



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-24:214</b>	<b>SUBJECT PROPERTY:</b>	95-105 Highway 8, Stoney Creek
<b>ZONE:</b>	C5 Exception: 862, Holding: H158 (Mixed Use Medium Density)	<b>ZONING BY-LAW:</b>	Zoning By-law City of Hamilton 05-200, as Amended by 23-158.

**APPLICANTS:** Owner: 1826547 Ontario Inc. c/o Sam DiSanto  
Agent: Ed Fothergill, Fothergill Planning & Dev. Inc.

The following variances are requested:

1. A minimum rear yard setback of 11 metres for any portion of the building exceeding a height of 12 metres whereas a minimum rear yard setback of 12 metres is required.
2. A minimum rear yard setback of 14 metres for any portion of the building exceeding a height of 15 metres whereas a minimum rear yard setback of 15 metres is required.
3. A minimum rear yard setback of 17 metres for any portion of the building exceeding a height of 18 metres whereas a minimum rear yard setback of 18 metres is required.
4. A minimum rear yard setback of 20 metres for any portion of the building exceeding a height of 21 metres whereas a minimum rear yard setback of 21 metres is required.
5. A minimum rear yard setback of 23 metres for any portion of the building exceeding a height of 24 metres whereas a minimum rear yard setback of 24 metres is required.
6. A minimum rear yard setback of 26 metres for any portion of the building exceeding a height of 27 metres whereas a minimum rear yard setback of 27 metres is required.
7. A minimum rear yard setback of 29 metres for any portion of the building exceeding a height of 30.5 metres whereas a minimum rear yard setback of 30 metres is required.

**A-24:214**

- 8. A minimum rear yard setback of 32 metres for any portion of the building exceeding a height of 33.8 metres whereas a minimum rear yard setback of 33 metres is required.
- 9. A minimum rear yard setback of 35.5 metres for any portion of the building exceeding a height of 37.1 metres whereas a minimum rear yard setback of 37 metres is required.
- 10. A minimum rear yard setback of 42 metres for any portion of the building exceeding a height of 41.1 metres whereas a minimum rear yard setback of 43.2 metres is required.

**PURPOSE & EFFECT:** To facilitate the construction of the proposed Mixed-Use development.

**Notes:** N/A

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Tuesday, November 12, 2024</b>
<b>TIME:</b>	<b>1:40 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon November 6, 2024

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon November 8, 2024

**FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:214, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

**A-24:214**

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: October 24, 2024

---

Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

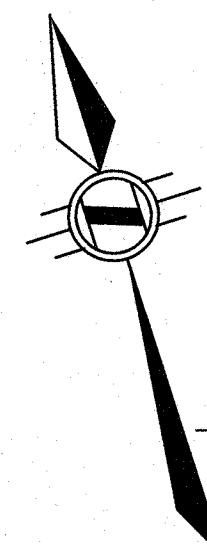
Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

**SURVEYOR'S REAL PROPERTY REPORT**  
 PART 1, PLAN OF PART OF  
**LOT 23**  
**CONCESSION 2**  
 GEOGRAPHIC  
 TOWNSHIP OF SALTLEET  
 IN THE  
**CITY OF HAMILTON**

SCALE 1:250 METRIC  
 S.D. McLAREN, O.L.S. - 2022



**BENCHMARK:**  
 MONUMENT 07720100034  
 RIB WITH BRASS CAP; MONUMENT IS  
 LOCATED ~27m WEST OF THE  
 CENTRE LINE OF LINCOLN ROAD AND  
 ~25m NORTH OF HAZELWOOD DRIVE,  
 NORTH EAST CORNER OF EASTDALE  
 PARK.  
 ELEVATION: 85.971m CGVD-1928:1978

**SURVEYOR'S REAL PROPERTY REPORT**  
**(PART 2)**  
 PART OF LOT 23, CONCESSION 2,  
 AS ILLUSTRATED ON THE PLAN IS NOT  
 SUBJECT TO ANY EASEMENTS  
 THIS PLAN DOES NOT CERTIFY COMPLIANCE  
 WITH ZONING BY-LAWS.  
 THIS PLAN WAS PREPARED FOR THE  
 MOLINARO GROUP

**NOTE:**  
 UNDERGROUND SERVICE AND UTILITY  
 LOCATIONS WERE DERIVED FROM DRAWINGS  
 BY CITY OF HAMILTON-WENTWORTH  
 ENGINEERING DEPARTMENT, FILE NO.  
 IR03200 & IR08285.  
 UNDERGROUND SERVICE AND UTILITY  
 LOCATIONS MUST BE VERIFIED PRIOR TO  
 CONSTRUCTION  
 INVERTS MUST BE VERIFIED PRIOR TO  
 CONSTRUCTION

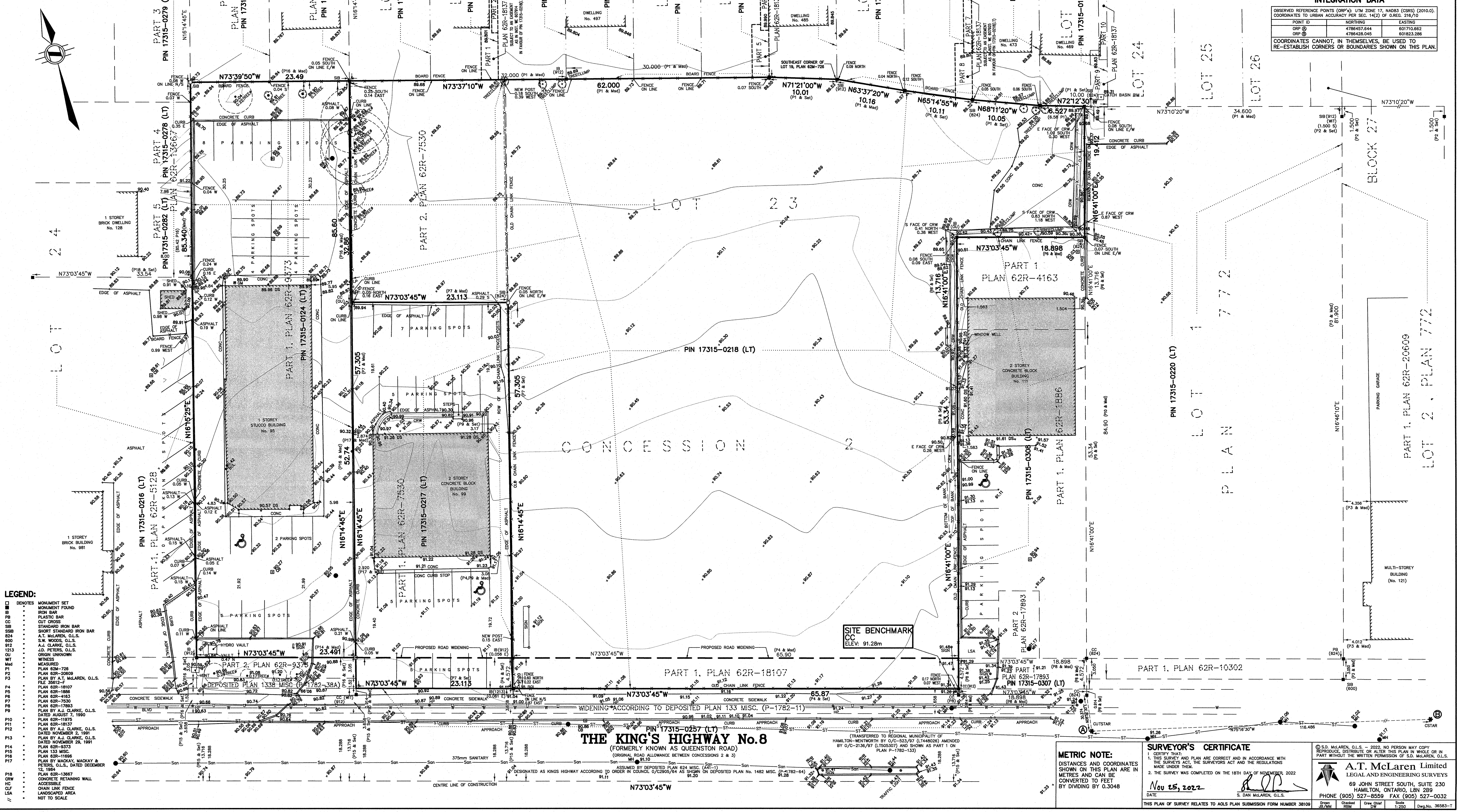
**BEARING NOTE:**  
 BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED  
 REFERENCE POINTS A AND B, BY REAL TIME NETWORK  
 OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0)

