



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-24-189	SUBJECT PROPERTY:	852 Upper Wentworth St, Hamilton
ZONE:	C5 (Mixed Use Medium Density)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended 17-240

APPLICANTS: Owner: Teresa Clarizion
 Applicant: Richie Khanna - R&R Designs

The following variances are requested:

1. A minimum rear yard setback of 1.78 metres shall be permitted instead of a minimum rear yard setback of 7.5 metres.
2. A maximum increase of 17.1% of the Gross Floor Area of the building existing at the date of the passing of the by-law shall be permitted instead of an increase shall not exceed a maximum of 10% Gross Floor Area of the building existing at the date of the passing of the by-law.

PURPOSE & EFFECT: So as to permit an addition within the rear yard of an existing Single Detached Dwelling.

Notes:

- i. Please note that insufficient information has been provided to determine if parking is to be proposed within the attached garage. Please note, should additional parking spaces be indicated, regulations under Section 5 of Zoning By-law 05-200 shall apply to all proposed parking spaces.
- ii. Be advised, Zoning By-Law Amendment 24-051 and 24-052 was passed on April 10, 2024. The Amendments remain Not Final and Binding and as such, both regulations under the current Hamilton Zoning By-Law 05-200 and those regulations applicable under Zoning By-Law Amendment 24-051 and 24-052 are applicable to the subject property. For the purposes of this review, an additional review has been conducted as it relates to any additional regulations

A-24-189

required under Zoning By-Law Amendment 24-051 and 24-052. Until such time that Zoning By-Law Amendment 24-051 and 24-052 are deemed Final and Binding, regulations under both the current Zoning By-Law and the Amending By-laws shall apply.

In addition to comment i) above, should parking be indicated within the proposed garage, the requirements of Section 5 under Zoning By-law amendment 24-052 shall also apply to the parking spaces, with the most restrictive requirements under Zoning By-law 05-200 and Zoning By-law amendment 24-052 being applied.

Such requirements include, but are not limited to parking space size, minimum garage elevation above grade, and electric vehicle parking for all proposed spaces not currently existing. Should parking spaces be proposed that do not meet the requirements under Section 5, additional variances may be required.

- iii. Please note, insufficient information has been provided to confirm the amount of landscaped area provided on the lot as a result of the proposed garage. Be advised, as per Section 4.35 c), a minimum area of 3.75 metres x 3.75 metres is required within a landscaped area for tree protection or planting and shall not include hard landscaping or structures. Should the proposed garage result in a reduction of landscaping in which the minimum 3.75 metres x 3.75 metres area can no longer be provided, additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, September 24, 2024
TIME:	1:15 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

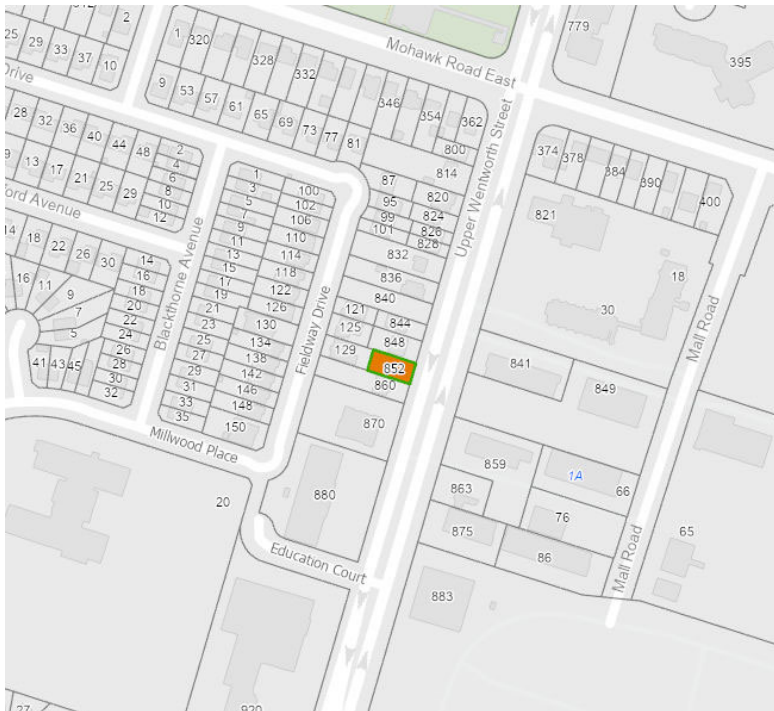
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon September 20, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon September 23, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24-189, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: September 5, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

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Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

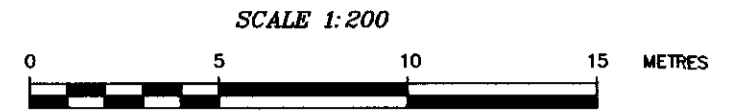
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

**PART OF LOT 11
CONCESSION 6**
(GEOGRAPHIC TOWNSHIP OF BARTON)
CITY OF HAMILTON



B.A. JACOBS SURVEYING LTD.
ONTARIO LAND SURVEYOR

METRIC NOTE:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE WESTERLY LIMIT OF UPPER WENTWORTH STREET AS SHOWN ON PLAN 62R-5049, HAVING A BEARING OF N 17°30'00" E.

LEGEND:

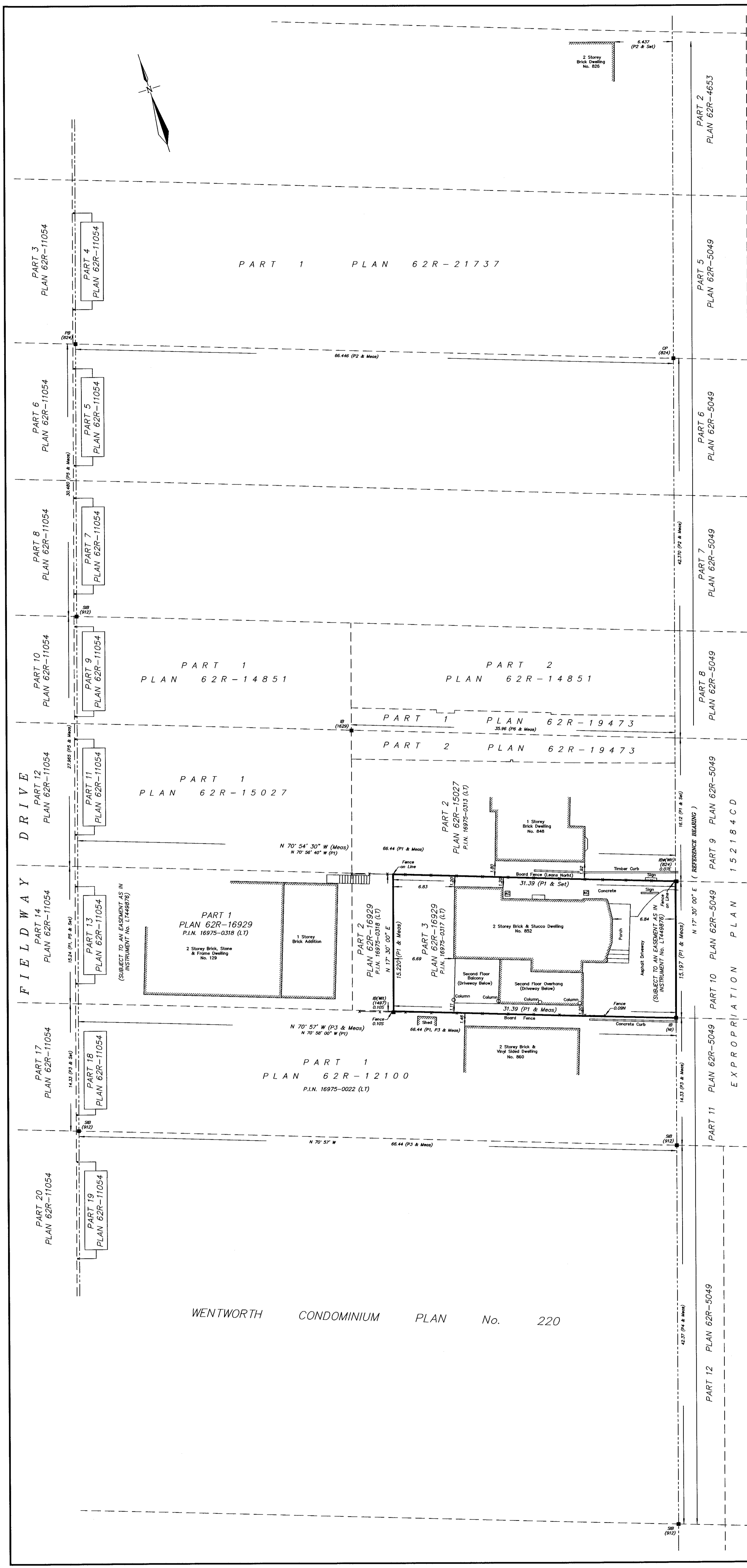
■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT PLANTED
SIB	DENOTES STANDARD IRON BAR
IB	DENOTES IRON BAR
IB#	DENOTES ROUND IRON BAR
CP	DENOTES CONCRETE PIN
PB	DENOTES PLASTIC BAR
WT	DENOTES WITNESS
P1	DENOTES PLAN 62R-16929
P2	DENOTES PLAN 62R-21737
P3	DENOTES PLAN 62R-12100
P4	DENOTES PLAN 62R-5049
P5	DENOTES PLAN 62R-11054
P6	DENOTES PLAN 62R-19473
(NI)	DENOTES NOT IDENTIFIABLE
(824)	DENOTES A.T. McLAREN O.L.S.
(912)	DENOTES A.J. CLARKE O.L.S.
(1487)	DENOTES J.P. VOLKENS O.L.S.
(1629)	DENOTES B.A. JACOBS O.L.S.

