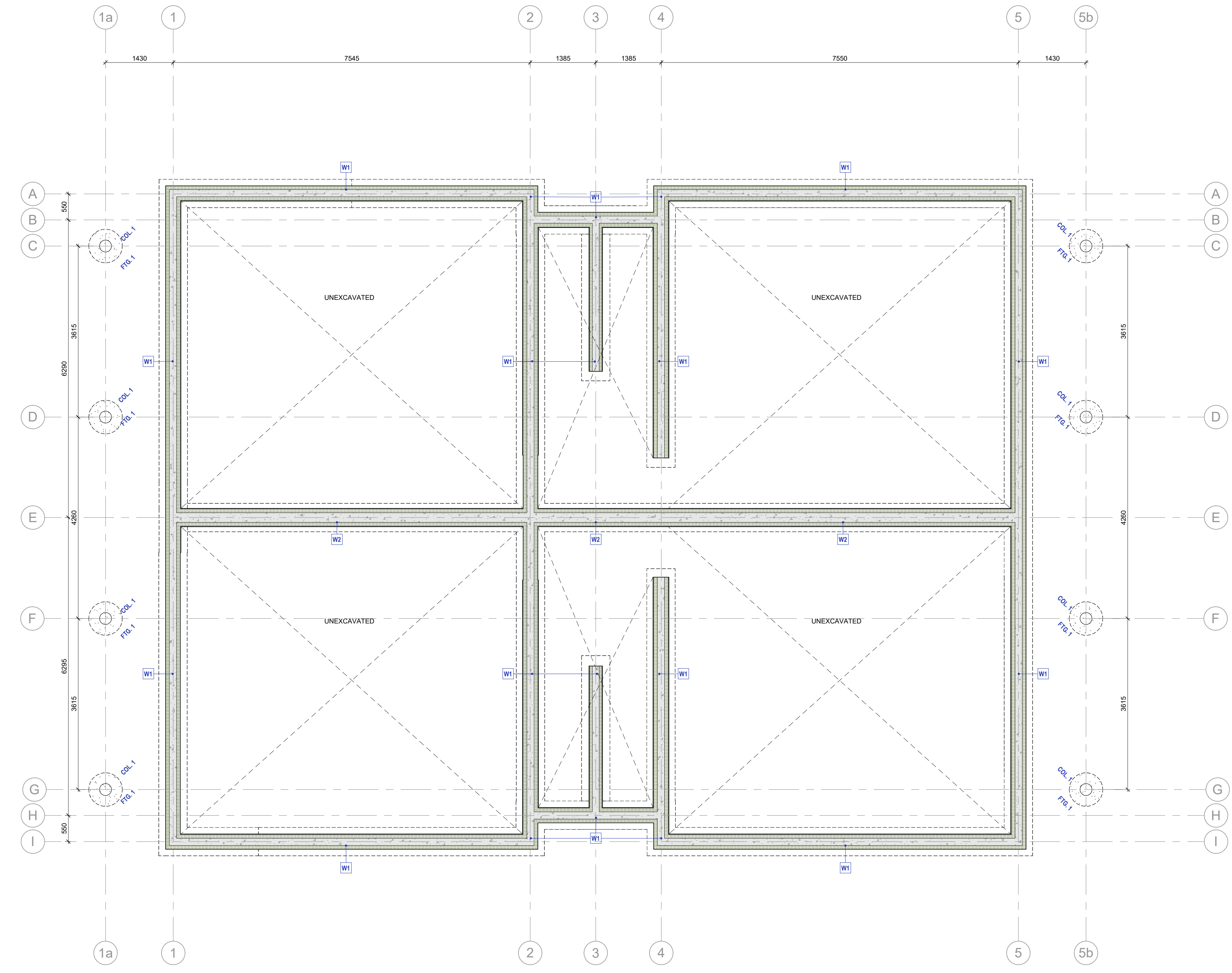
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SEALS

GENERAL NOTES - FOUNDATION

1. GENERAL REQUIREMENTS
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH FOUNDATION PLANS PREPARED BY THE STRUCTURAL ENGINEER, MECHANICAL AND ELECTRICAL DRAWINGS.
2. ROUTING OF UNDERGROUND SERVICES IS SCHEMATIC. ALL UNDERGROUND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3. PROVIDE SLEEVES FOR ALL PENETRATIONS THROUGH FOUNDATION WALLS WHERE INDICATED AND WHERE REQUIRED (TYP.)
4. PROVIDE DROPS IN FOUNDATION WALLS WHERE INDICATED AND WHERE REQUIRED AT EXTERIOR OPENINGS. AT DOORS AND OVERHEAD DOORS, EXTEND FLOOR SLABS AT FOUNDATION DROPS TO EXTERIOR FACE OF FOUNDATION WALL. ENSURE SLAB HAS POSITIVE SLOPE TO EXTERIOR FROM EXTERIOR FACE OF DOOR OR OVERHEAD DOOR (TYP.)
5. TAKE CARE DURING PLACEMENT OF CONCRETE TO MITIGATE FACTORS THAT CONTRIBUTE TO SURFACE DEFECTS. ENSURE FACE OF FOUNDATION WALLS THAT WILL REMAIN EXPOSED (TYPICALLY 300MM MINIMUM) IS FREE OF HONEYCOMBING OR OTHER SURFACE DEFECTS.
6. ENSURE FACE OF FOUNDATION WALLS THAT ABUT AN ADJACENT CONCRETE SLAB OR SIDEWALK ARE SMOOTH TO ENSURE TIGHT PLACEMENT OF EXPANSION JOINT OR EXPANSION JOINT CAP AND CAULKED JOINT. SCRAPE OR GRIND AS REQUIRED.

XX STRUCTURAL TAGS - REFER TO 500.01



PLOT DATE: 2024-07-18 10:18 AM

D	Minor Variance	07/17/24
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A	Issued for Coordination	04/17/24

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DRAWING TITLE: FOUNDATION PLAN

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A03.04 **D**



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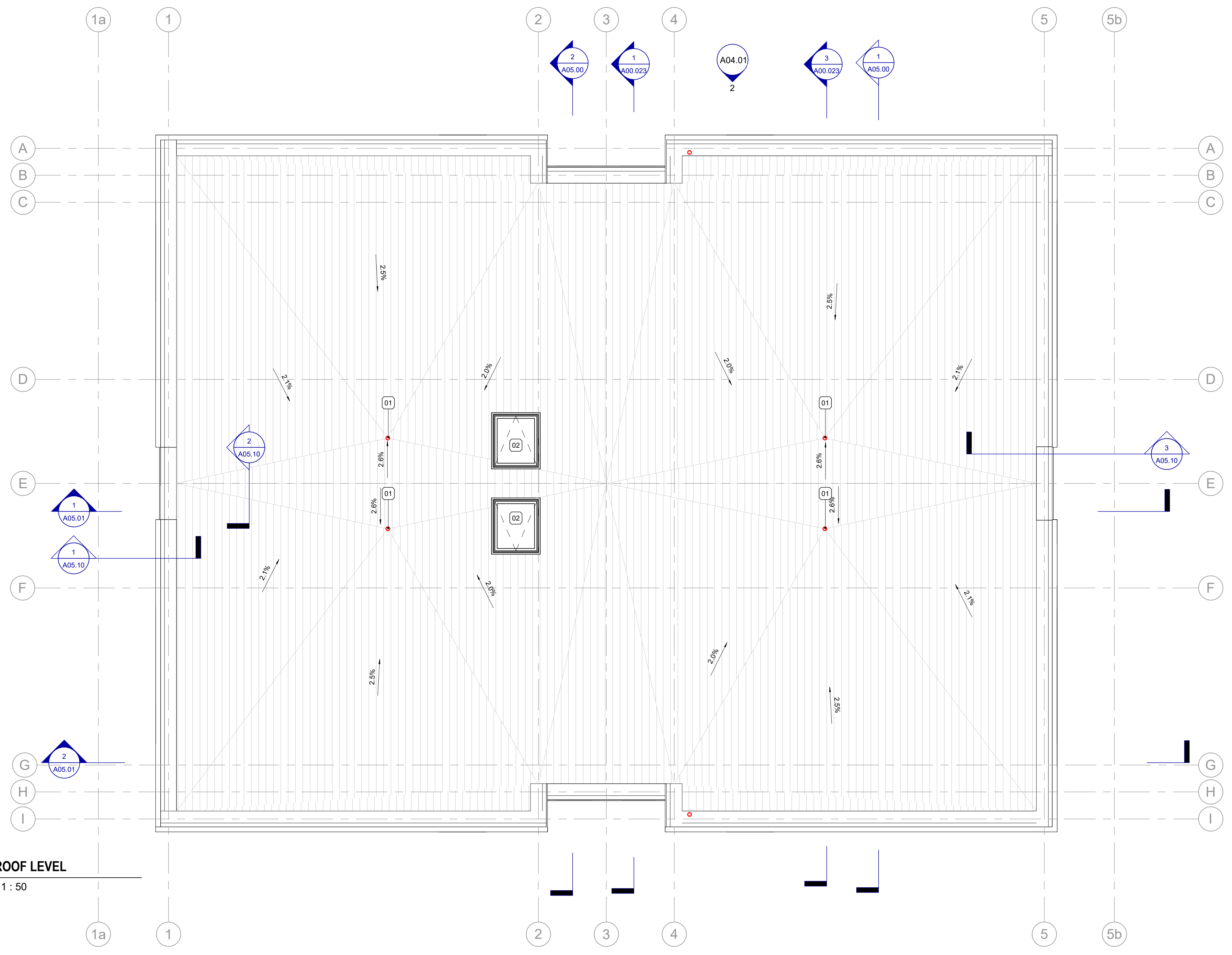
SEALS

GENERAL NOTES - ROOF PLAN

1. **GENERAL REQUIREMENTS**
 1. ROOF PLAN DOES NOT SHOW ALL PENETRATIONS THROUGH ROOF.
 2. CONTRACTOR SHALL REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK.
 3. MAKE PROVISIONS FOR ROOF PENETRATIONS WHERE INDICATED AND REQUIRED UNDER THE SCOPE OF THIS CONTRACT.
2. **INSULATION**
 1. PROVIDE TAPERED INSULATION AT PERIMETER OF ALL ROOFS, SKYLIGHTS AND AS INDICATED. SLOPE SHALL BE NO LESS THAN 2%.
 2. UNLESS NOTED OTHERWISE, SUMP ALL ROOF DRAINS IN ACCORDANCE WITH APPLICABLE CRCA DETAIL, AS INDICATED OR AS REQUIRED. PROVIDE TAPERED CRICKETS OR SIMILAR TYPE MEASURES TO ENSURE THAT ROOF WATER FLOWS TO DRAINS.
 3. SLOPE OF ROOF STRUCTURE TO BE SUPPLEMENTED BY TAPERED INSULATION. SLOPE ROOF INSULATION MIN. 1.5% TO DRAINS. TYPICAL CRICKETS, CONSTRUCTED OUT OF TAPERED INSULATION, ARE TO PROVIDE TWO TIMES THE SLOPE OF THE ROOF STRUCTURE.
3. **PENETRATIONS**
 1. ALL ROOF PENETRATIONS SHALL BE SEALED USING TALL CONE FLASHING OR FITCH POCKETS AS REQUIRED. CONES SHALL BE SEAMLESS AND INCLUDE A STORM COLLAR.
4. **EQUIPMENT**
 1. UPSTANDS ON ROOF FOR MECHANICAL UNITS, PARAPETS, SKYLIGHTS TO COME COMPLETE WITH CANF STRIPS.
 2. WITHOUT EXCEPTION, ROOF MOUNTED EQUIPMENT AND FITTINGS THAT REQUIRE A ROOF CURB SHALL BE SUPPORTED BY A CURB OF SUFFICIENT HEIGHT SO THAT THE TOP OF CURB IS AT LEAST 25mm ABOVE THE ADJACENT ROOF SURFACE. CONTRACTOR TO COORDINATE WITH SUPPLIERS/MANUFACTURERS ACCORDINGLY.
5. **MEMBRANES**
 1. CONTINUOUS VAPOUR RETARDER MEMBRANE COMPONENT OF ROOF ASSEMBLIES TO BE WRAPPED UP AT ALL PARAPETS, CURBS, EXTERIOR WALL ASSEMBLIES BY A MIN. 200mm OR AS DETAILED ON DRAWINGS. TIE INTO VAPOUR BARRIER & AVB MEMBRANES ON ALL VERTICAL SURFACES. PROVIDE "PEEL & STICK" TYPE TRANSITION MEMBRANES IN ORDER TO ENSURE CONTINUITY OF AIR BARRIERS/BUILDING ENVELOPE.
6. **ROOF ANCHORS**
 1. REFER TO SPECIFICATIONS FOR ROOF ANCHORS AND RELATED REQUIREMENTS.
 2. FULLY COORDINATE ROOF ANCHOR LOCATIONS WITH STRUCTURAL DRAWINGS & ROOF ANCHOR SHOP DRAWINGS TO ENSURE PROPER PLACEMENT OF ALL ROOF ANCHORS.
 3. LAYOUT SHOWN IS PRELIMINARY ONLY. FINAL LAYOUT TO BE CONFIRMED WITH ROOF ANCHOR SUPPLIER.

NOTES

No.	NOTE
01	ROOF DRAIN
02	THERMALLY BROKEN ROOF ACCESS HATCH
03	RESERVED
04	RESERVED
05	RESERVED
06	RESERVED
07	RESERVED
08	RESERVED
09	RESERVED
10	RESERVED
11	RESERVED
12	RESERVED
13	RESERVED
14	RESERVED
15	RESERVED
16	RESERVED
18	RESERVED
19	RESERVED
20	RESERVED



1 ROOF LEVEL
 1 : 50

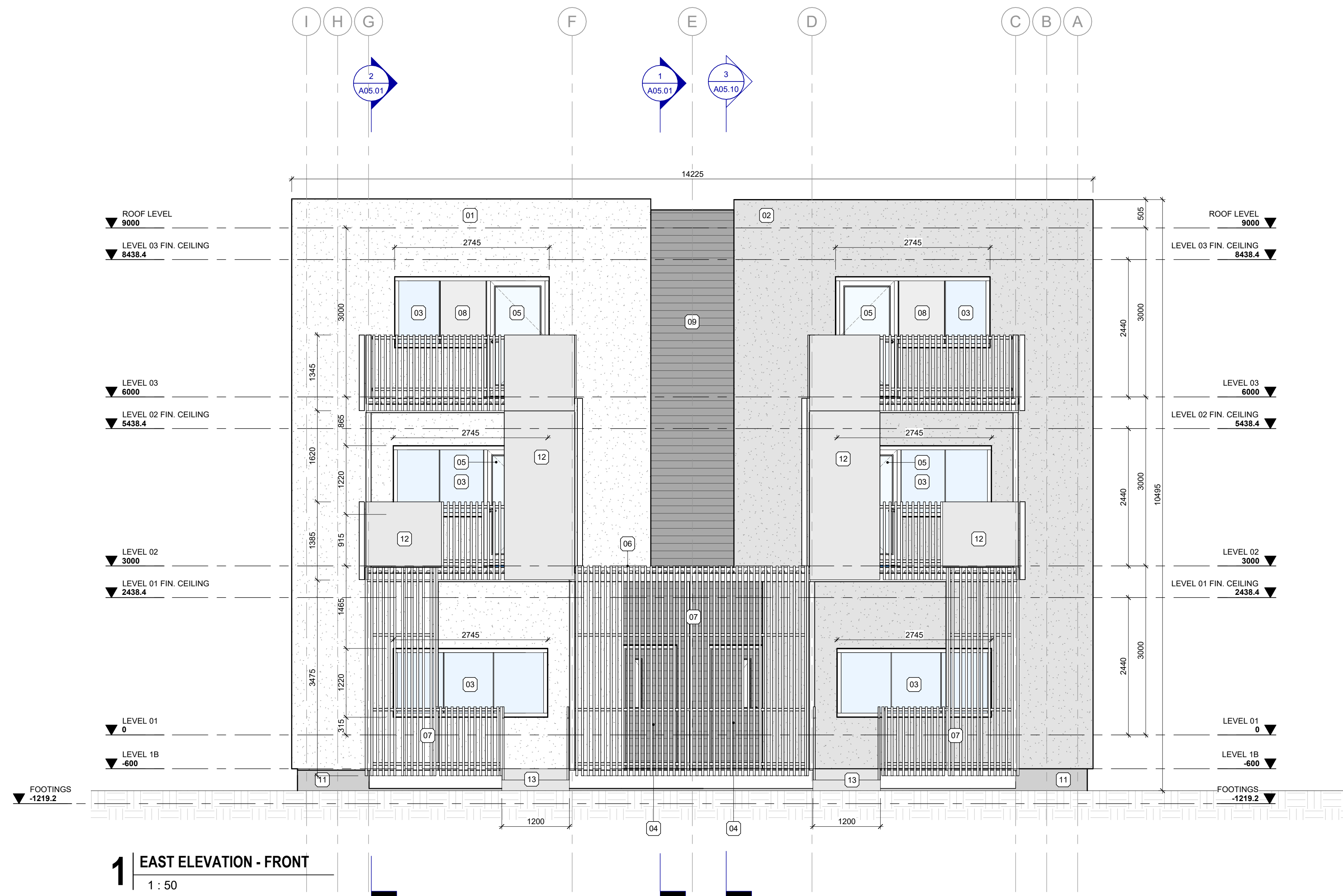
E	Minor Variance	07/17/24
D	Revised for Permit	xx/xx/24
C	Issued for Permit	04/23/24
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DRAWING TITLE: **ROOF PLAN**

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 PROJECT NO.: 12315 SCALE: As indicated
 DRAWING NO.: REVISION:

A03.09 E



1 EAST ELEVATION - FRONT
1 : 50

GENERAL NOTES - BUILDING ELEVATIONS

- GENERAL REQUIREMENTS**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS PREPARED BY THE MECHANICAL AND ELECTRICAL ENGINEERS TO DETERMINE LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PENETRATIONS, FIXTURES, DEVICES ETC.
- ELEVATION DRAWINGS MAY NOT SHOW ALL PENETRATIONS. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. MAKE PROVISIONS FOR PENETRATIONS WHERE INDICATED AND REQUIRED UNDER THE SCOPE OF THIS CONTRACT.
- ELEVATION DRAWINGS MAY NOT SHOW ALL FIXTURES, DEVICES ETC. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. REPORT ANY DISCREPANCIES WITH MECHANICAL AND ELECTRICAL DRAWINGS TO CONSULTANT IMMEDIATELY. OBTAIN INSTRUCTION FROM CONSULTANT BEFORE COMMENCING INSTALLATION.
- LOCATION OF FIXTURES, DEVICES ETC. AS SHOWN ON ELEVATION DRAWINGS SHALL BE INSTALLED IN THE LOCATIONS INDICATED, UNLESS SPECIFICALLY DIMENSIONED. FIXTURES SUCH AS WALL MOUNTED LIGHTS SHALL BE CENTERED OVER OPENINGS.
- ALL DOOR AND WINDOW OPENINGS TO BE SITE MEASURED BY CONTRACTOR PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE TAKEN FROM MASONRY OPENINGS.
- UNLESS OTHERWISE NOTED, ALL GLAZING WITHIN ALUMINUM ASSEMBLIES ARE TO BE DOUBLE-GLAZED, SEALED AND INSULATED UNITS.
- UNLESS OTHERWISE NOTED, ALL JOINT SEALANTS SEPARATING ALUMINUM ASSEMBLIES AND OTHER SUBSTRATE TO MATCH THE COLOUR OF THE ADJOINING ALUMINUM FINISHED ASSEMBLIES.