**NOTE:**  
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY  
 MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999718365

**INTEGRATION DATA**

OBSERVED REFERENCE POINTS (ORP): UTM ZONE 17, NAD83 (CSRS) (2010.0)	COORDINATES TO UTM ACCURACY PER SEC. 14(2) OF O.R.C. 216.7(1)
POINT ID	NORTHING EASTING
ORP @	4786457.644 601710.662
ORP @	4786428.045 601823.286

COORDINATES CANNOT, IN THEMSELVES, BE USED TO  
 RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



- LEGEND:**
- DENOTES MONUMENT SET
  - MONUMENT FOUND
  - IRON BAR
  - PLASTIC BAR
  - CUT CROSS
  - STANDARD IRON BAR
  - SHORT STANDARD IRON BAR
  - A.T. McLAREN, O.L.S.
  - S.W. WOODS, O.L.S.
  - A.J. CLARKE, O.L.S.
  - J.D. PETERS, O.L.S.
  - ORIGIN UNKNOWN
  - WITNESS
  - MEASURED
  - PLAN 62R-726
  - PLAN 62R-2009
  - PLAN BY A.T. McLAREN, O.L.S.
  - FILE 5812-7
  - PLAN 62R-1807
  - PLAN 62R-1896
  - PLAN 62R-4163
  - PLAN 62R-7530
  - PLAN 62R-17893
  - PLAN BY A.J. CLARKE, O.L.S.
  - DATED AUGUST 7, 1990
  - PLAN 62R-18175
  - PLAN 62R-18137
  - PLAN BY A.J. CLARKE, O.L.S.
  - DATED NOVEMBER 2, 1991
  - PLAN BY A.J. CLARKE, O.L.S.
  - PLAN 62R-9373
  - PLAN 133 MISC.
  - PLAN 62R-11696
  - PLAN BY MACKEY, MACKEY & PETERS, O.L.S., DATED DECEMBER 12, 1984
  - PLAN 62R-13667
  - CONCRETE RETAINING WALL
  - ACCESSIBLE
  - CHAIN LINK FENCE
  - LANDSCAPED AREA
  - NOT TO SCALE

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 18TH DAY OF NOVEMBER, 2022

DATE: Nov 15, 2022  
 S. DAN McLAREN, O.L.S.

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER 38109

**METRIC NOTE:**  
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

S.D. McLAREN, O.L.S. - 2022. NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF S.D. McLAREN, O.L.S.

**A.T. McLaren Limited**  
 LEGAL AND ENGINEERING SURVEYS  
 69 JOHN STREET SOUTH, SUITE 230  
 HAMILTON, ONTARIO, L8N 2E9  
 PHONE (905) 527-8559 FAX (905) 527-0032

**THE KING'S HIGHWAY No.8**  
 (FORMERLY KNOWN AS QUEENSTON ROAD)  
 (ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 2 & 3)

N73°03'45"W

PROJECT STATISTICS  
JOB No: 1968.22  
DATE: SEP.12.2024

01. SITE AREA	
	N/A
02. G.F.A. (m2)	
RESIDENTIAL	
RETAIL	N/A
TOTAL	
03. GROUND FLOOR AREA (m2)	
	N/A
04. LANDSCAPE AREA (m2)	
	N/A
05. BUILDING COVERAGE (%)	
	N/A
06. LOADING SPACES	
	N/A
07. F.S.I	
	N/A
08. DENSITY	
	N/A
09. SETBACKS * (m)	
	N/A
10. UNIT COUNT **	
	N/A
11. B.F UNIT BREAKDOWN	
RESIDENTIAL UNITS	
TOTAL	
12. PARKING ***	
RESIDENTIAL	
VISITOR	
RETAIL	
TOTAL	
BARRIER FREE	
ELECTRIC VEHICLE PARKING ***	
SMALL CAR SPACES	
13. BIKE PARKING	
RESIDENTIAL SHORT-TERM	
RESIDENTIAL LONG-TERM	
NON-RESIDENTIAL SHORT-TERM	
NON-RESIDENTIAL LONG-TERM	
TOTAL	
14. AMENITY (m2)	
TOTAL	
15. BUILDING HEIGHT	

REQUIRED		PROVIDED	
		(m <sup>2</sup> )	(ha)
GROSS AREA	10441.56	1.04	112391.91
ROAD WIDENING	418.59	0.04	4505.66
NET AREA	10022.97	1.00	107886.25
PHASE 1		PHASE 2	
17106.2		13164.7	
803.0		315.8	
17909.1		13480.5	
2033.24		1682.72	
4328.51		38%	
PHASE 1 & 2		TOTAL	
1 TYP G		1 TYP G	
3.01		363 UNITS / HA	
PHASE 1 & 2		BELOW GRADE	
3 NORTH		3 NORTH	
3 EAST		3 EAST	
3 SOUTH		3 SOUTH	
3 WEST		3 WEST	
PHASE 1		PHASE 2	
18 STUDIO		0 STUDIO	
138 1 BEDROOM		61 1 BEDROOM	
62 2 BEDROOM		80 2 BEDROOM	
10 3 BEDROOM		10 3 BEDROOM	
228 TOTAL		151 TOTAL	
2.70		0	
20.70		9.15	
9.30		12.00	
1.50		1.50	
34.2		22.65	
114.00		75.50	
34.20		22.65	
18.39		18.39	
166.59		116.54	
5.33		4.50	
100%		100%	
0%		0%	
9.20		9.20	
11.40		7.55	
0.92		0.92	
22.80		15.10	
159.60		105.70	
1.61		0.63	
1.20		0.47	
185.21		121.91	
4M2 PER UNIT = 148		4M2 PER UNIT = 16	
6M2 PER UNIT = 1146		6M2 PER UNIT = 882	
1294		898	
44M MAX. HEIGHT		44M MAX. HEIGHT	