**SURVEYOR'S REAL PROPERTY REPORT
PART 2 - REPORT SUMMARY**

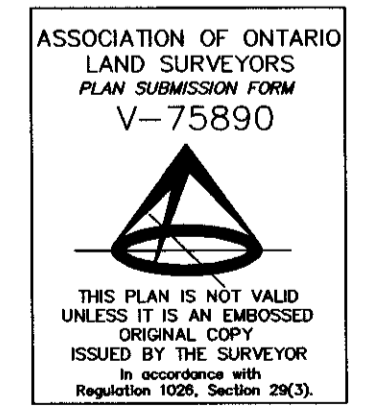
DESCRIPTION OF LAND
BEING PART OF LOT 11, CONCESSION 6, TOWNSHIP OF BARTON KNOWN AS MUNICIPAL No. 852 UPPER WENTWORTH STREET, CITY OF HAMILTON
REGISTERED EASEMENTS AND/OR RIGHTS OF WAY
THE PROPERTY IS SUBJECT TO AN EASEMENT IN FAVOUR OF THE CITY OF HAMILTON AS IN INSTRUMENT No. L7449876.
BOUNDARY FEATURES
NOTE LOCATION OF THE FENCES AS THEY RELATE TO THE BOUNDARIES OF THE SUBJECT PROPERTY.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS
NOT CERTIFIED BY THIS REPORT

UPPER WENTWORTH STREET

EXPROPRIATION PLAN 152184CD



WENTWORTH CONDOMINIUM PLAN No. 220



THIS REPORT WAS PREPARED FOR TERESA CLARIZO

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON APRIL 30, 2024.

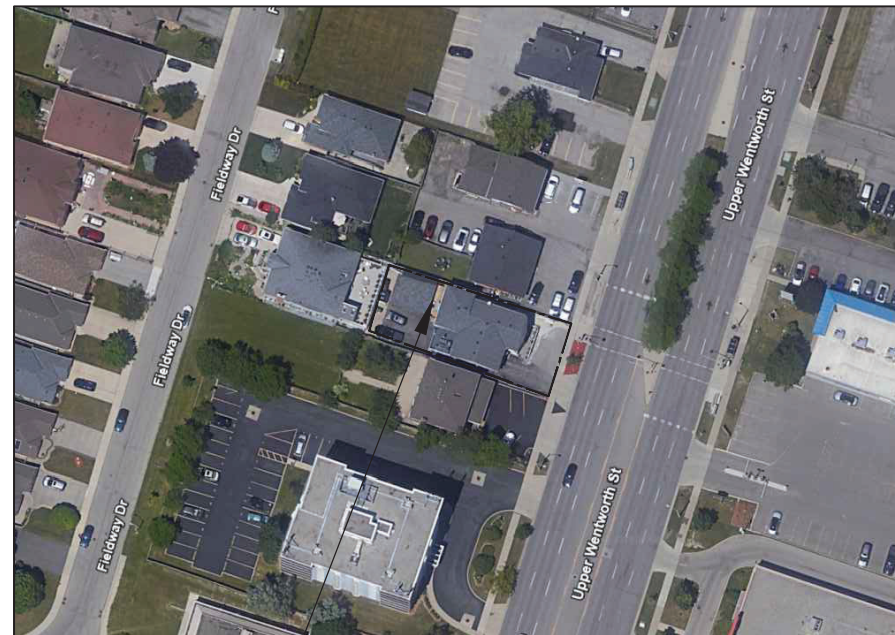
APRIL 30, 2024. DATE
BRYAN JACOBS
ONTARIO LAND SURVEYOR

B.A. JACOBS SURVEYING LTD.
152 JACKSON STREET EAST, SUITE 102
HAMILTON, ONTARIO (L8N 1J5)
PHONE 905-521-1535 bjacobs@rogers.com

852 UPPER WENWORTH ST,
HAMILTON, ON L9A 4W4



EXISTING BUILDING IMAGE

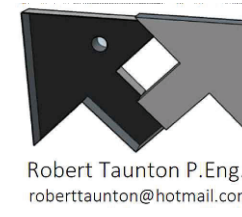


AREA OF WORK

KEY MAP



ARCHITECTURAL



STRUCTURAL

CONSULTANTS

1. ONLY PROPOSED ACCESSORY BUILDING - ATTACHED GARAGE
(Existing Residential Building to Remain. Not in scope of work)

SCOPE OF WORK

TITLE/SITE

REVISIONS

ARCHITECTURAL

- A0.01 COVER PAGE
- A0.02 GENERAL NOTES
- SP.01 EXISTING SITE PLAN
- SP.02 PROPOSED SITE PLAN
- A1.01 PROPOSED GARAGE FLOOR PLAN
- A1.02 PROPOSED GARAGE ROOF PLAN
- A2.01 PROPOSED GARAGE ELEVATIONS
- A2.02 PROPOSED GARAGE SECTION

STRUCTURAL

- S1.01 PROPOSED GARAGE FOUNDATION PLAN



R&R Designs Inc.
92 Stapleton Ave, Hamilton, ON, L8H 3N6
(905) 547 8668
Richie Khanna | richie@r-rdesigns.net
www.r-rdesigns.net



NO.	DATE	DESCRIPTION	BY
7			
6			
5			
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3			
2	2024-08-06	ISSUED FOR MINOR VARIANCE	BP
1	2024-06-14	ISSUED FOR PERMIT	BP

PROJECT ADDRESS		852 UPPER WENTWORTH, HAMILTON, ON L9A 4W4.	
SCALE		AS NOTED	
DATE		2024-05-06	
PAGE TITLE		COVER PAGE	
PROJECT NO. 2024-RR02	DRAWING NO.	A0.01	
DRAWN BY BP	REVIEWED BY RK		
		1 OF 9	

SHEET INDEX

GENERAL STRUCTURAL NOTES:

1. ONTARIO BUILDING CODE, LATEST EDITION, SHALL BE THE BASIS FOR CONSTRUCTION AND DESIGN WORK ON THIS PROJECT.
2. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE SITE.
3. OCCUPATIONAL HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION PROJECTS IN ONTARIO, LATEST EDITION, SHALL GOVERN DESIGN AND CONSTRUCTION WORK ON THIS PROJECT.
4. CONTRACTOR SHALL CONTACT THE CONSULTANT FOR AN INSPECTION OF STEEL REINFORCEMENT PRIOR TO POURING THE CONCRETE.
5. COMPACTION OF GRANULAR MATERIAL SHALL BE TESTED BY PERSONNEL OF A GEOTECHNICAL COMPANY AND THE RESULTS SENT TO THE CONSULTANT.

FOUNDATIONS:

1. GRANULAR 'A' FILL MATERIAL FOR SLABS AND UNDISTURBED SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUSTAINING A MINIMUM ALLOWABLE BEARING CAPACITY OF 2,000 PSF.
2. PROVIDE 10" MINIMUM COMPACTED TOP LAYER OF GRANULAR "A" MATERIAL UNDER THE SLAB AREA.
3. IF SLAB OR FOUNDATION ARE PLACED ON BACKFILLED MATERIAL; COMPACT THE MATERIAL TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY IN 8" THICK LAYERS (MAX).
4. ALL STRIP FOOTINGS SHALL BE A MINIMUM OF 16" WIDE AND 8" DEEP WITH TWO 15M LONGITUDINAL BARS. THE UNDERSIDE OF FOOTING SHALL BE A MINIMUM OF 4' BELOW GRADE (IN SOUTHERN ONTARIO).

CONCRETE:

1. CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF CSA-CAN-A23.1 AND A23.3., LATEST EDITION. (OBC 9.3.1.4.)
2. CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH AFTER 28 DAYS OF 4650 psi (32MPa)
3. REINFORCEMENT STEEL SHALL BE DEFORMED BARS CONFORMING TO CSA-G30.1 2, HAVING A MINIMUM YIELD STRENGTH OF 58psi (400MPa).
4. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE 1.5" U.N.O. WHEN EXPOSED TO WEATHER THE MINIMUM COVER IS 2". WHEN EXPOSED TO SOIL, THE MINIMUM COVER IS 3".
5. CONTRACTOR TO PROVIDE THE NECESSARY MEANS TO SUPPORT AND KEEP STEEL

REINFORCEMENT IN HE INDICATED POSITIONS DURING WORKING OPERATIONS AND PLACING CONCRETE

6. CONCRETE SLABS TO HAVE A STEEL TROWEL FINISH, U.N.O.
7. CONCRETE SLAB SEALER SHALL BE "SIKAFLOOR S3" OR EQUIVALENT.

ANCHOR RODS:

1. ALL ANCHOR RODS SHALL BE G40.21M 50W WITH MINIMUM TENSILE STRENGTH - 65KSI (450MPA).
2. ALL ANCHOR RODS OR DOWELS TO EXISTING CONCRETE SHALL BE HILTI HIT HY200 MAX ADHESIVE ANCHORS UNLESS NOTED OTHERWISE. STRENGTH OF MATERIAL AND INSTALLATION METHOD SHALL CONFORM TO MANUFACTURER'S SPECIFICATION.
3. ALL ADHESIVE ANCHOR RODS SHALL BE HILTI HAS-E THREADED ROD OR EQUIVALENT THREADED ROD TO BE APPROVED BY CONSULTANT.
4. ALL ANCHOR RODS SHALL BE COMPLETE WITH HEAVY HEXAGON NUTS PLUS PLATE WASHER. ANCHOR PLATES SHALL CONFORM TO CSA G40.21M - 44W.
5. WELDING TO SECURE ANCHOR PLATE TO ANCHOR ROD(S) SHALL CONFORM TO CSA W47.1, W48.1 AND W59 USING LOW HYDROGEN ELECTRODES AND SHALL BE UNDERTAKEN ONLY BY WELDERS HOLDING CERTIFICATION FOR THE PROCESS, POSITION AND CLASS OF ELECTRODES INVOLVED.
6. ANCHOR ROD PROJECTIONS AND ANCHOR ROD THREADS SHALL BE SUFFICIENT TO SECURE BOTTOM PLATE OF WALL OR COLUMN BASE PLATE
7. ANCHOR ROD PLACEMENT TOLERANCES PER CSA A23.1 CLAUSE 6.7, UNLESS OTHERWISE NOTED ON CONTRACT DRAWINGS.