NOTES

- | No. | NOTE |
|-----|---|
| 01 | EIFS ASSEMBLY W/ STUCCO FINISH - PRIMARY COLOUR |
| 02 | EIFS ASSEMBLY W/ STUCCO FINISH - SECONDARY COLOUR |
| 03 | THERMALLY BROKEN WINDOW |
| 04 | SOLID-CORE WOOD ENTRY DOOR C/W DOORLITE |
| 05 | THERMALLY BROKEN SWING PATIO DOOR |
| 06 | PORCH COVERING |
| 07 | SLATTED THERMALWOOD SCREEN |
| 08 | SPANDREL GLASS PANEL |
| 09 | THERMALWOOD SIDING |
| 10 | CONCRETE BALCONY W/ STEEL STRUCTURE |
| 11 | PROTECTION BOARD OR PANEL |
| 12 | METAL PRIVACY PANEL |
| 13 | CONCRETE STEPS W/ METAL RAILING |



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SEALS

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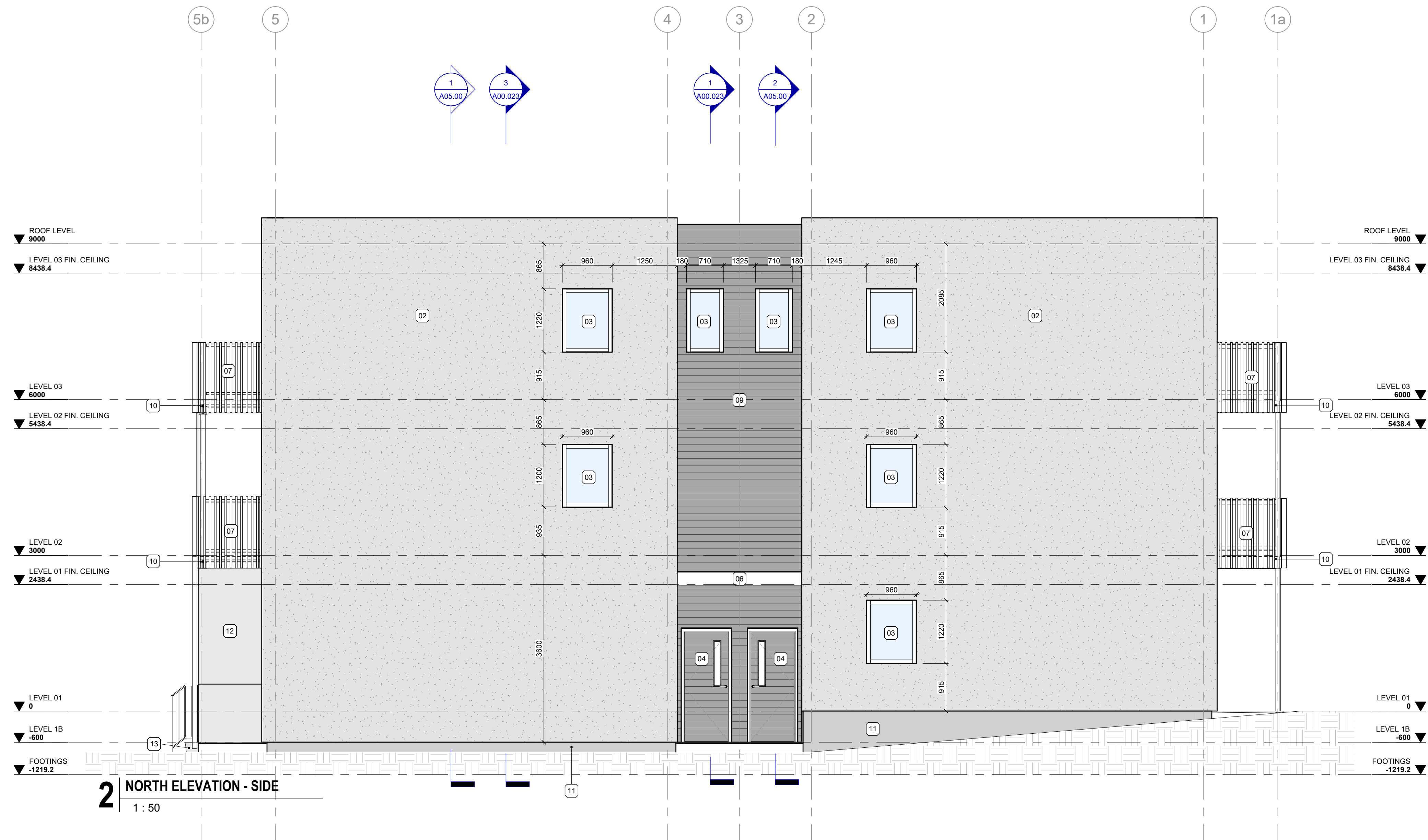
F	Minor Variance	07/17/24
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NO. ISSUES/REVISIONS DATE

DRAWING TITLE: EXTERIOR ELEVATIONS

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PROJECT NO.: 12315 SCALE: As indicated
DRAWING NO.: REVISION:

A04.00 **F**



2 NORTH ELEVATION - SIDE
1 : 50

GENERAL NOTES - BUILDING ELEVATIONS

1. GENERAL REQUIREMENTS

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS PREPARED BY THE MECHANICAL AND ELECTRICAL ENGINEERS TO DETERMINE LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PENETRATIONS, FIXTURES, DEVICES ETC.
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- ELEVATION DRAWINGS MAY NOT SHOW ALL FIXTURES, DEVICES ETC. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. REPORT ANY DISCREPANCIES WITH MECHANICAL AND ELECTRICAL DRAWINGS TO CONSULTANT IMMEDIATELY. OBTAIN INSTRUCTION FROM CONSULTANT BEFORE COMMENCING INSTALLATION.
- LOCATION OF FIXTURES, DEVICES ETC. AS SHOWN ON ELEVATION DRAWINGS SHALL BE INSTALLED IN THE LOCATIONS INDICATED, UNLESS SPECIFICALLY DIMENSIONED. FIXTURES SUCH AS WALL MOUNTED LIGHTS SHALL BE CENTERED OVER OPENINGS.
- ALL DOOR AND WINDOW OPENINGS TO BE SITE MEASURED BY CONTRACTOR PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE TAKEN FROM MASONRY OPENINGS.
- UNLESS OTHERWISE NOTED, ALL GLAZING WITHIN ALUMINUM ASSEMBLIES ARE TO BE DOUBLE-GLAZED, SEALED AND INSULATED UNITS.
- UNLESS OTHERWISE NOTED, ALL JOINT SEALANTS SEPARATING ALUMINUM ASSEMBLIES AND OTHER SUBSTRATE TO MATCH THE COLOUR OF THE ADJOINING ALUMINUM FINISHED ASSEMBLIES.

NOTES

- | No. | NOTE |
|-----|---|
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SEALS

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NO.	ISSUES/REVISIONS	DATE
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DRAWING TITLE:

EXTERIOR ELEVATIONS

ISSUE DATE: 07/17/24

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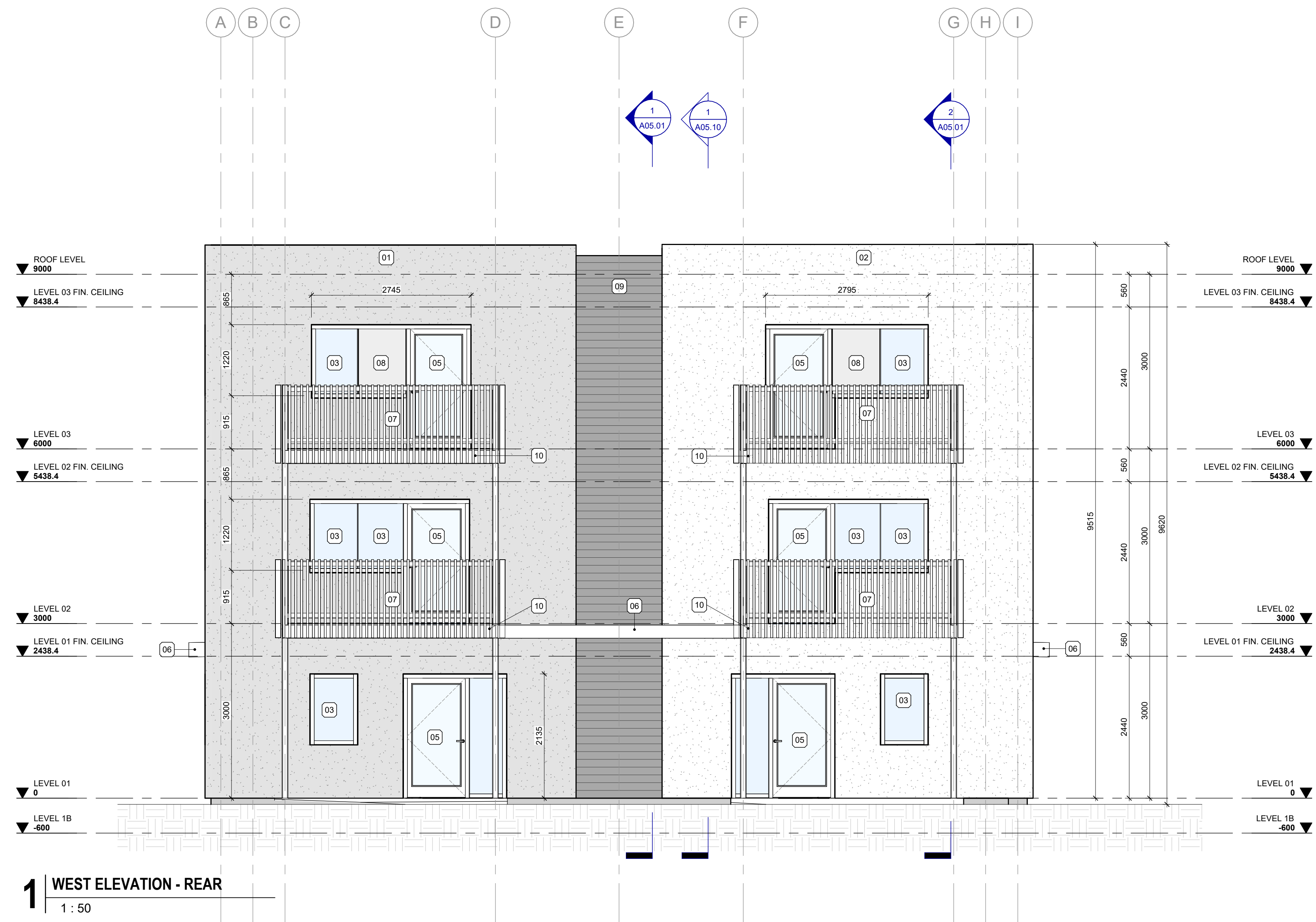
GENERAL NOTES - BUILDING ELEVATIONS

1. GENERAL REQUIREMENTS

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS PREPARED BY THE MECHANICAL AND ELECTRICAL ENGINEERS TO DETERMINE LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PENETRATIONS, FIXTURES, DEVICES ETC.
- ELEVATION DRAWINGS MAY NOT SHOW ALL PENETRATIONS. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. MAKE PROVISIONS FOR PENETRATIONS WHERE INDICATED AND REQUIRED UNDER THE SCOPE OF THIS CONTRACT.
- ELEVATION DRAWINGS MAY NOT SHOW ALL FIXTURES, DEVICES ETC. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. REPORT ANY DISCREPANCIES WITH MECHANICAL AND ELECTRICAL DRAWINGS TO CONSULTANT IMMEDIATELY. OBTAIN INSTRUCTION FROM CONSULTANT BEFORE COMMENCING INSTALLATION.
- LOCATION OF FIXTURES, DEVICES ETC. AS SHOWN ON ELEVATION DRAWINGS SHALL BE INSTALLED IN THE LOCATIONS INDICATED, UNLESS SPECIFICALLY DIMENSIONED. FIXTURES SUCH AS WALL MOUNTED LIGHTS SHALL BE CENTERED OVER OPENINGS.
- ALL DOOR AND WINDOW OPENINGS TO BE SITE MEASURED BY CONTRACTOR PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE TAKEN FROM MASONRY OPENINGS.
- UNLESS OTHERWISE NOTED, ALL GLAZING WITHIN ALUMINUM ASSEMBLIES ARE TO BE DOUBLE-GLAZED, SEALED AND INSULATED UNITS.
- UNLESS OTHERWISE NOTED, ALL JOINT SEALANTS SEPARATING ALUMINUM ASSEMBLIES AND OTHER SUBSTRATE TO MATCH THE COLOUR OF THE ADJOINING ALUMINUM FINISHED ASSEMBLIES.

NOTES

- | No. | NOTE |
|-----|---|
| 01 | EIPS ASSEMBLY W/ STUCCO FINISH - PRIMARY COLOUR |
| 02 | EIPS ASSEMBLY W/ STUCCO FINISH - SECONDARY COLOUR |
| 03 | THERMALLY BROKEN WINDOW |
| 04 | SOLID-CORE WOOD ENTRY DOOR CW DOORLITE |
| 05 | THERMALLY BROKEN SWING PATIO DOOR |
| 06 | PORCH COVERING |
| 07 | SLATTED THERMALWOOD SCREEN |
| 08 | SPANDREL GLASS PANEL |
| 09 | THERMALWOOD SIDING |
| 10 | CONCRETE BALCONY W/ STEEL STRUCTURE |
| 11 | PROTECTION BOARD OR PANEL |
| 12 | METAL PRIVACY PANEL |
| 13 | CONCRETE STEPS W/ METAL RAILING |



1 WEST ELEVATION - REAR
 1 : 50

E	Minor Variance	07/17/24
D	Issued for Zoning	06/19/24
C	Revised for Permit	xx/xx/24
B	Issued for Permit	04/23/24
A	Issued for Coordination	04/17/24

NO. ISSUES/REVISIONS DATE

DRAWING TITLE:

EXTERIOR ELEVATIONS

ISSUE DATE: 07/17/24

DRAWN BY: Author CHECKED BY: Checker

PROJECT NO.: 12315 SCALE: As indicated

DRAWING NO.: REVISION:

A04.02 E



378 East 25th Street Infill Housing
378 E. 25th St
Hamilton, ON L8V 3B1

DP AI

Design Partners in
Architecture and Interiors

25 Main Street West, Hamilton, Ontario, Canada L8P 1H1
T: 905-522-0220

DRAWINGS ARE NOT TO BE SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO ARCHITECTS BEFORE PROCEEDING WITH WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

SEALS
NOT FOR CONSTRUCTION

GENERAL NOTES - BUILDING ELEVATIONS

1. GENERAL REQUIREMENTS

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS PREPARED BY THE MECHANICAL AND ELECTRICAL ENGINEERS TO DETERMINE LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PENETRATIONS, FIXTURES, DEVICES ETC.
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- ELEVATION DRAWINGS MAY NOT SHOW ALL FIXTURES, DEVICES ETC. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. REPORT ANY DISCREPANCIES WITH MECHANICAL AND ELECTRICAL DRAWINGS TO CONSULTANT IMMEDIATELY. OBTAIN INSTRUCTION FROM CONSULTANT BEFORE COMMENCING INSTALLATION.
- LOCATION OF FIXTURES, DEVICES ETC. AS SHOWN ON ELEVATION DRAWINGS SHALL BE INSTALLED IN THE LOCATIONS INDICATED, UNLESS SPECIFICALLY DIMENSIONED, FIXTURES SUCH AS WALL MOUNTED LIGHTS SHALL BE CENTERED OVER OPENINGS.
- ALL DOOR AND WINDOW OPENINGS TO BE SITE MEASURED BY CONTRACTOR PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE TAKEN FROM MASONRY OPENINGS.
- UNLESS OTHERWISE NOTED, ALL GLAZING WITHIN ALUMINUM ASSEMBLIES ARE TO BE DOUBLE-GLAZED, SEALED AND INSULATED UNITS.
- UNLESS OTHERWISE NOTED, ALL JOINT SEALANTS SEPARATING ALUMINUM ASSEMBLIES AND OTHER SUBSTRATE TO MATCH THE COLOUR OF THE ADJOINING ALUMINUM FINISHED ASSEMBLIES.

