



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:205	SUBJECT PROPERTY:	71 Rebecca Street, Hamilton
ZONE:	D1, 701 (Downtown Central Business District)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended by 20-030

APPLICANTS: Owner: Hi Rose (Rebecca) Inc. c/o Silvio Guglietti
Agent: A.J. Clarke and Associates Ltd c/o Ryan Ferrari

The following variances are requested:

1. 55 parking stalls shall be permitted to maintain a width of 2.8 metres and a length of 5.8 metres instead of the required 62 parking stalls with a width of 2.8 metres and a length of 5.8 metres;
2. 65 parking stalls shall be permitted to maintain a width of 2.6 metres and a length of 5.8 metres instead of the required 93 parking stalls with a width of 2.6 metres and a length of 5.8 metres;
3. 31 parking stalls shall be permitted to maintain a width of 2.6 metres and a length of 5.5 metres instead of the required 36 parking stalls with a width of 2.6 metres and a length of 5.5 metres;
4. 12 parking stalls shall be permitted to maintain a width of 2.8 metres and a length of 5.5 metres, instead of the required 13 parking stalls with a width of 2.8 metres and a length of 5.5 metres;
5. 2 barrier-free parking stalls shall be permitted with a width of 4.6 metres and a length of 5.8 metres instead of the required 3 barrier-free parking stalls with a width of 4.6 metres and a length of 5.8 metres;
6. 2 barrier-free parking stalls shall be permitted with a width of 4.6 metres and a length of 5.5 metres instead of the required 3 barrier-free parking stalls with a width of 4.6 metres and a length of 5.5 metres;
7. A balcony shall be permitted to encroach a maximum of 1.5m into any required yard instead of the minimum 1.0 metres.

A-24:205

PURPOSE & EFFECT: To permit the construction of a 29 Storey mixed use building.

Notes:

- i. The variances are required to permit Site Plan application DA-21-113 and DA-23-016, Conditionally Approved on January 23, 2023.
- ii. Please note, the variances have been provided as requested.
- iii. Please note, Variance 1 and 5 have been provided to address requirements under Special Exception 701, despite the proposed dimensions maintaining or exceeding the requirements under Section 5 of Hamilton Zoning By-law 05-200.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, October 22, 2024
TIME:	1:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon October 18, 2024

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon October 21, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:205, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

A-24:205

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: October 3, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

71 REBECCA STREET

8	ISSUED FOR C OF A	27 AUG. 2024
7	ISSUED FOR SPA	28 AUG. 2023
6	ISSUED FOR SPA	14 JULY 2023
5	ISSUED FOR SPA	30 NOVEMBER 2022
4	ISSUED FOR SPA	20 JUNE 2022
3	ISSUED FOR 100% DO	29 APRIL 2022
2	ISSUED FOR SPA	06 JANUARY 2022
1	ISSUED FOR SPA	27 MAY 2021

No. Revisions Date

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71 Rebecca
71 REBECCA STREET
HAMILTON, ONTARIO, L8R 1B6
SITE PLAN FILE NUMBER: DA-21-091



Drawn: ST Scale:
Checked: BL Date: 27 AUG. 2024

Title: TITLE PAGE

Project No. 20-199 Drawing No. A000

LEVELS	# OF FL	GCA				GFA				SALEABLE				SALEABLE	
		GCA / FL		TOTAL GCA		GFA / FL		TOTAL GFA		RESIDENTIAL / FL		TOTAL RESIDENTIAL		RETAIL	
		(sf)	(sm)	(sf)	(sm)	(sf)	(sm)	(sf)	(sm)	(sf)	(sm)	(sf)	(sm)	(sf)	(sm)
P1	1	1,522.00	141.40	1,522.00	141.40	742.71	69.00								
GROUND LEVEL	1	23,690.00	2,200.87	23,690.00	2,200.87	18,524.70	1,721.00	18,524.70	1,721.00					4,185.00	388.80
LEVEL 2	1	32,383.00	3,008.48	32,383.00	3,008.48	8,662.58	804.78	8,662.58	804.78						
LEVEL 3	1	32,383.00	3,008.48	32,383.00	3,008.48	7,292.34	677.48	7,292.34	677.48						
LEVEL 4	1	29,371.00	2,728.65	29,371.00	2,728.65	5,562.25	516.75	5,562.25	516.75						
LEVEL 5	1	21,789.00	2,024.26	21,789.00	2,024.26	21,361.64	1,984.56	21,361.64	1,984.56	18,088.00	1,680.43	18,088.00	1,680.43		
LEVEL 6	1	21,632.00	2,009.68	21,632.00	2,009.68	21,204.70	1,969.98	21,204.70	1,969.98	18,489.00	1,717.68	18,489.00	1,717.68		
LEVEL 7 & 9	2	21,634.00	2,009.68	43,268.00	4,019.36	21,204.70	1,969.98	42,409.39	3,939.96	18,922.00	1,757.91	37,844.00	3,515.82		
LEVEL 8	1	21,634.00	2,009.68	21,634.00	2,009.68	21,204.70	1,969.98	21,204.70	1,969.98	18,826.00	1,748.99	18,826.00	1,748.99		
LEVEL 10	1	19,400.00	1,802.32	19,400.00	1,802.32	18,972.69	1,762.62	18,972.69	1,762.62	16,714.00	1,552.78	16,714.00	1,552.78		
LEVEL 11	1	19,400.00	1,802.32	19,400.00	1,802.32	18,972.69	1,762.62	18,972.69	1,762.62	16,714.00	1,552.78	16,714.00	1,552.78		
LEVEL 12 (SPACER)	1	8,397.00	780.11	8,397.00	780.11	7,992.31	742.51	7,992.31	742.51	5,204.00	483.47	5,204.00	483.47		
LEVEL 13-29	17	9,423.00	875.42	160,191.00	14,882.22	9,013.70	837.40	153,232.94	14,235.80	8,121.00	754.47	138,057.00	12,825.91		
LEVEL MECH	1	9,423.00	875.42	9,423.00	875.42	2,513.59	233.52	2,513.59	233.52						
TOTAL				444,483	41,293			347,907	32,322			269,936	25,078	4,185	389
TOTAL EXCLUDING LEVELS 2 TO 4				350,346	32,548			326,389	30,323						

LEVELS	# OF FL	AMENITY								UNITS/FL				UNITS/BLD.			
		INTERIOR		EXTERIOR		PRIVATE TERRACE		PRIVATE BALCONY		1 BED (410 sf - 510 sf)	1 BED+DEN (500 sf - 600 sf)	2 BED (625 sf - 725 sf)	TOTAL UNITS/FL	1 BED (410 sf - 510 sf)	1 BED+DEN (500 sf - 600 sf)	2 BED (625 sf - 725 sf)	TOTAL UNITS/BLD.
		(sf)	(sm)	(sf)	(sm)	(sf)	(sm)	(sf)	(sm)								
P1	1																
GROUND LEVEL	1	3,110.77	289.00	0.00	0.00												
LEVEL 2	1																
LEVEL 3	1																
LEVEL 4	1																
LEVEL 5	1	387.50	36.00	2,152.78	200.00	5,539.00	514.59	453.00	42.09	18	9	6	33	18	9	6	33
LEVEL 6	1							2,503.00	232.54	17	8	8	33	17	8	8	33
LEVEL 7 & 9	2							2,503.00	232.54	18	8	8	34	16	16	16	68
LEVEL 8	1							2,503.00	232.54	18	8	8	34	18	8	8	34
LEVEL 10	1					2,111.44	196.16	977.00	90.77	16	11	4	31	16	11	4	31
LEVEL 11	1							2,423.00	225.10	16	4	31	16	11	4	31	
LEVEL 12 (SPACER)	1	1,819.10	169.00	8,773.00	815.04	2,164.00	201.04	444.00	41.25	3	4	2	9	4	2	9	
LEVEL 13-29	17							1,345	124.92	3	8	3	14	51	136	51	238
LEVEL MECH	1																
TOTAL		5,317	494	10,926	1,015	9,814	912	10,648	989	109	67	43	219	175	203	99	477
TOTAL EXCLUDING LEVELS 2 TO 4		TOTAL AMENITY (SM)		3,410				%				36.69	42.56	20.75			
						CLIENT TARGET				40%	40%	20%					

BARRIER FREE UNITS		
	1BED/1BED+DEN	2B/2B+DEN
TOTAL REQUIRED B.F UNITS (WITH 15%)	55	18
TOTAL PROVIDED B.F UNITS	62	22

LEVELS	NUMBER OF FULL HEIGHT WIRE MESH LOCKERS	NUMBER OF INDIVIDUAL STORAGE ROOMS	NUMBER OF STACKED WIRE MESH LOCKERS	NUMBER OF BIKE RACKS	NUMBER OF PARKING UNITS(SOLO)	NUMBER OF PARKING UNITS (TANDEM)	NUMBER OF PARKING UNITS (WITH STORAGE ROOM)	NUMBER OF TANDEM PARKING UNITS (WITH STORAGE ROOM)
LEVEL 2	40	2	22	115	34	6	7	0
LEVEL 3	25	1	72	89	47	6	7	0
LEVEL 4	34	2	0	35	45	0	13	1
TOTAL	99	5	94	239	126	12	27	1

ZONING REQUIREMENTS (71 REBECCA STREET)		
SITE AREA	34,817 SQ. FT. / 3,180 SQ.M. PROVIDED BY SURVEY PLAN	
SITE INFORMATION	SEE SURVEY BY A.T. McLENN LIMITED.	
PROGRAM	OCCUPANCY IS RESIDENTIAL AND RETAIL	
ZONING	D1 (DOWNTOWN CENTRAL BUSINESS)	
MAX. BUILDING HEIGHT	REQUIRED / PERMITTED 97m EXCLUDING MPH (189.90 m) (30 STOREY EXCLUDING MPH)	PROVIDED 29 STOREYS @ 93.40m (186.20 m) + 6m MECHANICAL PENTHOUSE (ESTABLISHED GRADE = 92.80 m)
MAX. DENSITY	---	DENSITY (TOTAL GFA / SITE AREA) = 10.22
LOADING	---	1 TYPE "G" LOADING SPACE
GROSS FLOOR AREA		TOTAL GFA = 347,907 sf / 32,322 sm • RESIDENTIAL GFA = 343,722sf / 31,933 sm • COMMERCIAL GFA = 4,185 sf / 389 sm
LOT COVERAGE		LOT COVERAGE (LEVEL 2 GCA / SITE AREA) = % 95
PARKING		
RESIDENTIAL PARKING (BASED ON ZONING BY-LAW No. 05-200)	-For units < 50sm = Min. [0 per unit (1-12 units) & 0.3 per unit (13+ units)] Max. [1.25 per unit] -For units > 50sm = Min. [0 per unit (1-12 units) , 0.5 per unit (13-50 units) & 0.7 per unit (51+ units)] Max. [1.25 per unit] -For 3 or more bedroom = Min. [0 per unit (1-12 units) , 0.3 per unit (13+ units)] Max. [1.25 per unit]	PROVIDED: 171 PARKING SPACES • 167 RESIDENTIAL • 4 RESIDENTIAL CAR SHARE (2.8 m x 5.5m size) • 0 COMMERCIAL
COMMERCIAL PARKING (BASED ON ZONING BY-LAW No. 05-200)	No Parking unless listed as below: commercial school, financial establishment, hotel, conference or convention center, medical clinic, office, veterinary services. For financial establishment : 1 for each 50 sm of gross floor area in excess of 450 sm. Medical Clinic: 1 for each 150 sm of gross floor area in excess of 450sm. Office: 1 for each 50 sm of gross floor area in excess of 450sm. Veterinary Service: 1 for each 50 sm of gross floor area in excess of 450 sm.	
RESIDENTIAL VISITOR PARKING (BASED ON SITE SPECIFIC ZONING)	4 CAR SHARE PARKING STALLS AT GRADE 2.6m X 5.5m SIZE	
TOTAL REQUIRED	MIN: 213 RESIDENTIAL PARKING SPACES MAX: 597 RESIDENTIAL PARKING SPACES 0 COMMERCIAL PARKING SPACES 4 CAR SHARE PARKING STALLS AT GRADE	
RES. (LONG-TERM) BICYCLE PARKING (BASED ON ZONING BY-LAW No. 05-200)	0.5 / UNIT = 477 UNITS X 0.5 = 239 IN TOTAL	PROVIDED: 249 RESIDENTIAL BICYCLE SPACES • 239 RESIDENCE (LONG-TERM) • 10 VISITOR (SHORT-TERM)
RES. VIS. (SHORT-TERM) BICYCLE PARKING (BASED ON ZONING BY-LAW No. 05-200)	5	
TOTAL REQUIRED	244 RESIDENTIAL BICYCLE SPACES (239 RESIDENCE (LONG-TERM) + 5 VISITORS (SHORT-TERM))	
COMM. (LONG-TERM) BICYCLE PARKING (BASED ON ZONING BY-LAW No. 05-200)	0 for < 450sm, 2 per unit for area of 450-1000 sm, 5 per unit for area between 1001-10000sm	PROVIDED: 13 COMM. BICYCLE SPACES • 8 OCCUPANTS (LONG-TERM) • 5 VISITORS (SHORT-TERM)
COMM. VIS. (SHORT-TERM) BICYCLE PARKING (BASED ON ZONING BY-LAW No. 05-200)	10 for commercial entertainment, 5 for other commercial use. No visitor bike space for office, personal services, restaurant or retail use less than 450sm.	
TOTAL REQUIRED	0 COMMERCIAL BICYCLE SPACES (0 OCCUPANTS (LONG-TERM) + 0 VISITORS (SHORT-TERM))	
AMENITY SPACE	4 SM per unit Note: For every 0.5 SM of green roof area provided the required Amenity area may be reduced by 1.0 SM	PROVIDED: EXTERIOR AMENITY = 1,015 sm INTERIOR AMENITY = 494 sm PRIVATE BALCONY = 989 sm TOTAL = 3,410 sm
TOTAL REQUIRED	4 X 477 = 1908	
PARKING SIZE (BASED ON SITE SPECIFIC ZONING)	REQUIRED:	PROVIDED:
2.8 m X 5.8 m	62	58 (INCLUDING 4 EVSE)
2.6 m X 5.8 m	93	68 (INCLUDING 11 EVSE)
2.6 m X 5.5 m	36	28 (INCLUDING 19 EVSE)
2.8 m X 5.5 m	13	9 (INCLUDING 2 EVSE)
4.6 m X 5.8 m (B.F.)	3	2 (INCLUDING 2 EVSE)
4.6 m X 5.5 m (B.F.)	3	2 (INCLUDING 2 EVSE)
2.6 m X 5.5 m (CAR SHARE)	4	4 AT GRADE (INCLUDING 2 EVSE)
LOCKERS	N / A	226 (ABOVE GRADE)

8	ISSUED FOR C OF A	27 AUG. 2024
7	RESUBMITTED FOR SPA	28 AUG. 2023
6	RESUBMITTED FOR SPA	14 JULY 2023
5	RESUBMITTED FOR SPA	30 NOVEMBER 2022
4	RESUBMITTED FOR SPA	20 JUNE 2022
3	ISSUED FOR 100% DD	29 APRIL 2022
2	RESUBMITTED FOR SPA	06 JANUARY 2022
1	ISSUED FOR SPA	27 MAY 2021

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71 REBECCA STREET
HAMILTON, ONTARIO, L8R 1B6
SITE PLAN FILE NUMBER: DA-21-091



Drawn: ST Scale
Checked: BL Date: 27 AUG. 2024

Title: STATISTICS & ZONING REQUIREMENTS

Project No. 20-199 Drawing No. A100



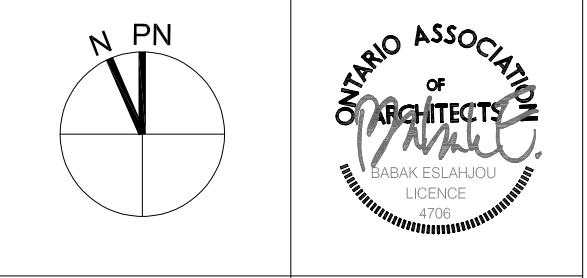
No.	Revisions	Date
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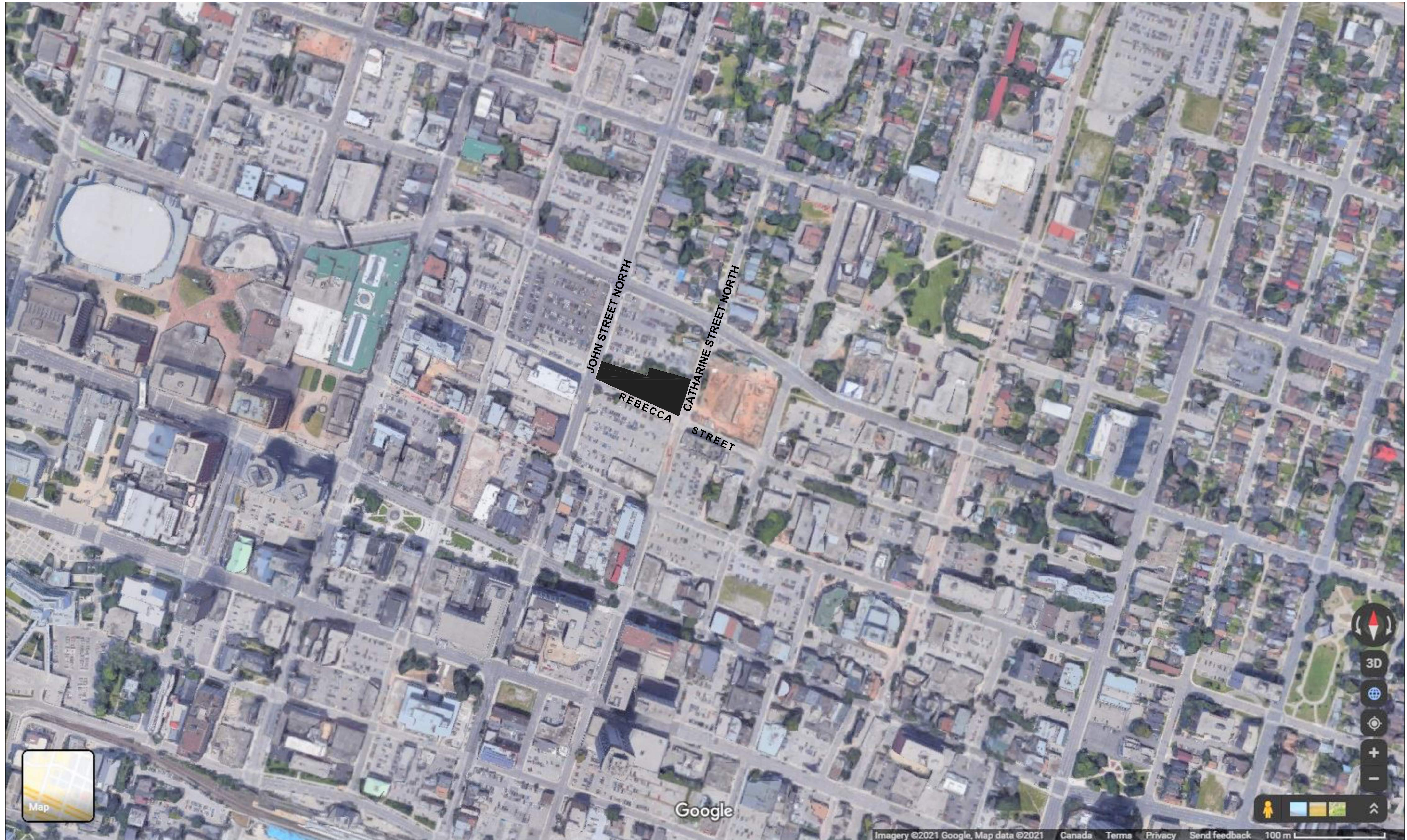
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 HAMILTON, ONTARIO, L8R 1B6
 SITE PLAN FILE NUMBER: DA-21-091