WOOD:

1. ENGINEERING DESIGN IN WOOD SHALL COMPLY WITH CAN/CSA-086-01, INCLUDING SUPPLEMENT CAN/CSA-086S1-05.
2. ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO.1.
3. MAX. MOISTURE CONTENT SHALL BE 19% AT TIME OF INSTALLATION.
4. JOISTS TO HAVE MIN. 38MM BEARING.
5. FASTENERS SHOULD PENETRATE MIN. 50% OF THE LAST MEMBER OR NOT LESS THAN 89MM LONG, WHICH EVER IS GREATER.
6. NAILS ARE TO CONFORM TO CSA B111/P.9-88.
7. SCREWS MUST CONFORM TO ANSI/ASME N18.6-1-1981 FOR WOOD SCREWS (INCH SERIES)
8. 5/8" DIA. BY 10" LONG WITH 6" EMBEDMENT BOTTOM

SILL GALVANIZED ANCHORS WITH NUTS AND WASHERS AT MAX. 6' ON CENTER AND AT CORNERS AND WALL ENDS.

STRUCTURAL STEEL:

1. STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE CAN/CSA STANDARD S16-09 "LIMIT STATES DESIGN OF STEEL STRUCTURES".
2. STEEL SHALL CONFORM TO CAN/CSA STANDARD G40.20 - "GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL" AND TO CAN/CSA STANDARD G40.21 - "STRUCTURAL QUALITY STEELS" TO THE FOLLOWING GRADES:
 - HOT ROLLED SHAPES - 44W (300MPA), EXCEPT TO WIDE FLANGE SHAPES WHICH WILL CONFORM TO G20.21M - 50W (350MPA)
 - PLATES NOT GREATER THAN 1 1/2" (38MM) THICKNESS - 50W (350MPA)
 - COLD FORMED STEEL - ASTM A 653/A 653M GRADE 50W (350MPA)
 - HSS (CLASS H) - 50W (350MPA) IF 6" (152MM) OR GREATER
 - HSS (CLASS C) - 50W (350MPA) IF LESS THAN 6" (152MM)
 - ANCHOR BOLTS - 50W (350MPA)
3. ALL METAL-ARC WELDING SHALL BE IN ACCORDANCE WITH CSA STANDARD W59 LATEST REVISION "WELDED STEEL CONSTRUCTION (METAL - ARC WELDING)" & SHALL BE UNDERTAKEN ONLY BY WELDERS HOLDING A VALID CERTIFICATION (QUALIFIED TO CSA W47.1) FOR THE PROCESS POSITION AND CLASS OF ELECTRODES INVOLVED.
4. ALL ELECTRODES SHALL BE LOW HYDROGEN E70XX CONFORMING TO CSA W48.
5. ALL WELDS SHALL BE CONTINUOUS UNLESS NOTED OTHERWISE.
6. MINIMUM SIZE OF FILLET WELDS TO BE 1/4" (6MM) OR AS REQUIRED BY MATERIAL THICKNESS OR PARTS JOINED, UNLESS NOTED OTHERWISE.
7. ALL BOLTED FASTENERS SHALL BE ASTM A325 STRUCTURAL BOLTS COMPLETE WITH HARDENED WASHERS AND HEAVY HEX NUTS UNLESS NOTED OTHERWISE.
8. HSS ENDS SHALL BE CLOSED WITH 3/16" (5MM) THICK CAP PLATE UNLESS NOTED OTHERWISE. PLATE TO BE SEAL WELDED TO HSS.

LINTEL SIZE	MAX. SPAN
2- 2"x12"	8'-1"

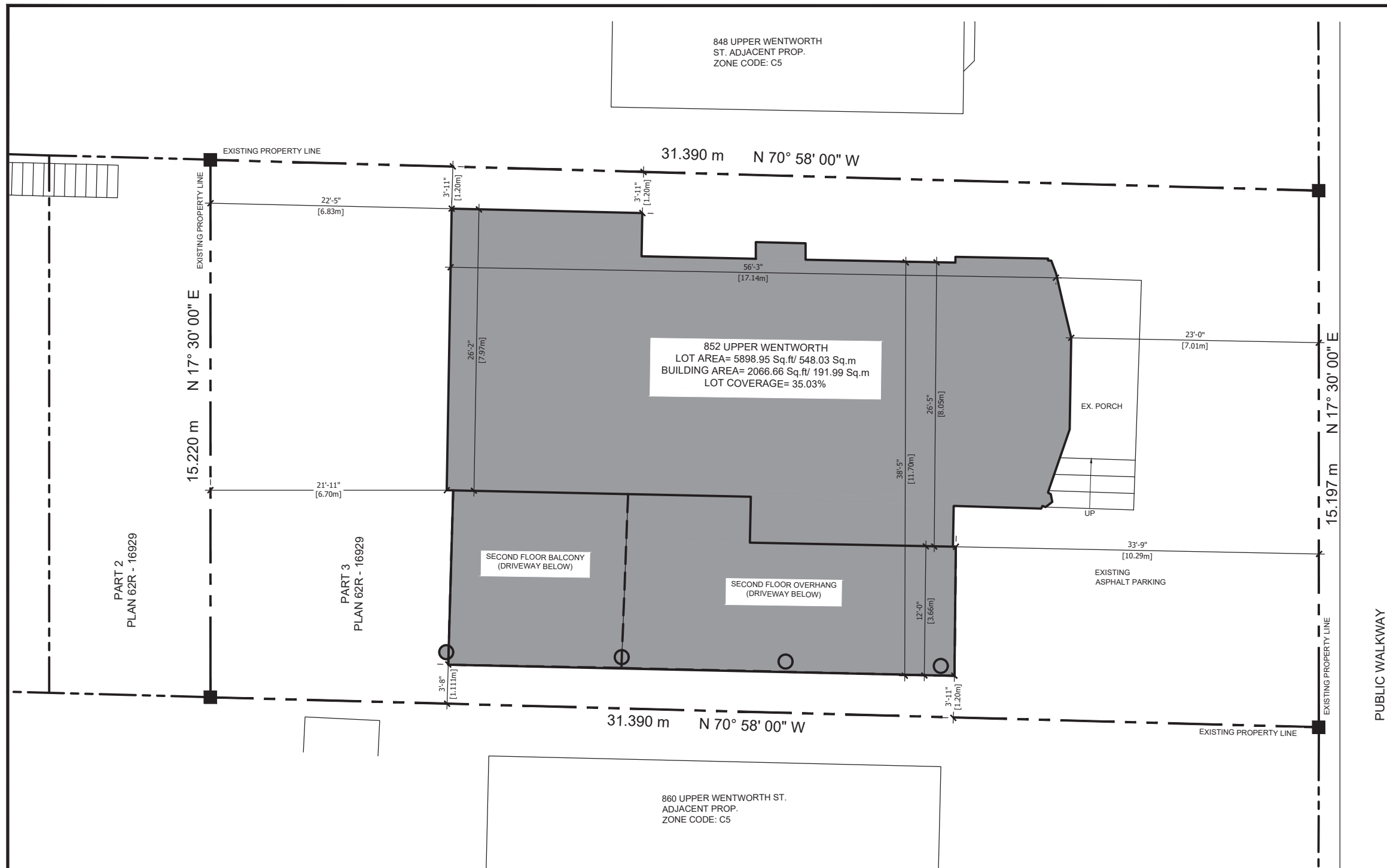


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REVISIONS	
PROJECT ADDRESS	852 UPPER WENTWORTH, HAMILTON, ON L9A 4W4.
SCALE	AS NOTED
DATE	2024-05-06
PAGE TITLE	GENERAL NOTES
PROJECT NO. 2024-RR02	DRAWING NO. A0.02
DRAWN BY BP	
REVIEWED BY RK	2 OF 9



PUBLIC WALKWAY

UPPER WENTWORTH ST.