PHASE 1		PHASE 2		TOTAL	
STUDIO	18	STUDIO	0	18	18
1 BEDROOM	138	1 BEDROOM	61	199	199
2 BEDROOM	62	2 BEDROOM	80	142	142
3 BEDROOM	10	3 BEDROOM	10	20	20
TOTAL	228	TOTAL	151	379	379
PHASE 1	228	PHASE 2	151	TOTAL	379
RESIDENTIAL	228	RESIDENTIAL	165	393	393
VISITOR/RETAIL	48	VISITOR/RETAIL	9	57	57
TOTAL	276	TOTAL	174	450	450
RESIDENTIAL BARRIER FREE	6	RESIDENTIAL BARRIER FREE	3	9	9
VISITOR/RETAIL BARRIER FREE	2	VISITOR/RETAIL BARRIER FREE	0	2	2
RESIDENTIAL	228	RESIDENTIAL	165	393	393
VISITOR	0	VISITOR	0	0	0
RETAIL	9	RETAIL	10	19	19
RESIDENTIAL	4	RESIDENTIAL	2	6	6
NON-RESIDENTIAL	2	NON-RESIDENTIAL	0	2	2
PHASE 1	27	PHASE 2	12	39	39
RESIDENTIAL SHORT-TERM	160	RESIDENTIAL LONG-TERM	106	266	266
NON-RESIDENTIAL SHORT-TERM	3	NON-RESIDENTIAL SHORT-TERM	0	3	3
NON-RESIDENTIAL LONG-TERM	2	NON-RESIDENTIAL LONG-TERM	0	2	2
TOTAL	192	TOTAL	118	310	310
PHASE 1	578	PHASE 2	589	TOTAL	1,167
INDOOR	475	INDOOR	600	INDOOR	1,075
BALCONIES+TERRACES	3,289	BALCONIES+TERRACES	1,996	BALCONIES+TERRACES	5,285
LANDSCAPE	2,493	LANDSCAPE	1,223	LANDSCAPE	3,716
TOTAL	6,834	TOTAL	4,408	TOTAL	11,242
PHASE 1	40.3M TO MPH/AMENITY LEVEL	PHASE 2	40.3M TO MPH/AMENITY LEVEL	TOTAL	

### SHEET LIST

A.0100 - STATISTICS & NOTES

A.0301 - GROUND FLOOR PLAN  
A.0302 - 2ND FLOOR PLAN  
A.0303 - 3RD FLOOR PLAN  
A.0304 - 4TH FLOOR PLAN  
A.0305 - 5TH FLOOR PLAN  
A.0306 - 6TH FLOOR PLAN  
A.0307 - 7TH FLOOR PLAN  
A.0308 - 8TH FLOOR PLAN  
A.0309 - 9TH FLOOR PLAN  
A.0310 - 10TH FLOOR PLAN  
A.0311 - 11TH FLOOR PLAN  
A.0312 - 12TH FLOOR PLAN  
A.0313 - MECHANICAL PENTHOUSE FLOOR PLAN  
A.0314 - MECHANICAL PENTHOUSE MEZZANINE FLOOR PLAN  
A.0315 - ROOF PLAN

A.0401 - NORTH ELEVATIONS  
A.0402 - SOUTH ELEVATIONS  
A.0403 - EAST ELEVATION - BUILDING A  
A.0404 - WEST ELEVATION - BUILDING A  
A.0405 - WEST ELEVATION - BUILDING B  
A.0406 - WEST ELEVATION - BUILDING B

### NOTES

- For landscaping, refer to landscape drawings.
- For proposed grading, refer to landscape drawings and approved grading plan.
- All perimeter existing information indicated taken from survey.
- All work to be done in conformance with the 2012 Ontario Building Code (O.B.C., as amended)
- All driveway with access onto City owned roadway conform to City of Burlington standards.

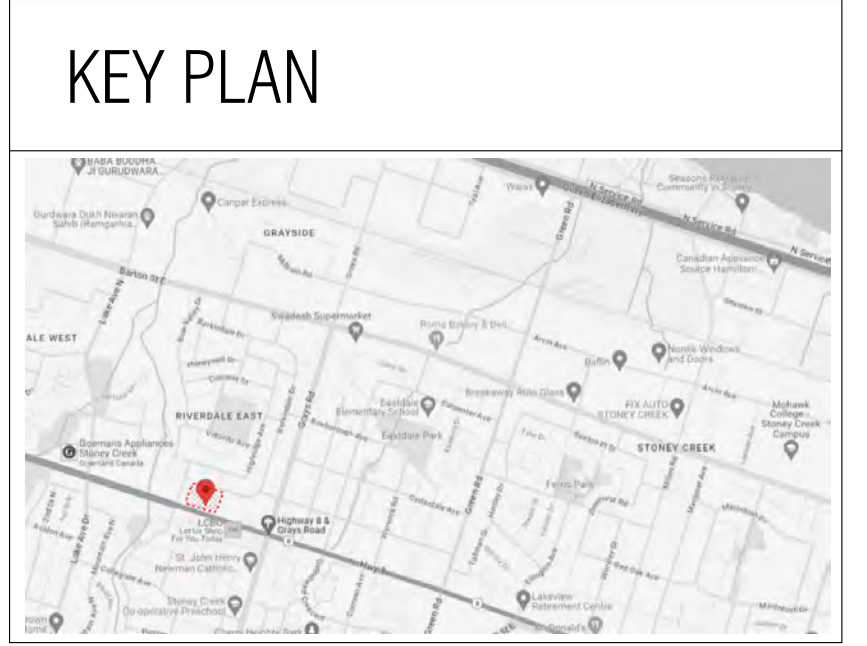
- Fire access route to existing buildings will be maintained during construction.
- The fire access route will be designed to support a load of not less than 11,363 kg per axle and have a change in gradient of not more than 1 in 12.5 over a minimum distance of 15m.
- Fire Department access route will be constructed of hard surface material such as asphalt, concrete or lockstone.

NOTES:  
\* setbacks to main building face  
\*\* actual unit count may vary depending on market demand  
\*\*\* "Parking Space, Electric Vehicle" is defined as follows:  
\*\*\* Shall mean a Parking Space equipped with electric vehicle charging equipment which provides, or which is capable of providing Level 2, or greater, electric vehicle charging in accordance with the SAE International J1772 standard, as amended.