Drawn ST	Scale
Checked BL	Date 27 AUG. 2024

Title
SURVEY

PROJECT SITE



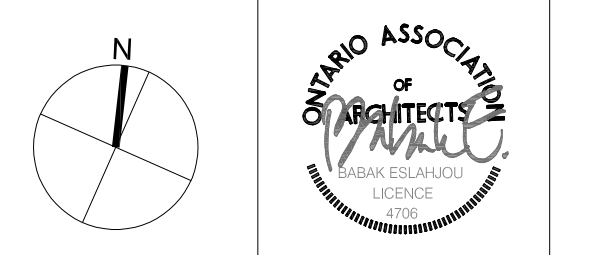
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 SITE PLAN FILE NUMBER: DA-21-091



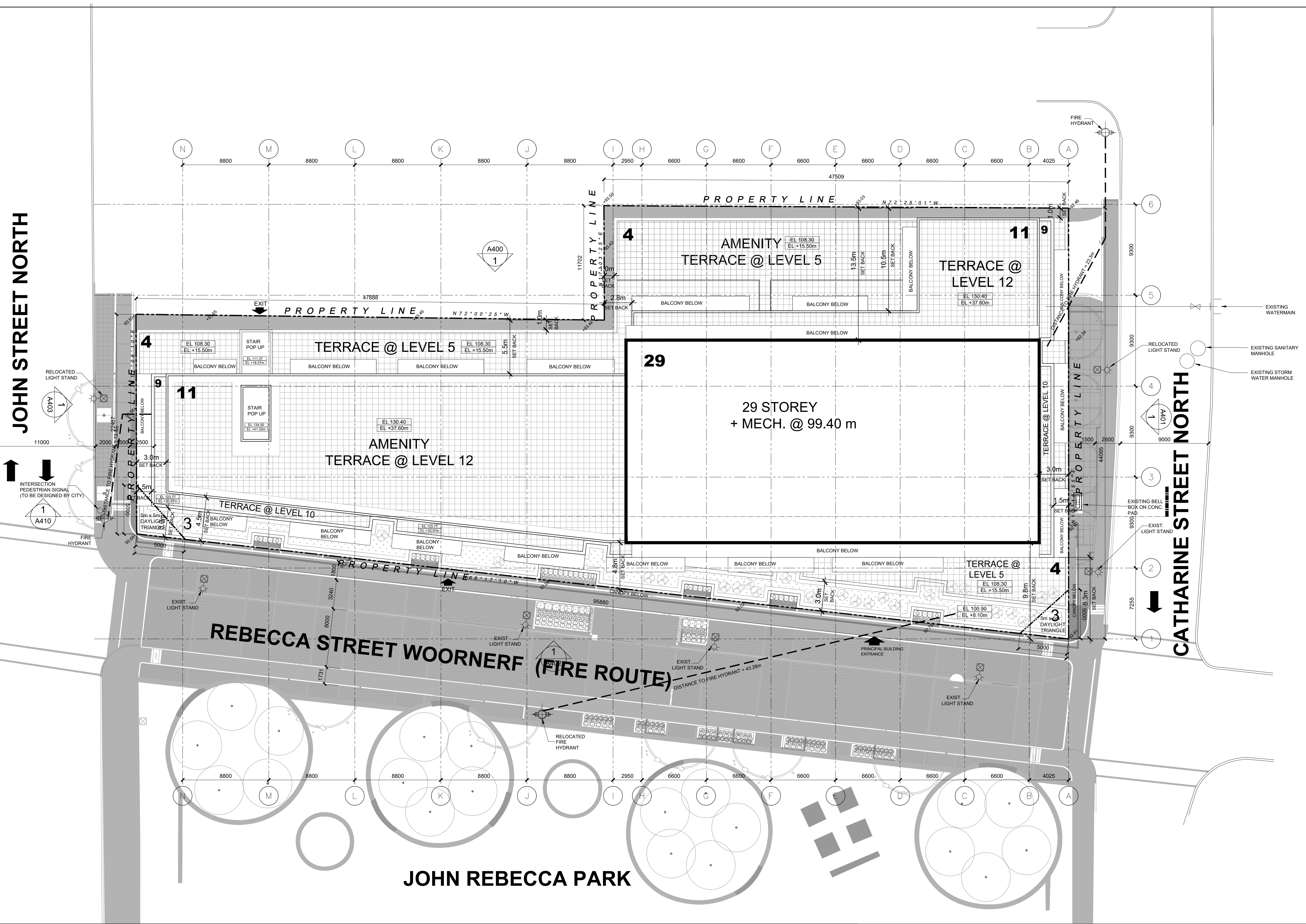
Drawn ST	Scale
Checked BL	Date 27 AUG. 2024

Title
CONTEXT PLAN

SITE PLAN NOTES:

- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
- FIRE ROUT SIGNS AND 3-WAY FIRE HYDRANT SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
- MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5m UNLESS OTHERWISE STATED.
- ALL DRIVEWAYS FROM PROPERTY LINES FOR THE FIRST 7.5m SHALL BE WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/ APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUT PERMIT
 - APPROACH APPROVAL PERMIT
 - COMMITTEE OF ADJUSTMENT
 - SEWER AND WATER PERMIT
 - RELOCATION OF SERVICES
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
- ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE GEOMATICS AND CORRIDOR MANAGEMENT SECTION, PUBLIC WORKS DEPARTMENT.
- FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED: 15.0 METER BY 5.0 METER VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METERS ABOVE THE CORRESPONDING PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET. WITHOUT SETTING PRECEDENT, TRANSPORTATION PLANNING MAY ACCEPT REDUCED VISIBILITY TRIANGLE REQUIREMENTS ON THE NORTHERN SIDE OF THE PROPOSED DRIVEWAY ACCESS TO CATHARINE STREET NORTH PROVIDED THAT THE VISIBILITY TRIANGLE IS DIMENSIONED ON THE SITE PLAN ACCORDINGLY AND FREE OF OBSTRUCTIONS AS REQUIRED.
- PROPOSED SIGNAGE SHALL CONFORM TO THE CITY'S SIGN BY-LAW No. 10-197.
- LIGHTING MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OR STREETS.
- A MINIMUM 1.2 METER SEPARATION MUST BE PROVIDED WITHIN THE CITY'S ROAD ALLOWANCE AREA BETWEEN DRIVEWAYS, A FENCE, AND ANY POLE, UTILITY, FIRE HYDRANT, TREE SIGN, ETC. ANY COSTS FOR TRAFFIC SIGNS OR UTILITY RELOCATED ARE THE SOLE RESPONSIBILITY OF THE APPLICANT / OWNER. IT IS THE APPLICANT'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE DEPARTMENTS AHEAD OF TIME.
- THE OWNER IS ADVISED THAT IF THE PROPERTY IS REDEVELOPED IN THE FUTURE THEN A ROAD WIDENING OF APPROXIMATELY 3 METERS WILL BE REQUIRED FOR BARTON STREET EAST.
- THE WASTE LOADING AREA DOES NOT MEET THE CITY'S REQUIREMENTS FOR THE FOLLOWING REASONS:
 - THE WASTE LOADING AREA DOES NOT INCLUDE MEASUREMENTS AND MAY NOT BE LARGE ENOUGH TO ACCOMMODATE ALL WASTE CONTAINERS FOR THE BUILDING.
 - THE PROPOSED WASTE LOADING AREA REQUIRES A VERTICAL CLEARANCE OF 9.5 METERS.
 - THE LOADING AREA MUST PERMIT ONE OF THE FOLLOWING OPTIONS FOR WASTE COLLECTION VEHICLE(S):
 - ALLOWANCE FOR A MINIMUM 18 METER OF DISTANCE FOR THE HEAD-ON APPROACH OF THE WASTE COLLECTION VEHICLE(S);
 - A TURNAROUND AREA ALLOWING FOR A MAXIMUM THREE-POINT TURN OF NOT MORE THAN ONE TRUCK LENGTH;
 - AN AREA WHICH THE WASTE COLLECTION VEHICLE MAY DRIVE THROUGH IN A CONTINUOUS FORWARD MOTION;
 - THE SITE PLAN MUST INCLUDE A LOCATION ADJACENT TO THE ROAD FOR THE CURBSIDE COLLECTION OF RECYCLING CARTS AND ORGANIC WASTE CARTS WHICH MEETS THE SPACE REQUIREMENTS SET OUT IN THIS MEMORANDUM. THERE IS LIMITED SPACE ADJACENT TO THE BUILDING FOR THE COLLECTION OF RECYCLING CARTS AND GREEN CARTS.

JOHN STREET NORTH



CATHARINE STREET NORTH

REBECCA STREET WOERNER (FIRE ROUTE)

JOHN REBECCA PARK

8	ISSUED FOR C.O.P.A.	27 AUG. 2024
7	REVISION FOR SPA	25 OCT. 2023
6	REVISION FOR SPA	28 AUG. 2023
5	REVISION FOR SPA	14 JULY 2023
4	REVISION FOR SPA	30 NOVEMBER 2022
3	REVISION FOR SPA	22 JUNE 2022
2	ISSUED FOR 100% DD	29 APRIL 2022
1	REVISION FOR SPA	06 JANUARY 2022
1	ISSUED FOR SPA	27 MAY 2021

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UNDERTAKING
 RE: 71 REBECCA STREET, HAMILTON FILE No. DA-21-091
 I, (WE) _____, THE OWNER(S) OF THE LAND, HEREBY UNDERTAKE AND AGREE WITHOUT RESERVATION.

- TO COMPLY WITH ALL THE CONTENT OF THIS PLAN AND DRAWING AND NOT TO VARY THEREFROM.
- TO PERFORM THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(a) OF THE PLANNING ACT SHOWN ON THIS PLAN AND DRAWING(S) IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL AS SET OUT IN THE LETTER OF APPROVAL DATED _____.
- TO MAINTAIN TO THE SATISFACTION OF THE CITY AND AT MY (OUR) SOLE RISK AND EXPENSE, ALL OF THE FACILITIES, WORKS OR MATTERS MENTIONED IN SECTION 41(7)(b) OF THE SAID ACT, SHOWN IN THIS PLAN AND DRAWING, INCLUDING REMOVAL OF SNOW FROM ACCESS RAMPS AND DRIVEWAYS, PARKING AND LOADING AREAS AND WALKWAYS.
- IN THE EVENT THAT THE OWNER DOES NOT COMPLY WITH THE PLAN DATED _____, THE OWNER AGREES THAT THE CITY MAY ENTER THE LAND AND DO THE REQUIRED WORKS, AND FURTHER THE OWNER AUTHORIZES THE CITY TO USE THE SECURITY FILED TO OBTAIN COMPLIANCE WITH THIS PLAN.
- THAT THE OWNER AGREES TO PHYSICALLY AFFIX THE MUNICIPAL NUMBERS OR FULL ADDRESSES TO THE BUILDING OR ON A SIGN IN ACCORDANCE WITH THE CITY'S SIGN BY-LAW, IN A MANNER THAT IS VISIBLE FROM THE STREET.

- THAT THE OWNER AGREES TO PHYSICALLY AFFIX THE MUNICIPAL NUMBERS TO EACH COMMERCIAL UNIT ENTRANCE, IN A MANNER THAT IS VISIBLE FROM THE STREET.
- THE OWNER ACKNOWLEDGES AND AGREES TO CONVEY ANY EASEMENT(S) AS DEEMED NECESSARY BY BELL CANADA TO SERVICE THIS NEW DEVELOPMENT. THE OWNER FURTHER AGREES AND ACKNOWLEDGES TO CONVEY SUCH EASEMENTS AT NO COST TO BELL CANADA. THE OWNER AGREES THAT SHOULD ANY CONFLICT ARISE WITH EXISTING BELL CANADA FACILITIES WHERE A CURRENT AND VALID EASEMENT EXISTS WITHIN THE SUBJECT AREA, THE OWNER SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY SUCH FACILITIES OR EASEMENT AT THEIR OWN COST.
- THE OWNER SHALL COMPLETE TO THE SATISFACTION OF THE DIRECTOR OF GROWTH MANAGEMENT AND CANADA POST:
 - INCLUDE ON ALL OFFERS OF PURCHASE AND SALE, A STATEMENT THAT ADVISES THE PROSPECTIVE PURCHASER:
 - THAT THE HOME/BUSINESS MAIL DELIVERY WILL BE FROM A DESIGNATED CENTRALIZED MAIL BOX.
 - THAT THE DEVELOPERS/OWNERS BE RESPONSIBLE FOR OFFICIALLY NOTIFYING THE PURCHASERS OF THE EXACT CENTRALIZED MAIL BOX LOCATIONS PRIOR TO THE CLOSING OF ANY HOME SALES.
 - THE OWNER FURTHER AGREES TO:
 - WORK WITH CANADA POST TO DETERMINE AND PROVIDE TEMPORARY SUITABLE CENTRALIZED MAIL BOX LOCATIONS WHICH MAY BE UTILIZED BY CANADA POST UNTIL THE CURBS, BOULEVARDS AND SIDEWALKS ARE IN PLACE IN THE REMAINDER OF THE SUBDIVISION.
 - INSTALL A CONCRETE PAD IN ACCORDANCE WITH THE REQUIREMENTS OF AND IN LOCATIONS TO BE APPROVED BY CANADA POST TO FACILITATE THE PLACEMENT OF COMMUNITY MAIL BOXES.
 - IDENTIFY THE PADS ABOVE ON THE ENGINEERING SERVICING DRAWINGS. SAID PADS TO BE POURED AT THE TIME OF THE SIDEWALK AND/OR CURB INSTALLATION WITHIN EACH PHASE OF THE PLAN OF SUBDIVISION.
 - DETERMINE THE LOCATION OF ALL CENTRALIZED MAIL RECEIVING FACILITIES IN CO-OPERATION WITH CANADA POST AND TO INDICATE THE LOCATION OF THE CENTRALIZED MAIL FACILITIES ON APPROPRIATE MAPS, INFORMATION BOARDS AND PLANS.
 - MAPS ARE ALSO TO BE PROMINENTLY DISPLAYED IN THE SALES OFFICE(S) SHOWING SPECIFIC CENTRALIZED MAIL FACILITY LOCATIONS.

- CAUTION: NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL. ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY THE CITY OF HAMILTON, THE PROPONENT IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE ONTARIO MINISTRY OF HERITAGE, SPORT, TOURISM AND CULTURE INDUSTRIES (MHSTCI) SHOULD BE NOTIFIED IMMEDIATELY (416.212.8888). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPONENT SHOULD IMMEDIATELY CONTACT BOTH MHSTCI AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF THE MINISTRY OF SMALL BUSINESS AND CONSUMER SERVICES (416.212.7499).
- THE OWNER TO INCLUDE THE FOLLOWING WARNING CLAUSES ON TITLE AND IN ALL OFFERS OF PURCHASE AND SALE OR LEASE OF ALL RESIDENTIAL UNITS:
 - THIS DWELLING UNIT HAS BEEN DESIGNED WITH THE PROVISION FOR ADDING CENTRAL AIR CONDITIONING AT THE OCCUPANT'S DISCRETION. INSTALLATION OF CENTRAL AIR CONDITIONING BY THE OCCUPANT IN WILL ALLOW WINDOWS AND EXTERIOR DOORS TO REMAIN CLOSED, THEREBY ENSURING THAT THE INDOOR SOUND LEVELS ARE WITHIN THE SOUND LEVEL LIMITS OF THE MUNICIPALITY AND THE MINISTRY OF THE ENVIRONMENT.
 - PURCHASERS/TENANTS ARE ADVISED THAT DUE TO THE PROXIMITY OF THE GENERATORS AT ALECTRA UTILITIES AND HAMILTON POLICE INVESTIGATIVE SERVICES, NOISE FROM TESTING MAY AT TIMES BE AUDIBLE.