NOTES

- | No. | NOTE |
|-----|---|
| 01 | EIFS ASSEMBLY W/ STUCCO FINISH - PRIMARY COLOUR |
| 02 | EIFS ASSEMBLY W/ STUCCO FINISH - SECONDARY COLOUR |
| 03 | THERMALLY BROKEN WINDOW |
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| 05 | THERMALLY BROKEN SWING PATIO DOOR |
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| 08 | SPANDREL GLASS PANEL |
| 09 | THERMALWOOD SIDING |
| 10 | CONCRETE BALCONY W/ STEEL STRUCTURE |
| 11 | PROTECTION BOARD OR PANEL |
| 12 | METAL PRIVACY PANEL |
| 13 | CONCRETE STEPS W/ METAL RAILING |



1 SOUTH ELEVATION - SIDE
1 : 50

E	Minor Variance	07/17/24
D	Issued for Zoning	06/19/24
C	Revised for Permit	xx/xx/24
B	Issued for Permit	04/23/24
A	Issued for Coordination	04/17/24

NO.	ISSUES/REVISIONS	DATE
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DRAWING TITLE:

EXTERIOR ELEVATIONS

ISSUE DATE: 07/17/24

DRAWN BY: Author CHECKED BY: Checker

PROJECT NO.: 12315 SCALE: As indicated

DRAWING NO.: REVISION:

A04.03 E



378 East 25th Street Infill Housing
 378 E. 25th St
 Hamilton, ON L8V 3B1

D P A I

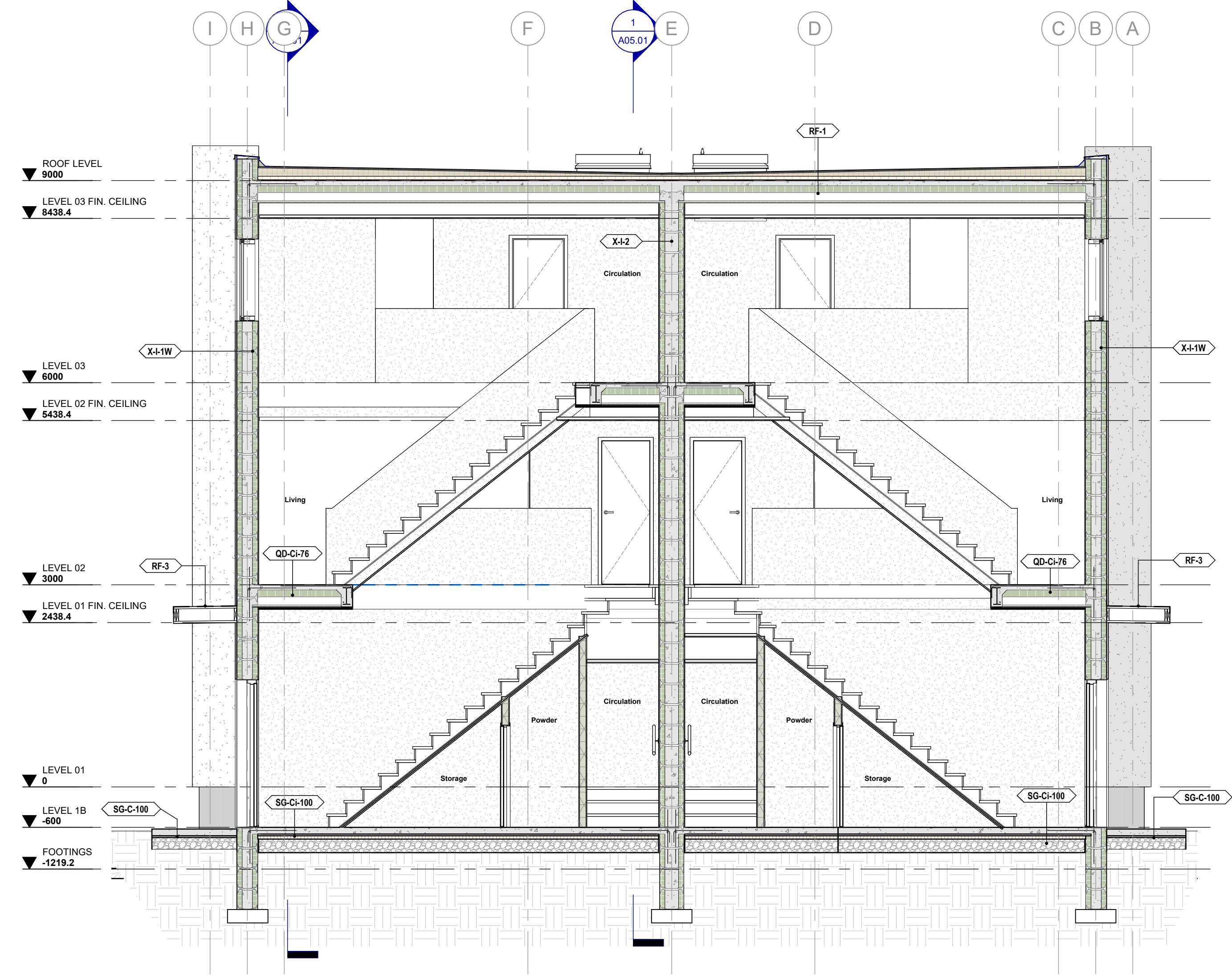
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25 Main Street West, Hamilton, Ontario, Canada L8P 1H1
 T: 905-522-0220

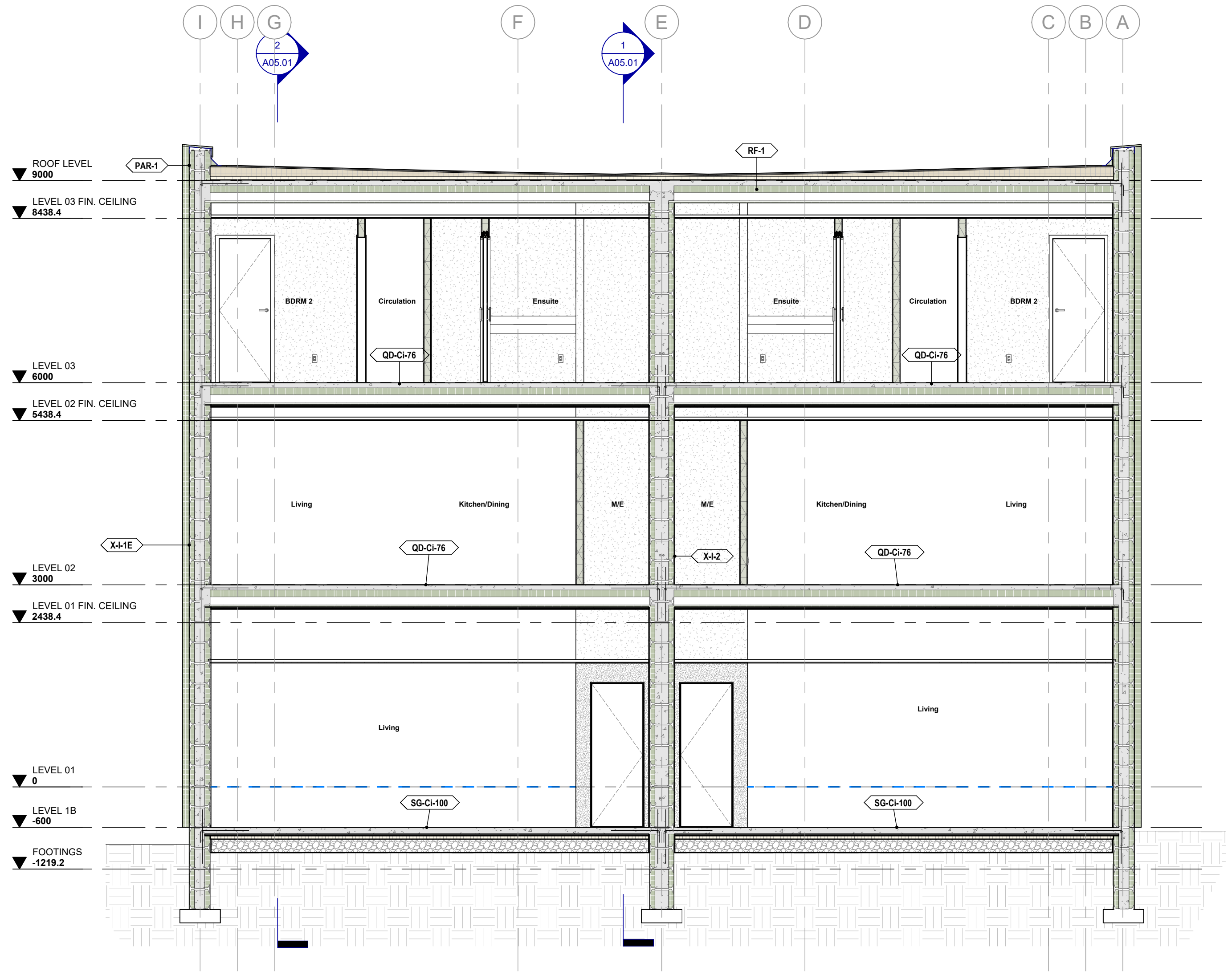
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SEALS



2 SECTION 4 - THRU WOOD SIDING CLADDED WALL
 1 : 50



1 SECTION 3 - THRU EIFS CLADDED WALL
 1 : 50

E	Minor Variance	07/17/24
D	Revised for Permit	xx/xx/24
C	Issued for Permit	04/23/24
B	Issued for Coordination	04/17/24
A	Issued for Coordination	02/04/24

NO. ISSUES/REVISIONS DATE

DRAWING TITLE:

BUILDING SECTIONS 

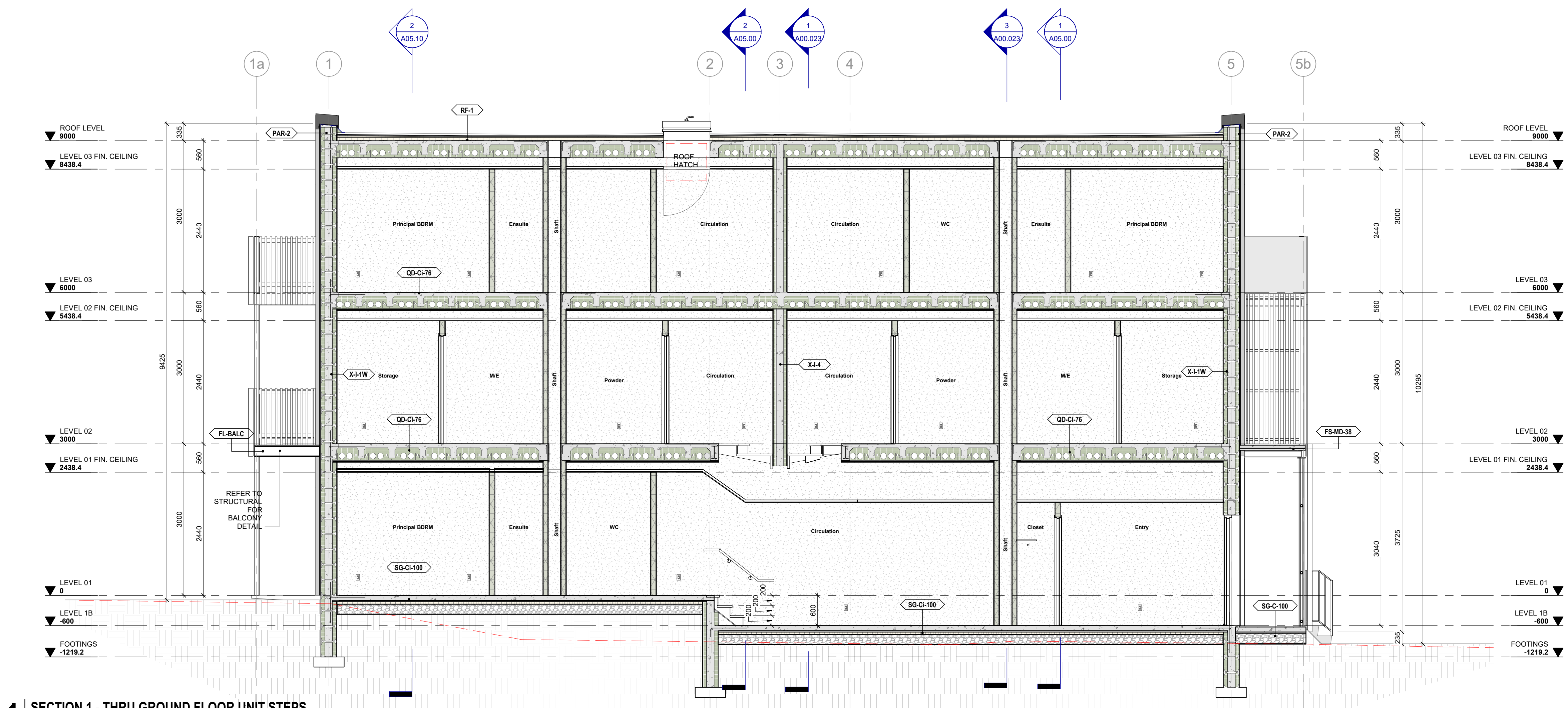
ISSUE DATE: 07/17/24

DRAWN BY: Author CHECKED BY: Checker

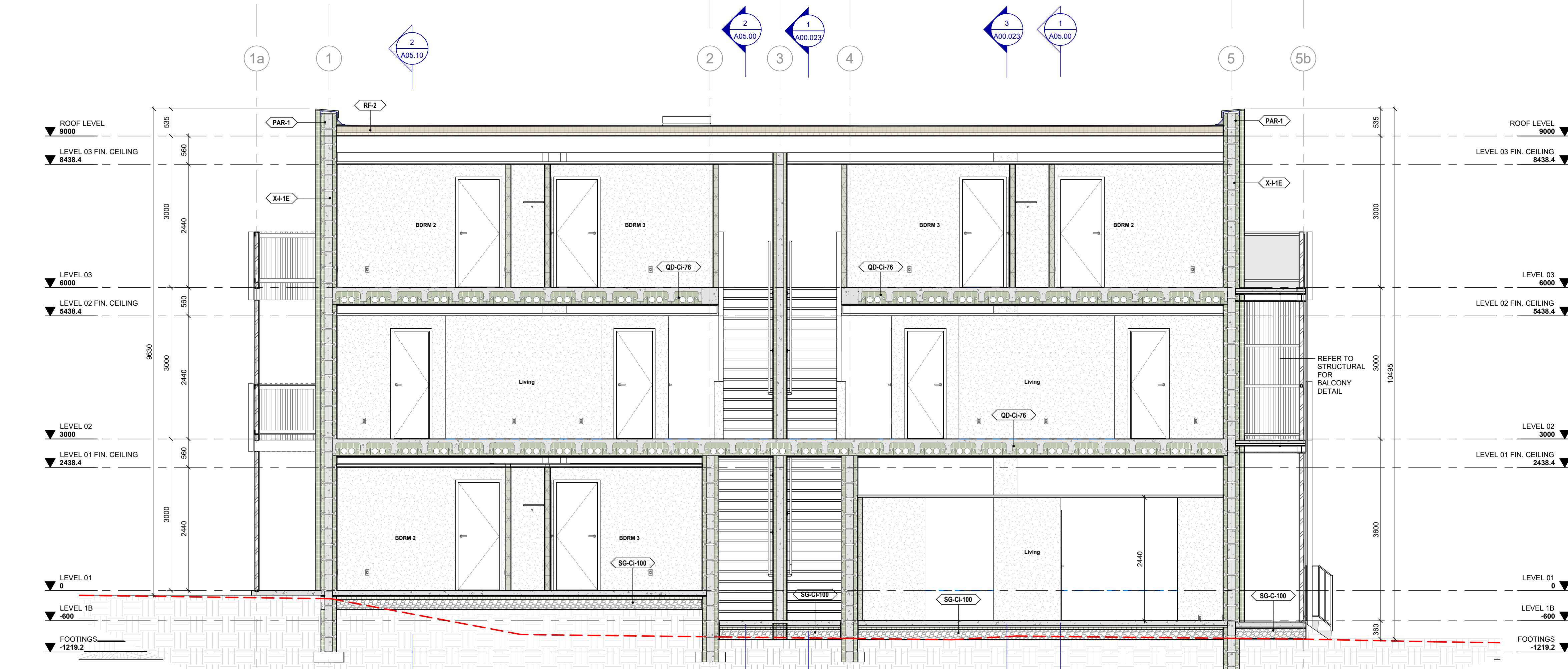
PROJECT NO.: 12315 SCALE: 1 : 50

DRAWING NO.: REVISION:

A05.00 **E**



1 SECTION 1 - THRU GROUND FLOOR UNIT STEPS
1 : 50



2 SECTION 2 - THRU SIDE ENTRY STAIRS
1 : 50

E	Minor Variance	07/17/24
D	Revised for Permit	xx/xx/24
C	Issued for Permit	04/23/24
B	Issued for Coordination	04/17/24
A	Issued for Coordination	02/04/24