1 EXISTING SITE PLAN
Scale: 3/32"=1'-0"

EXISTING SITE STATISTICS	
SITE AREA	0.12 Acre (5136.47 Sq.ft) (477.2 Sq.m)
FRONTAGE	49'-10" (15.197 m)
DEPTH	103'-0" (31.39 m)
ZONING CODE & DESCRIPTION	C5- MIXED USE MEDIUM DENSITY
WARD	7

	EXISTING BUILDING STATISTICS	
	REQUIRED	EXISTING
FRONT SETBACK	(MIN) 3.0 m, (MAX) 4.5 m	± 23'-0" (7.01 m)
REAR SETBACK	7.5 m	± 21'-11" (6.70 m)
NORTH SIDE SETBACK	(7.5 m Abutting a Residential/ Institutional Zone)	± 3'-11" (1.20 m)
SOUTH SIDE SETBACK		± 3'-8" (1.11 m)
TOTAL BUILDING WIDTH	N/A	± 38'-5" (11.70 m)
TOTAL BUILDING DEPTH	N/A	± 56'-3" (17.14 m)
BUILDING HEIGHT	(MIN) 7.5 m, (MAX) 22.0 m	-

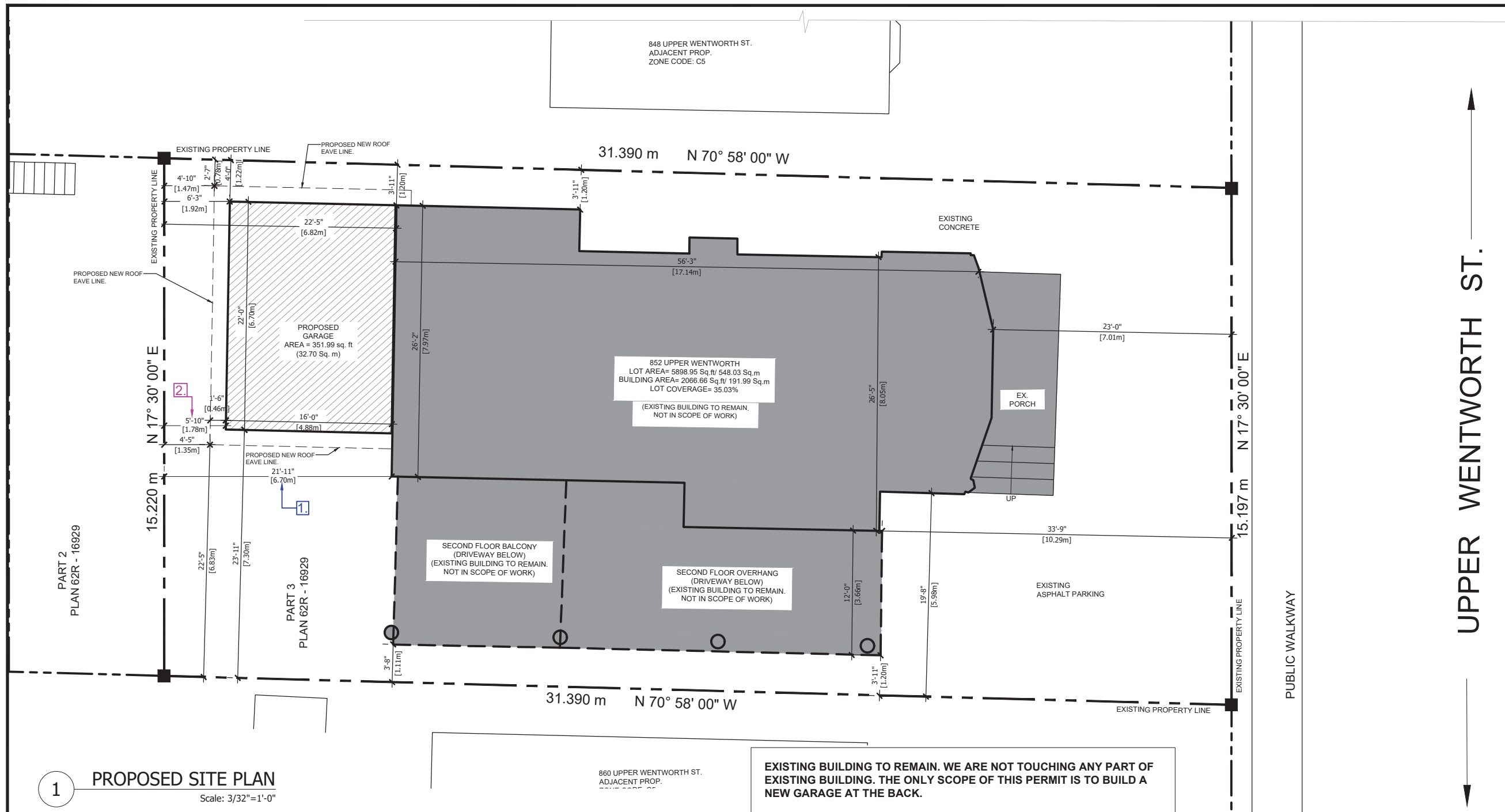


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REVISIONS	
PROJECT ADDRESS	852 UPPER WENTWORTH, HAMILTON, ON L9A 4W4.
SCALE	AS NOTED
DATE	2024-05-06
PAGE TITLE	PROPOSED SITE PLAN
PROJECT NO. 2024-RR02	DRAWING NO. SP.01
DRAWN BY BP	
REVIEWED BY RK	



1 PROPOSED SITE PLAN
Scale: 3/32"=1'-0"

860 UPPER WENTWORTH ST. ADJACENT PROP.
EXISTING BUILDING TO REMAIN. WE ARE NOT TOUCHING ANY PART OF EXISTING BUILDING. THE ONLY SCOPE OF THIS PERMIT IS TO BUILD A NEW GARAGE AT THE BACK.

EXISTING SITE STATISTICS	
SITE AREA	0.12 Acre (5136.47 Sq.ft) (477.2 Sq.m)
FRONTAGE	49'-10" (15.197 m)
DEPTH	103'-0" (31.39 m)
ZONING CODE & DESCRIPTION	C5- MIXED USE MEDIUM DENSITY
WARD	7

	EXISTING BUILDING STATISTICS	
	REQUIRED	EXISTING
FRONT SETBACK	(MIN) 3.0 m, (MAX) 4.5 m	EXISTING TO REMAIN AS IS.
REAR SETBACK	7.5 m	EXISTING TO REMAIN AS IS.
NORTH SIDE SETBACK	(7.5 m Abutting a Residential/ Institutional Zone)	EXISTING TO REMAIN AS IS.
SOUTH SIDE SETBACK		EXISTING TO REMAIN AS IS.
TOTAL BUILDING WIDTH	N/A	EXISTING TO REMAIN AS IS.
TOTAL BUILDING DEPTH	N/A	EXISTING TO REMAIN AS IS.
BUILDING HEIGHT	(MIN) 7.5 m, (MAX) 22.0 m	-

PROPOSED ACCESSORY STRUCTURE STATISTICS (HAMILTON BY-LAW 4.8.1.1)		
	REQUIRED FOR MORE THAN 18 SQ.M	PROPOSED
FRONT SETBACK	N/A	-
REAR SETBACK	(MIN.) 7.5 m	± 5'-10" (1.78 m)
NORTH SIDE SETBACK	(MIN.) 1.2 m	± 3'-11" (1.20 m)
SOUTH SIDE SETBACK		± 23'-11" (7.30 m)
BUILDING WIDTH	N/A	± 16'-0" (4.88 m)
BUILDING DEPTH	N/A	± 22'-0" (6.70 m)
ACCESSORY STRUCTURE HEIGHT	(MAX) 4.5 m	± 3.0 m
GFA	(MAX) 45 sq.m/ 7.5% OF LOT COVERAGE	6.8%

LIST OF VARIANCES:

EXISTING BUILDING FOOTPRINTS REMAIN. SETBACKS ARE EXISTING FROM THE TIME BUILDING WAS BUILT. BELOW ARE THE REQUESTED VARIANCE FOR EXISTING BUILDINGS.

1 THE REQUIRED REAR SETBACK IS 7.5M, WHEREAS THE EXISTING SETBACK FROM THE EXISTING DWELLING IS 6.70M. (EX. TO REMAIN)

BELOW ARE THE PROPOSED REQUESTED VARIANCE:

2 REQUIRED REAR SETBACK FROM THE PROPERTY LINE TO THE NEW GARAGE SHED IS 7.5m, HOWEVER THE PROPOSED IS 1.78m. REQUESTING A VARIANCE FOR NOT BEING ABLE TO COMPLY WITH THE SETBACK.

- NOTE:**
- Where a vehicular entrance to an accessory building faces a street line, the vehicular entrance shall have setback a minimum of 6.0 m from the street line.
 - As per zoning by-law section 4.8(h) (Accessory Buildings in All Zones), an eave or gutter of any Accessory Building may encroach into any required yard to a max. of 0.45 m.