DATED THIS _____ DAY OF _____ 20__

WITNESS (SIGNATURE) _____ OWNER(S) (SIGNATURE) _____

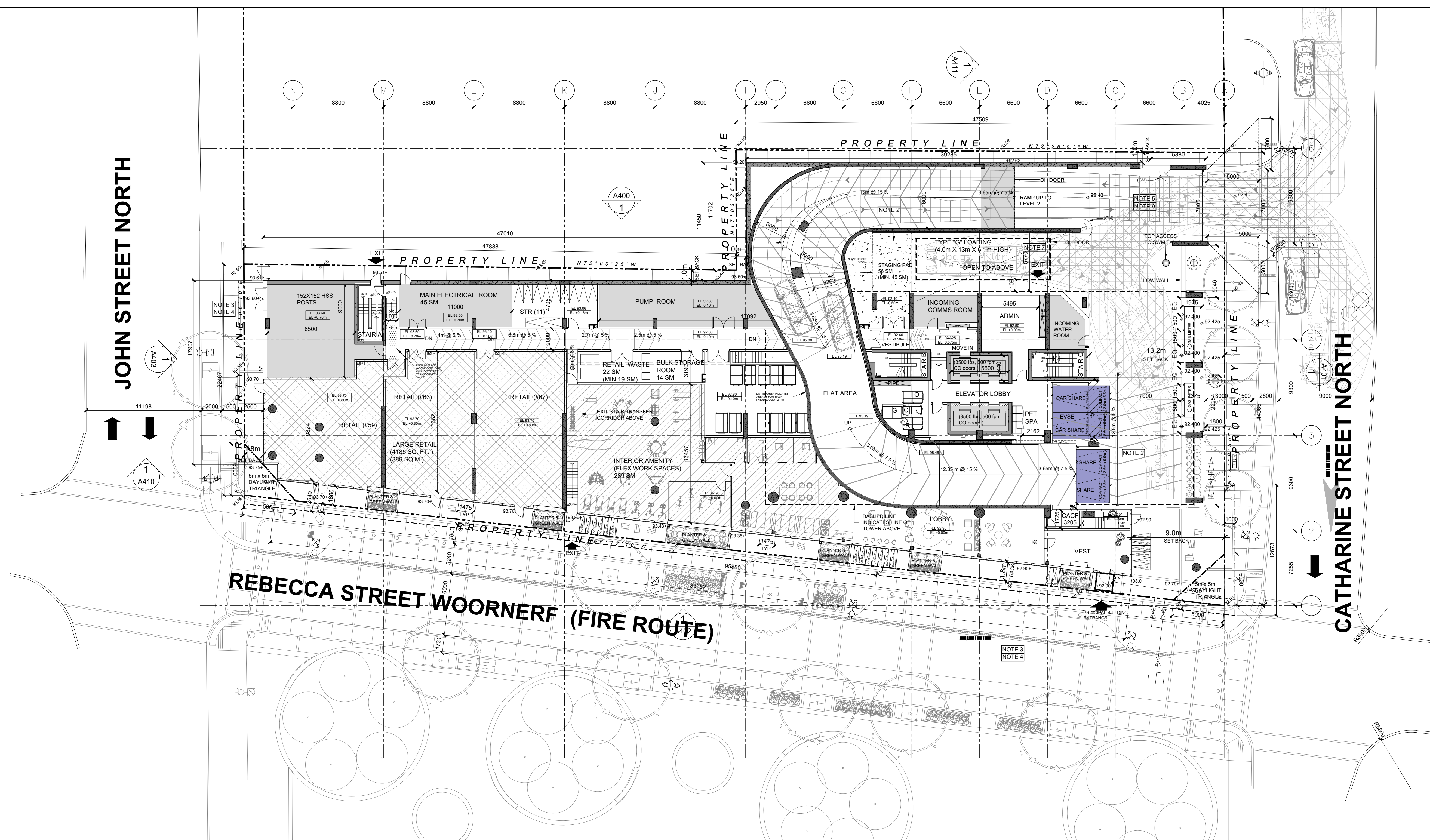
WITNESS (PRINT) _____ OWNER(S) (PRINT) _____

ADDRESS OF WITNESS _____

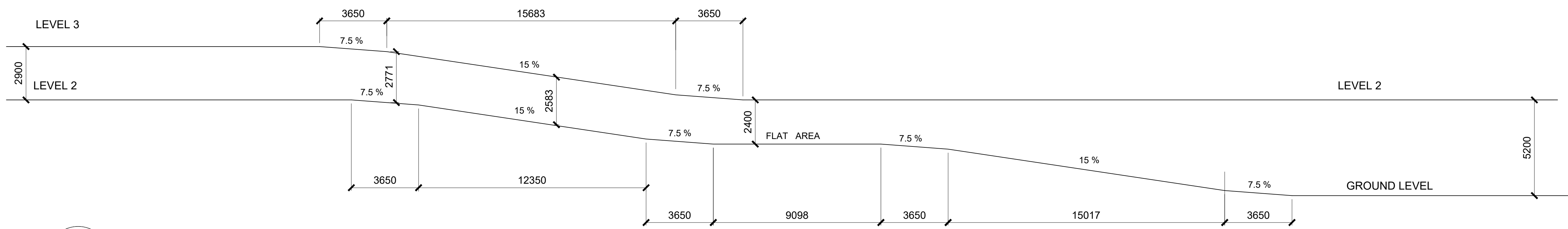
1 SITE PLAN
 A100

71 Rebecca
 71 REBECCA STREET
 HAMILTON, ONTARIO, L8R 1B6
 SITE PLAN FILE NUMBER: DA-21-091

Drawn ST Scale 1:200
 Checked BL Date 27 AUG. 2024
 Title SITE PLAN
 Project No. 20-199 Drawing No. A103



1 RAMP FROM GROUND TO SECOND PLAN
A104



2 RAMP FROM GROUND TO SECOND SECTION
A104

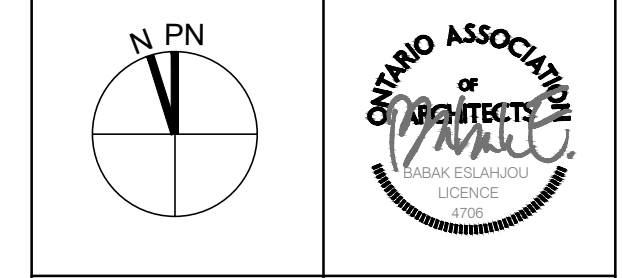
8	ISSUED FOR C.O.P.	27 AUG. 2024
7	REISSUED FOR SPA	25 OCT. 2023
6	REISSUED FOR SPA	28 AUG. 2023
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1	REISSUED FOR SPA	06 JANUARY 2022
0	ISSUED FOR SPA	27 MAY 2021

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71 Rebecca
 71 REBECCA STREET
 HAMILTON, ONTARIO, L8R 1B6
 SITE PLAN FILE NUMBER: DA-21-091



Drawn ST	Scale 1:200
Checked BL	Date 27 AUG. 2024
Title RAMP FROM GROUND TO SECOND	

JOHN STREET NORTH

INTERSECTION PEDESTRIAN SIGNAL (TO BE DESIGNED BY CITY)

5m x 5m VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECT OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.7m ABOVE THE CORRESPONDING PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET.

REBECCA STREET WOORNERF (FIRE ROUTE)

CATHARINE STREET NORTH

AREA NOT INCLUDED IN GFA

COMPACT PARKING SIZES AS PER SITE SPECIFIC ZONING



- NOTES
- NOTE 1: (RESERVED)
 - NOTE 2: ILLUSTRATED VEHICLE MOVEMENT DIAGRAM IS TAKEN FROM TRAFFIC REPORT REFER ALSO TO TRAFFIC REPORT
 - NOTE 3: REFER TO SITE SERVING AND GRADING PLAN FOR DETAILED GRADING
 - NOTE 4: REFER TO LANDSCAPE PLAN FOR PLANTING AND PAVING LOCATION MATERIALS AND DETAILS
 - NOTE 5: ACCEPTABLE PAVEMENT MARKING AND SIGNING PLAN FOR ACCESS DRIVEWAY WILL BE PROVIDED WHICH INCLUDES NO PARKING SIGNING AND WARNING SIGNING INDICATING THE PRESENCE OF LARGE TRUCKS AT NO COST TO THE CITY (REFER TO TRAFFIC REPORT)
 - NOTE 6: CURB AND SIDEWALK AT THE VEHICULAR ACCESS POINT BUILT AS PER CITY OF HAMILTON STANDARDS AND ANY EXISTING VEHICULAR ACCESS RAMPS ON STREETS ADJACENT TO PROPERTY WILL BE ELIMINATED AND THE SIDEWALK AND CITY SIDEWALK WILL BE REINSTATED TO CITY OF HAMILTON STANDARDS AND SPECIFICATIONS AT NO EXPENSE TO THE CITY
 - NOTE 7: TRAINED ON-SITE STAFF MEMBER TO BE AVAILABLE TO MOVE BINS FOR THE GARBAGE COLLECTOR DRIVER AND ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING AND CONSTRUCT THE TYPE 'X' LOADING SPACE, STAGING PAD, AND ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS THERETO. THE REQUIREMENTS OF THE BUILDING CODE INCLUDING ALLOWANCE FOR TRUCKS TO BE BUILT AS SUPPORTING STRUCTURE WHERE THEY ARE TO BE BUILT AS SUPPORTING STRUCTURE AND LINES THAT ARE TO BE USED BY THE COLLECTION VEHICLE WILL BE LEVEL (±0.4%), AT LEAST 4.5 METERS WIDE AND 4 METERS WIDE AT ENTRANCE AND EXIT AND WILL HAVE A MINIMUM OVERHEAD TRAVELING CLEARANCE OF OVERHEAD DOORS AND RETAIL MANAGEMENT MUST ARRANGE FOR THEIR COLLECTION DAYS TO BE SCHEDULED TO BE OPPOSITE DAYS FROM THOSE OF RESIDENTIAL COLLECTION DAYS. COMMERCIAL OFFICE BINS MUST BE CLEARLY LABELED.
 - NOTE 8: DOUBLE CHUTE SYSTEM EQUIPPED WITH BISSORTER FOR RECYCLING (R) AND GARBAGE (G). GARBAGE STREAM ATTACHED TO COMPACTOR.
 - NOTE 9: CONVEX MIRRORS TO BE INSTALLED WITHIN PARKING GARAGE AT ALL RIGHT ANGLE TURNS TO BE NEGOTIATED BY TWO-WAY TRAFFIC POSITIONED IN SUCH A MANNER TO PROVIDE DRIVERS WITH CLEAR VIEWS OF ON-COMING TRAFFIC (TYPICAL)
 - NOTE 10: PARKING LEVELS UTILIZE TRUE COLOR REDUCTION LIGHTING (CRI >80). LIGHT FIXTURES WILL BE LOCATED OVER REAR THIRD OF PARKING SPACES, AND OVERALL MINIMUM LIGHT LEVELS WILL COMPLY WITH CODE.
 - NOTE 11: GARAGE TO BE EQUIPPED WITH SECURITY CAMERAS.
 - NOTE 12: AIR SHAFT WILL INCORPORATE SOUND ATTENUATION MEASURES OR SELECTION OF VENTILATION EQUIPMENT THAT RESULT IN THE SOUND LEVELS AT THE SENSITIVE POINTS OF RECEPTION THAT MEET THE CITY OF HAMILTON MINISTRY OF ENVIRONMENT AND CLIMATE CHANGES NRC-3000 NOISE CRITERIA AT ALL TIMES OF THE DAY OR NIGHT. NOISE CONTROL MEASURES MAY INCLUDE BUT NOT BE LIMITED TO DUCT BUNDLES, SOUND LINING BARRIERS OR THE SELECTION OF QUIETER MECHANICAL VENTILATION EQUIPMENT. GRILL TO BE GALV. STEEL.
 - NOTE 13: ALL ELEVATOR LOBBY STAIR AND VESTIBULE DOORS TO HAVE MAXIMUM ALLOWABLE GLAZING AS PER OBC.

SIGNS

8 SIGN 2: SIGNOTES "NO PARKING" AND DRIVEWAY SIGN

3	ISSUED FOR CIP	27 AUG. 2024
4	ISSUED FOR SPA	25 OCT. 2023
5	ISSUED FOR SPA	28 AUG. 2023
6	ISSUED FOR SPA	14 JUN. 2023
7	ISSUED FOR SPA	30 NOVEMBER 2022
8	ISSUED FOR SPA	29 JUN. 2022
9	ISSUED FOR SPA	29 APRIL 2022
10	ISSUED FOR SPA	06 JANUARY 2022
11	ISSUED FOR SPA	27 MAY 2021

No. Revisions Date

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71 Rebecca
 71 REBECCA STREET
 HAMILTON, ONTARIO, L8R 1B6
 SITE PLAN FILE NUMBER: DA-21-091