### SURVEY INFORMATION

PLAN 1, PLAN OF PART OF LOT 23 CONCESSION 2 GEOGRAPHIC TOWNSHIP OF SALT FLEET IN THE CITY OF HAMILTON

A.T. McLaren Limited LEGAL AND ENGINEERING SURVEYS 69 JOHN STREET SOUTH HAMILTON, ONTARIO L8N 2B9 telephone (905) 527-8559



### G.F.A. DEFINITION

The sum of the areas of each floor of a building, but shall include a basement or cellar when used for commercial purpose. Measurement shall be from the exterior face of outside walls, or from the centre line of partition and common walls. Gross Floor Area shall not include floor space devoted to:

- Vehicle Parking
- Storage
- Air Handling Equipment
- Enclosed mall and hallways, excluding kiosk, stairways
- Elevators and associated equipment, stairs, Washrooms, mechanical shafts and garbage
- Foyers, lobbies, but not waiting areas/rooms

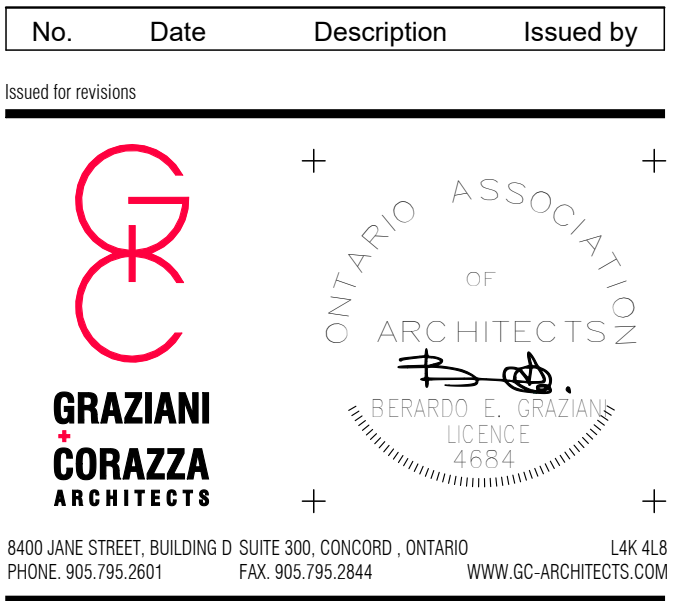
THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARD TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG



PROPOSED MIXED USE DEVELOPMENT  
95,99 and 105 Highway 8  
File no. DA-24-XXX

Stoney Creek Ontario

Project Architect: B.G.  
Assistant Designer: R.A. / J.L.  
Drawn By: A.A. / J.L. / M.Z.  
Checked By: D.B. / G.C.  
Plot Date: SEP.17.2024  
Job #: 1968.22

### STATISTICS & NOTES

A.0100

PHASE 2 PHASE 1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

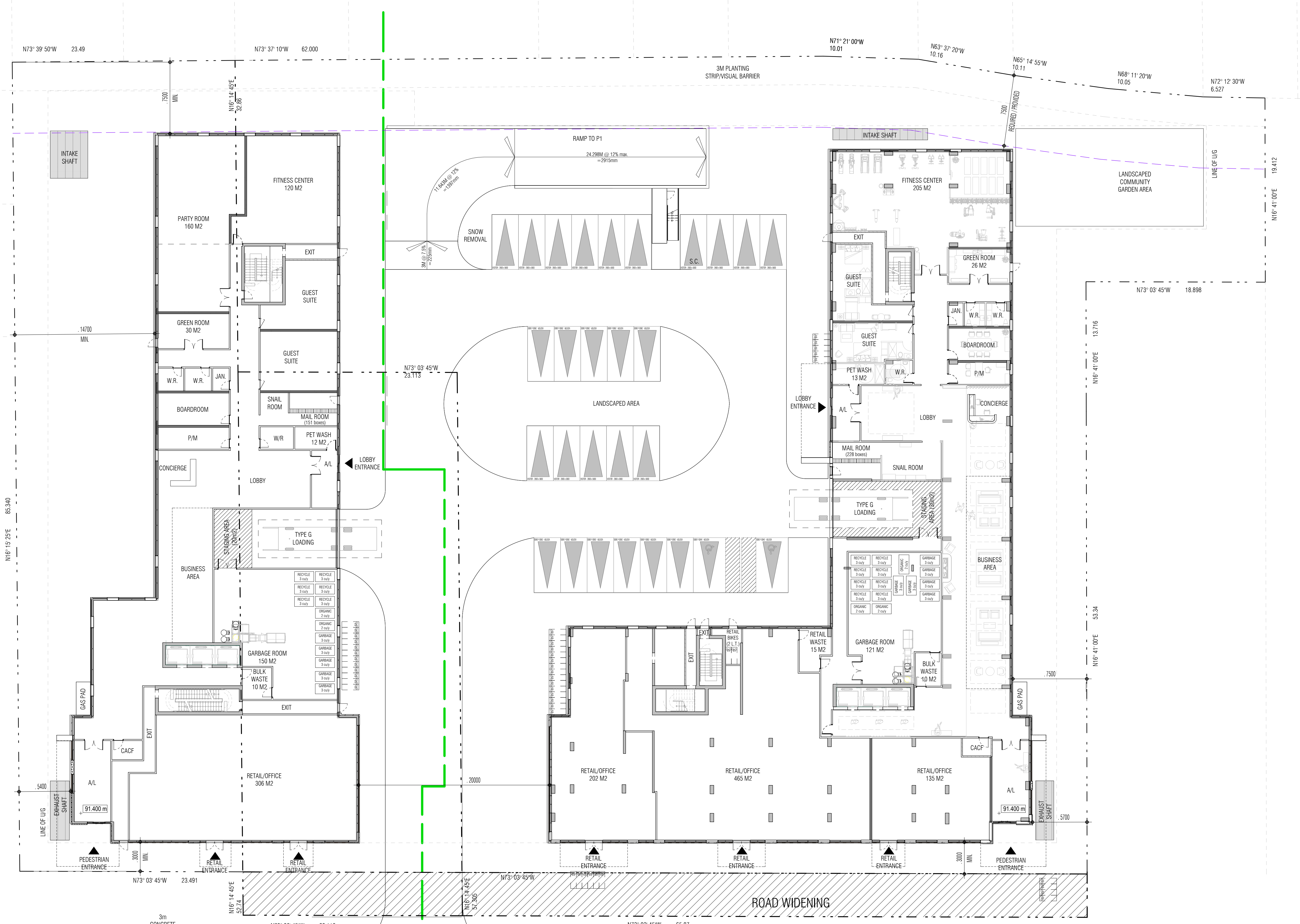
THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
 ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Issued to	By
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG



LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
Issued for revisions			

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT  
 95,99 and 105 Highway 8  
 File no. DA-24-XXX

Stoney Creek Ontario

Project Architect: B.G.  
 Assistant Designer: R.A. / J.L.  
 Drawn By: A.A. / J.L. / M.Z.  
 Checked By: D.B. / G.C.  
 Plot Date: SEP.17.2024  
 Job #: 1968.22

PHASE 2 PHASE 1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
 ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------



8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT

95,99 and 105 Highway 8  
 File no. DA-24-XXX

Stoney Creek Ontario

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

2ND FLOOR PLAN



95 99 103-105 ROAD WIDENING



PHASE 2 PHASE 1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

LINETYPE LEGEND	
	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
Issued for revisions			

**GRAZIANI CORAZZA ARCHITECTS**  
BERNARD E. GRAZIANI  
ARCHITECT  
LICENCE 45592

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT  
95,99 and 105 Highway 8  
File no. DA-24-XXX

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

3RD FLOOR PLAN

1:200 A.0303



95 99 103-105

PHASE 2 PHASE 1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER

ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG



LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
Issued for revisions			

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT

95,99 and 105 Highway 8  
 File no. DA-24-XXX

Stoney Creek Ontario

Project Architect: B.G.  
 Assistant Designer: R.A. / J.L.  
 Drawn By: A.A. / J.L. / M.Z.  
 Checked By: D.B. / G.C.  
 Plot Date: SEP.17.2024  
 Job #: 1968.22

PHASE 2 PHASE 1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
 ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG



LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
Issued for revisions			

PROPOSED MIXED USE DEVELOPMENT

95,99 and 105 Highway 8  
 File no. DA-24-XXX

Stoney Creek Ontario

Project Architect: B.G.  
 Assistant Designer: R.A. / J.L.  
 Drawn By: A.A. / J.L. / M.Z.  
 Checked By: D.B. / G.C.  
 Plot Date: SEP.17.2024  
 Job #: 1968.22

PHASE 2 PHASE 1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER

ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS/APPROPRIATENESS/RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:

1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.
2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
Issued for revisions			

**GRAZIANI CORAZZA ARCHITECTS**

BERNARD E. GRAZIANI  
LICENCE 45854

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT

95,99 and 105 Highway 8  
File no. DA-24-XXX

Stoney Creek Ontario

Project Architect: B.G.  
Assistant Designer: R.A./J.L.  
Drawn By: A.A./J.L./M.Z.  
Checked By: D.B./G.C.  
Plot Date: SEP.17.2024  
Job #: 1968.22

6TH FLOOR PLAN

1:200 A.0306



95 99 103-105

PHASE 2 PHASE 1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER

ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG



LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions

**GRAZIANI CORAZZA ARCHITECTS**  
 8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2801 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT

95,99 and 105 Highway 8  
 File no. DA-24-XXX

Stoney Creek Ontario

Project Architect: B.G.  
 Assistant Designer: R.A. / J.L.  
 Drawn By: A.A. / J.L. / M.Z.  
 Checked By: D.B. / G.C.  
 Plot Date: SEP.17.2024  
 Job #: 1968.22

PHASE 2 PHASE 1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
 ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Issued to	By
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG



LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions

**GRAZIANI CORAZZA ARCHITECTS**  
 8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

BERNARD E. MONTANA  
 ARCHITECT  
 REG. NO. 1455  
 ONTARIO ASSOCIATION OF ARCHITECTS

PROPOSED MIXED USE DEVELOPMENT  
 95,99 and 105 Highway 8  
 File no. DA-24-XXX

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

PHASE 2 PHASE 1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

**CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:**  
 ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG



**LINETYPE LEGEND**

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

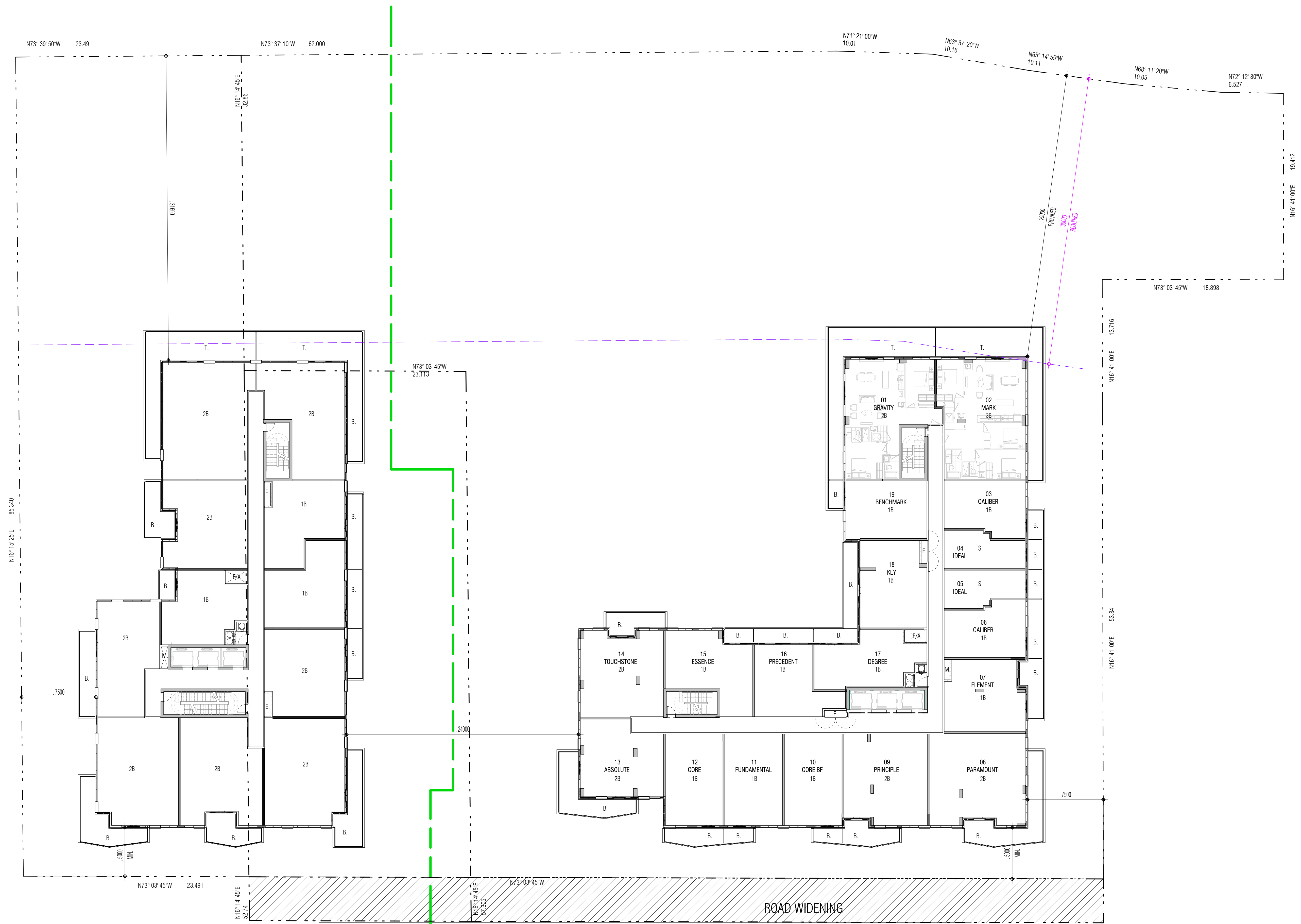
PROPOSED MIXED USE DEVELOPMENT

95,99 and 105 Highway 8  
 File no. DA-24-XXX

Stoney Creek Ontario

Project Architect: B.G.  
 Assistant Designer: R.A./J.L.  
 Drawn By: A.A./J.L./M.Z.  
 Checked By: D.B./G.C.  
 Plot Date: SEP.17.2024  
 Job #: 1968.22

PHASE 2 PHASE 1



THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER

ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

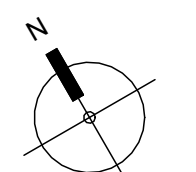
LINETYPE LEGEND	
	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
Issued for revisions			