NO. ISSUES/REVISIONS DATE

DRAWING TITLE: **BUILDING SECTIONS**

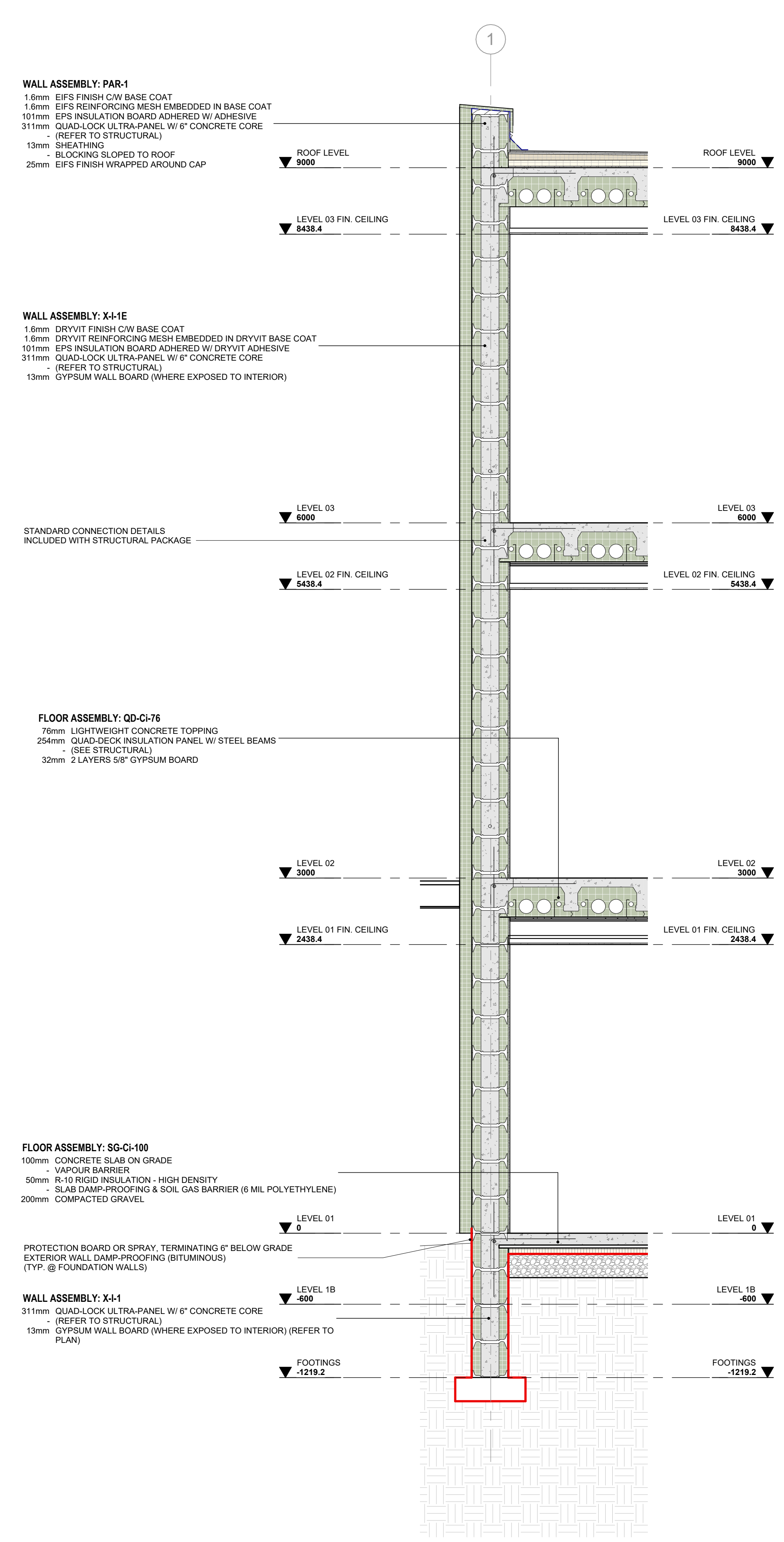
ISSUE DATE: 07/17/24

DRAWN BY: Author CHECKED BY: Checker

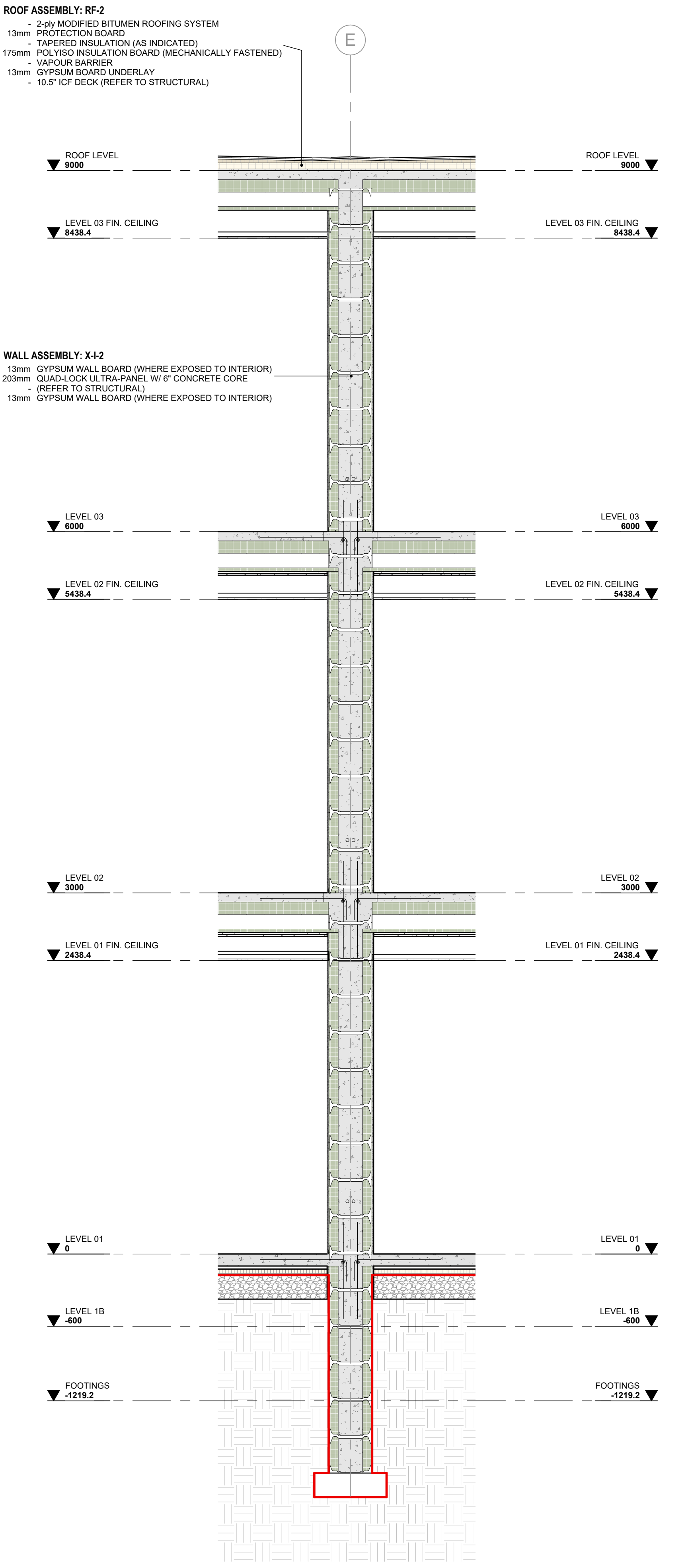
PROJECT NO.: 12315 SCALE: 1 : 50

DRAWING NO.: REVISION:

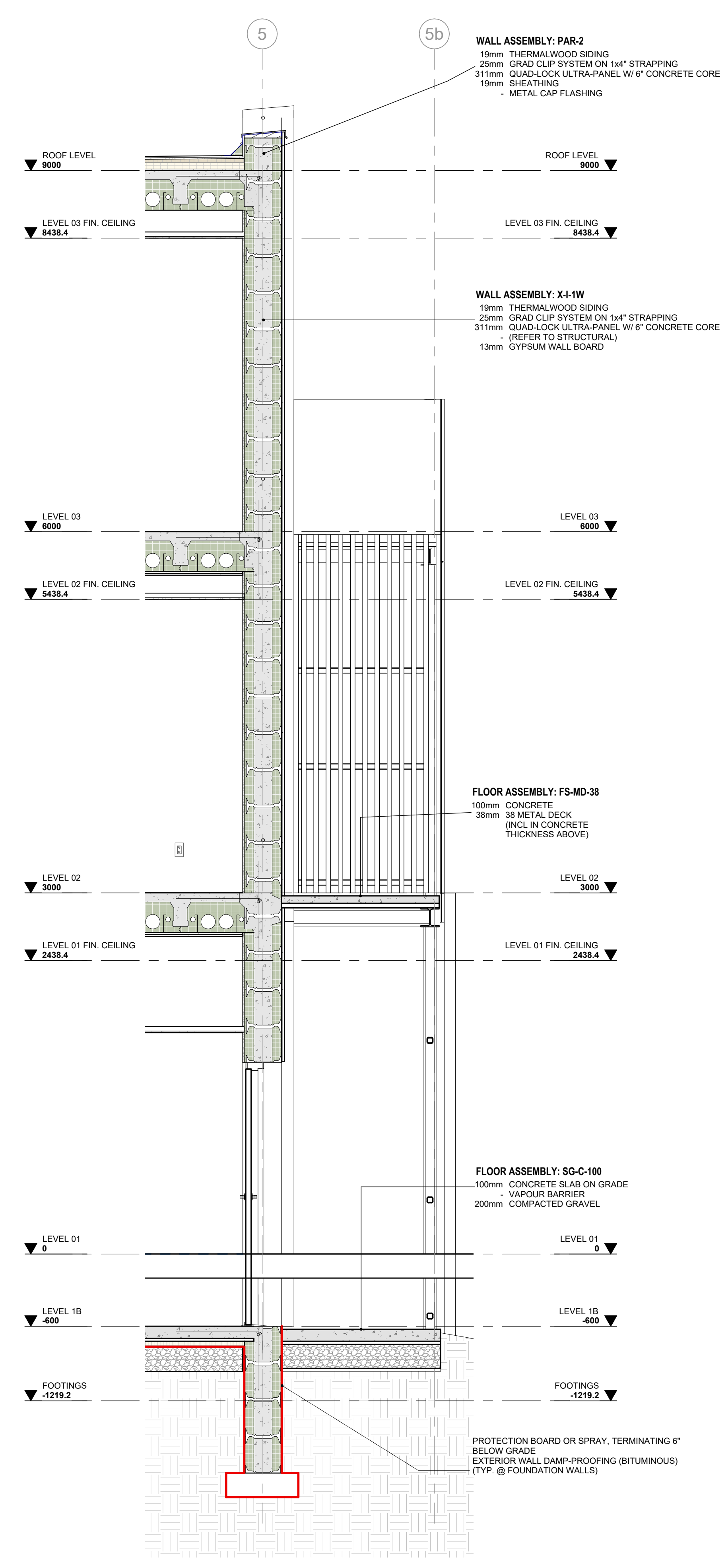
A05.01 E



1 SECTION THRU STUCCO FINISH WALL
1 : 25



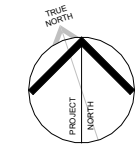
2 SECTION THRU PARTY WALL
1 : 25



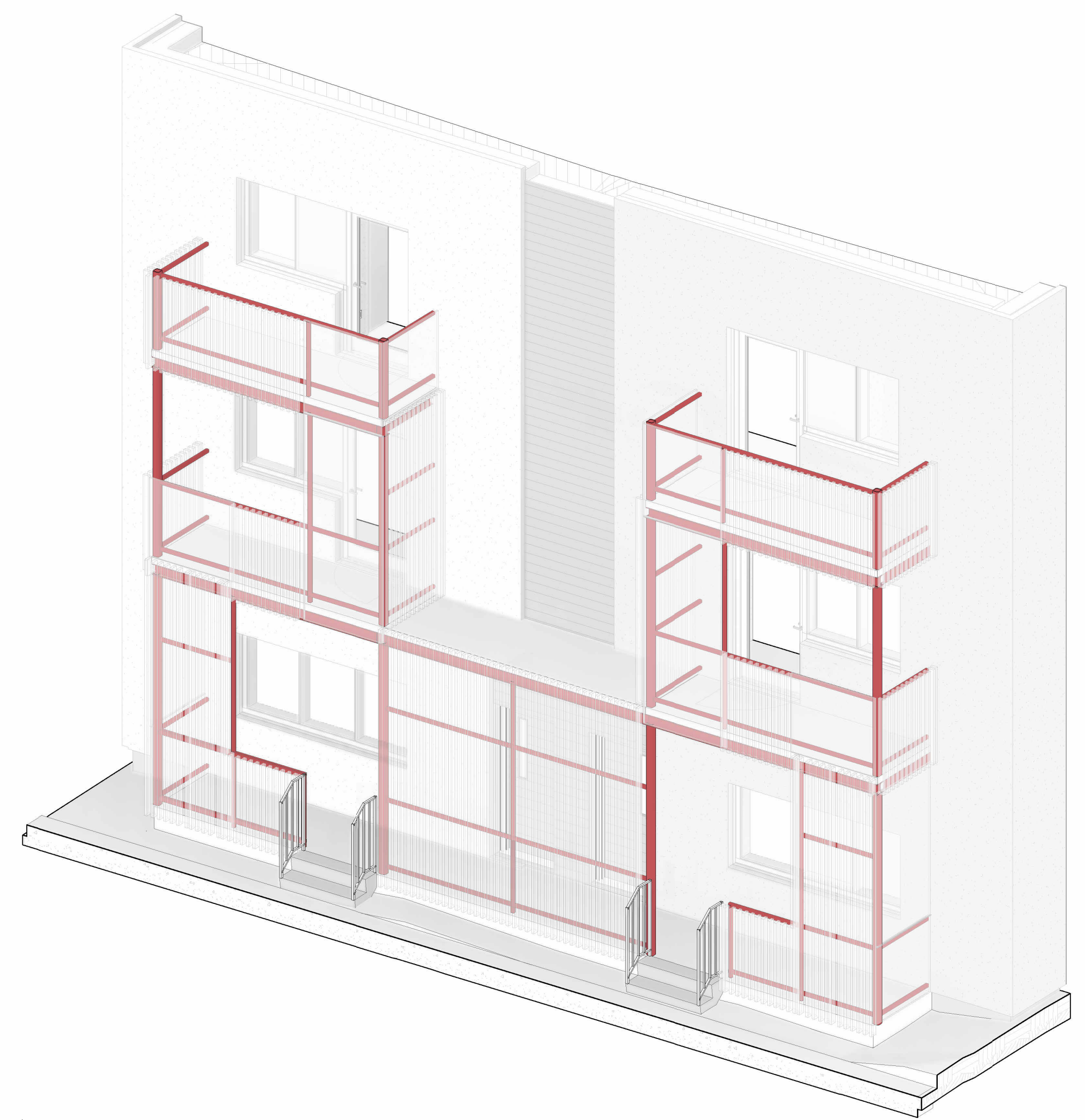
3 SECTION THRU WOOD SIDING FINISH WALL
1 : 25

D	Minor Variance	07/17/24
C	Revised for Permit	xx/xx/24
B	Issued for Permit	04/23/24
A	Issued for Coordination	04/17/24

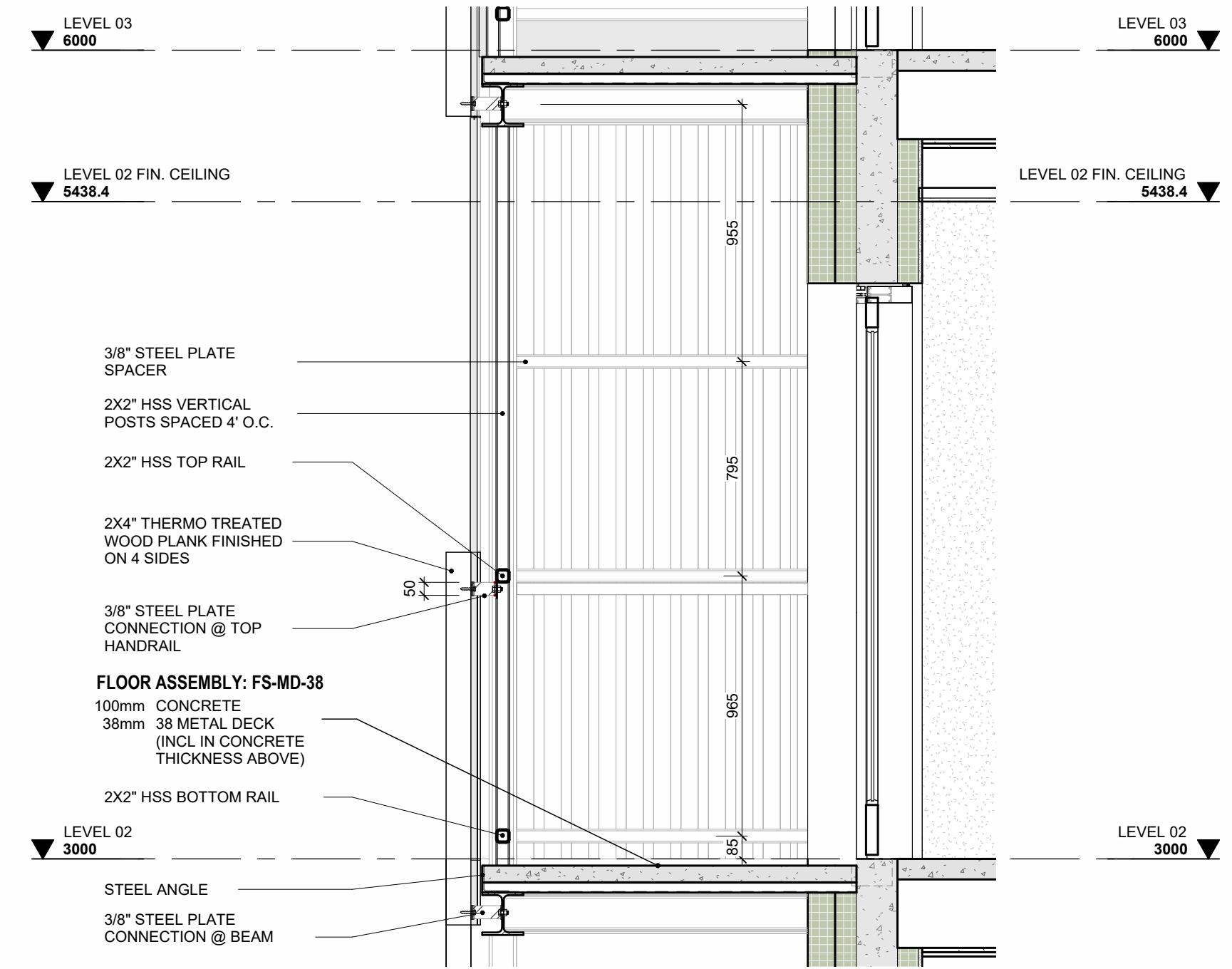
NO.	ISSUES/REVISIONS	DATE
DRAWING TITLE:		

WALL SECTIONS		
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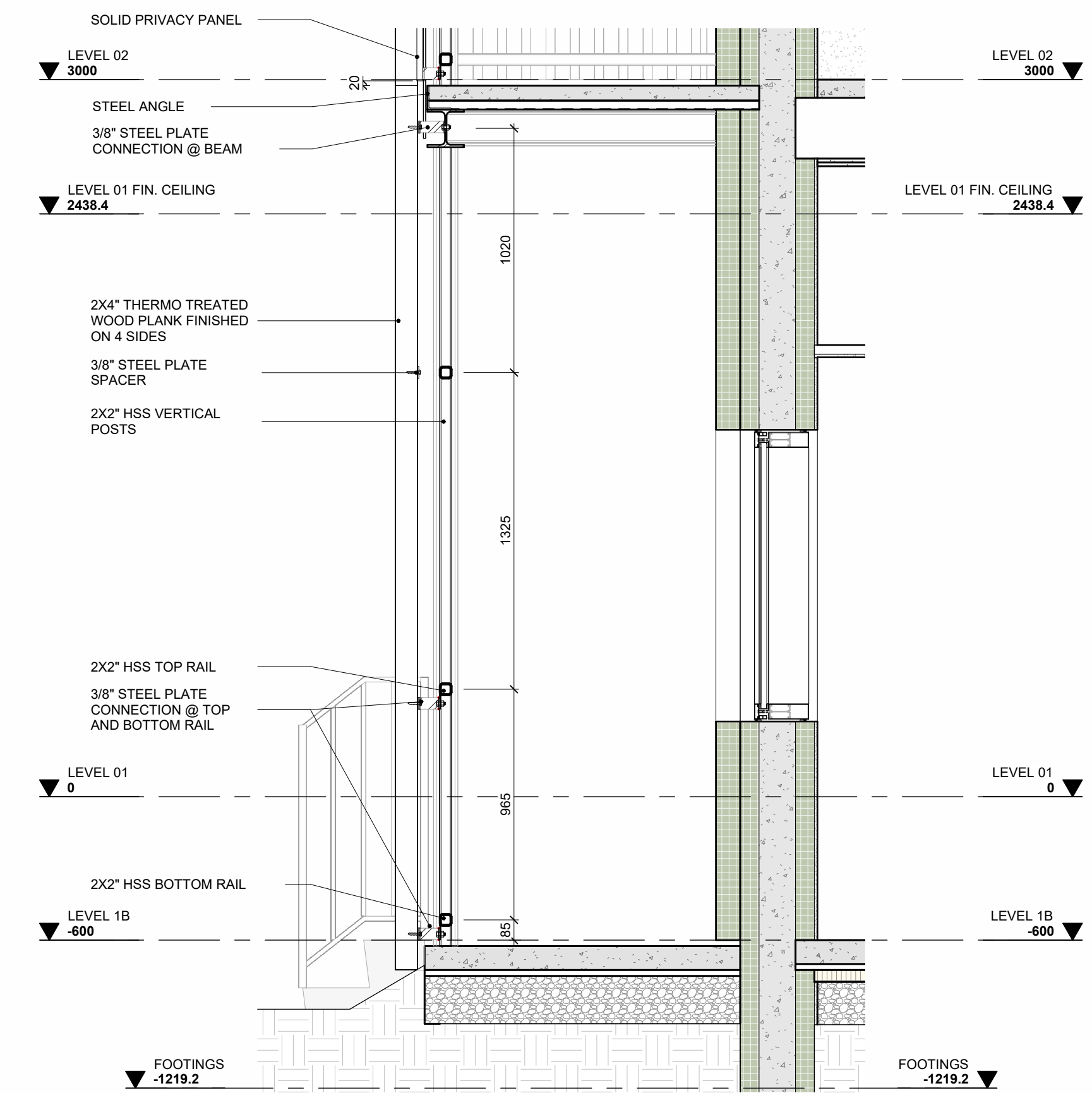
ISSUE DATE:	07/17/24
DRAWN BY: Author	CHECKED BY: Checker
PROJECT NO.: 12315	SCALE: 1 : 25
DRAWING NO.:	REVISION:



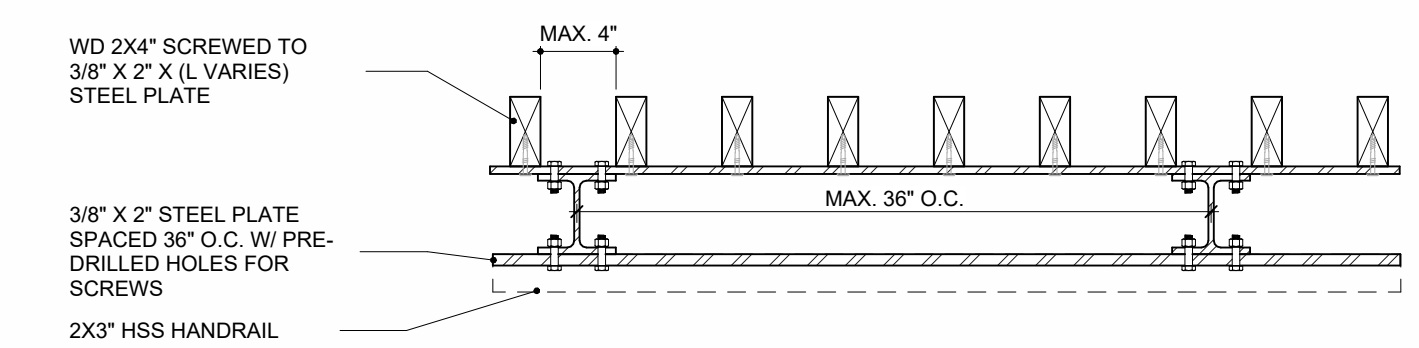
1 3D VIEW - BALCONY STRUCTURE



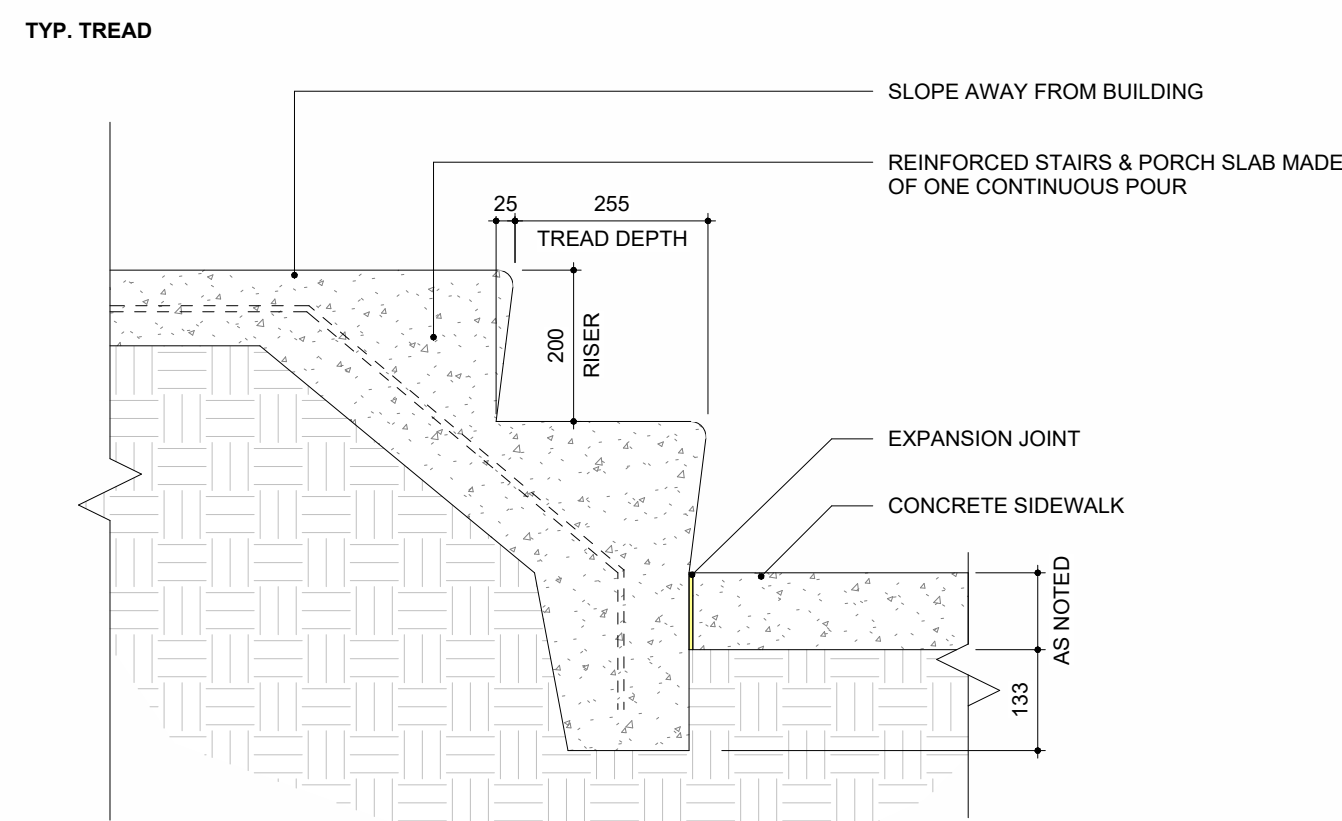
2 SECTION DETAIL THRU HALF-HEIGHT WOOD SCREEN
1 : 20



4 SECTION THRU FULLHEIGHT WOOD SCREEN
1 : 20



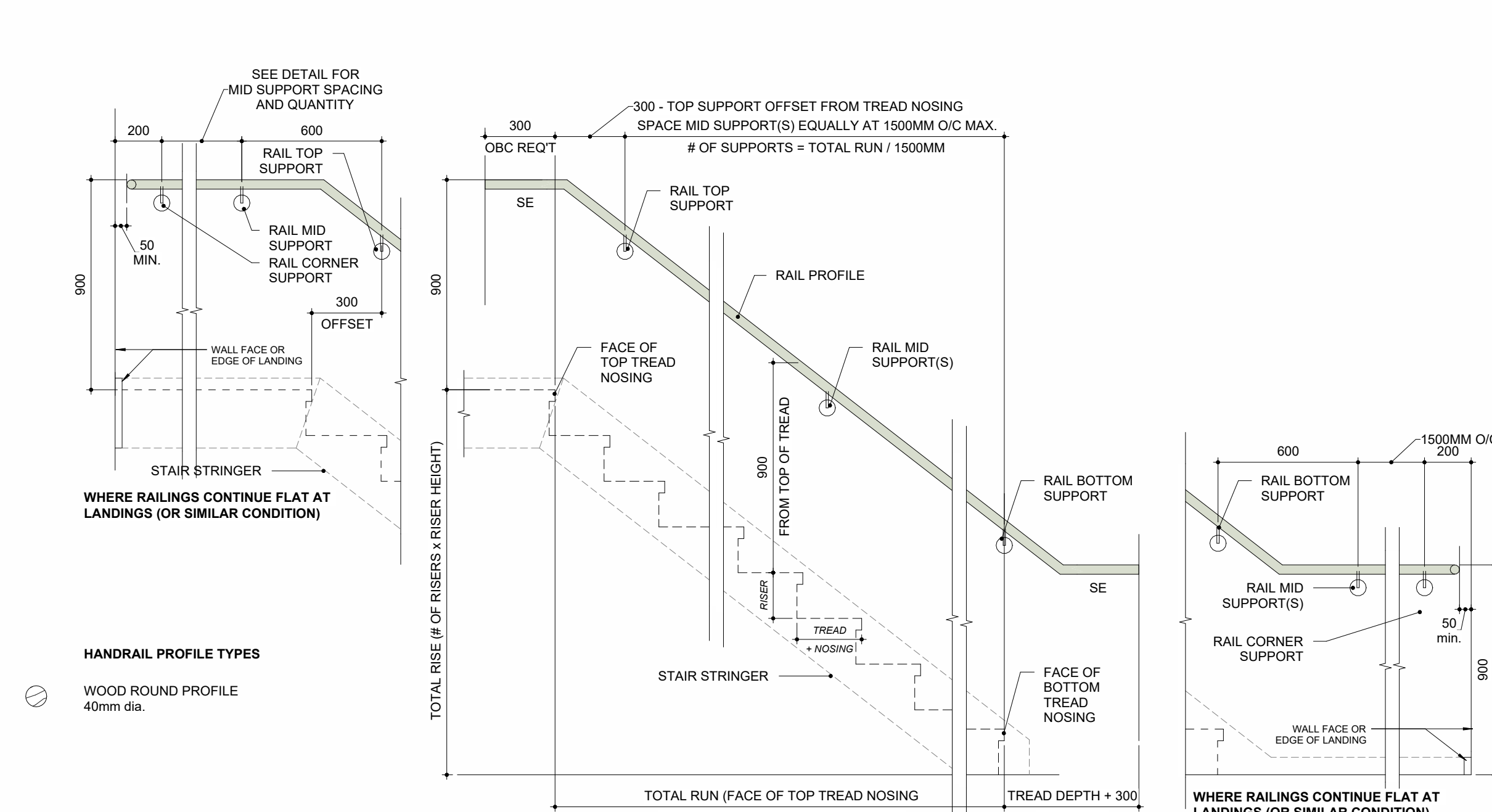
3 WS-1 - STEEL-WD SCREEN
1 : 10



*ENGINEERED STAMPED DRAWING REQUIRED PRIOR TO FABRICATION
**REFER TO PLANS AND SECTIONS FOR 'AS NOTED' DIMENSIONS

6 CONCRETE STAIR TREAD DETAIL

1:10

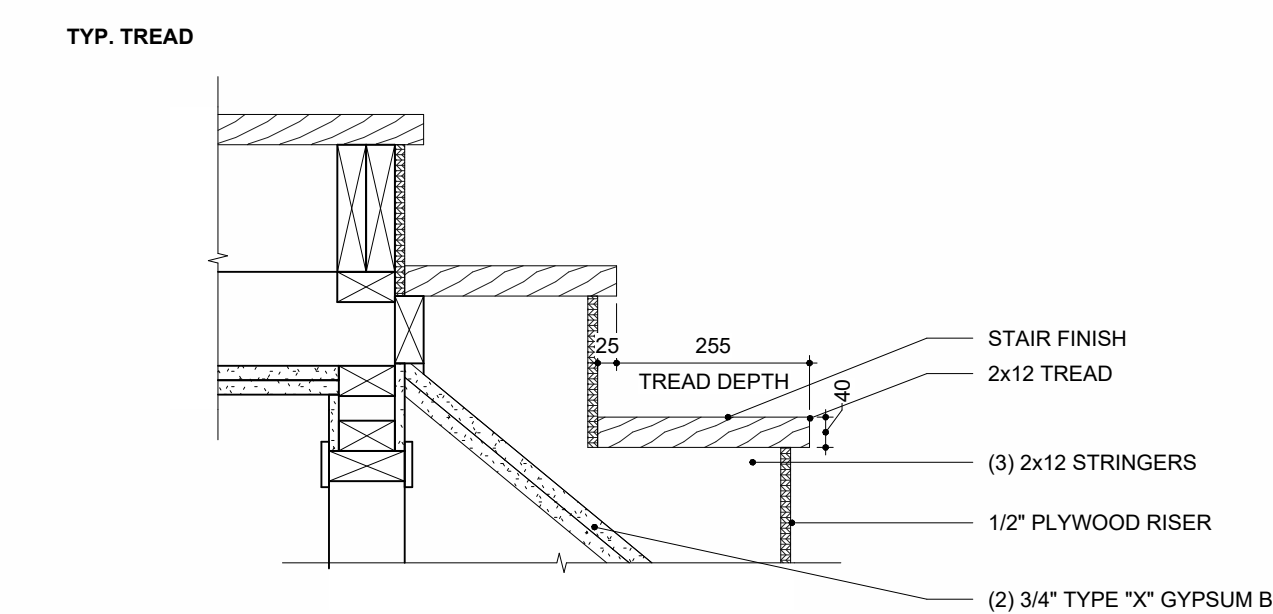


- HANDRAIL NOTES**
1. ALL HANDRAILS TO BE DESIGNED IN ACCORDANCE WITH OBC AND OHSA REQUIREMENTS AND REGULATIONS.
 2. SCOPE OF WORK IS TO PROVIDE FULLY OPERATIONAL HANDRAIL SYSTEM.
 3. FABRICATE AND INSTALL IN ACCORDANCE WITH ANSINAAM AMP 521 (CURRENT VERSION)
 4. ALL WELDS TYPE 3 OR BETTER
 5. GRIND SMOOTH ALL WELDS
 6. PRIME AND PAINT ALL STEEL
 7. PROVIDE BLOCKING AT CONNECTION POINTS AS REQUIRED

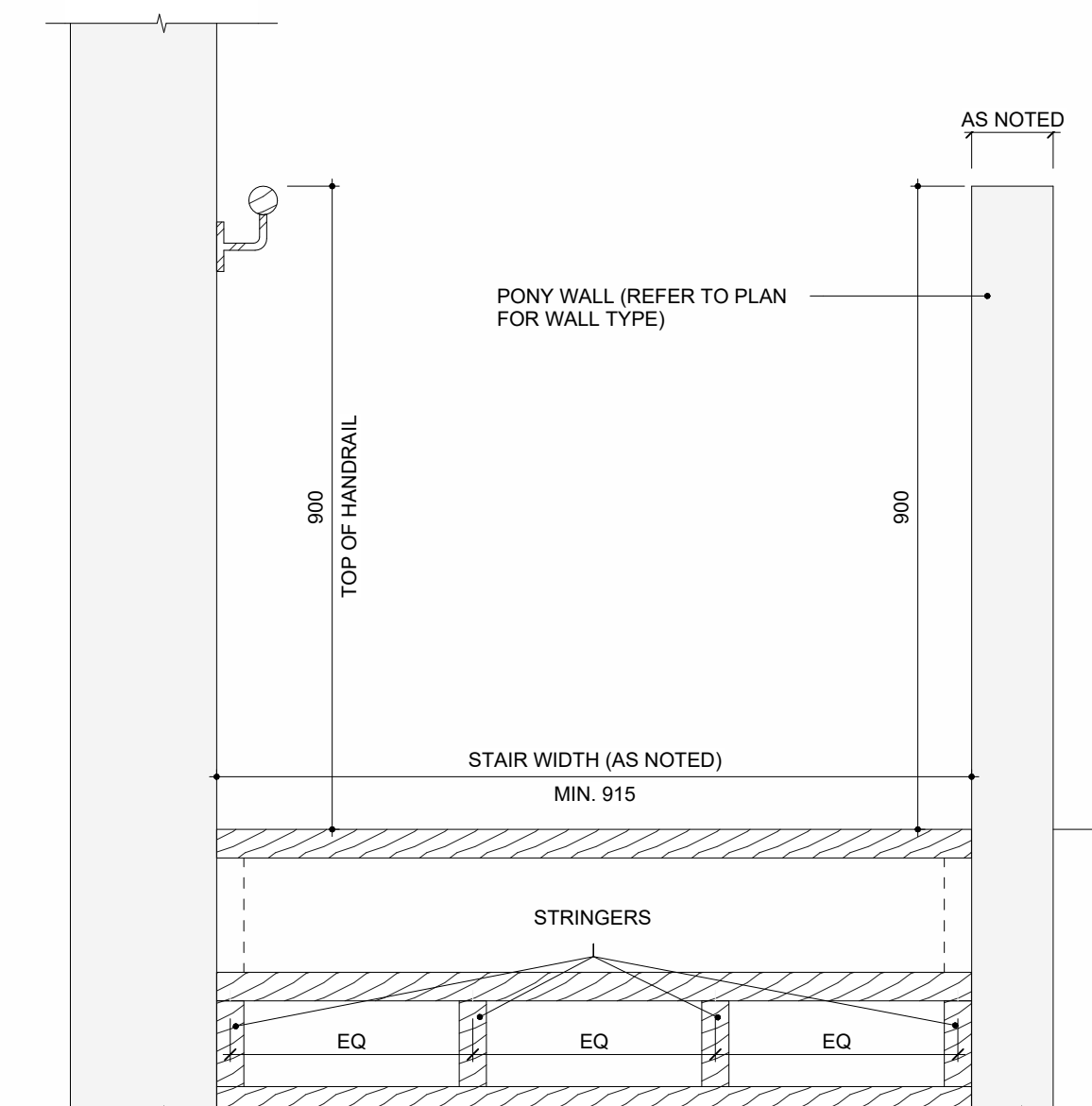
- THE INTENT OF THE DETAIL IS TO FACILITATE DESIGN OF HANDRAILS.**
IN PREPARATION OF SHOP DRAWINGS, DO THE FOLLOWING:
1. OFFSET RAIL TOP SUPPORT FROM FACE OF TOP TREAD NOSING AS INDICATED
 2. ALIGN RAIL BOTTOM SUPPORT TO FACE OF BOTTOM TREAD NOSING AS INDICATED
 3. DIVIDE DISTANCE BETWEEN TOP AND BOTTOM RAIL SUPPORT BY 1500MM TO DETERMINE QUANTITY AND SPACING OF MID RAIL SUPPORTS. WHERE CALCULATION RESULTS IN A DECIMAL, ROUND TO THE NEAREST WHOLE NUMBER.
- EXAMPLE:
DISTANCE BETWEEN TOP AND BOTTOM RAIL SUPPORTS = 3750. $3750/1500 = 2.5$. THEREFORE, PROVIDE 3 MIDRAIL SUPPORTS EQUALLY SPACED