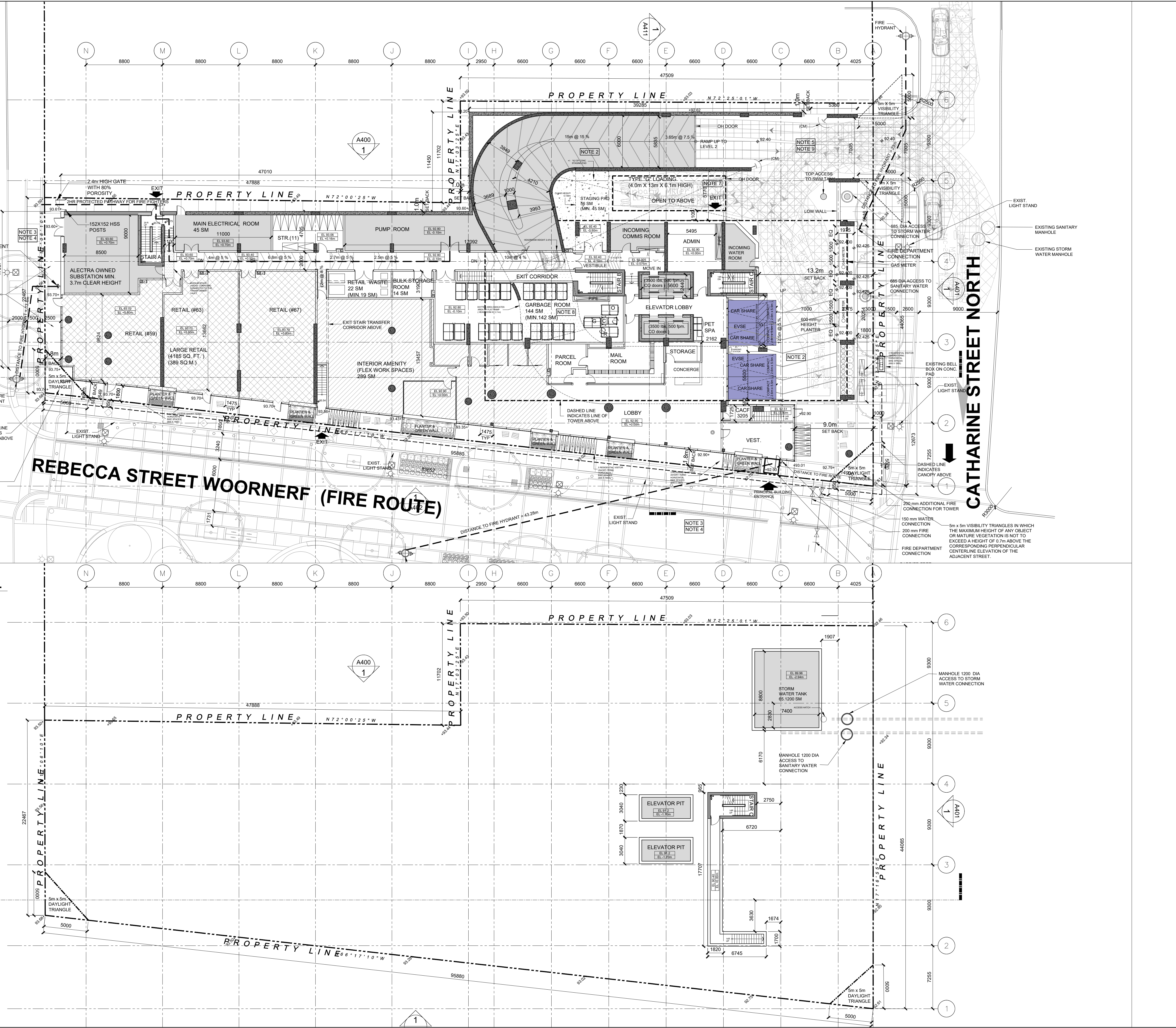


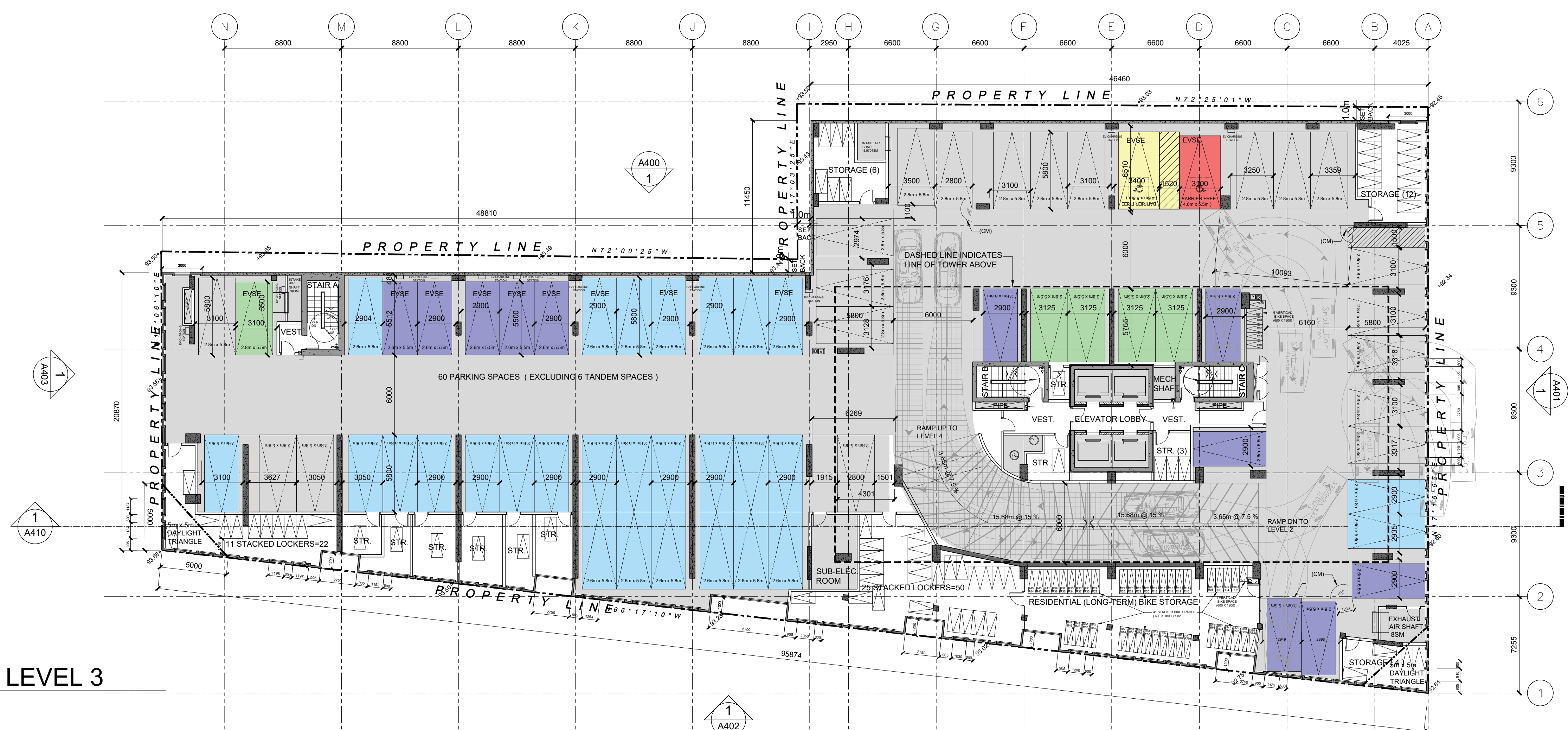
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Checked BL	Date 27 AUG. 2024
Title P1 & GROUND LEVELS	

Project No. 20-199 Drawing No. A200

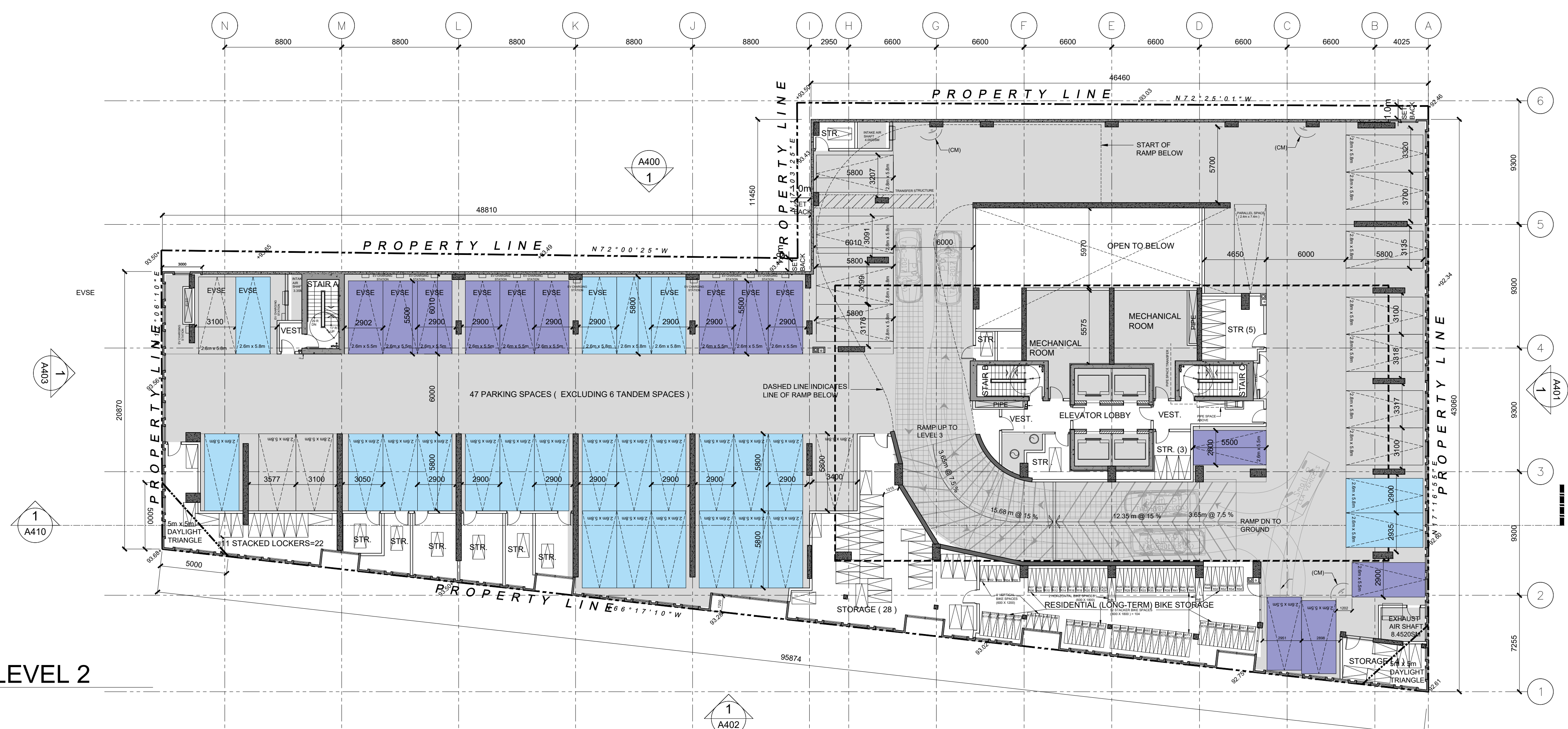
2 GROUND LEVEL
A200

1 P1 LEVEL
A200

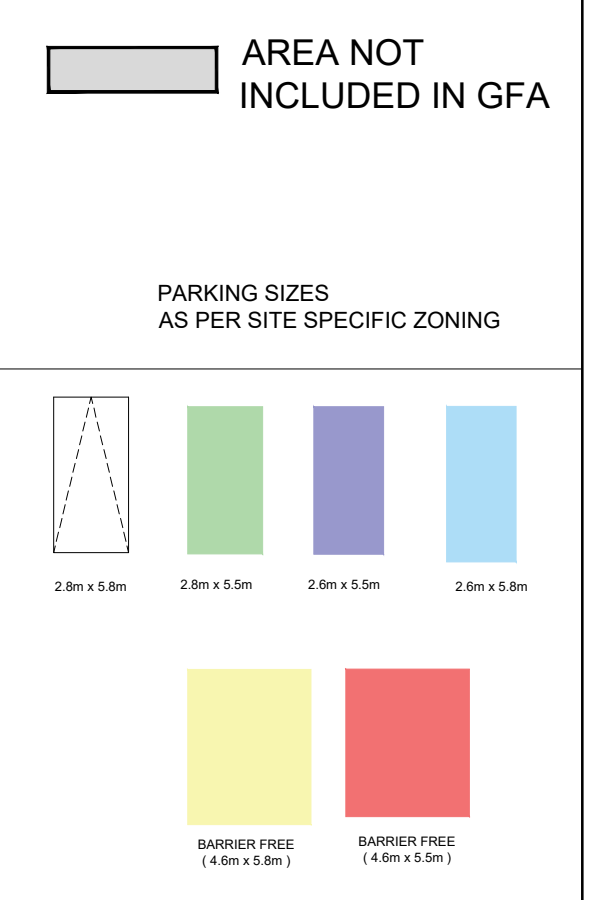




2 LEVEL 3
A201



1 LEVEL 2
A201



8	ISSUED FOR C OF A	27 AUG 2024
7	RESUBMITTED FOR SPA	28 AUG 2023
6	RESUBMITTED FOR SPA	14 JULY 2023
5	RESUBMITTED FOR SPA	30 NOVEMBER 2022
4	RESUBMITTED FOR SPA	22 JUNE 2022
3	ISSUED FOR 100% DD	29 APRIL 2022
2	RESUBMITTED FOR SPA	06 JANUARY 2022
1	ISSUED FOR SPA	27 MAY 2021

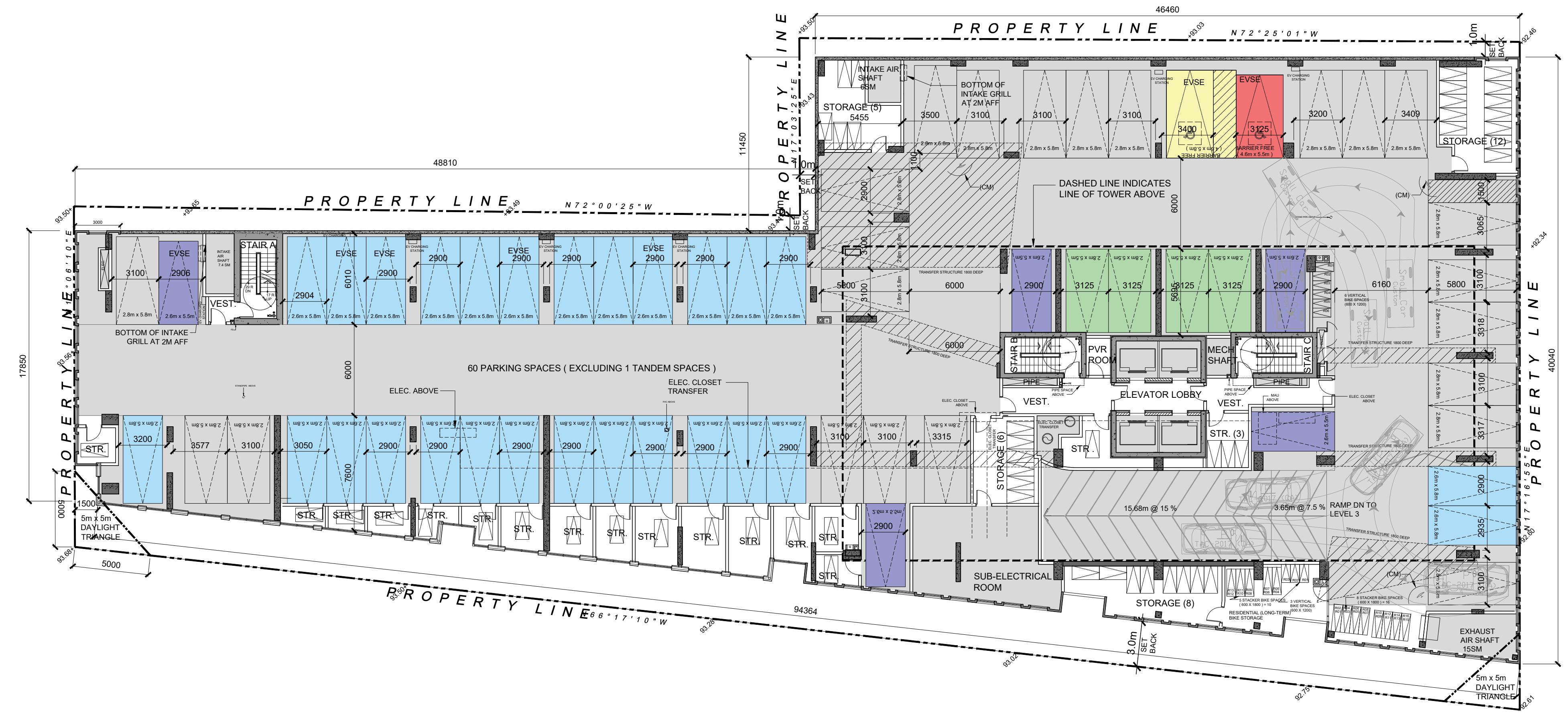
No. Revisions Date

71 REBECCA
71 REBECCA STREET
HAMILTON, ONTARIO, L8B 1B6
SITE PLAN FILE NUMBER: DA-21-091

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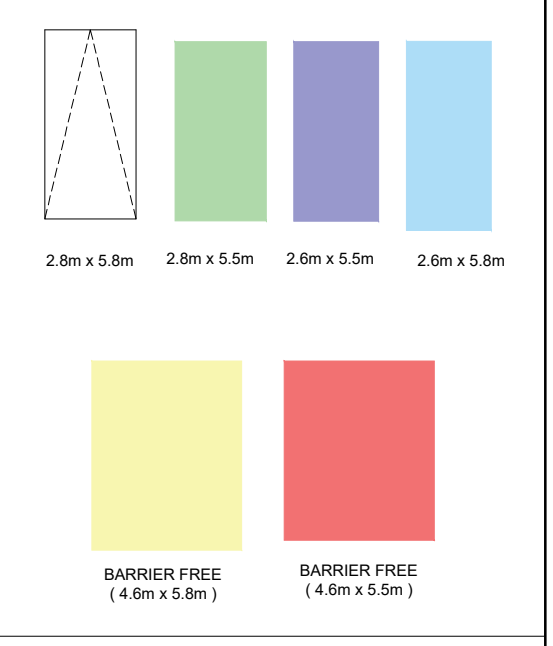
71 REBECCA
71 REBECCA STREET
HAMILTON, ONTARIO, L8B 1B6
SITE PLAN FILE NUMBER: DA-21-091

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Checked: BL Date: 27 AUG 2024
Title: LEVEL 2 & 3
Project No: 20-199 Drawing No: A201



AREA NOT INCLUDED IN GFA

PARKING SIZES AS PER SITE SPECIFIC ZONING



1 LEVEL 4
A202

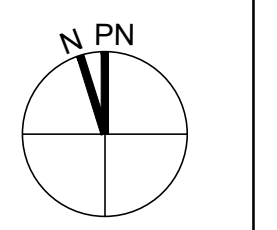
No.	Revisions	Date
8	ISSUED FOR C OF A	27 AUG. 2024
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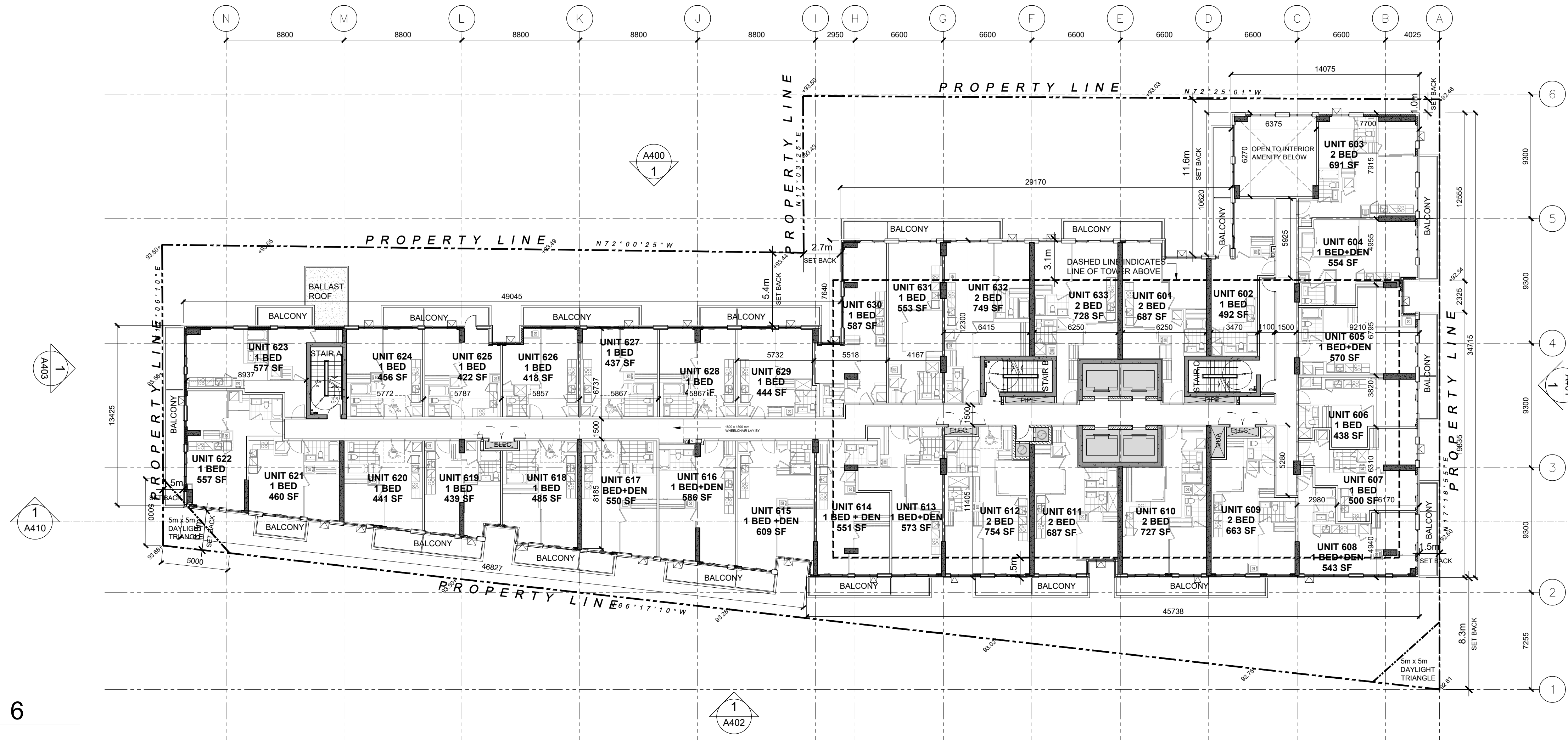
71 Rebecca
71 REBECCA STREET
HAMILTON, ONTARIO, L8R 1B6
SITE PLAN FILE NUMBER: DA-21-091