Another project by




Architectural services | Residential & Commercial

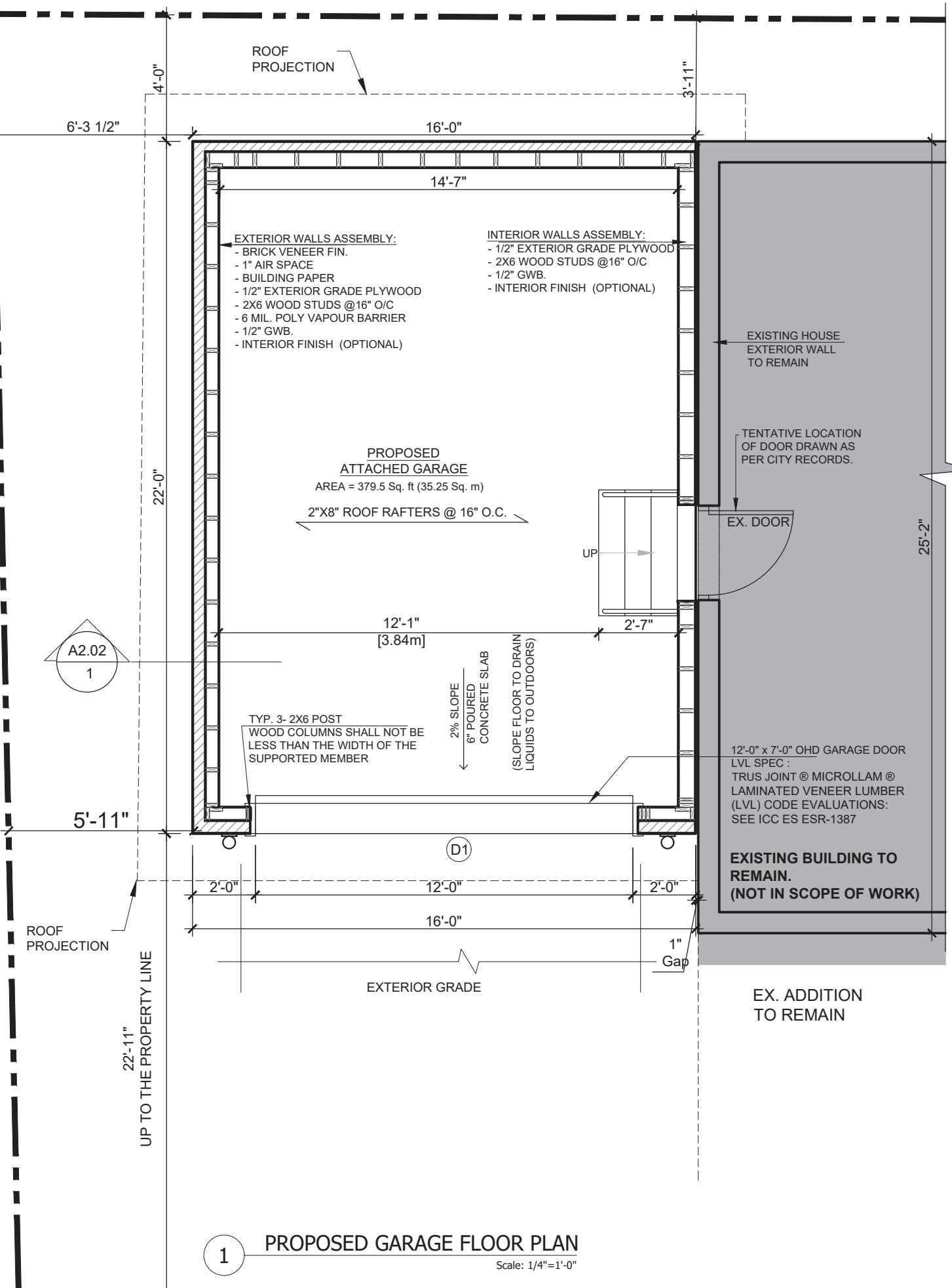
R&R Designs Inc.
92 Stapleton Ave, Hamilton, ON, L8H 3N6
(905) 547 8668
Richie Khanna | richie@r-rdesigns.net
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NO.	DATE	DESCRIPTION	BY
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2	2024-08-06	ISSUED FOR MINOR VARIANCE	BP
1	2024-06-14	ISSUED FOR PERMIT	BP

REVISIONS	
PROJECT ADDRESS	852 UPPER WENTWORTH, HAMILTON, ON L9A 4W4.
SCALE	AS NOTED
DATE	2024-05-06
PAGE TITLE	PROPOSED SITE PLAN
PROJECT NO. 2024-RR02	DRAWING NO. SP.02
DRAWN BY BP	
REVIEWED BY RK	

EXISTING PROPERTY LINE



1 PROPOSED GARAGE FLOOR PLAN
Scale: 1/4"=1'-0"

EXTERIOR WALLS ASSEMBLY:
 - BRICK VENEER FIN.
 - 1" AIR SPACE
 - BUILDING PAPER
 - 1/2" EXTERIOR GRADE PLYWOOD
 - 2X6 WOOD STUDS @16" O/C
 - 6 MIL. POLY VAPOUR BARRIER
 - 1/2" GWB.
 - INTERIOR FINISH (OPTIONAL)

INTERIOR WALLS ASSEMBLY:
 - 1/2" EXTERIOR GRADE PLYWOOD
 - 2X6 WOOD STUDS @16" O/C
 - 1/2" GWB.
 - INTERIOR FINISH (OPTIONAL)

PROPOSED ATTACHED GARAGE
 AREA = 379.5 Sq. ft (35.25 Sq. m)
 2"X8" ROOF RAFTERS @ 16" O.C.

EXISTING HOUSE EXTERIOR WALL TO REMAIN

TENTATIVE LOCATION OF DOOR DRAWN AS PER CITY RECORDS.

12'-0" x 7'-0" OHD GARAGE DOOR
 LVL SPEC :
 TRUS JOINT @ MICROLLAM @
 LAMINATED VENEER LUMBER
 (LVL) CODE EVALUATIONS:
 SEE ICC ES ESR-1387

EXISTING BUILDING TO REMAIN.
 (NOT IN SCOPE OF WORK)

EX. ADDITION TO REMAIN

NOTE:

- CONTRACTOR TO VERIFY THE DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER RIGHT AWAY.
- PATCH REPAIR AND CLEAR THE AREA AFFECTED BY SCOPE OF WORK.

LEGEND:

	EXISTING STRUCTURE TO REMAIN.
	PROPOSED NEW WALL FOR GARAGE EXTENSION.

DOOR SCHEDULE						
NO.	LOCATION	DIMENSIONS			FIRE RATING	QUANTITY
		WIDTH	HEIGHT	THICKNESS		
1	GARAGE DOOR	12'-0"	7'-0"	AS REQUIRED	N/A	1

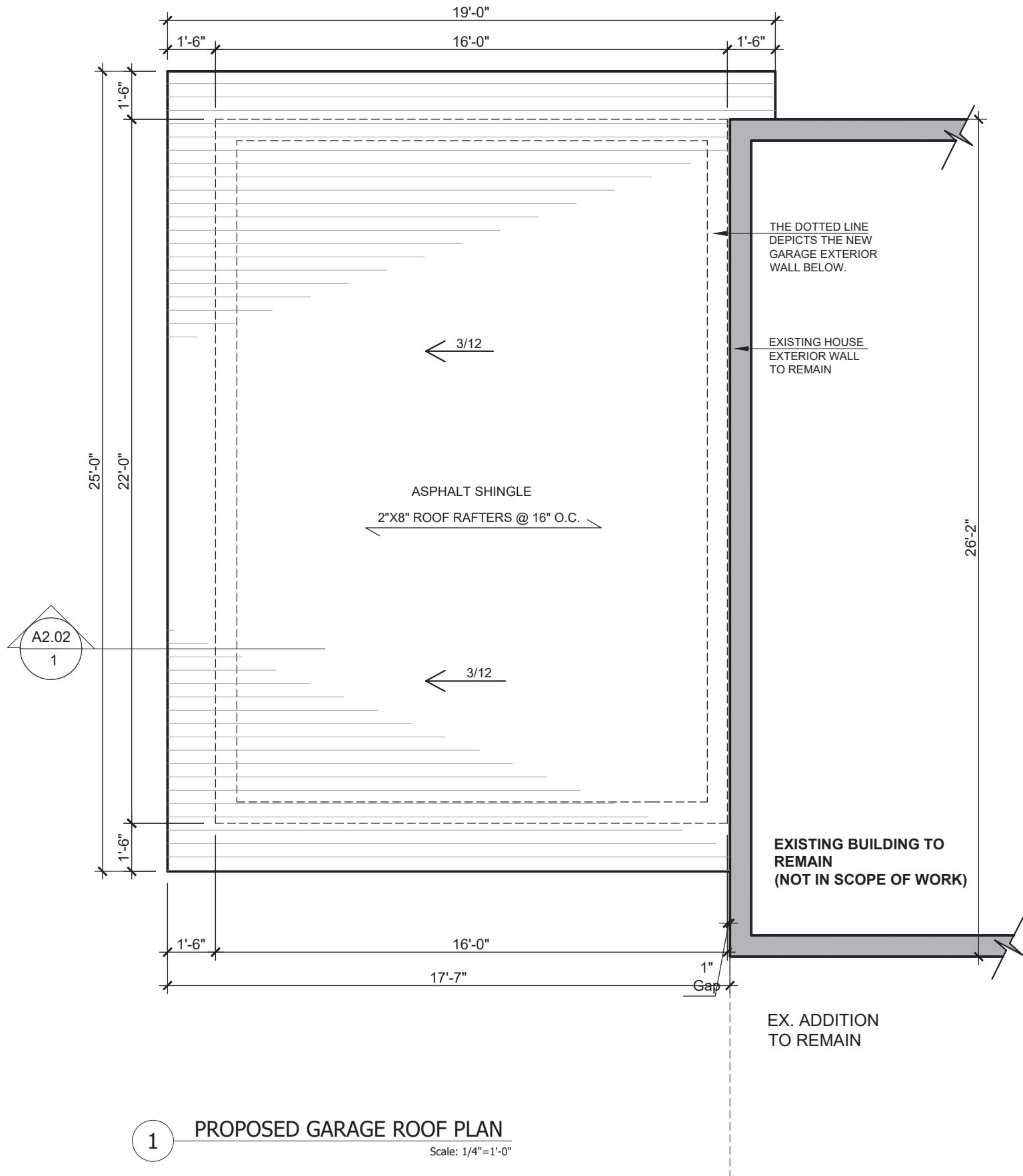


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DRAWN BY	BP		
REVIEWED BY	RK		



1 PROPOSED GARAGE ROOF PLAN
Scale: 1/4"=1'-0"

THE DOTTED LINE
DEPICTS THE NEW
GARAGE EXTERIOR
WALL BELOW.