2 WD HANDRAIL WALL - MOUNTED

1:20



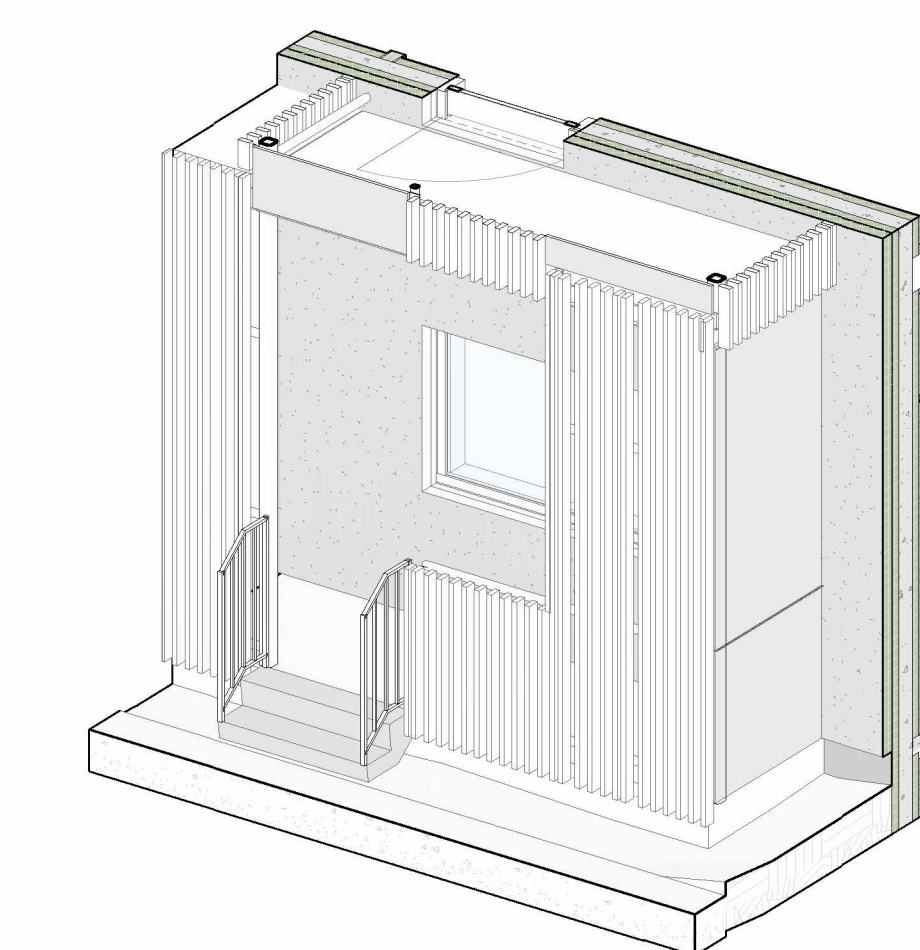
TYP. CONDITION AT TOP OF STAIRS



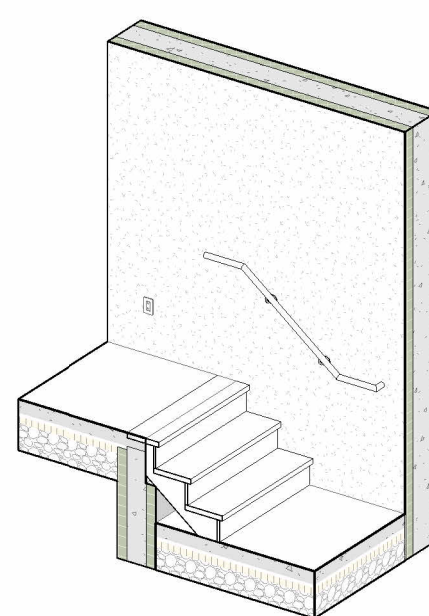
*ENGINEERED STAMPED DRAWING REQUIRED PRIOR TO FABRICATION
**REFER TO PLANS AND SECTIONS FOR 'AS NOTED' DIMENSIONS

1 WOOD STAIR TREAD DETAIL

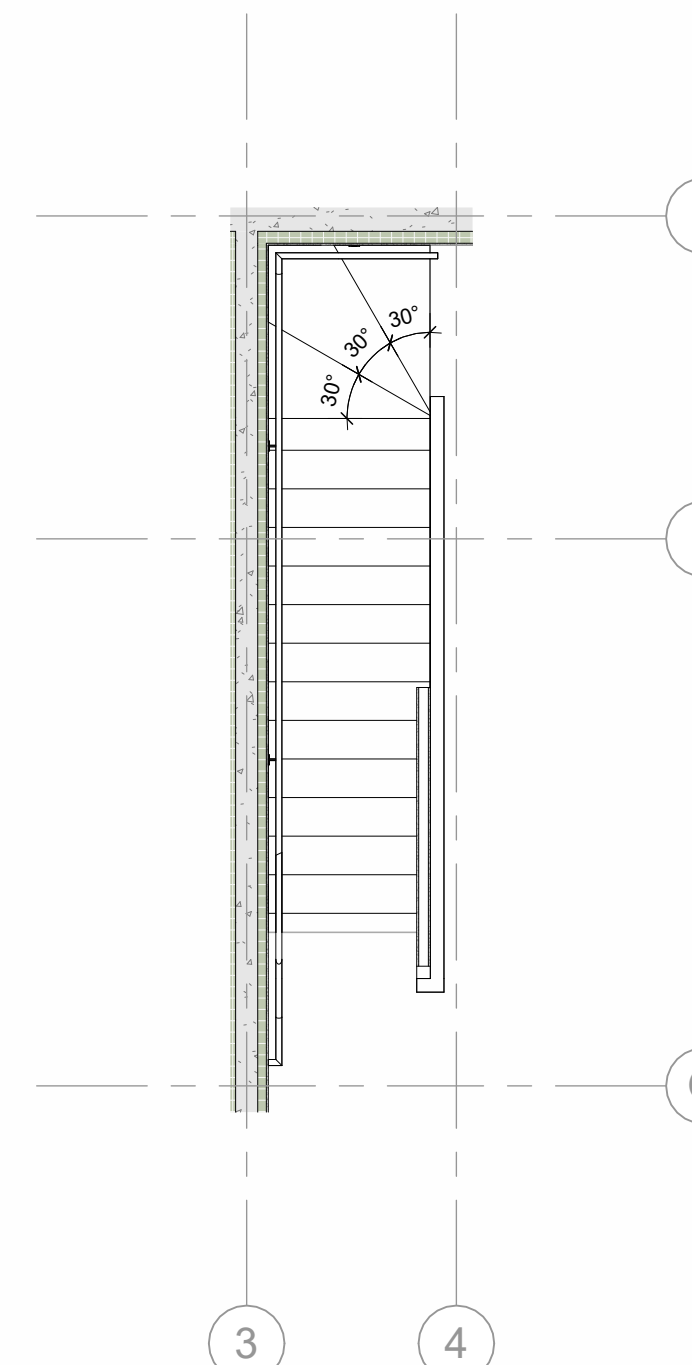
1:10



5 3D VIEW - CONCRETE PORCH STEPS

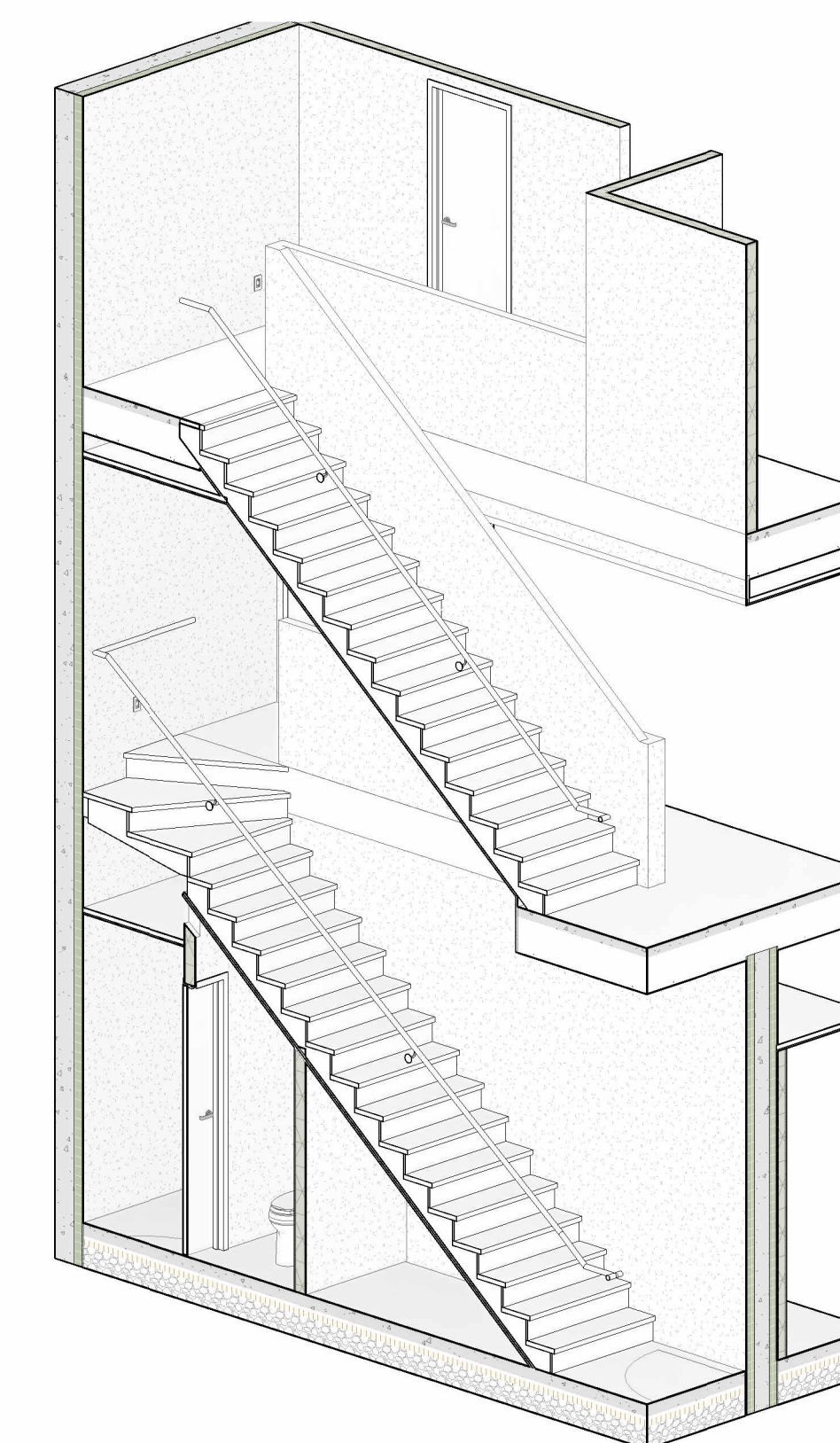


4 3D VIEW - WOOD LOWER LEVEL STAIRS



7 WOOD WINDER STAIRS PLAN

1:50



3 3D VIEW - WOOD WINDER STAIRS

B	Minor Variance	07/17/24
A	Revised for Permit	xx/xx/24
NO.	ISSUES/REVISIONS	DATE

DRAWING TITLE:		
VERTICAL CIRCULATION DETAIL PART PLANS		

ISSUE DATE:	07/17/24
DRAWN BY: Author	CHECKED BY: Checker
PROJECT NO.: 12315	SCALE: As indicated
DRAWING NO.:	REVISION:

GENERAL NOTES - DOORS, FRAMES, & HARDWARE

- GENERAL REQUIREMENTS**
 - IT IS THE RESPONSIBILITY OF THE DOOR, FRAME, WINDOW, CURTAIN WALL & HARDWARE MANUFACTURER TRADES TO CO-ORDINATE & EXECUTE THEIR WORK TOGETHER.
 - DIMENSIONS INDICATED R.O - INDICATE ROUGH OPENING. GENERAL CONTRACTOR SHALL VERIFY ALL OPENINGS ON SITE PRIOR TO FABRICATION AND ORDERING.
- SHOP DRAWINGS**
 - SHOP DRAWINGS ARE REQUIRED PRIOR TO FABRICATION.
 - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S), AND THEIR HARDWARE MANUFACTURER TRADES COORDINATE & EXECUTE THEIR WORK TOGETHER & LABEL IDENTIFYING INFORMATION FOR ALL DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S) SCHEDULES TO MATCH THE IDENTIFICATION TAG LABELS HERE, NOT HAVING DIFFERENT LABELS & DIMENSIONAL UNITS ON SHOP DRAWINGS THAN TENDERED DOCUMENTS (REVISE & RESUBMIT SHOP DRAWINGS WILL BE RETURNED IF THIS FORMAT IS NOT FOLLOWED WITH NO REVIEW UNDERTAKEN BY THE CONSULTANT TEAM)
 - SUBMIT SHOP DRAWINGS FOR DOORS, FRAMES AND SCREENS CLEARLY INDICATING PROFILES, ANCHORS, CONSTRUCTION, FIRE RATING, GLAZING STOPS DETAILS, PREPARATION AND REINFORCEMENT OF MANUAL AND ELECTRONIC HARDWARE AND SECURITY DEVICES AND OTHER INFORMATION REQUIRED FOR PROPER COORDINATION AND INSTALLATION OF DOORS, FRAMES AND SCREENS WITH THE WORK.
 - SHOP DRAWINGS SHALL REFERENCE DOOR TYPE PANEL ELEVATIONS AS SHOWN.
 - REFER TO SPECIFICATION FOR DOOR HARDWARE SCHEDULE. THIS SCHEDULE IS PROVIDED TO ASSIST THE CONTRACTOR WITH THE TENDER AND THE WORK. THE INFORMATION PERTAINING TO DOORS AND FRAMES ON DRAWINGS, HARDWARE SCHEDULE AND IN THE SPECIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK. IN THE CARE OF DISCREPANCY BETWEEN ANY OF THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CLARIFY AND RECONCILE THE DISCREPANCY WITH THE CONSULTANT PRIOR TO COMMENCING THE WORK.
- FIRE RATING AND SMOKE SEALS**
 - CONFIGURE FRAME AND DOOR PROTECTION FOR DOORS WITH DOOR SEALS SO AS TO NOT COMPROMISE SEAL.
 - ALL DOORS AND FRAMES IN RATED ASSEMBLIES SHALL BE APPROPRIATELY LABELLED.
 - PROVIDE DOOR SEALS AT ALL FIRE RATED DOORS.
 - PROVIDE RATED DOOR FRAMES, DOOR PANELS, GLAZING AND FRAMES AT INTERIOR SCREENS TO SUIT INDICATED FIRE SEPARATIONS. USE FIRELITE GLASS WHERE INDICATED GLASS SIZE EXCEEDS MAXIMUM AREAS FOR TEMPERED GLASS AT RATED DOORS.
 - ALL FIRE RATED DOORS AND SCREENS W/ GLAZING SHALL HAVE "FIRELITE" GLAZING AS REQUIRED.
 - ALL NON RATED GLAZING SHALL BE TEMPERED.
 - ALL EXTERIOR DOOR GLAZING SHALL BE LAMINATED SAFETY GLASS.
- EXECUTION**
 - ALL NEW HOLLOW METAL FRAMES AND DOORS PANELS SHALL BE PAINTED.
 - ALL DOORS AND FRAMES SHALL BE PREPARED AND REINFORCED FOR SPECIFIED HARDWARE AND ACCESSORIES.
 - CONTRACTOR TO SITE VERIFY AS-BUILT ROUGH OPENING SIZES AND WALL THICKNESS FOR WRAP AROUND FRAMES PRIOR TO FABRICATION OF FRAMES.
 - COORDINATE PREPARATION AND INSTALLATION OF DOORS AND HARDWARE WITH ELECTRICAL DIVISION AND CONCEALING OF ELECTRONIC JUNCTION BOXES, CONDUITS AND WIRING IN DOOR FRAMING.
 - ALL DOORS DESIGNATED WITH ELECTRICAL AND SECURITY CLOSURE SHALL HAVE FRAMES PRE-DRILLED TO RECEIVE SUCH DEVICES.
 - WHERE DOOR LITES ARE PRESENT, THEY SHALL NOT BE MORE THAN 900mm AFF UNLESS NOTED OTHERWISE.
 - PROVIDE PREFABRICATED LITES w/ STAINLESS STEEL FRAME AND INTEGRAL BLINDS WHERE SPECIFIED. SUBSTITUTIONS FOR HOLLOW METAL FRAMED LITES WILL NOT BE ACCEPTED.
 - PREPARE DOORS TO RECEIVE HARDWARE AS INDICATED ON FINISH HARDWARE SCHEDULE AND ELECTRICAL DRAWINGS.
 - CAULK AND PAINT ALL EXPOSED EDGES OF DOORS AND FRAMES.
 - UNDERCUT DOORS WHERE INDICATED ON DRAWINGS.
 - REFER TO MECHANICAL DRAWINGS FOR LOUVER SIZES IN TYPE 'L' DOORS.
 - ALL LITES IN EXTERIOR DOORS SHALL BE SEALED AND THERMALLY BROKEN.
 - ALL EXTERIOR DOOR FRAMES SHALL BE FILLED WITH CLOSED CELL FOAM INSULATION (JAMBS AND HEAD).
 - ALL EXTERIOR DOORS SHALL BE COMPLETELY WEATHERSTRIPPED AND GASKETED.
 - ALL EXTERIOR DOORS SHALL HAVE A PREFABRICATED ALUMINUM THRESHOLD.
 - CAULK FRAME TO FLOOR AT EXPOSED CONCRETE FLOOR FINISHES.
 - PROVIDE DOOR BUMPERS ON ALL STEEL FRAMES.
 - PROVIDE VISION STRIPS AS PER ONTARIO BUILDING CODE DIV. 3.8.3.3 REQUIREMENTS AT FULL HEIGHT GLASS AREAS.