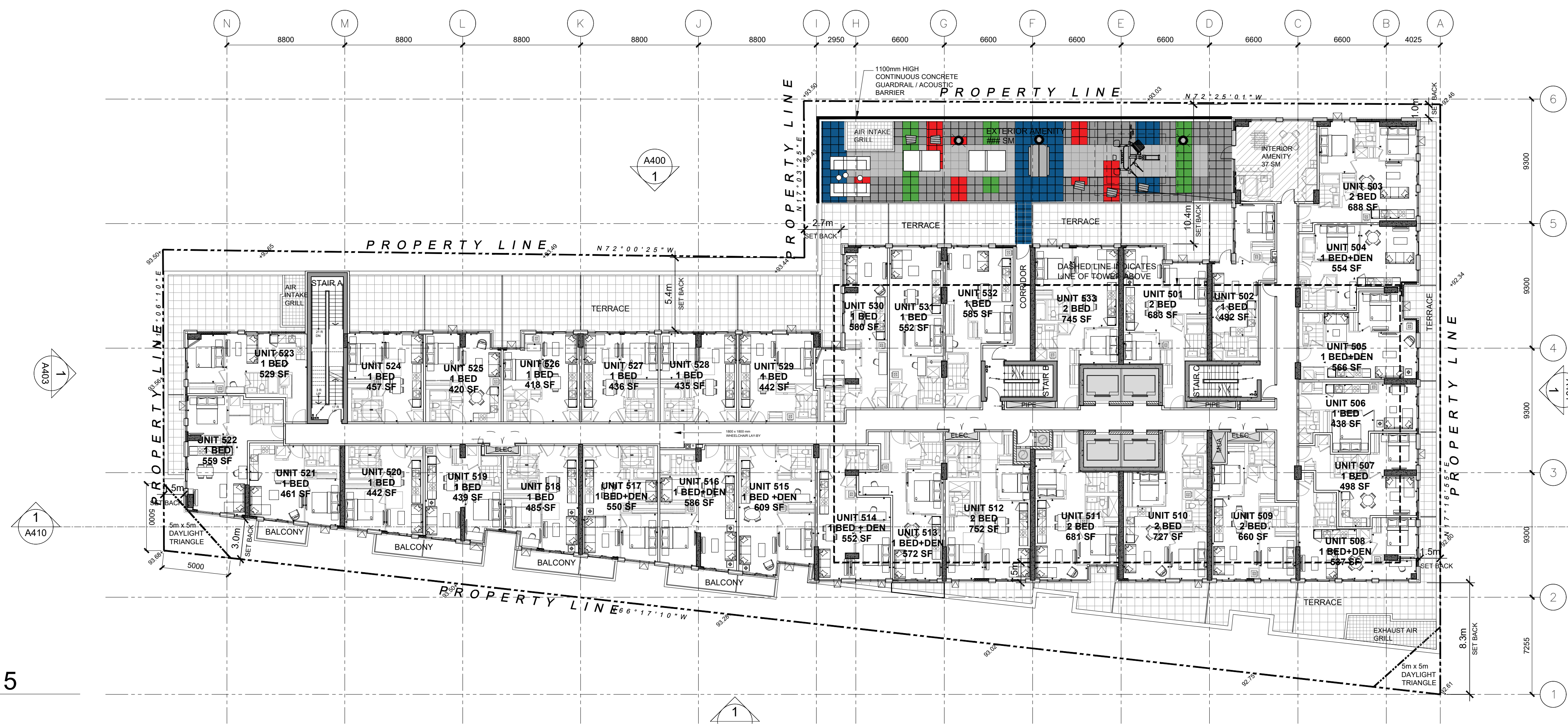
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Checked BL	Date 27 AUG. 2024

Title
LEVEL 4

AREA NOT INCLUDED IN GFA



2 LEVEL 6
A203



1 LEVEL 5
A203

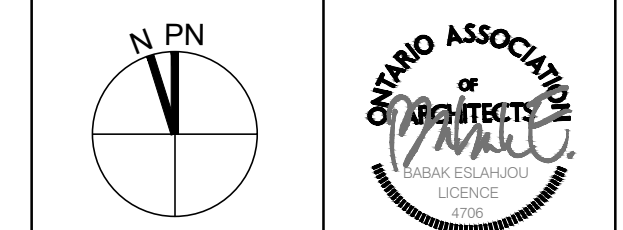
No.	Revisions	Date
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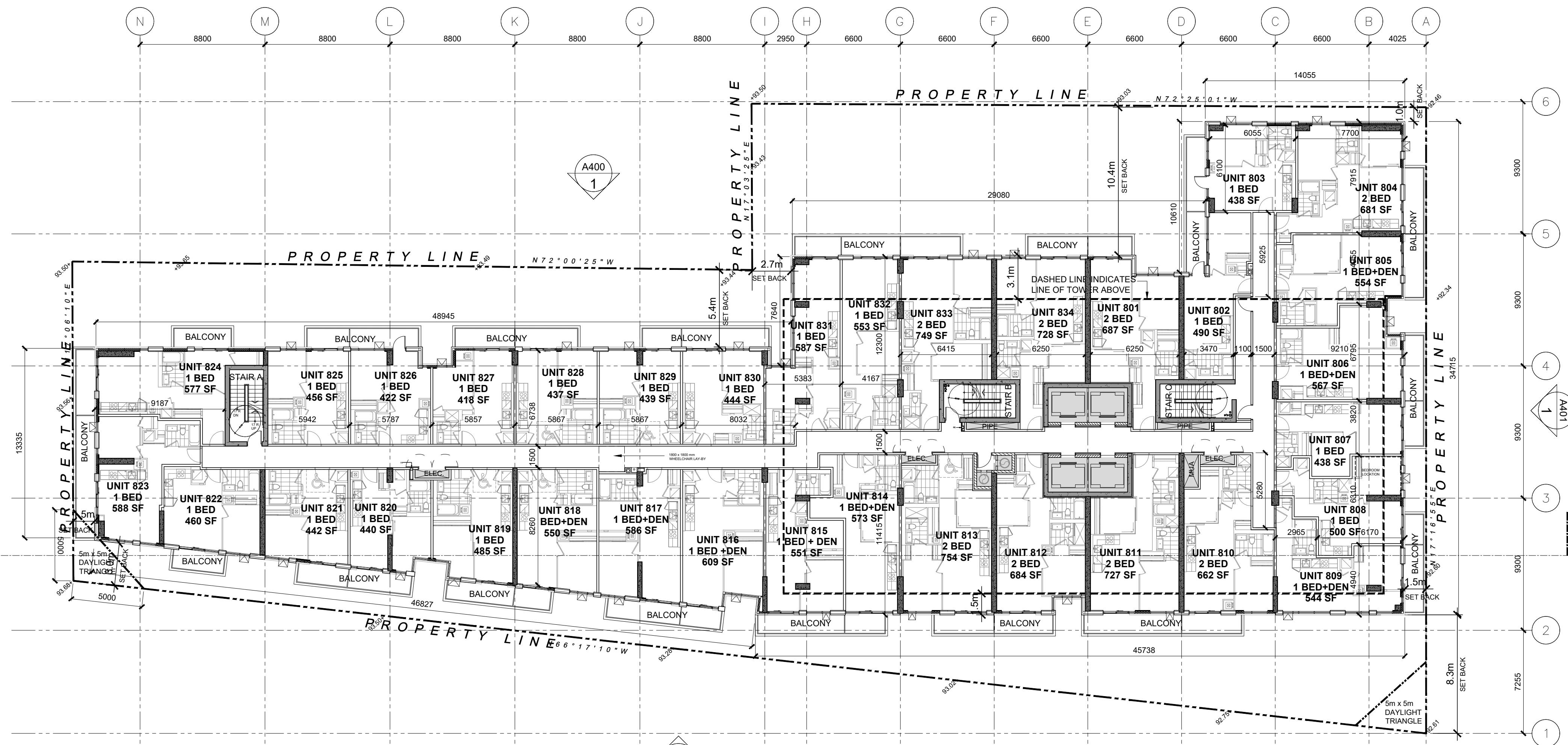
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71 Rebecca
71 REBECCA STREET
HAMILTON, ONTARIO, L8R 1B6
SITE PLAN FILE NUMBER: DA-21-091

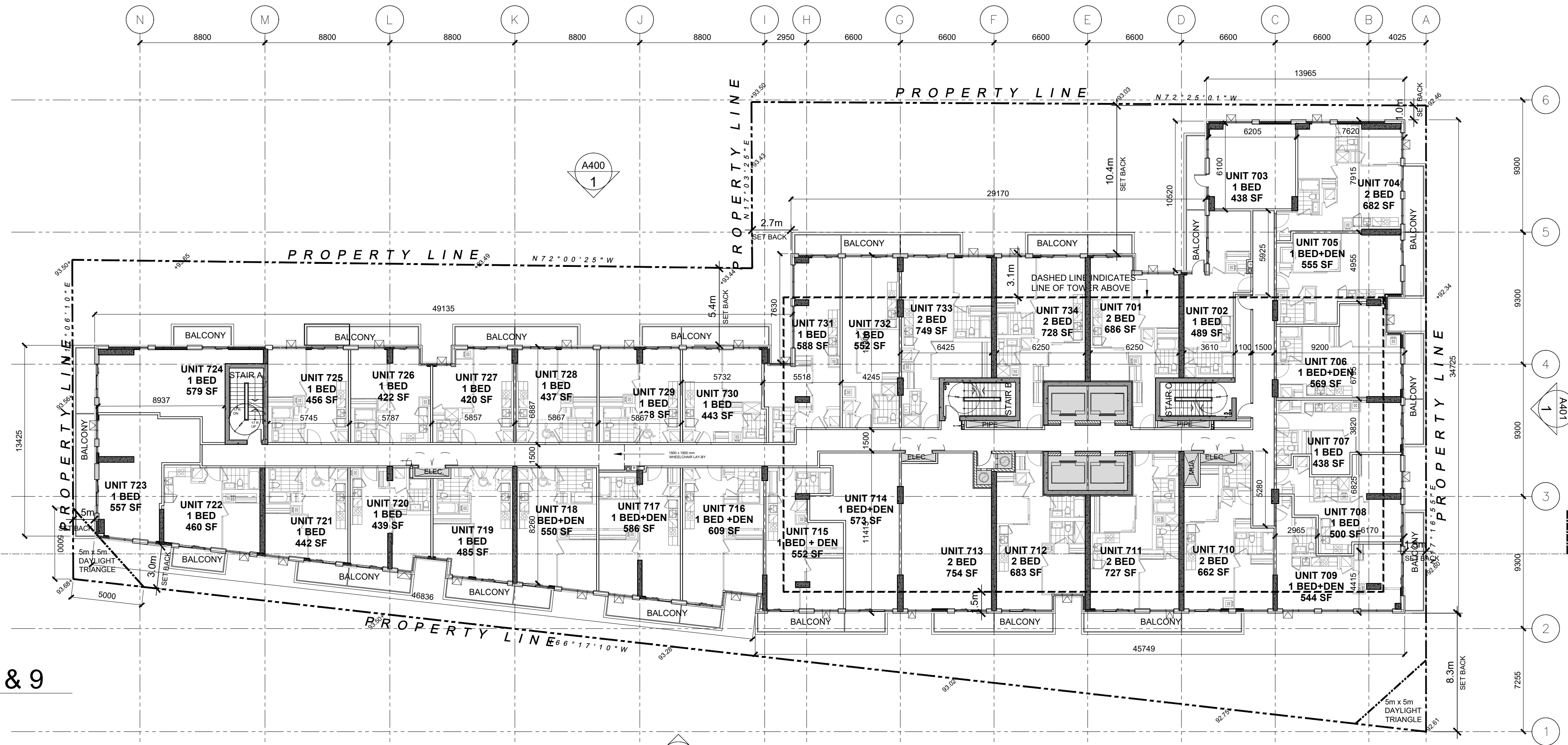


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Checked BL	Date 27 AUG 2024
Title LEVELS 5 & 6	

AREA NOT INCLUDED IN GFA



2 LEVEL 8
A204



1 LEVEL 7 & 9
A204

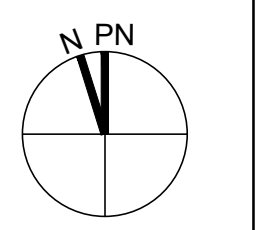
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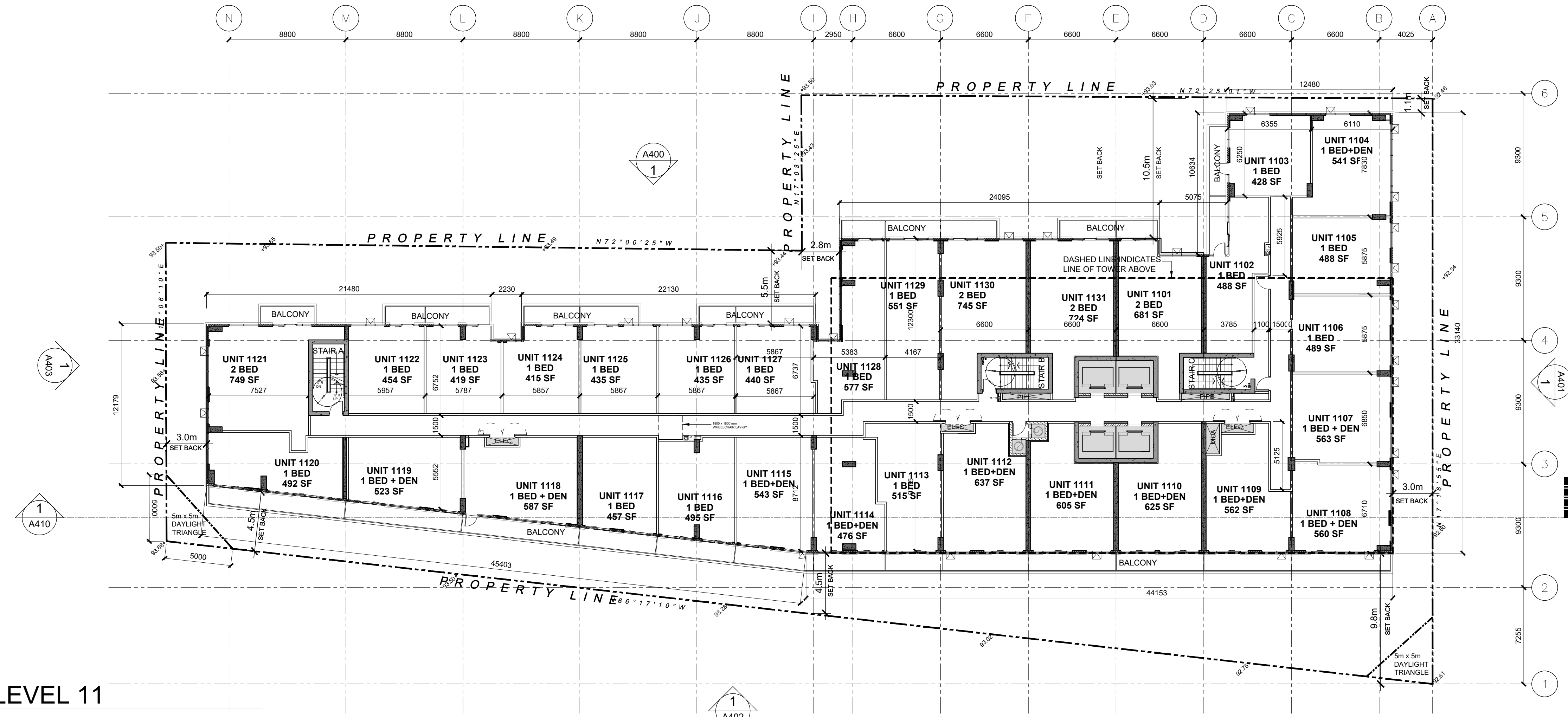
71 Rebecca
71 REBECCA STREET
HAMILTON, ONTARIO, L8R 1B6
SITE PLAN FILE NUMBER: DA-21-091