EXISTING HOUSE
EXTERIOR WALL
TO REMAIN

EXISTING BUILDING TO
REMAIN
(NOT IN SCOPE OF WORK)

EX. ADDITION
TO REMAIN

NOTE:

- CONTRACTOR TO VERIFY THE DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER RIGHT AWAY.
- PATCH REPAIR AND CLEAR THE AREA AFFECTED BY SCOPE OF WORK.

LEGEND:

	EXISTING WALL TO REMAIN.
	PROPOSED NEW WALL FOR GARAGE EXTENSION.



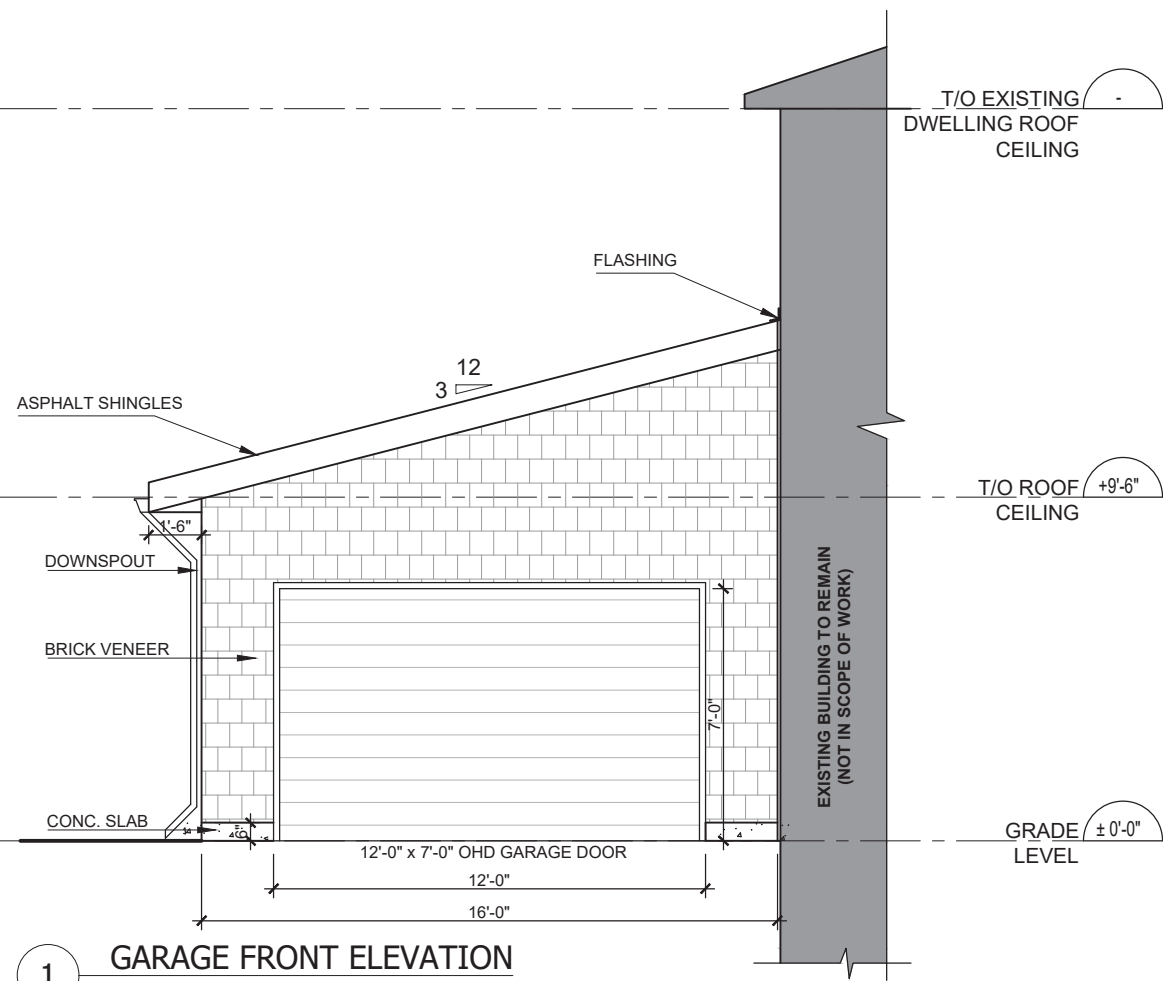
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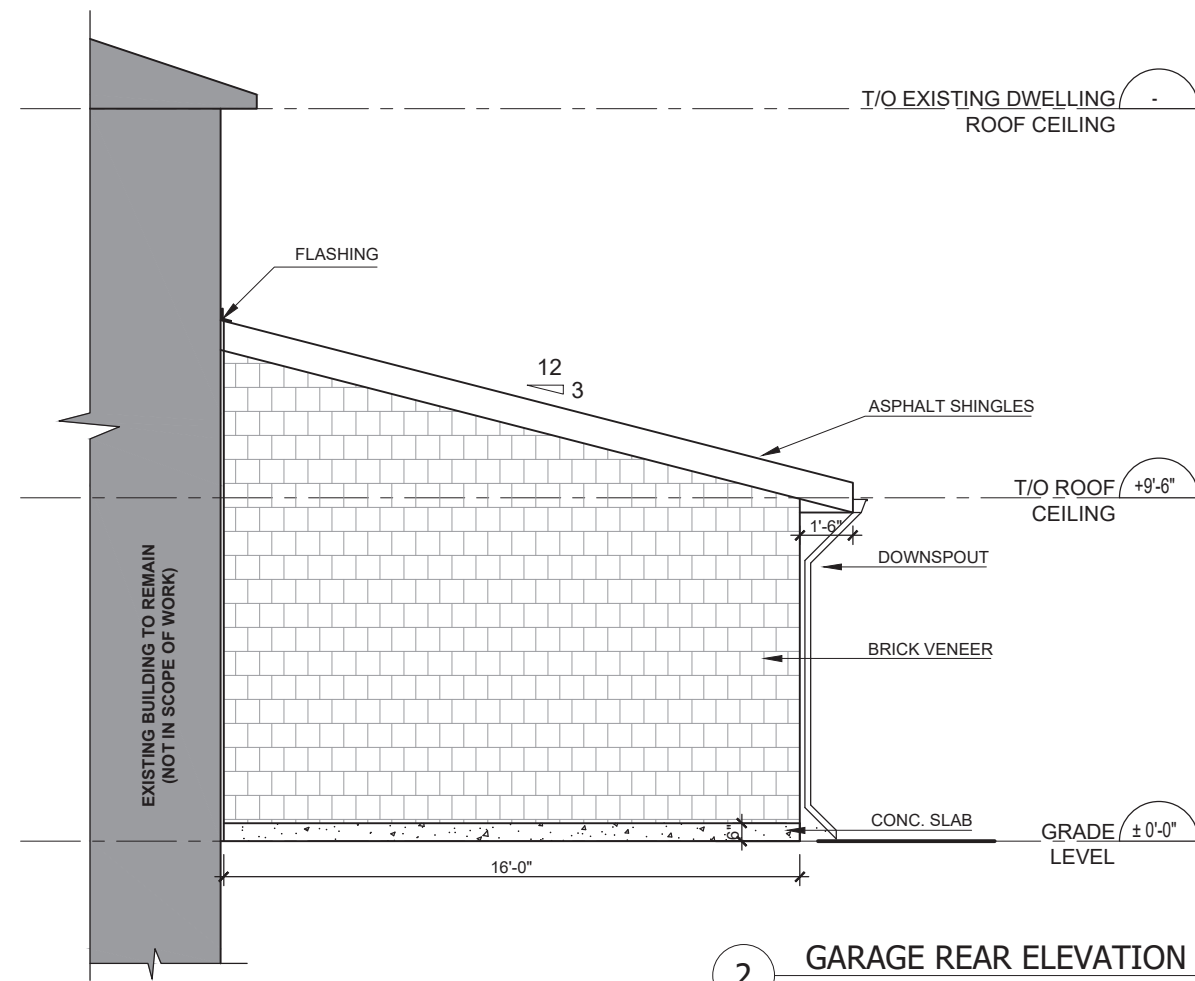
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PROJECT NO.	2024-RR02	DRAWING NO.	A1.02
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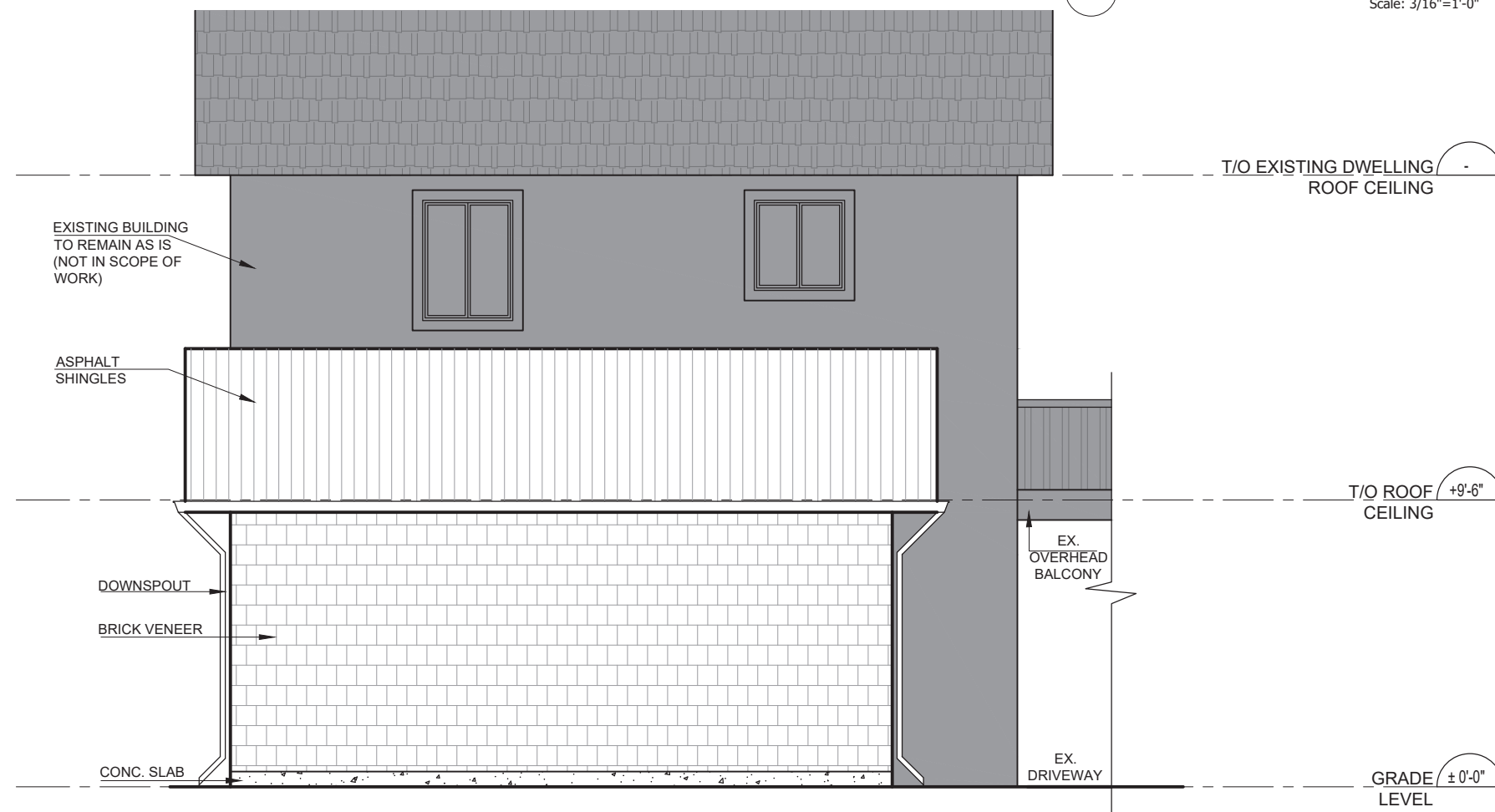