378 East 25th Street Infill Housing
378 E 25th St
Hamilton, ON L8V 3B1



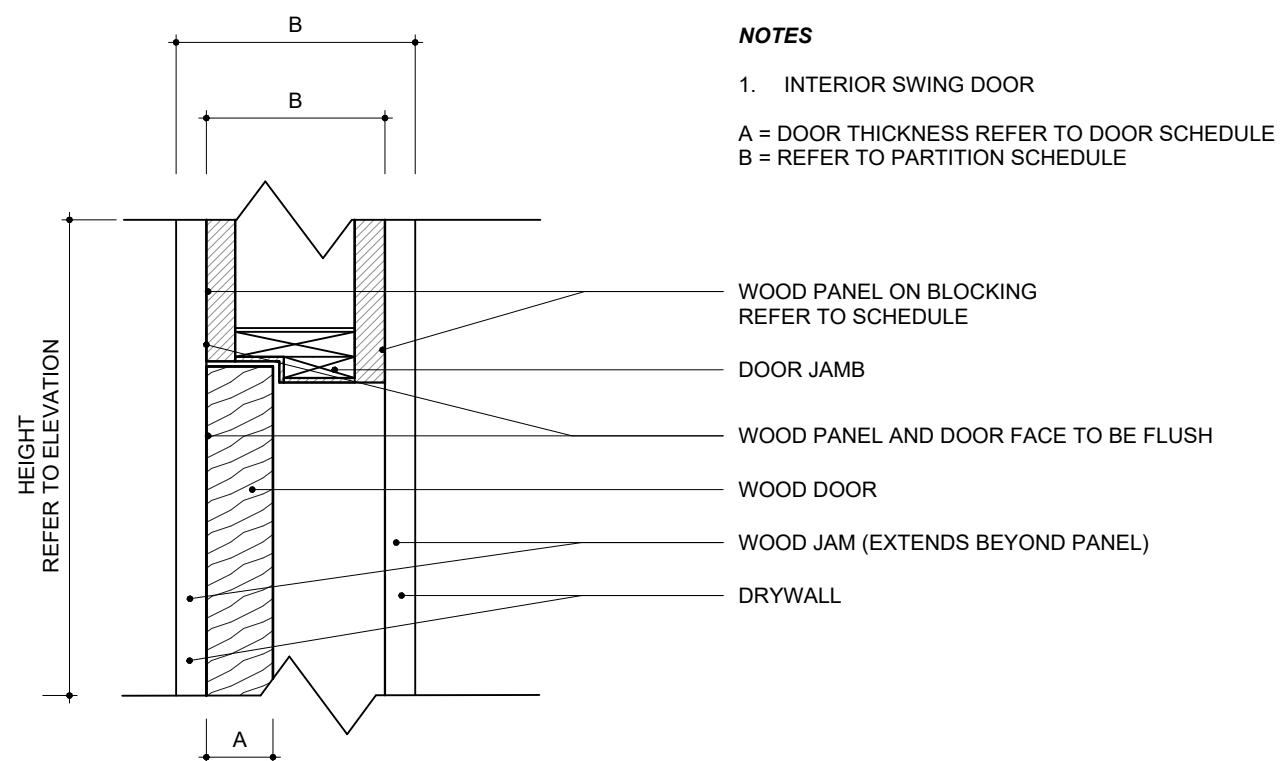
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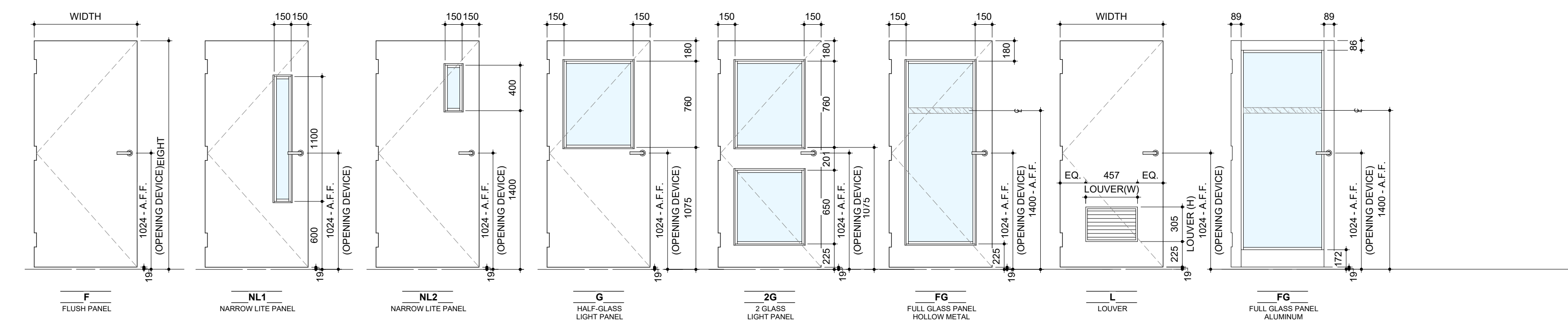
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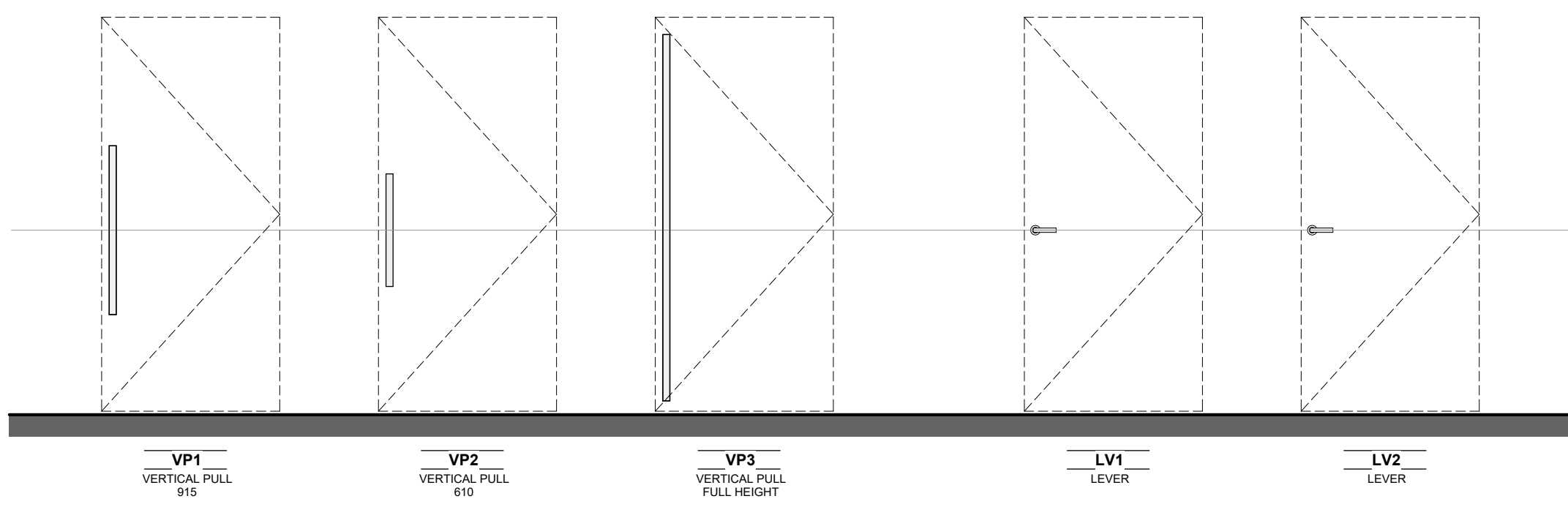
SEALS



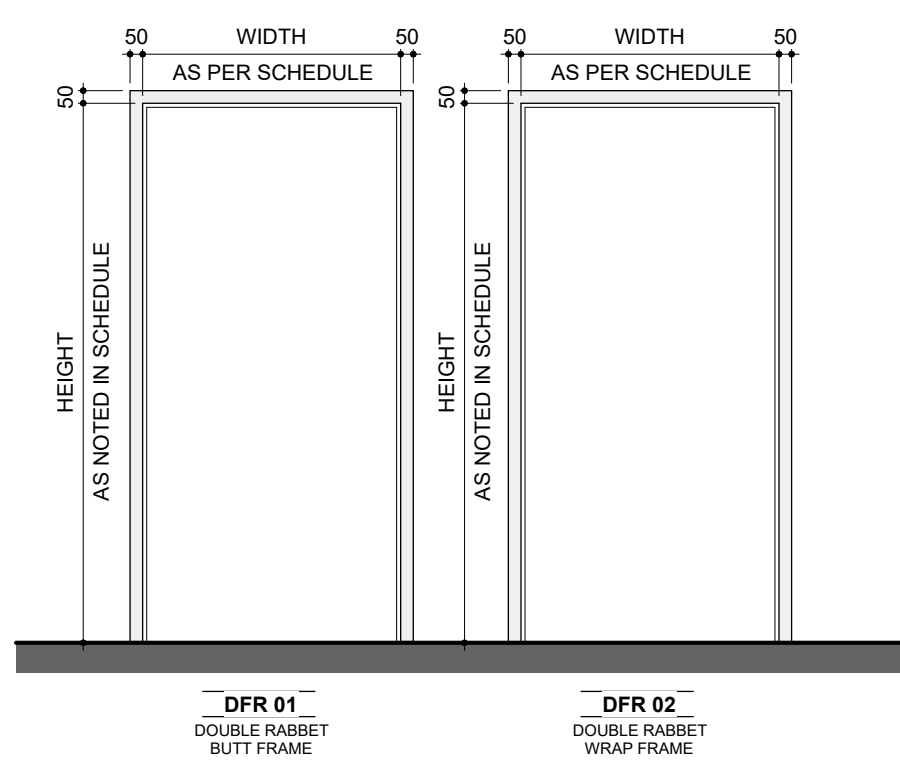
1 JAMB TYPES
NTS



2 DOOR PANEL TYPES
NTS



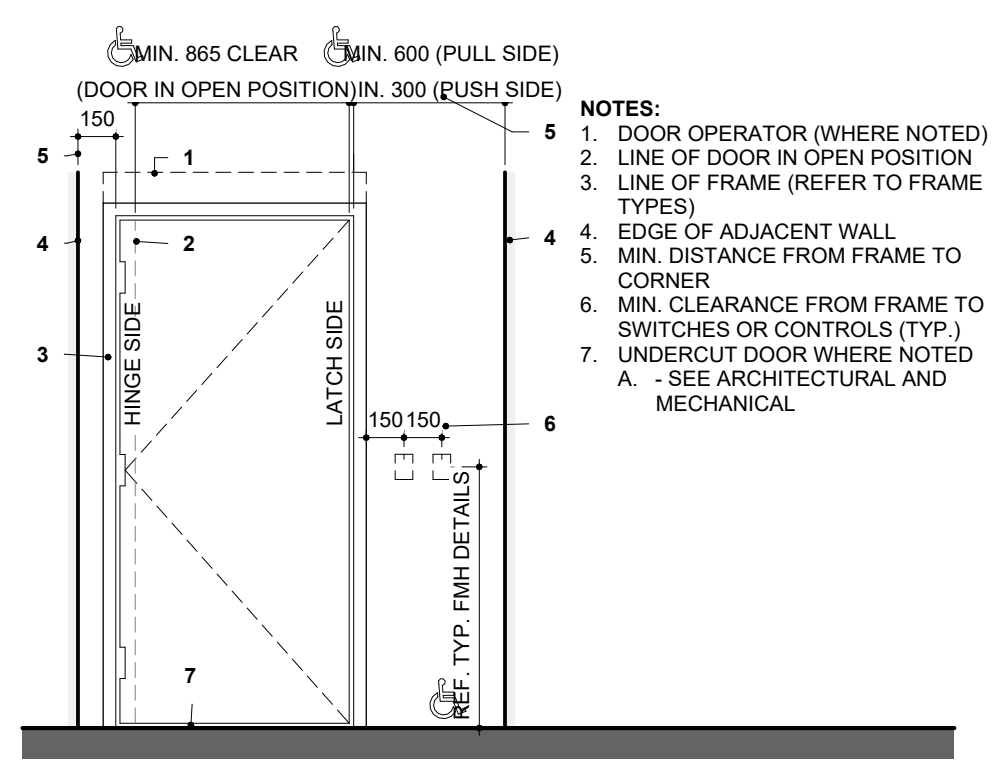
3 DOOR HARDWARE
NTS



4 FRAME TYPES
NTS

- EXECUTION:**
- ALL FIRE DOOR INSTALLATIONS SHALL CONFORM TO NFPA 80
 - 3.18MM CLEARANCE BETWEEN DOOR EDGE AND FRAME (1.59 MIN./4.77 MAX.)
 - 19MM MAX. CLEARANCE BETWEEN DOOR EDGE AND FINISHED FLOOR/THRESHOLD
 - EQUIPPED WITH A DOOR CLOSER
 - FIRE RATED DOORS SHALL BE SMOKE SEALED

5 FIRE RATED DOOR REQUIREMENTS
NTS



6 TYPICAL DOOR INSTALLATION DETAILS
NTS

B	Minor Variance	07/17/24
A	Revised for Permit	xxxx/24
NO.	ISSUES/REVISIONS	DATE

DOOR SCHEDULE

ISSUE DATE:	07/17/24
DRAWN BY:	DS
CHECKED BY:	SM
PROJECT NO.:	12315
SCALE:	As indicated
DRAWING NO.:	
REVISION:	

A09.00 **B**



City of Hamilton
Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

July 29, 2024

Attn: Ms. Jamila Sheffield
Secretary Treasurer, Committee of Adjustment (email: Jamila.Sheffield@hamilton.ca)

**Re: 378 East 25th Street, Hamilton
Minor Variance Application Submission**

Dear Ms. Sheffield:

A.J. Clarke and Associates Ltd. has been retained by Tyrio Industries Inc. (owner) for the purposes of a submitting the enclosed Minor Variance Application for the subject lands, municipally known as 378 East 25th Street, in the City of Hamilton. Below is a summary of the materials submitted to your attention:

- One (1) electronic copy of the required filled and executed Application for Minor Variance Application Form;
- One (1) electronic copy of a cheque in the amount of \$3,900.00 representing the required application fee;
- One (1) electronic copy of the Architectural plans prepared by DPAI;
- One (1) electronic copy of the renderings prepared by DPAI;
- One (1) electronic copy of the Zoning Compliance Review;

This analysis is in support of the Minor Variance Application for the subject lands. The subject lands have received conditional approval to sever the existing parcel to facilitate the development the proposed development through HM/B-23:83, heard before Committee of Adjustment January 18, 2024.

The subject lands are currently occupied with one single detached residential dwelling. The proposed development includes two (2) new semi-detached dwellings each with two Additional Dwelling Units (ADU), resulting in 3 total units per lot.

The subject lands are located on East 25th Street to the north of Franklin Road, and south of Fennell Avenue East. The surrounding area is predominantly residential, with various institutional uses (Timothy Christian School).

The immediate surrounding land uses include:

North	Single-Detached Dwellings
South	Single-Detached Dwellings
West	Single and Semi-detached Dwellings
East	Townhouses



Planning Policy Overview

Urban Hamilton Official Plan (UHOP)

The Urban Hamilton Official Plan is the guiding document for where and how the City of Hamilton will grow until 2051 and beyond.

The subject lands are designated 'Neighbourhoods' on Schedule E-1 – Urban Land Use Designations in the Urban Hamilton Official Plan (UHOP). The 'Neighbourhoods' designation permits uses such as; residential dwellings, including secondary dwelling units, and housing with supports, open space and parks, local community facilities/services, and local commercial uses.

The proposed development represents residential intensification which is encouraged throughout the entire built up area as per the Urban Hamilton Official Plan. The severance will facilitate the development of two semi detached units each with 2 Additional Dwelling Units, where there currently exists one single detached residential unit.

Policy B.2.4.1.4 outlines residential intensification criteria:

- a) a balanced evaluation of the criteria in b) through g), as follows;
- b) the relationship of the proposal to existing neighbourhood character so that it maintains, and where possible, enhances and builds upon desirable established patterns and built form;
- c) the development's contribution to maintaining and achieving a range of dwelling types and tenures;
- d) the compatible integration of the development with the surrounding area in terms of use, scale, form and character. In this regard, the City encourages the use of innovative and creative urban design techniques;
- e) the development's contribution to achieving the planned urban structure as described in Section E.2.0 – Urban Structure;
- f) infrastructure and transportation capacity; and,
- g) the ability of the development to comply with all applicable policies.

The proposed development enhances and builds upon the established lot patterns and built form that are already existing within the neighborhood. The proposed development contributes to increasing the number of residential dwellings, and types of dwellings within the neighbourhood. Further the proposed development is in keeping with the neighbourhood and represent a gentle residential intensification which is compatible with the surrounding land uses and built forms. Further the proposed development provides for an efficient use of land and existing municipal services and infrastructure within the built-up area. The Zoning By-law permits gentler forms of intensification such as semi detached, duplexes, triplexes on each individual lot.



City of Hamilton 05-200 Zoning By-Law

The subject lands are currently zoned Low Density Residential (R1) Zone within the City of Hamilton 05-200 Zoning By-law. Th R1 Zone permits semi detached dwellings as of right.

A review of the applicable zone provisions will be included below:

Regulation	Requirement	378 East 25 th Street	380 East 25 th Street
Minimum Lot Width	9.0 metres	8.61 metres	8.61 metres
Parking	1 Parking Space per semi-detached Dwelling Unit	0 Parking Spaces (2 Spaces on Boulevard)	0 Parking Spaces (2 Spaces on Boulevard)
Additional Dwelling Unit	Each semi-detached dwelling unit of a Semi-Detached Dwelling shall be permitted to contain one Additional Dwelling Unit	Two Additional Dwelling Units within a semi-detached dwelling units	Two Additional Dwelling Units within a semi-detached dwelling units
Driveway Width	In the case of a dwelling unit without an attached garage, the driveway width shall not exceed 50% of the lot width or 8.0 metres, whichever is less;	5.60 metres 65% of lot width	5.60 metres 65% of lot width

Minor Variance

Several variances are required to facilitate the proposed development. The variances requested for both 378 and 380 East 25th Street are as follows:

1. To permit a minimum lot with of 8.60 metres whereas 9.0 metres is required.
2. To permit 0 parking spaces per semi-detached dwelling whereas 1 parking space is required.
3. To permit in the case of a dwelling unit without an attached garage, a driveway width of 65% of the lot width whereas the driveway width shall not exceed 50% of the lot width or 8.0m which ever is greater.
4. To permit two (2) Additional Dwelling Units within a Semi-Detached Dwelling Unit whereas one Additional Dwelling unit is permitted within a Semi-Detached Dwelling Unit.