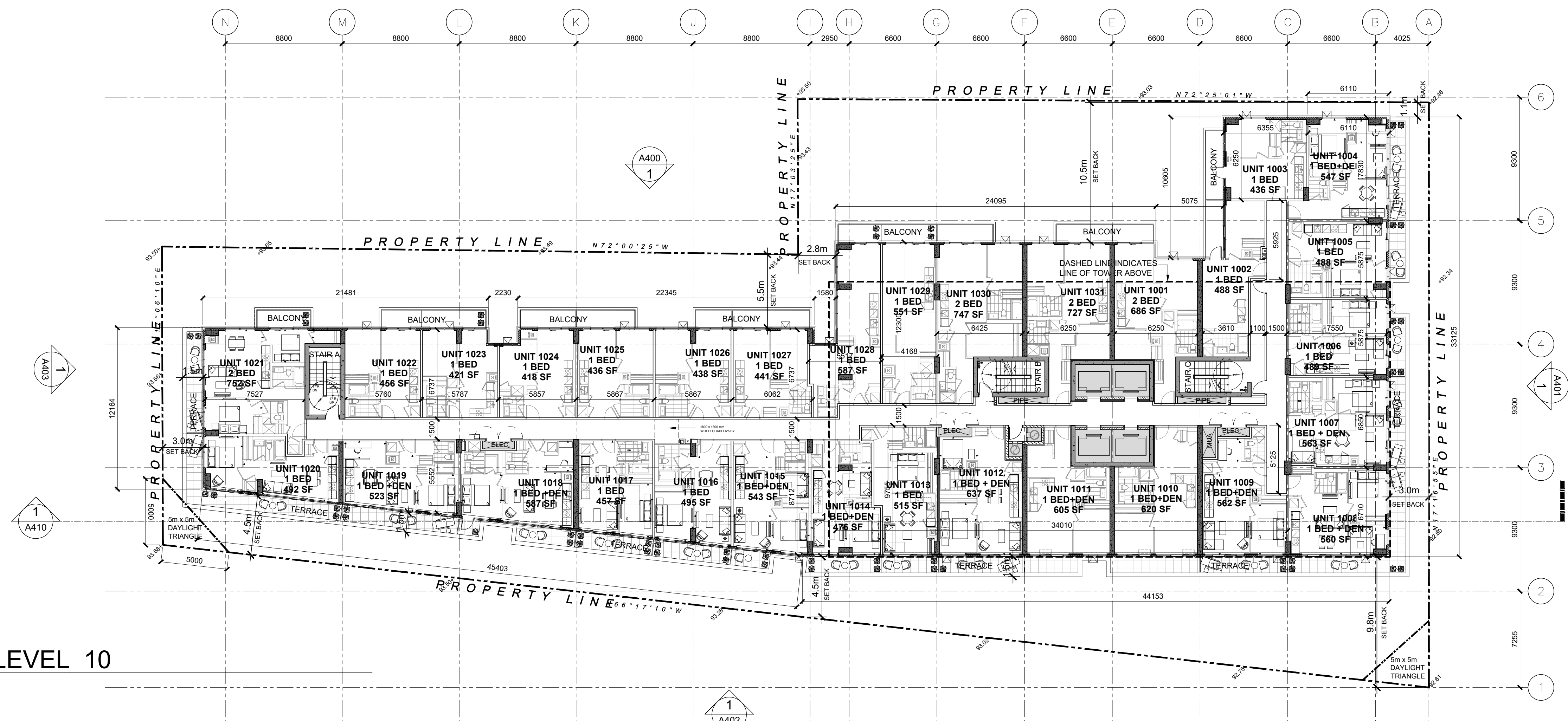
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Checked BL	Date 27 AUG 2024

Title
LEVELS 7 & 9 AND
LEVEL 8

AREA NOT INCLUDED IN GFA



2 LEVEL 11
A205

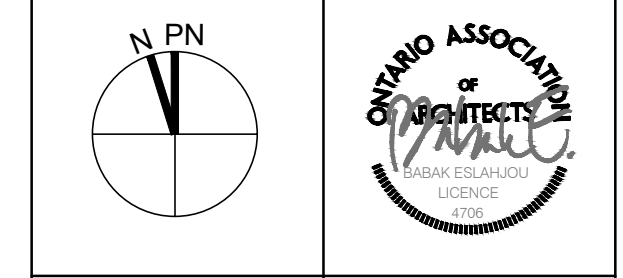


1 LEVEL 10
A205

8	ISSUED FOR C OF A	27 AUG. 2024
7	REISSUED FOR SPA	28 AUG. 2023
6	REISSUED FOR SPA	14 JULY 2023
5	REISSUED FOR SPA	30 NOVEMBER 2022
4	REISSUED FOR SPA	22 JUNE 2022
3	ISSUED FOR 100% DO	29 APRIL 2022
2	REISSUED FOR SPA	06 JANUARY 2022
1	ISSUED FOR SPA	27 MAY 2021
No.	Revisions	Date

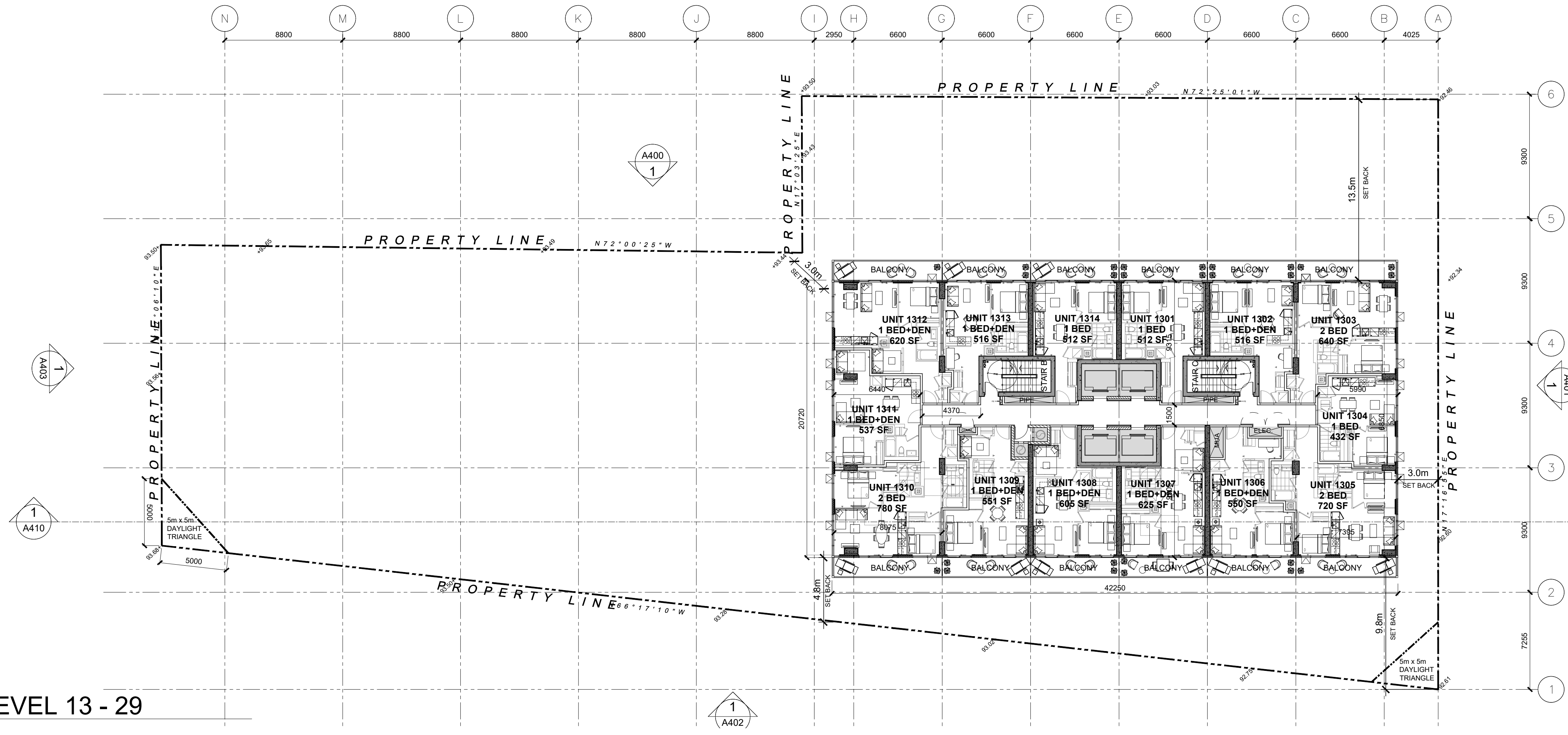
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71 REBECCA STREET
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SITE PLAN FILE NUMBER: DA-21-091

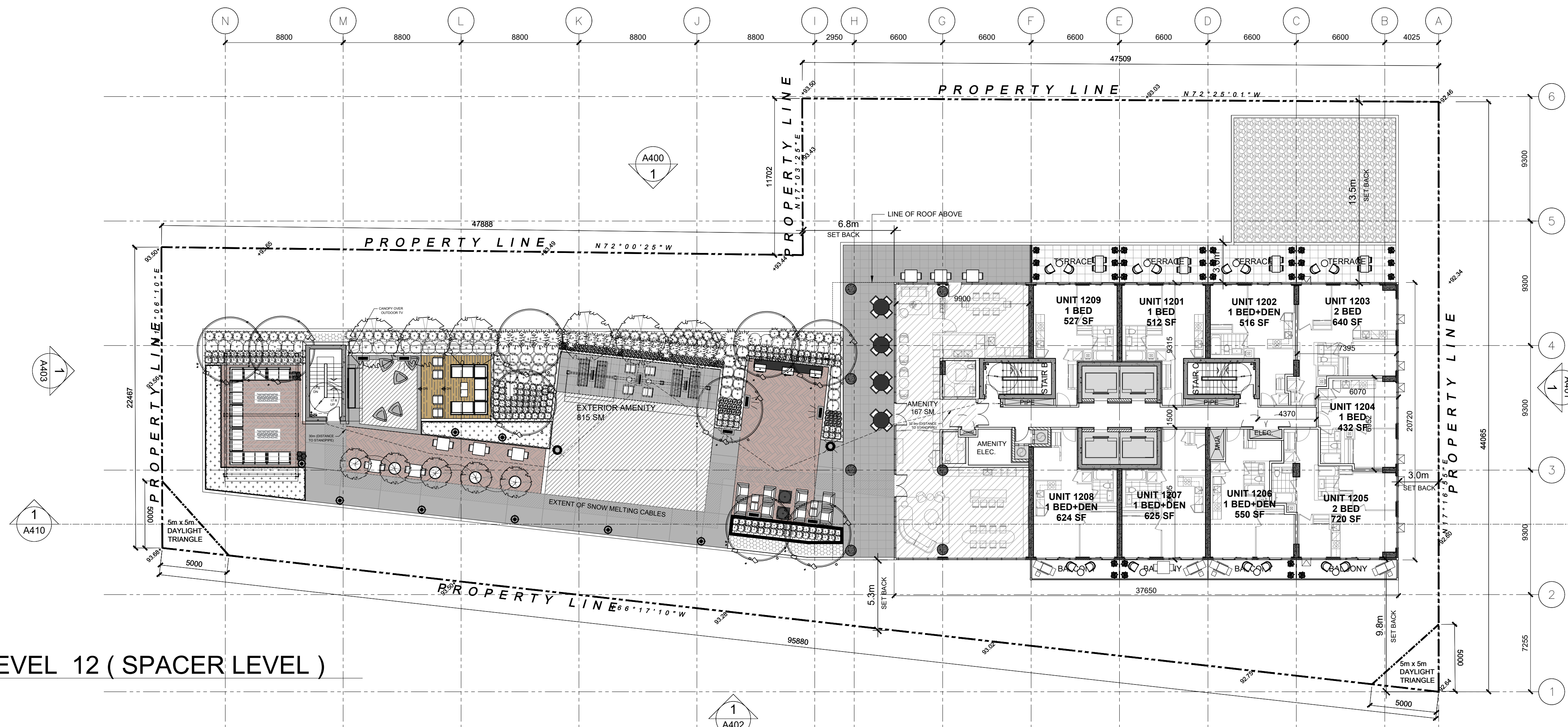


Drawn ST	Scale 1:200
Checked BL	Date 27 AUG. 2024
Title LEVELS 10 & 11	

AREA NOT INCLUDED IN GFA



2 LEVEL 13 - 29
A206



1 LEVEL 12 (SPACER LEVEL)
A206

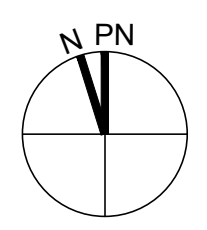
No.	Revisions	Date
8	ISSUED FOR C OF A	27 AUG. 2024
7	REISSUED FOR SPA	28 AUG. 2023
6	REISSUED FOR SPA	14 JULY 2023
5	REISSUED FOR SPA	30 NOVEMBER 2022
4	REISSUED FOR SPA	22 JUNE 2022
3	ISSUED FOR 100% DD	29 APRIL 2022
2	REISSUED FOR SPA	06 JANUARY 2022
1	ISSUED FOR SPA	27 MAY 2021

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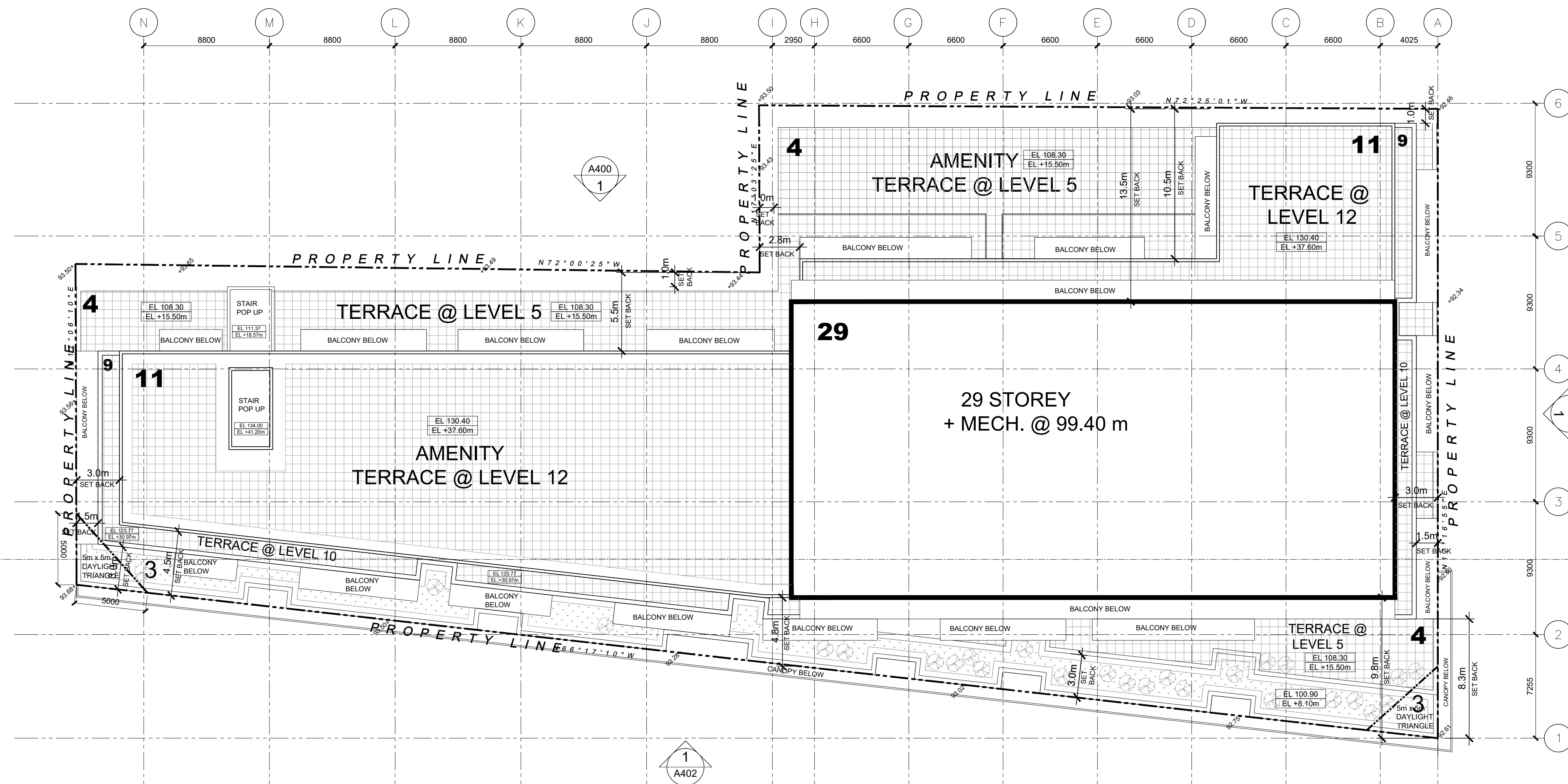
71 Rebecca
71 REBECCA STREET
HAMILTON, ONTARIO, L8R 1B6
SITE PLAN FILE NUMBER: DA-21-091