1 GARAGE FRONT ELEVATION
Scale: 3/16"=1'-0"



2 GARAGE REAR ELEVATION
Scale: 3/16"=1'-0"



3 GARAGE SIDE ELEVATION
Scale: 3/16"=1'-0"

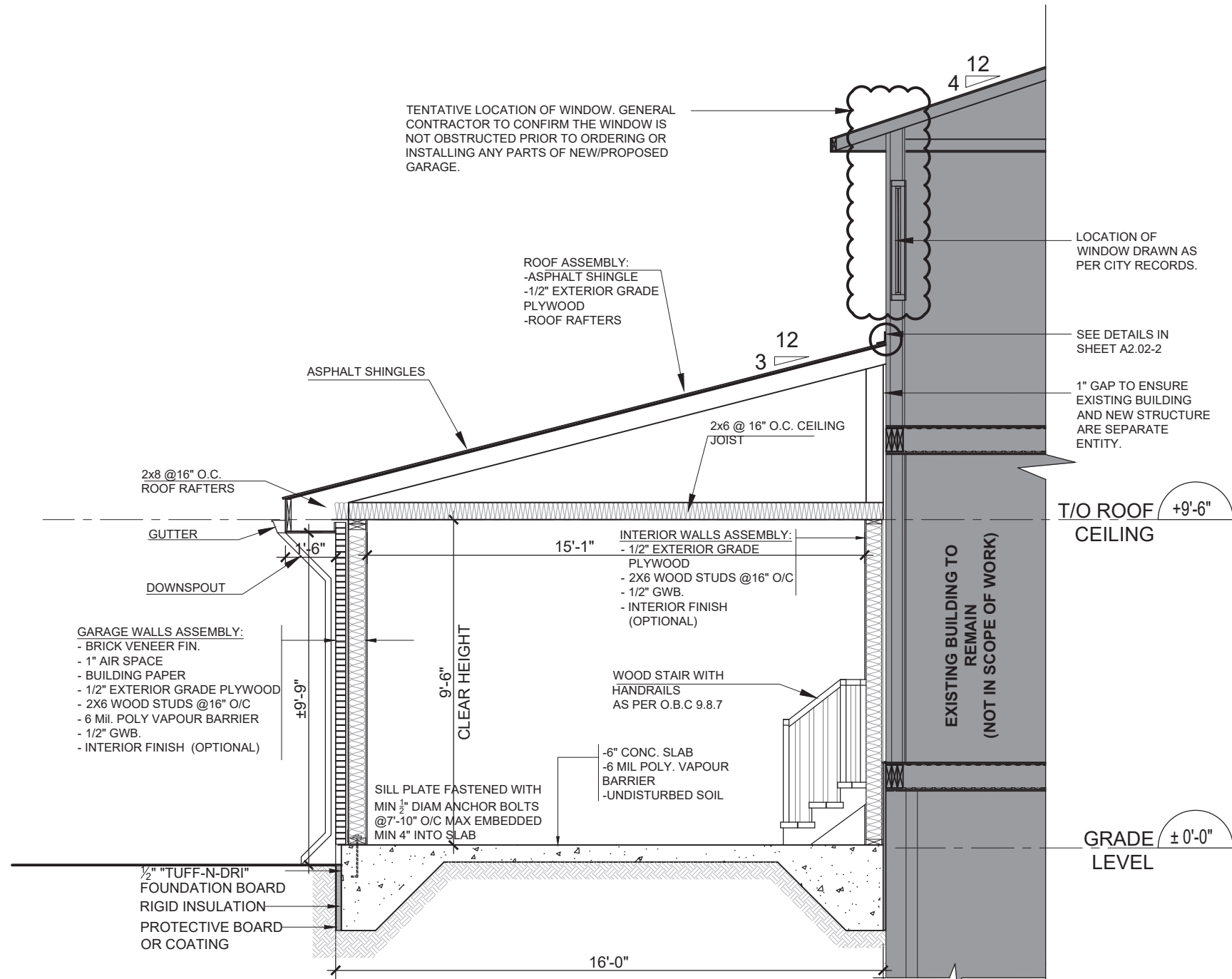


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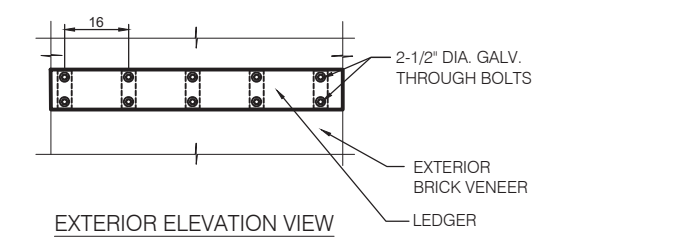
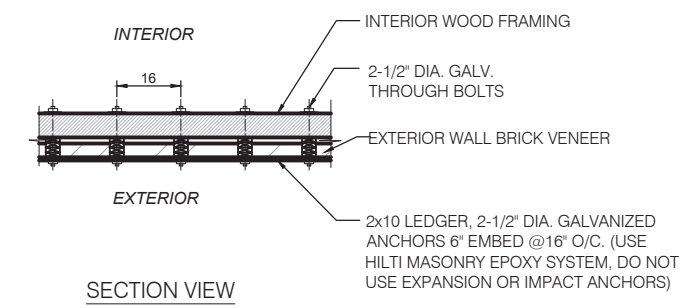
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PAGE TITLE	PROPOSED GARAGE ELEVATIONS	
PROJECT NO.	DRAWING NO.	
2024-RR02	A2.01	
DRAWN BY	BP	7 OF 9
REVIEWED BY	RK	



GARAGE FLOOR NOTES:
 6" THICK CONCRETE SLAB ON GRADE
 MIN.32 Mpa (4650 PSI)
 MAX 4" SLUMP 5% - 8% AIR ENTRAINMENT 6" X 6" X 6/6 W.W.M 6" MIN
 1" SAW CUTS @ 8'-0" O/C EA. WAY WITHIN 24 HOURS OF POUR