This minor variance application is made under the authority of Section 45(1) of the Planning Act. Accordingly, a minor variance must meet the requisite four tests as described in Section 45 (1) of the Act. The tests and professional opinion are outlined below:

1. Do the proposed variances maintain the intent and purpose of the Urban Hamilton Official Plan?

The proposed variances maintain the intent and purpose of the Urban Hamilton Official Plan as the subject site is designated “Neighbourhoods” as per Schedule E1 – Urban Land Use Designations.



The 'Neighbourhoods' designation permits uses such as; residential dwellings, including secondary dwelling units, and housing with supports, open space and parks, local community facilities/services, and local commercial uses. Further this designation supports a full range of residential dwelling types and densities.

Further as per Section 3.2.3 The following uses shall be permitted on lands designated Neighbourhoods on Schedule E-1 – Urban Land Use Designations:

- a) residential dwellings, including second dwelling units and housing with supports;

The proposed development provides for an increase in residential density within the Neighbourhood in a form that is consistent with the existing neighbourhood. The proposed development and built form are permitted by the Zoning By-law and the list of variances are technical in nature.

It is our professional that the proposed development and proposed minor variances maintain the intent and purpose of the Urban Hamilton Official Plan.

2. Do the proposed variances maintain the intent and purpose of the City of Hamilton 05-200 Zoning By-law

The required variances to the City of Hamilton 05-200 Zoning By-law are intended to facilitate the creation of two semi detached dwelling units, each with two Additional Dwelling Units.

Lot Width

The proposed development requires a variance to permit a minimum lot with of 8.60 metres whereas 9.0 metres is required.

The overall intent of this zoning by law provision is to ensure that the proposed development is consistent with the neighbouring parcels, and those within the neighbourhood. The proposed minimum widths are in keeping with the existing lot fabric and parcel sizes within the neighbourhood, which will allow for the development of two semi detached dwellings. Further, the proposed development provides sufficient frontage and access to each lot which is in keeping with the neighbourhood and existing streetscape. The Committee has already approved the lot sizes in principle as the Consent Application is approved. This variance is necessary to clear the condition of the severance. The proposed dwellings meet/or exceed all the minimum setback requirements of the Zoning By-law.

It is my professional opinion that the proposed development and variances requested maintain the intent and purpose of the City of Hamilton 05-200 Zoning By-law.

Parking

The proposed development requires a variance to permit 0 parking spaces whereas 1 parking space is required per semi-detached dwelling unit.



Along the frontage of East 25th street there is a wide grassy boulevard of approximately 4 metres, which acts as the driveway and will provide parking for the proposed development, however, these parking spaces are not fully within the subject lands and therefore cannot be counted towards the required vehicular parking.

The proposed development will provide for 2 vehicular parking spaces per lot, for a total of four parking spaces. The each of the proposed parking spaces will require a Boulevard Parking Agreement with the City of Hamilton to permit parking within the East 25th Street Right of Way.

Further the current parcel does not have a driveway, or any provided parking to the existing single detached dwelling unit. The proposed development will increase the amount of parking provided and help decrease demands for street parking. The variance is technical in nature as required parking is provided for each of the units.

It is my professional opinion that the proposed development and variances requested maintain the intent and purpose of the City of Hamilton 05-200 Zoning By-law.

Driveway Width

The proposed development requires a variance to permit the proposed driveway width of 5.6 metres which represents a driveway that is 65% of the lot width.

This variance will permit the development of a driveway which will permit two vehicles to be parked, side by side. The proposed double wide driveway is consistent with the existing streetscape along East 25th street, and the balance of the neighbourhood. The proposed design will permit two cars to park simultaneously with easy access in and out of the development without the need for tandem parking. Further the proposed design will allow for the remainder of the front yard to be used for landscaping. In total, about 54% of the lot is landscaped with sodding and areas for plantings.

It is my professional opinion that the proposed development and variances requested maintain the intent and purpose of the City of Hamilton 05-200 Zoning By-law.

Additional Dwelling Units

The proposed development requires a variance to permit two (2) Additional Dwelling Units within a Semi-Detached Dwelling Unit whereas one (1) Additional Dwelling Unit (ADU) is permitted within a Semi-Detached Dwelling Unit.

As of right the *Planning Act* permits three residential units within any semi-detached house on a parcel of urban residential land.

Restrictions for residential units

35.1 (1) The authority to pass a by-law under section 34 does not include the authority to pass a by-law that prohibits the use of,



(b) **three residential units** in a detached house, **semi-detached house** or rowhouse on a parcel of urban residential land, if no building or structure ancillary to the detached house, semi-detached house or rowhouse contains any residential units; or

There are no ancillary structures proposed. As such, each semi-detached house is permitted under the Planning Act to contain 3 residential units total. As such, the variance meets the purpose and intent of the Zoning By-law.

3. Are the proposed variances appropriate for the development of the subject lands?

As noted above the variances will facilitate the construction of two semi detached dwellings each with two Additional Dwelling Units, where there is currently one single detached dwelling. The proposed development represents a gentle form of residential intensification which is permitted across the city.

The requested variances are appropriate for the development of the subject lands to increase the residential density with the neighbourhood in a size and scale that the appropriate to its surroundings. The proposed development will help infill space along East 25th Street making for a complete streetscape while providing an increase in housing options in the neighbourhood. Overall, the variance's are appropriate for the development of two new semi detached dwellings on this lot. The scale of the dwellings (building setbacks, building height) is permitted by the Zoning By-law.

It is my professional opinion that the proposed variances are appropriate for the development of the subject lands.

4. Are the proposed variances minor in nature?

The proposed variances are minor in nature and represent good planning. The proposed variances maintain the intent of the Official Plan, and the Zoning by-law by creating two additional semi-detached dwelling units, each with two Additional Dwelling Units that reflect the scale and character of the neighbourhood. There are no perceived impacts stemming from the variances as the built form is in keeping with the existing built form of the neighbourhood. There are no perceived impacts on the neighbourhood stemming from the proposed development and accordingly, it is my professional planning opinion that the variances are minor in nature.

As such, the proposed development is appropriate on the subject lands and has sufficient regard for the matters listed under Section 51 (24) of the Planning Act and the four tests are met.

City of Hamilton Neighbourhood Infill Design Guidelines

The Neighbourhood Infill Design Guidelines have been developed to inform new development applications within residential neighbourhoods. It should be noted that the Guidelines are informative and not determinative in evaluating Neighbourhood Infill Redevelopments.



#	Guideline	Design Response
1	Provide natural vegetation and tree planting within the landscaped area on a lot. Every effort should be made to retain healthy mature trees in-situ during the redevelopment of a property. If this cannot occur, trees should be replaced and new trees added to support the City's 40% urban tree canopy coverage target.	The Site Plan shows a large rear planting area that is approximately 10m x 8m on each lot. Further, the front yard maintains a 3.2m x 5.6m area to provide for tree plantings in the front yard.
2	Provide soft landscaped areas along public frontages and ensure a minimum 50% landscaped area is maintained in the front and flankage yards.	A Minimum 50% landscaped front yard is provided. In total, 54% of the lot is proposed to be landscaped.
11	Provide on-site private and/or communal amenity area for each residential unit via a porch, balcony, deck or at grade space.	Amenities are provided on the ground floor and through a series of balconies which face the street.
12	Private amenity spaces must have direct access to sunlight.	All amenity areas have access to sunlight.
13	Private amenity spaces must have a minimum depth of 1.5 meters and should be screened with a railing/screen and/or privacy planting	Amenity areas are 1.27m in depth. This generally meets the minimum 1.5m per the Guidelines. No variances are requested to the depth of amenity areas.
14	Private amenity spaces above the ground floor shall face the front and/or rear yard and/or exterior side yards fronting a street only.	The private amenity spaces face the front and rear yards.
21	The width of front driveways should not exceed two cars in width to reduce the impacts of surface parking on the streetscape.	The front driveways are two cars in width.
Built Form		
3	Where the lot width is wide enough to accommodate access to the rear yard through the side yard, parking should be provided in the rear	The lot width is not wide enough to accommodate a rear yard parking area and there is no rear access by way of a laneway.
6	Design buildings to respect the height of existing built form along the street	The proposed building is in keeping with the maximum height of the Zoning By-law.
7	Propose the ground floor at grade, or no higher than the finished first floor elevation of the surrounding dwellings.	The ground floor unit is located at grade.
8	When proposing a structure more than one storey taller in height than surrounding homes, transition the height away from the lower buildings by	The proposed building height meets the Zoning By-law. A transition is being achieved by exceeding the Zoning By-law in terms of the required setback from



	stepping down the side of the proposed building; b. providing additional step-back of the upper storey(s) along the street; c. providing step-back of the upper storey(s) at the rear (proportionate depth to height); and d. incorporating the upper storey within the roof structure	the side yard. Required is 1.2m, 1.5m is provided on either side. In addition, a deeper front yard setback (7.9m) is being provided. A deeper rear yard setback (10.3m) is being provided.
10	If flat roofs are proposed, they should transition to the lower homes through stepped levels and increased side yard setbacks.	The side yard setback is increased to 1.5m for the entire dwelling.
17	Avoid blank walls visible from the public realm	There are no blank walls facing the public realm.
19	Main entrances should be located at the front of buildings, facing the public realm.	Main entrances face the public realm.

The proposal generally meets the spirit and intent of the Neighborhood Infill Guidelines.

I trust that you will find the enclosed satisfactory for your purpose. Please confirm receipt of this materials. If you have any questions or require additional information, please do not hesitate to contact this office.

Sincerely,


Ryan Ferrari, RPP, MCIP
Senior Planner

A. J. Clarke and Associates Ltd.





Hamilton

JULY 15th, 2024

FILE: ALR
ATTENTION OF: Ross McIntosh

RYAN FERRARI
25 MAIN ST W, SUITE 300 HAMILTON,
ON L8P 1H1

Re: ZONING COMPLIANCE REVIEW- In support of a Minor Variance Application
Present Zoning: R1 Low Density Residential
Address: 378 EAST 25TH ST., HAMILTON

A Zoning Compliance Review has been completed and the following comments are provided.

COMMENTS:

1. The applicant has proposed a development that includes two semi-detached dwelling units, each with additional dwelling units (ADU's) for a total of 3 units per lot.
2. The subject lands have received conditional approval for the consent application to create the 2 lots through application HM/B-23:83.
3. The intended use of semi-detached dwellings with additional dwelling units is permitted within the current zoning designation. However, only one (1) additional dwelling unit is permitted within a semi-detached dwelling unit.
4. A Residential Boulevard Parking Agreement with the Hamilton Municipal Parking Authority may be required for the parking spaces shown to encroach on the East 25th Street road allowance.
5. The lots are considered interior lots.
6. All new fences proposed for this development must comply with the regulations contained within the Fence By-law 10-142.
7. The designer shall ensure that the fire access route conforms to The Ontario Building Code.
8. All mechanical and unitary equipment shall conform to General Provisions Subsection 4.9 "Mechanical and Unitary Equipment" of Hamilton Zoning By-law 05-200.
9. The proposed development has been reviewed and compared to the standards of the R1 Zone under the City of Hamilton Zoning By-Law 05-200 as indicated in the following chart:

Zoning Compliance Review
378 East 25th St., Hamilton, Hamilton

R1 Zone – Low Density Residential (Section 15.1 of Hamilton Zoning By-law 05-200)			
	Required	Provided	Conforming/ Non-Conforming
Section 15.1.2.2– R1 Semi-Detached Dwelling Regulations			
Minimum Lot Area for each Dwelling Unit [as per section 15.1.2.2(a) of Hamilton Zoning By-law 05-200]	270.0 m ²	378 East 25 th : 315.5m ² 380 East 25 th : 315.5m ²	Conforms
Minimum Lot Width for each Dwelling Unit [as per section 15.1.2.2(b) of Hamilton Zoning By-law 05-200]	9.0 m	378 East 25 th : 8.61m 380 East 25 th : 8.61m	Non-Conforming
Minimum Setback from the Front Lot Line [as per section 15.1.2.2(c) of Hamilton Zoning By-law 05-200]	4.0m	7.93m	Conforms
Minimum Setback from a Side Lot Line [as per section 15.1.2.2(d) of Hamilton Zoning By-law 05-200]	1.2 metres, except for the side yard related to the common wall of the semi-detached dwelling unit, in which case a minimum 0 metre side yard shall be permitted.	1.5m	Conforms
Minimum Setback from a Flankage Lot Line [as per section 15.1.2.2(e) of Hamilton Zoning By-law 05-200]	3.0m	No flankage lot line	N/A
Minimum Setback from a Rear Lot Line [as per section 15.1.2.2(f) of Hamilton Zoning By-law 05-200]	7.5m	10.3m	Conforms
Maximum Building Height [as per section 15.1.2.2(g) of	10.5m	10.5m	Conforms

Zoning Compliance Review
378 East 25th St., Hamilton, Hamilton

Hamilton Zoning By-law 05-200]			
Minimum Landscaped Area [as per section 15.1.2.2(h) of Hamilton Zoning By-law 05-200]	i) 30%; ii) Within the landscaped area, the requirements of Section 4.35 of this Bylaw shall apply.	54.0%	Conforms
Parking [as per section 5 of Hamilton Zoning By-law 05-200]	i) In accordance with the requirements of Section 5 of this By-law. Parking Rate Area 2: Semi-detached dwelling unit= 1 per unit Additional Dwelling unit= no parking spaces are required.	Parking Spaces proposed on site plan encroach onto East 25th St ROW. As such it is technically not considered a parking space. <i>An application for residential boulevard parking is required for the parking spaces proposed on site plan.</i>	Non-Conforming
General Provisions <i>In accordance with the requirements of Section 4 of Hamilton Zoning By-law 05-200</i>			
Permitted Yard Encroachments [as per section 4.6 of Hamilton Zoning By-law 05-200]	a) The usual projections of window sills, chimney breasts, belt courses, cornices, eaves, troughs and other similar architectural features, ductwork, venting and other similar appurtenances may be permitted in any required yard, provided that no such feature shall project more than 0.6 metres into the required yard, or to a maximum of half the distance of the required yard, whichever is the lesser;	Does not project into required yards	Conforms
	b) A fire escape or exterior staircase may encroach into a required side or rear yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser;	Exterior staircases not proposed	N/A
	c) An unenclosed ramp for wheelchair access may encroach into any required yard to no maximum distance;	Not proposed	N/A
	d) A porch, deck or canopy may encroach into any required yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser	Porches don't encroach into required yards.	Conforms
	e) A balcony may encroach into any required yard to a maximum of 1.0 metres, except into a required side yard of not more than one-third of its width or 1.0 metres, whichever is the lesser; and	Balconies don't encroach into required yards.	Conforms

Zoning Compliance Review
378 East 25th St., Hamilton, Hamilton

	f) A bay window or alcove, without foundation, may encroach into any required yard to a maximum of 0.6 metres, or half the distance of the required yard, whichever is the lesser. No such feature shall have a width greater than 3.0 metres.	Not proposed	N/A
	g) An existing building may encroach, or further encroach, into a required yard to a maximum of 0.15 metres for the purpose of recladding the building.	New Building	N/A
Additional Dwelling Unit and Additional Dwelling Unit-Detached [as per section 4.33 of Hamilton Zoning By-law 05-200]	a) All the regulations of this By-law applicable to the principal dwelling shall continue to apply unless specifically provided in Section 4.33. b) A Single Detached Dwelling, Duplex Dwelling, or Triplex Dwelling built in conformity with this By-law, may be converted to contain a fourth Additional Dwelling Unit. c) Notwithstanding any applicable regulations of this By-law, no more than four Dwelling Units shall be permitted on a lot that contains an Additional Dwelling Unit and/or Additional Dwelling Unit – Detached.	3 units proposed on each lot	Conforms
Additional Dwelling Unit [as per section 4.33.1 of Hamilton Zoning By-law 05-200]	iii) Each semi-detached dwelling unit of a Semi-Detached Dwelling shall be permitted to contain one Additional Dwelling Unit.	Two additional dwelling units proposed in each semi-detached dwelling unit.	Non-Conforming
Landscape Requirements [as per section 4.35 of Hamilton Zoning By-law 05-200]	On lots containing a single detached dwelling, semi-detached dwelling, duplex dwelling, triplex dwelling, fourplex dwelling, or street townhouse dwelling in all zones, the following shall be provided:	54.0%	Conforms
	a) A minimum 50% landscaped area in the Front Yard;		
	b) A minimum 50% landscaped area in the Flankage Yard; and,	No flankage lot line	N/A
	c) A single area within the required landscaped area for tree protection and/or tree planting, subject to the following: i) each side shall be a minimum 3.75 metres in length; and, ii) shall not contain hard landscaping or structures.	Provided	Conforms



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	
Applicant(s)	
Agent or Solicitor	



1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service.

This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

In person

Credit over phone*

Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	378 East 25th Street		
Assessment Roll Number	251807066400400		
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To permit the development of 2 semi detached dwelling units, each with 2 additional dwelling units.

Please see attached cover letter.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Please see attached cover letter.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
8.61m, 8.61m	36.63m , 36.63m	315.3 m2, 315.3 m2	20m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Detached Dwelling	+/- 6.6m	+/- 18.3 m	2.9m	since built

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
semi detached dwelli	7.93 m	10.3 m	1.5m, 0.0 m	TBD
semi detached dwelli	7.93 m	10.3 m	1.5m, 0.0 m	TBD

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
single detached	+/-105 sq	+/- 105 sq m	1	+/- 3.5m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Semi Detached Dwell	130 m ²	390 sq m	3	10.5m
Semi Detached Dwell	130 m ²	390 sq m	3	10.5 m

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

semi detached dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

North & South - Single Detached, West- Townhouses, East - Semi Detached

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

October 2023

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

since built

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Neighbourhoods

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

Residential intensification project which is encouraged throughout the built up area

7.6 What is the existing zoning of the subject land? Low Density Residential (R1)

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number:

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: HM/B-23:83

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 6

8.3 Additional Information (please include separate sheet if needed):

Please see attached cover letter

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study

Zoning Compliance Review, Architectural Drawings