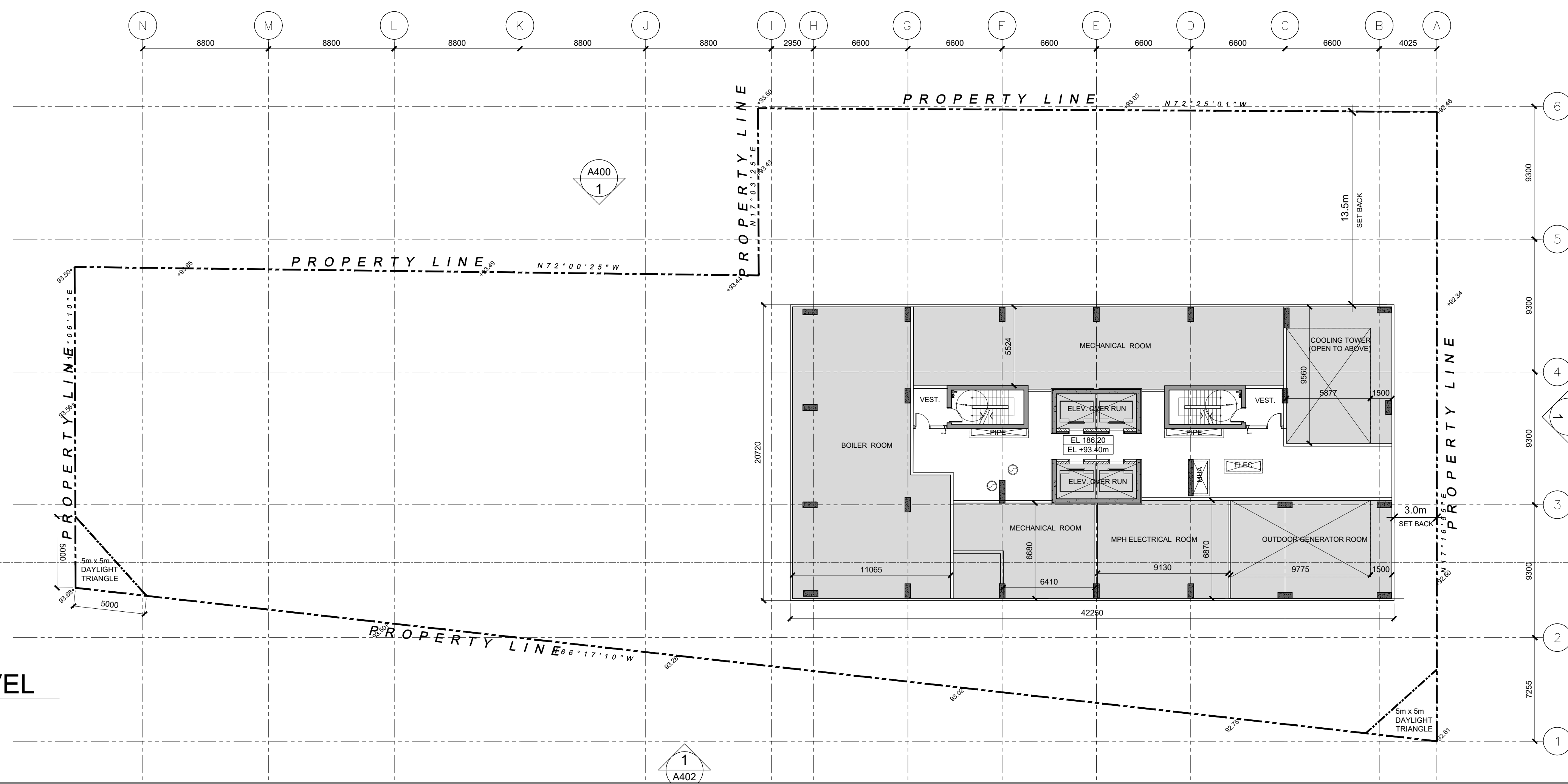
Drawn: ST Scale: 1:200
Checked: BL Date: 27 AUG. 2024

Title: LEVELS 12 (SPACER LEVEL) & LEVELS 13 - 29

Project No. 20-199 Drawing No. A206



2 ROOF PLAN
A207



1 MECHANICAL LEVEL
A207

AREA NOT INCLUDED IN GFA

No.	Revisions	Date
8	ISSUED FOR C OF A	27 AUG. 2024
7	RESUBMITTED FOR SPA	28 AUG. 2023
6	RESUBMITTED FOR SPA	14 JULY 2023
5	RESUBMITTED FOR SPA	30 NOVEMBER 2022
4	RESUBMITTED FOR SPA	20 JUNE 2022
3	ISSUED FOR 100% DD	29 APRIL 2022
2	RESUBMITTED FOR SPA	06 JANUARY 2022
1	ISSUED FOR SPA	27 MAY 2021

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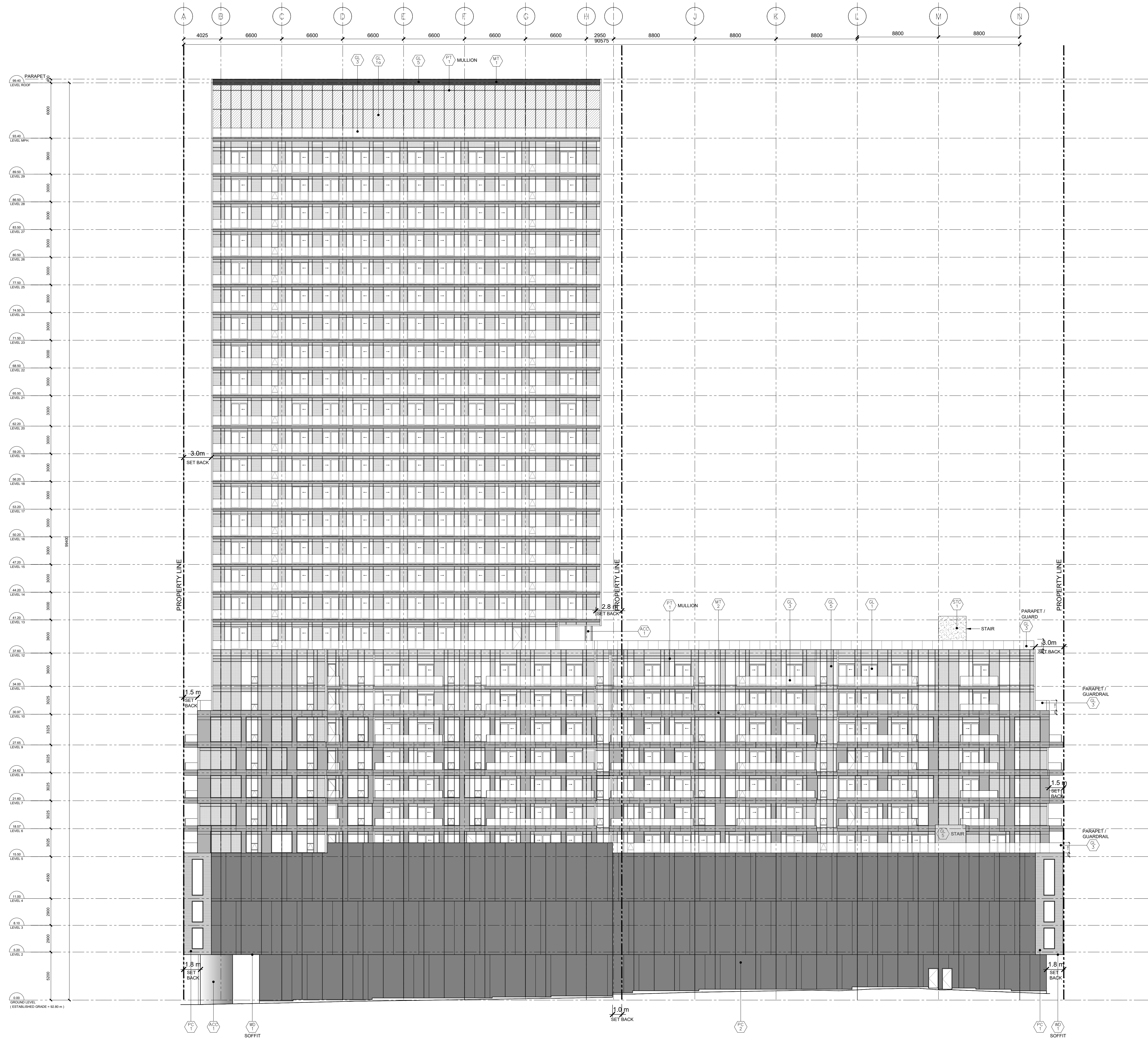
71 Rebecca
71 REBECCA STREET
HAMILTON, ONTARIO, L8R 1B6
SITE PLAN FILE NUMBER: DA-21-091



Drawn: ST Scale: 1:200
Checked: BL Date: 27 AUG. 2024

Title: MECHANICAL & ROOF LEVELS

Project No. 20-199 Drawing No. A207



MATERIAL LEGEND

- GL 1 GLASS TYPE 1 (CLEAR, LOW-E)
- GL 2 GLASS TYPE 2 (PROTECTED, LOW-E)
- GL 3 GLASS TYPE 3 (CLEAR, LOW-E, TEMPERED)
- GL 4 GLASS TYPE 4 (CLEAR, BALCONY GLAZING)
- GL 5 GLASS TYPE 5 (BACK-PANED SPANDREL GLAZING 88% TO 90% DEEP GLAZING)
- GL 6 PRECAST CONCRETE WITH THIN BRICK RELAY (ENDCOTT MANGANESE FINISH/SPOT NORMAN PROFILE)
- GL 7 MASONRY PRECAST CONCRETE (DARK GREY)
- GL 8 PAINT TYPE 1 (CHARCOAL GREY)
- GL 9 METAL PANEL (CHARCOAL GREY)
- GL 10 GLASS TYPE 1 (BACK-PANED SPANDREL GLAZING 88% TO 90% DEEP GLAZING)
- GL 11 TOP-HAT METAL PANEL (880126-70 'SLV' WHITE)
- MT 1 MULLION PLANTING SUPPORT
- MT 2 ARCHITECTURAL CONCRETE TYPE 1
- MT 3 STUCCO (DARK GREY)
- MT 4 WOOD APPEARANCE METAL PANEL
- MT 5 LOUVER

NOTE:
SIGNAGE WILL COMPLY WITH ZONING REQUIREMENTS AND WILL BE APPLIED FOR AS A SEPARATE PERMIT WHERE REQUIRED

No.	Revisions	Date
8	ISSUED FOR C OF A	27 AUG. 2024
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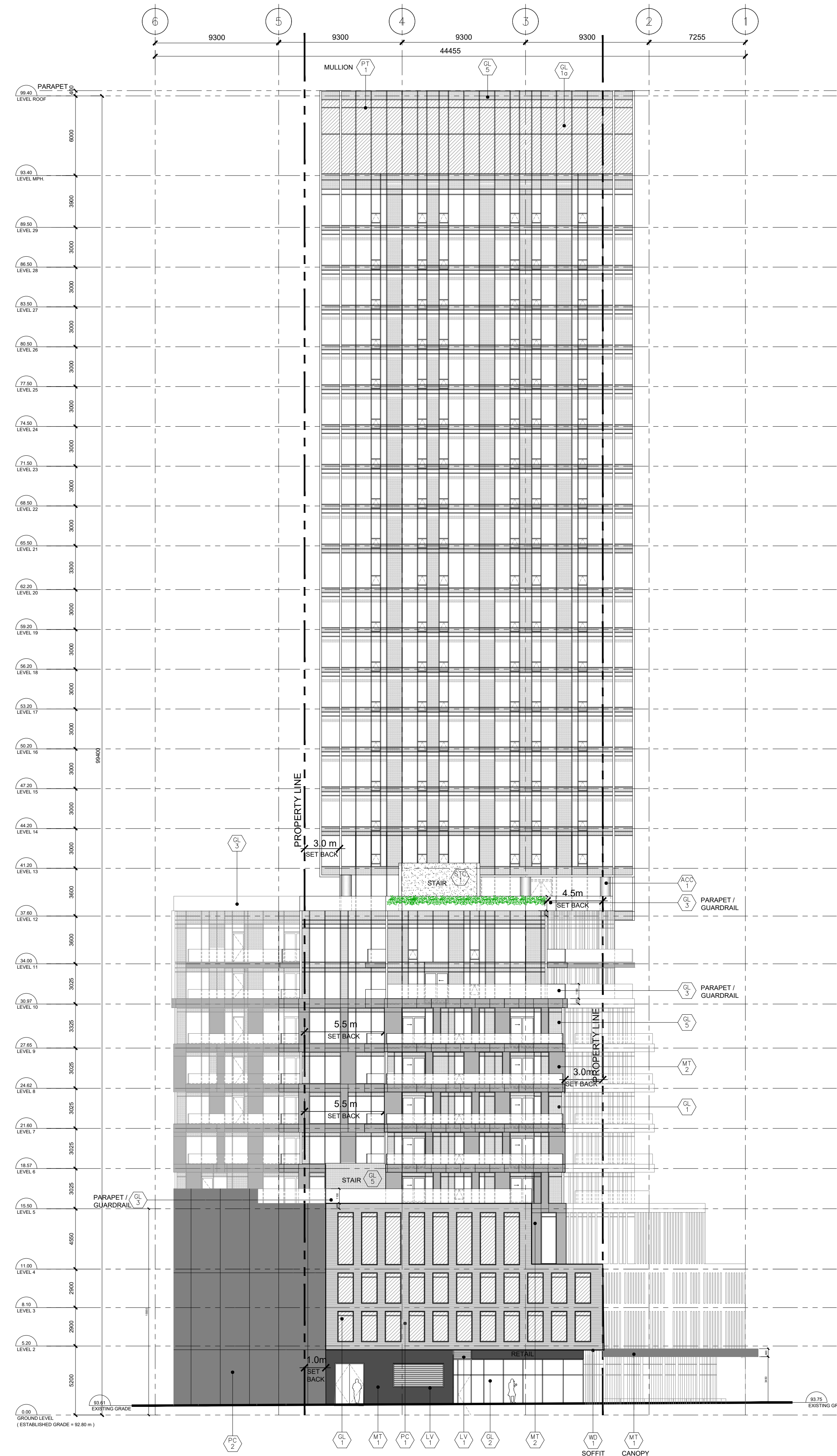
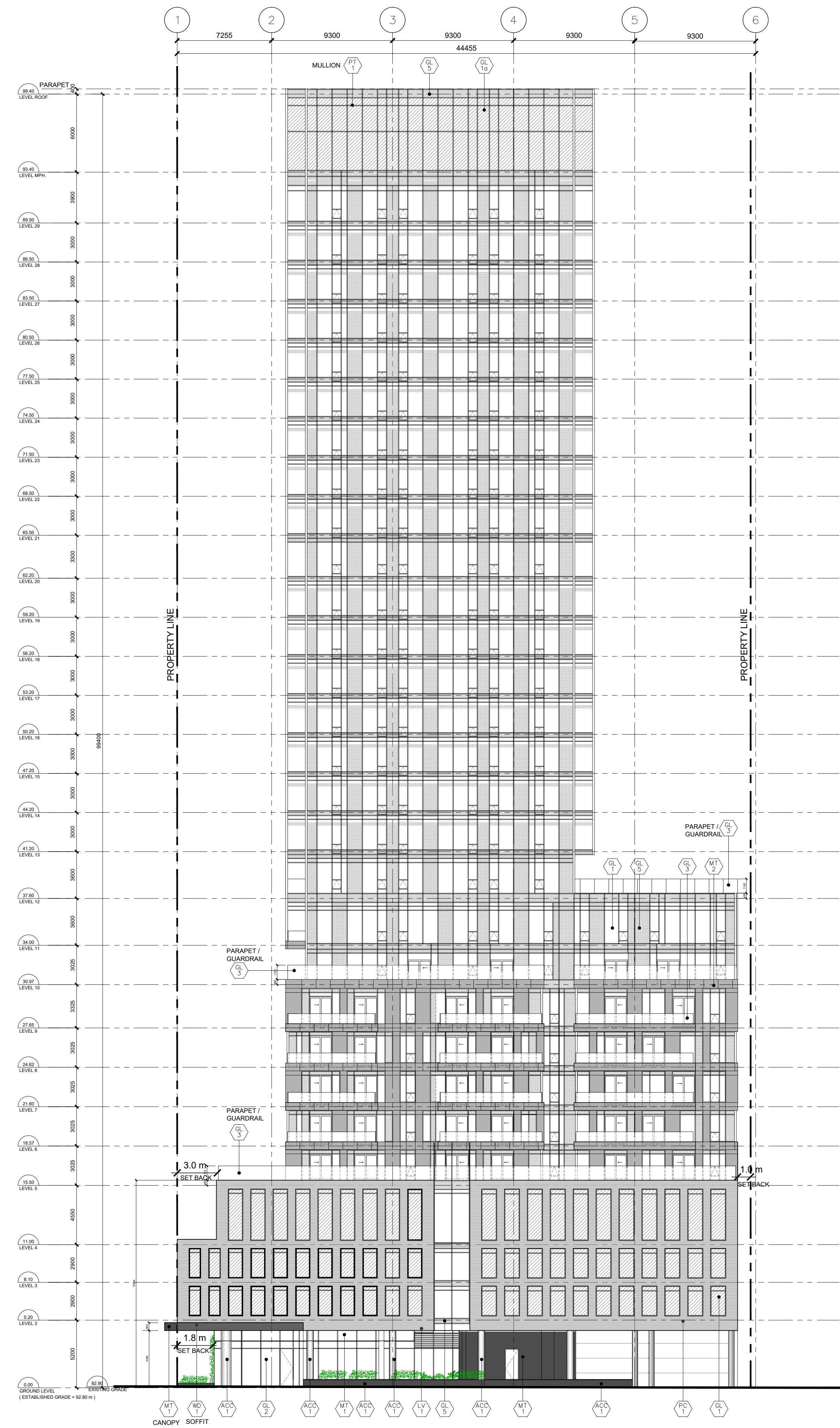
71 Rebecca
71 REBECCA STREET
HAMILTON, ONTARIO, L8R 1B6
SITE PLAN FILE NUMBER: DA-21-091