PROPOSED MIXED USE DEVELOPMENT  
 95,99 and 105 Highway 8  
 File no. DA-24-XXX

Stoney Creek Ontario	
Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

10TH FLOOR PLAN



1:200 A.0310



PHASE 2 PHASE 1



THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

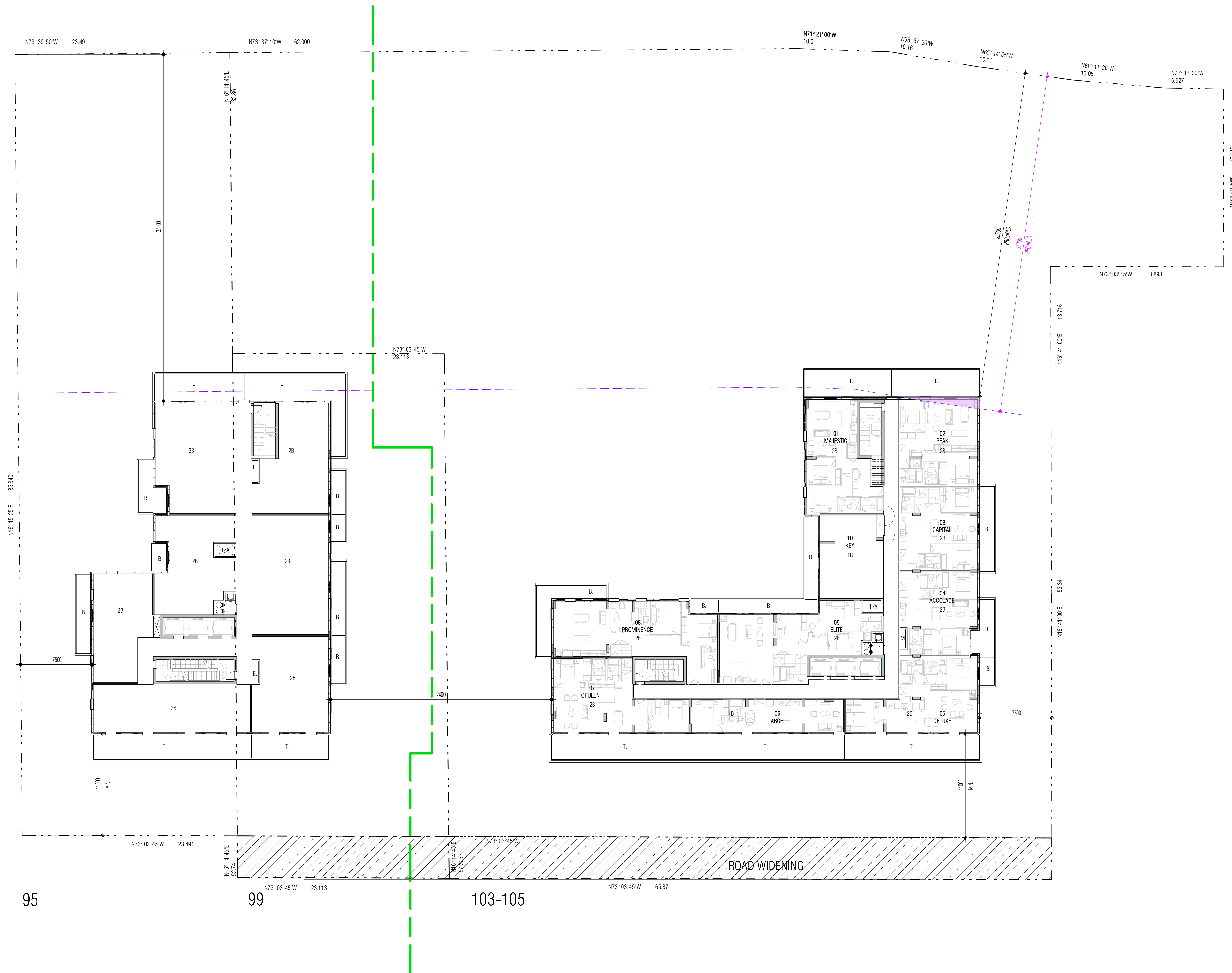
No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions

PROPOSED MIXED USE DEVELOPMENT  
95,99 and 105 Highway 8  
File no. DA-24-XXX

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

PHASE 2 PHASE 1



THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS/APPROPRIATENESS/RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
Issued for revisions			

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT  
95,99 and 105 Highway 8  
File no. DA-24-XXX

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

12TH FLOOR PLAN  
1:200 A.0312

PHASE 2 PHASE 1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARD TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

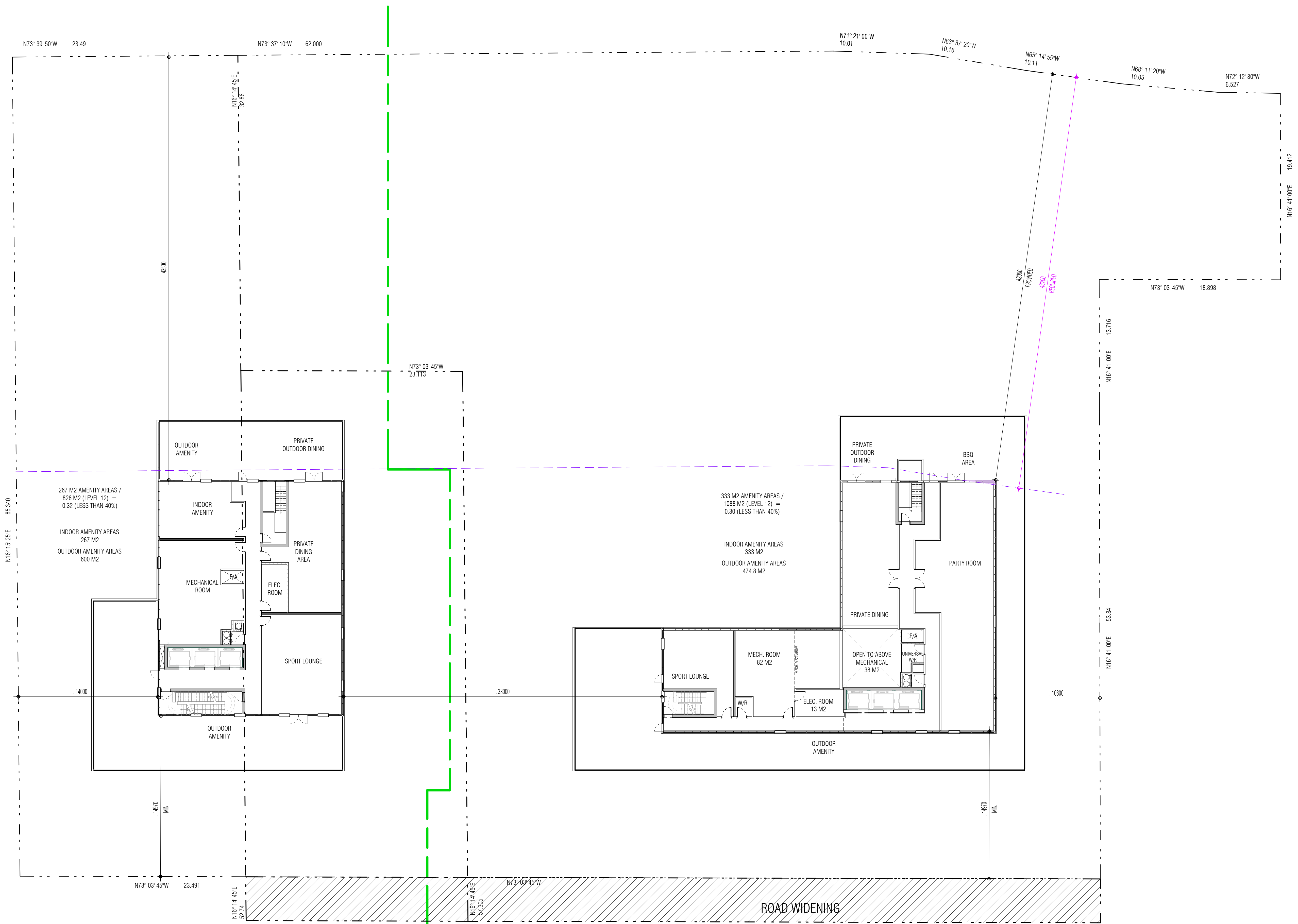
THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG



LINETYPE LEGEND

---	REQUIRED SETBACK
---	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions

**GRAZIANI CORAZZA ARCHITECTS**  
BERNARD E. GRAZIANI  
LICENCE 45581

ONTARIO ASSOCIATION OF ARCHITECTS

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT

95,99 and 105 Highway 8  
File no. DA-24-XXX

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

MECHANICAL PENTHOUSE FLOOR PLAN

1:200 A.0313

PHASE 2 PHASE 1



THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
 ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions

**GRAZIANI CORAZZA ARCHITECTS**  
 BERARDO E. GRAZIANI ARCHITECT  
 LICENCE 45581

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

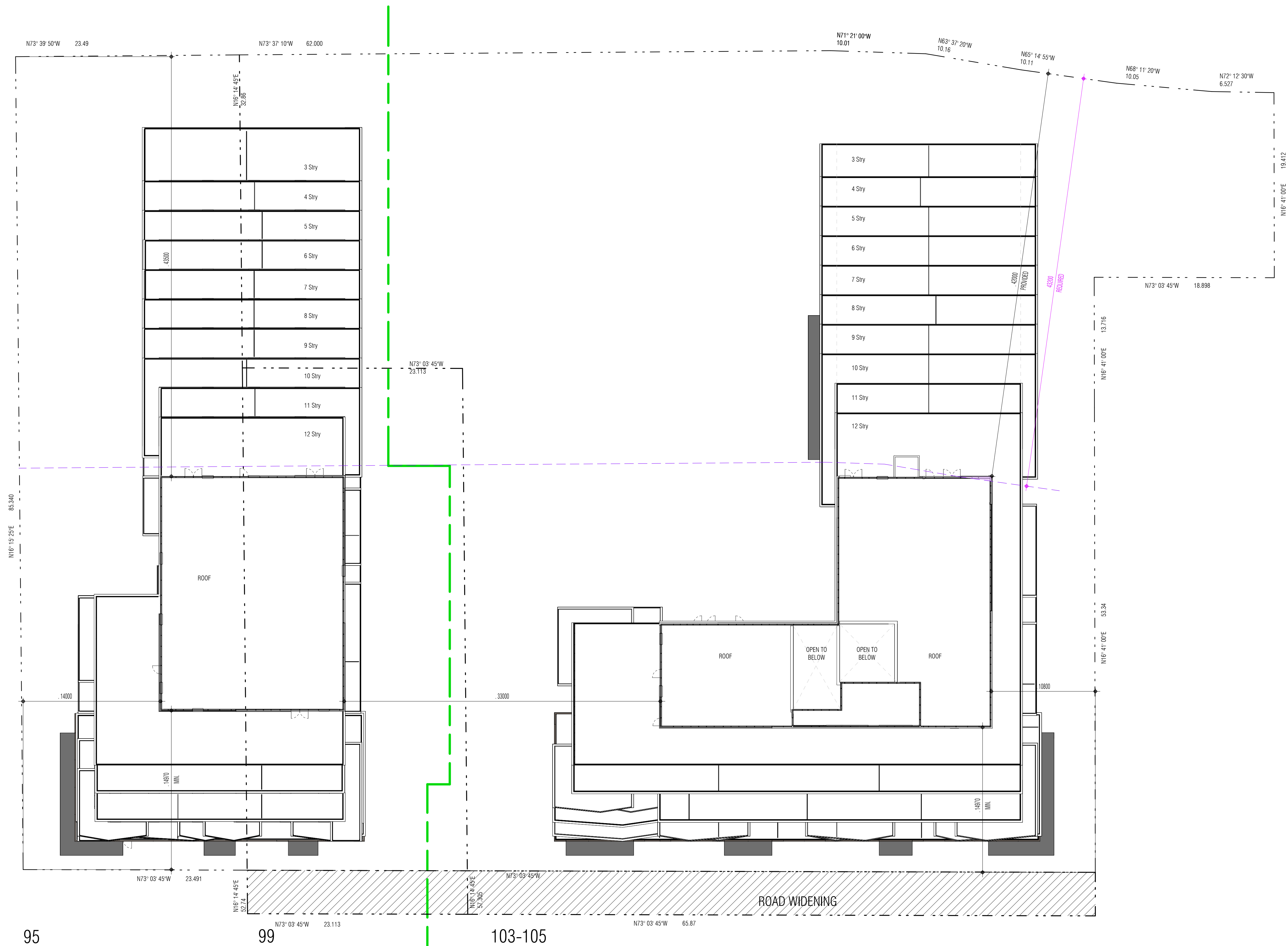
PROPOSED MIXED USE DEVELOPMENT  
 95,99 and 105 Highway 8  
 File no. DA-24-XXX

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

**MECHANICAL PENTHOUSE  
 MEZZANINE FLOOR PLAN**

1:200 A.0314

PHASE 2 PHASE 1



THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARD TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
 ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
Issued for revisions			

GRAZIANI CORAZZA ARCHITECTS  
 8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT  
 95,99 and 105 Highway 8  
 File no. DA-24-XXX

Stoney Creek Ontario

Project Architect: B.G.  
 Assistant Designer: R.A. / J.L.  
 Drawn By: A.A. / J.L. / M.Z.  
 Checked By: D.B. / G.C.  
 Plot Date: SEP.17.2024  
 Job #: 1968.22

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY.  
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

BUILDING A

BUILDING B



LINETYPE LEGEND

---	REQUIRED SETBACK
---	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions

GRAZIANI CORAZZA ARCHITECTS  
BERARDO E. GRAZIANI  
LICENCE 45912

ONTARIO ASSOCIATION OF ARCHITECTS

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT  
95,99 and 105 Highway 8  
File no. DA-24-XXX

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

NORTH ELEVATIONS

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:

ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

BUILDING B

BUILDING A



LINETYPE LEGEND

	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
Issued for revisions			

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT  
 95,99 and 105 Highway 8  
 File no. DA-24-XXX

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

SOUTH ELEVATIONS

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:

ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

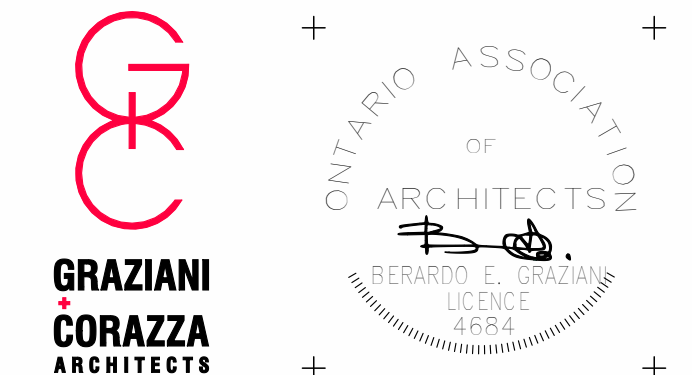
BUILDING A



LINETYPE LEGEND	
---	REQUIRED SETBACK
---	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions



8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT

95,99 and 105 Highway 8  
 File no. DA-24-XXX

Stoney Creek Ontario

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

EAST ELEVATION 'A'



THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:

ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
 1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
 2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

No.	Date	Description	Issued by
01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

BUILDING B



LINETYPE LEGEND

---	REQUIRED SETBACK
---	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
 PHONE: 905.795.2801 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT  
 95,99 and 105 Highway 8  
 File no. DA-24-XXX

Stoney Creek, Ontario	
Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

EAST ELEVATIONS 'B'

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY.  
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:  
ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

BUILDING A



LINETYPE LEGEND

---	REQUIRED SETBACK
---	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
PHONE: 905.795.2601 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT  
95,99 and 105 Highway 8  
File no. DA-24-XXX

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

WEST ELEVATIONS 'A'

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF GRAZIANI + CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY GRAZIANI + CORAZZA ARCHITECTS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. GRAZIANI + CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC., ENGINEERING INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN UNDERTAKEN OR REPORTED ON BY THIS OFFICE IN REGARDS TO THE ENVIRONMENTAL CONDITION OF THIS SITE.