1 GARAGE SECTION
 Scale: 1/4"=1'-0"




2 LEDGER CONNECTION WITH EXISTING WALL
 Scale: 1/4"=1'-0"

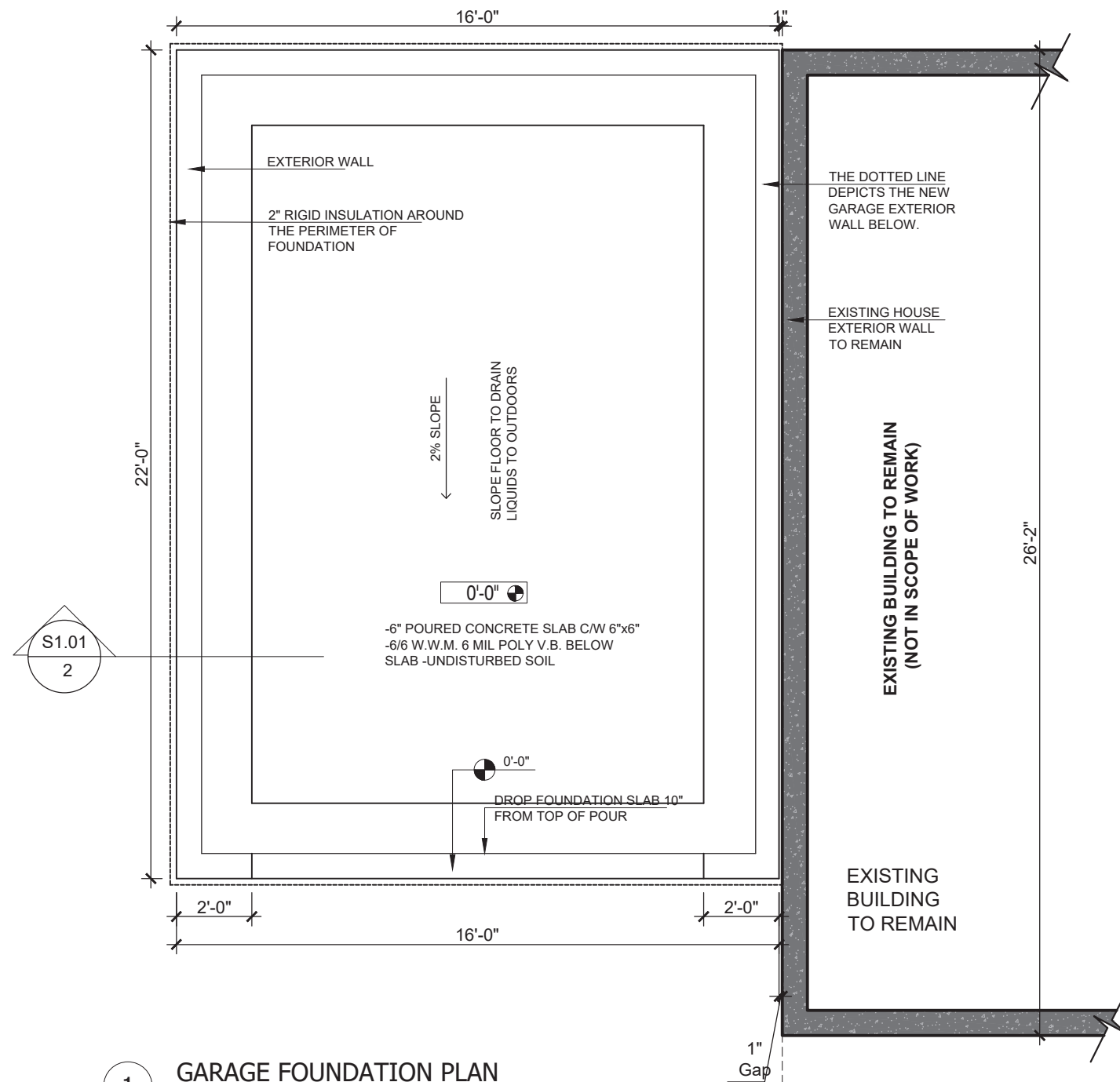


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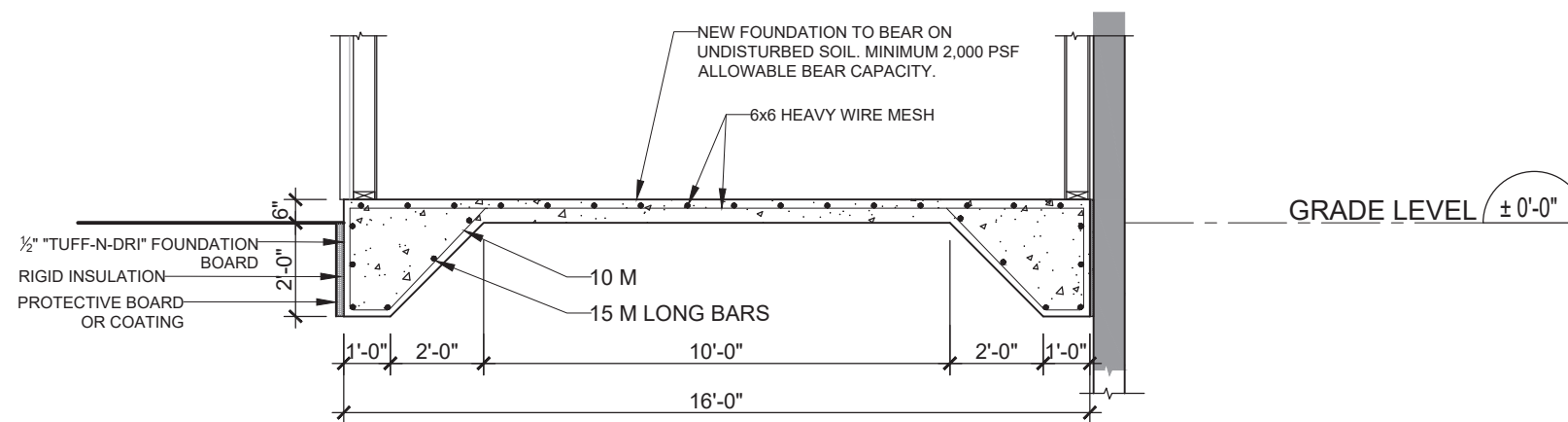


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DATE	2024-05-06
PAGE TITLE	PROPOSED GARAGE SECTION
PROJECT NO. 2024-RR02	DRAWING NO. A2.02
DRAWN BY BP	 8 OF 9
REVIEWED BY RK	



1 GARAGE FOUNDATION PLAN
Scale: 1/4"=1'-0"



2 SLAB DETAIL
Scale: 1/4"=1'-0"



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PROJECT NO. 2024-RR02	DRAWING NO. S1.01	
DRAWN BY BP		
REVIEWED BY RK		



R&R DESIGNS

PURPOSE OF THE APPLICATION

TO: City Of Hamilton,
Committee of Adjustment

Minor Variance Application

Project Address: 852 UPPER WENTWORTH ST. HAMILTON (Proposed new attached Garage shed on the rear yard)

Hello,

Please see the following list of nature and extent of relief applied and the reason for the Minor Variance Application for 852 Upper Wentworth St.

3.1 Nature and extent of relief applied for:

- 1) Existing building footprint is to remain. Setbacks are existing from the time building was built. We request variance for existing setback.
 - 6.70m Ex. Setback on the rear yard from property line to the existing building.
- 2) We request a variance for proposed setback from the new garage shed to the property line.
 - 1.78m setback from the garage shed to the property line.

3.2 Reason why the provisions of the by law cannot be complied:

Reason for not being able to comply with the by-law.

The existing building was already built in 1995, and the existing setbacks have existed since the age of the building. The Proposed new Garage will be designed in harmony with the existing structure. Furthermore, there is not enough space on the side yard to build a covered garage and it will not obstruct any neighbouring properties' views too.

Thank you.



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME	
Registered Owners(s)	TERESA CLARIZIO	
Applicant(s)	Richie Khanna R&R Designs	
Agent or Solicitor		
		E-mail:

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	852 Upper Wenworth, Hamilton, ON. L9A 4W4		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot	PART OF LOT 11	Concession	6
Registered Plan Number	62R-16929	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

PLEASE SEE ATTACHED - PURPOSE OF THE APPLICATION LETTER (ATTACHED AT THE END OF THIS DOCUMENT)

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

PLEASE SEE ATTACHED - PURPOSE OF THE APPLICATION LETTER (ATTACHED AT THE END OF THIS DOCUMENT).

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.197m (East) & 15.220 (West)	31.39m (North & South)	477.2 Sq. m.	Approx 24.77m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Existing 2 Story building	7.01 m	6.70 m	1.20 m, 1.11 m	1995 - AS PER SOME DOCUMENTS OBTAINED FROM RECORD SEARCH.

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Proposed Garage Building	Attached w/Ex. Building	1.78 m	1.20m, 7.30 m	APPROX THIS YEAR SEPT./OCT. (2024); CONSTRUCTION WILL COMMENCE ONCE THE CLIENT RECEIVE THE PERMIT FROM CITY.

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Existing 2 Storey building	~ 133.1 Sq.m	~ 304.8 Sq.m	2	±6m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Proposed Garage Building	32.7 Sq. m.	32.7 Sq.m	1	±3.0m

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Garage

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

A two-story building with an office on the ground floor and a residential unit on the second floor.

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2014 - As per some documents obtained from record search & provided by the owner, however the building might be older.

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling with an office use

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling with an office use

7.4 Length of time the existing uses of the subject property have continued:

2014 - As per some documents obtained from record search & provided by the owner, however the subject property might be older

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): N/A

Rural Settlement Area: N/A

Urban Hamilton Official Plan designation (if applicable) URBAN HAMILTON OFFICIAL PLAN SCHEDULE (E)

Please provide an explanation of how the application conforms with the Official Plan.

6593 FORMER HAMILTON - ZONE C5- MIXED USE MEDIUM DENSITY

7.6 What is the existing zoning of the subject land? C5

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-