Drawn: ST Scale: 1:200
Checked: BL Date: 27 AUG. 2024

Title: NORTH ELEVATION

Project No. 20-199 Drawing No. A400



- MATERIAL LEGEND**
- GL 1 GLASS TYPE 1 (CLEAR, LOW E)
 - GL 2 GLASS TYPE 2 (CLEAR, LOW E, TEMPERED)
 - GL 3 GLASS TYPE 3 (CLEAR, LOW E, TEMPERED)
 - GL 4 GLASS TYPE 4 (CLEAR, LOW E, TEMPERED)
 - GL 5 GLASS TYPE 5 (CLEAR, LOW E, TEMPERED)
 - GL 6 GLASS TYPE 6 (CLEAR, LOW E, TEMPERED)
 - GL 7 GLASS TYPE 7 (CLEAR, LOW E, TEMPERED)
 - GL 8 GLASS TYPE 8 (CLEAR, LOW E, TEMPERED)
 - GL 9 GLASS TYPE 9 (CLEAR, LOW E, TEMPERED)
 - GL 10 GLASS TYPE 10 (CLEAR, LOW E, TEMPERED)
 - GL 11 GLASS TYPE 11 (CLEAR, LOW E, TEMPERED)
 - GL 12 GLASS TYPE 12 (CLEAR, LOW E, TEMPERED)
 - GL 13 GLASS TYPE 13 (CLEAR, LOW E, TEMPERED)
 - GL 14 GLASS TYPE 14 (CLEAR, LOW E, TEMPERED)
 - GL 15 GLASS TYPE 15 (CLEAR, LOW E, TEMPERED)
 - GL 16 GLASS TYPE 16 (CLEAR, LOW E, TEMPERED)
 - GL 17 GLASS TYPE 17 (CLEAR, LOW E, TEMPERED)
 - GL 18 GLASS TYPE 18 (CLEAR, LOW E, TEMPERED)
 - GL 19 GLASS TYPE 19 (CLEAR, LOW E, TEMPERED)
 - GL 20 GLASS TYPE 20 (CLEAR, LOW E, TEMPERED)
 - GL 21 GLASS TYPE 21 (CLEAR, LOW E, TEMPERED)
 - GL 22 GLASS TYPE 22 (CLEAR, LOW E, TEMPERED)
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 - GL 24 GLASS TYPE 24 (CLEAR, LOW E, TEMPERED)
 - GL 25 GLASS TYPE 25 (CLEAR, LOW E, TEMPERED)
 - GL 26 GLASS TYPE 26 (CLEAR, LOW E, TEMPERED)
 - GL 27 GLASS TYPE 27 (CLEAR, LOW E, TEMPERED)
 - GL 28 GLASS TYPE 28 (CLEAR, LOW E, TEMPERED)
 - GL 29 GLASS TYPE 29 (CLEAR, LOW E, TEMPERED)
 - GL 30 GLASS TYPE 30 (CLEAR, LOW E, TEMPERED)
 - GL 31 GLASS TYPE 31 (CLEAR, LOW E, TEMPERED)
 - GL 32 GLASS TYPE 32 (CLEAR, LOW E, TEMPERED)
 - GL 33 GLASS TYPE 33 (CLEAR, LOW E, TEMPERED)
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 - GL 61 GLASS TYPE 61 (CLEAR, LOW E, TEMPERED)
 - GL 62 GLASS TYPE 62 (CLEAR, LOW E, TEMPERED)
 - GL 63 GLASS TYPE 63 (CLEAR, LOW E, TEMPERED)
 - GL 64 GLASS TYPE 64 (CLEAR, LOW E, TEMPERED)
 - GL 65 GLASS TYPE 65 (CLEAR, LOW E, TEMPERED)
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 - GL 67 GLASS TYPE 67 (CLEAR, LOW E, TEMPERED)
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 - GL 69 GLASS TYPE 69 (CLEAR, LOW E, TEMPERED)
 - GL 70 GLASS TYPE 70 (CLEAR, LOW E, TEMPERED)
 - GL 71 GLASS TYPE 71 (CLEAR, LOW E, TEMPERED)
 - GL 72 GLASS TYPE 72 (CLEAR, LOW E, TEMPERED)
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 - GL 81 GLASS TYPE 81 (CLEAR, LOW E, TEMPERED)
 - GL 82 GLASS TYPE 82 (CLEAR, LOW E, TEMPERED)
 - GL 83 GLASS TYPE 83 (CLEAR, LOW E, TEMPERED)
 - GL 84 GLASS TYPE 84 (CLEAR, LOW E, TEMPERED)
 - GL 85 GLASS TYPE 85 (CLEAR, LOW E, TEMPERED)
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 - GL 87 GLASS TYPE 87 (CLEAR, LOW E, TEMPERED)
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 - GL 90 GLASS TYPE 90 (CLEAR, LOW E, TEMPERED)
 - GL 91 GLASS TYPE 91 (CLEAR, LOW E, TEMPERED)
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 - GL 95 GLASS TYPE 95 (CLEAR, LOW E, TEMPERED)
 - GL 96 GLASS TYPE 96 (CLEAR, LOW E, TEMPERED)
 - GL 97 GLASS TYPE 97 (CLEAR, LOW E, TEMPERED)
 - GL 98 GLASS TYPE 98 (CLEAR, LOW E, TEMPERED)
 - GL 99 GLASS TYPE 99 (CLEAR, LOW E, TEMPERED)
 - GL 100 GLASS TYPE 100 (CLEAR, LOW E, TEMPERED)

NOTE:
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No.	Revisions	Date
8	ISSUED FOR C OF A	27 AUG. 2024
7	ISSUED FOR SPA	25 OCT. 2023
6	ISSUED FOR SPA	28 AUG. 2023
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SITE PLAN FILE NUMBER: DA-21-091



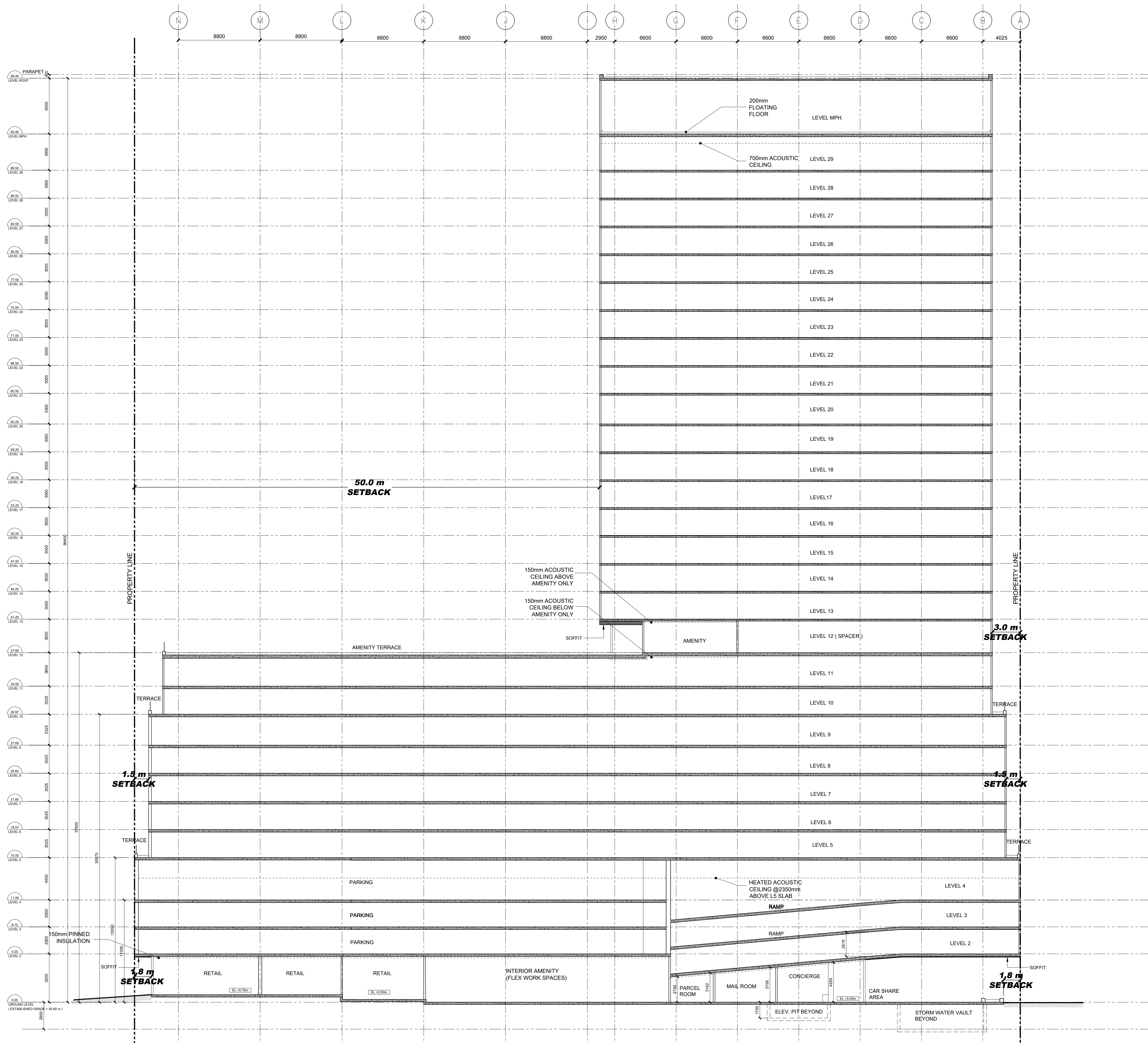
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Scale: 1:200
Checked: BL
Date: 27 AUG. 2024

Title: EAST & WEST ELEVATIONS

Project No.: 20-199
Drawing No.: A402

1 EAST ELEVATION
A402

2 WEST ELEVATION
A402



No.	Revisions	Date
8	ISSUED FOR C OF A	27 AUG. 2024
7	ISSUED FOR SPA	28 AUG. 2023
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71 Rebecca
 71 REBECCA STREET
 HAMILTON, ONTARIO, L8R 1B6
 SITE PLAN FILE NUMBER: DA-21-091



Drawn ST	Scale 1:200
Checked BL	Date 27 AUG. 2024
Title SECTION	
Project No. 20-199	Drawing No. A410



City of Hamilton
Committee of Adjustment
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

September 12, 2024

Attn: Ms. Jamila Sheffield
Secretary Treasurer, Committee of Adjustment (email: Jamila.Sheffield@hamilton.ca)

**Re: 71 Rebecca Street, Hamilton
Minor Variance Application Submission**

Dear Ms. Sheffield:

A.J Clarke and Associates Ltd. has been retained by Hi Rose (Rebecca) Inc for the purposes of submitting the enclosed Minor Variance Application to facilitate the construction of a 29-storey mixed-use development on the lands municipally known as 71 Rebecca Street, in the City of Hamilton.

The subject lands are located at the intersection of Rebecca Street and Catarine Street North Downtown Urban Growth Centre. The subject lands were Site Plan Approved with a 30 storey mixed use tower with 214 parking spaces granted through applications DA-21-113 / DA-23-016. However the proposed design has been altered to remove one floor of parking within the podium, resulting in a 29 storey development with 171 parking spaces. No changes are proposed to the number of proposed units. Given the reduction to the parking spaces the proposed development is no longer compliant with the in force and effect Downtown Central Business District (D1) Zone with Site Specific 701 Zoning.

The following supporting materials are submitted to your attention, in support of the subject application:

- One (1) digital copy of the required filled and signed Minor Variance Application Form;
- One (1) digital copy of the Architectural Drawing Package, prepared by CORE Architects., dated August 27th, 2024;
- One (1) digital copy of cheque No 211087 in the amount of \$3,900.00 representing the required application fees.

Parking By-law

In April of 2024, the City of Hamilton passed By-law 24-052. This By-law, amongst other matters, eliminated residential parking requirements throughout Downtown Hamilton and the lower city. As such, this redevelopment would only require a percentage of visitor parking to be provided on site. Based on the By-law that was passed, only 26 vehicular parking spaces would be required. This By-law was appealed to the Ontario Land Tribunal. Currently, the old parking By-law applies to the subject lands. Accordingly, a variance is required because By-law 24-052 is not currently in force and effect.



On June 17th, 2024, Staff has advised that if conditional site plan approval was granted prior to April 10th, 2024 that the old parking By-law would be applicable. Accordingly, conditional approval was granted in January of 2023 and the new By-law provisions are not applicable to the subject lands. As such the following zoning provisions are applicable to the proposed development:

Zoning Provision as per Site Specific 701, 1.c) i)	Proposed
i. 62 parking stalls at 2.8 m x 5.8 m;	i. 58 parking stalls at 2.8 m x 5.8 m;
ii. 93 parking stalls at 2.6 m x 5.8 m;	ii. 68 parking stalls at 2.6 m x 5.8 m;
iii. 36 parking stalls at 2.6 m x 5.5 m;	iii. 28 parking stalls at 2.6 m x 5.5 m;
iv. 13 parking stalls at 2.8 m x 5.5 m;	iv. 9 parking stalls at 2.8 m x 5.5 m;
v. 3 barrier-free parking stalls at 4.6 m x 5.8 m;	v. 2 barrier-free parking stalls at 4.6 m x 5.8 m;
vi. 3 barrier-free parking stalls at 4.6 m x 5.5 m; and,	vi. 2 barrier-free parking stalls at 4.6 m x 5.5 m; and,
vii. 4 car share parking stalls, at grade at 2.6 m x 5.5 m.	vii. 4 car share parking stalls, at grade at 2.6 m x 5.5 m.

The variances would have the effect of permitting 167 parking stalls and 4 car share parking spaces instead of 210 parking spaces and 4 car share parking spaces. This represents a parking rate of 0.35 spaces per unit whereas 0.44 spaces per unit is required.

Minor Variances

A minor variance is required to facilitate the proposed development as is described as follows:

1. To permit 55 parking stalls at 2.8 m x 5.8 m, whereas 62 parking stalls at 2.8 m x 5.8 m are required.
2. To permit 65 parking stalls at 2.6 m x 5.8 m, whereas 93 parking stalls at 2.6 m x 5.8 m are required.
3. To permit 31 parking stalls at 2.6 m x 5.5 m, whereas 36 parking stalls at 2.6 m x 5.5 m are required.
4. To permit 12 parking stalls at 2.8 m x 5.5 m, whereas 13 parking stalls at 2.8 m x 5.5 m are required.
5. To permit 2 barrier-free parking stalls at 4.6 m x 5.8 m, whereas 3 barrier-free parking stalls at 4.6 m x 5.8 m are required.
6. To permit 2 barrier-free parking stalls at 4.6 m x 5.5 m, whereas 3 barrier-free parking stalls at 4.6 m x 5.5 m are required.
7. To permit a balcony to encroach 1.5m into any required yard instead of the minimum 1.0m.

The reduction maintains the intent and direction of the Urban Hamilton Official Plan principles of reducing greenhouse gas emissions and providing a range and mix of housing typologies.

As evidenced through the city initiated and council-approved by-law 24-052, it is the intention of the city to reduce parking requirements across the city to support active modes of transportation and to utilize mass transit over the motor vehicle. The By-law is currently under appeal, however, as this development was conditionally approved prior to the passing of By-law 24-052, the old parking requirements are applicable. Should the new parking by-law be put into force and effect, it would require this same



development to provide a total of 26 parking spaces. The variance is therefore technical in nature and should be approved.

The proposed development features balconies that are 1.5m in depth whereas 1.0m is permitted. This variance has been approved throughout Downtown Hamilton as it provides for greater outdoor private space for each unit and increases the overall available amenity space for each unit. Accordingly, the variance meets the four tests.

I trust that you will find the enclosed satisfactory for your purposes. Please confirm receipt of this submission and we look forward to being scheduled for the next available hearing date. If you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,

Ryan Ferrari, MCIP, RPP, CPT
Senior Planner
A. J. Clarke and Associates Ltd.

Encl.



Hamilton

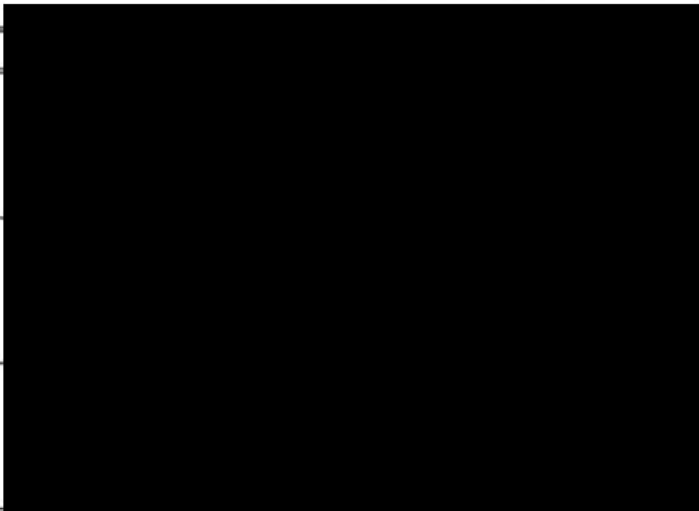
Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Hi Rose (Rebecca) Inc. c/o Silvio Guglietti
Applicant(s)	as above
Agent or Solicitor	A.J. Clarke and Associates Ltd c/o Ryan Ferrari



1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	71 Rebecca Street		
Assessment Roll Number			
Former Municipality	Hamilton (Barton)		
Lot	14	Concession	2
Registered Plan Number		Lot(s)	Lt 1, Lt 2, Pt Lt 17
Reference Plan Number (s)	62R-11359 Nathaniel	Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Please see attached cover letter

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Please see attached cover letter

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
+/- 95m	+/- 44m	+/- 3138 sq m	+/- 20m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
N/A - Vacant				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Multiple Dwelling	0.0m	1.0 m	1.5m , 1.5m	TBD

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
N/A - Vacant				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Multiple Dwelling	1721 sq m	32,322 sq m	29 storeys	99.40 m

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)
- _____

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
 - system privately owned and operated individual
 - septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- provincial highway
 - municipal road, seasonally maintained
 - municipal road, maintained all year
- right of way
 - other public road
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Mixed Use - Multiple Dwelling
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
John Rebecca Park, Commercial Parking Lot,

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
2020
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Subject land were formerly used for a medical offices / Health Centre which was demolished to facilitate the redevelopment.
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Currently in Pre-Construction - Mixed Use Multiple Dwelling
- 7.4 Length of time the existing uses of the subject property have continued:
formerly used for medical offices, which were demolished to facilitate the proposed redevelopment
- 7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Downtown Mixed Use

Please provide an explanation of how the application conforms with the Official Plan.

Mixed use redevelopment which provide for 477 new units within the Downtown Urban Growth Centre

- 7.6 What is the existing zoning of the subject land? D1 Exception 701, H17, H105
- 7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)
- Yes No
- If yes, please provide the file number: **ZAC 17-053**

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 477

8.3 Additional Information (please include separate sheet if needed):

The proposed development has been approved through Site Plan Application DA-21-113.

Please see attached cover letter for additional information.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report

Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance

- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