THIS DRAWING IS NOT TO BE SCALED. ALL ARCHITECTURAL SYMBOLS INDICATED ON THIS DRAWING ARE GRAPHIC REPRESENTATIONS ONLY.  
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE ARCHITECT.

CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:

ELECTRONIC INFORMATION IS SUPPLIED TO THE OTHER ASSOCIATED FIRMS TO ASSIST THEM IN THE EXECUTION OF THEIR WORK/REVIEW. THE RECIPIENT FIRMS MUST DETERMINE THE COMPLETENESS / APPROPRIATENESS / RELEVANCE OF THE INFORMATION IN RESPECT TO THEIR PARTICULAR RESPONSIBILITY.

GRAZIANI + CORAZZA ARCHITECTS INC. SHALL NOT BE RESPONSIBLE FOR:  
1. ERRORS, OMISSIONS, INCOMPLETENESS DUE TO LOSS OF INFORMATION IN WHOLE OR PART WHEN INFORMATION IS TRANSFERRED.  
2. TRANSMISSION OF ANY VIRUS OR DAMAGE TO THE RECEIVING ELECTRONIC SYSTEM WHEN INFORMATION IS TRANSFERRED.

Issues

01.	Apr.14.2023	Issued to ZBA	BG
02.	Sep.17.2024	Issued to SPA	BG
03.	Sep.17.2024	Issued to C of A	BG

BUILDING B



	REQUIRED SETBACK
	AREA AFFECTED BY C of A

No.	Date	Description	Issued by
-----	------	-------------	-----------

Issued for revisions

8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8  
PHONE: 905.795.2801 FAX: 905.795.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT  
95,99 and 105 Highway 8  
File no. DA-24-XXX

Project Architect:	B.G.
Assistant Designer:	R.A. / J.L.
Drawn By:	A.A. / J.L. / M.Z.
Checked By:	D.B. / G.C.
Plot Date:	SEP.17.2024
Job #	1968.22

WEST ELEVATIONS 'B'



Sep. 11, 2024

Re: C of A Drawings  
95, 99 and 105 Highway 8  
Stoney Creek, Ontario  
Our File No. 1968.22

The following notes outline the proposed variances in **RED** in as shown on the C of A drawings titled, "1968.22 - HWY 8 - C of A - Sep.17.2024" in comparison to the current Zoning by-law.

**Building Setback from a Street Line** [Section 10.5.3(a) of Hamilton Zoning By-law 05-200]  
[Exception 862]

1. A minimum setback of 7.5 metres;
2. A minimum setback of ~~12~~ **11** metres for any portion of the building exceeding a height of 12 metres;
3. A minimum setback of ~~15~~ **14** metres for any portion of the building exceeding a height of 15 metres;
4. A minimum setback of ~~18~~ **17** metres for any portion of the building exceeding a height of 18 metres;
5. A minimum setback of ~~21~~ **20** metres for any portion of the building exceeding a height of 21 metres;
6. A minimum setback of ~~24~~ **23** metres for any portion of the building exceeding a height of 24 metres;
7. A minimum setback of ~~27~~ **26** metres for any portion of the building exceeding a height of 27 metres;
8. A minimum setback of ~~30~~ **29** metres for any portion of the building exceeding a height of 30.5 metres;
9. A minimum setback of ~~33~~ **32** metres for any portion of the building exceeding a height of 33.8 metres;
10. A minimum setback of ~~37~~ **35.5** metres for any portion of the building exceeding a height of 37.1 metres; and,
11. A minimum setback of ~~43.2~~ **42** metres for any portion of the building exceeding a height of 41.1 metres

**GRAZIANI + CORAZZA**

A R C H I T E C T S I N C .

**B. Graziani** B. Arch., OAA, MRAIC  
Principal

# FPD

F O T H E R G I L L   P L A N N I N G   &   D E V E L O P M E N T   I N C .  
62 DAFFODIL CRES • HAMILTON, ON L9K 1E1 • PHONE 905.577.1077 • EMAIL ed@fothergillplanning.ca

September 12, 2024

Jamila Sheffield  
Secretary Treasurer Committee of Adjustment  
City of Hamilton  
71 Main St. W.  
Hamilton ON L8P 4Y5

Dear Jamila,

**Re: Application for Minor Variance - 95-105 Highway 8, Hamilton – The Molinaro Group**

Please find enclosed an application for a minor variance to allow for a reduction in rear yard setbacks for a proposed mixed use development on Highway 8. The project was subject of an application for official plan amendment and rezoning under Files UHOP-23-016 and ZAC-23-034.

Upon reviewing an application for site plan approval, staff recognized zoning deficiencies for a portion of one of the two buildings for rear yard setbacks.

To assist in ensuring the development proposal is compatible with the existing neighbourhood, the northerly face of the building abutting existing residential units was stepped back to comply with 45 degree angle of plane sightline from the northern property line. This stepped design element of the building was implemented through a site specific zoning by-law which provides different setbacks at different levels of the building to ensure the design elements are appropriately implemented.

With the submission of an application for site plan approval, a further review by staff noted that the bulk of both buildings comply with zoning setbacks. However, given that the rear lot line is not a straight line, the bend in the property line creates a zoning compliance issue for a portion of a corner of the easterly building as shown on the attached plans.

Therefore, in order to proceed with the development plan as reviewed and approved through the application for official plan amendment and rezoning, a variance is required for rear yard setbacks for a corner of one building at various heights of the building.

The variances are summarized below for a minimum rear yard setback:

1. A minimum setback of 11 metres for any portion of the building exceeding a height of 12 metres;
2. A minimum setback of 14 metres for any portion of the building exceeding a height of 15 metres;
3. A minimum setback of 17 metres for any portion of the building exceeding a height of 18 metres;
4. A minimum setback of 20 metres for any portion of the building exceeding a height of 21 metres;
5. A minimum setback of 23 metres for any portion of the building exceeding a height of 24 metres;
6. A minimum setback of 26 metres for any portion of the building exceeding a height of 27 metres;
7. A minimum setback of 29 metres for any portion of the building exceeding a height of 30.5 metres;
8. A minimum setback of 32 metres for any portion of the building exceeding a height of 33.8 metres;
9. A minimum setback of 35.5 metres for any portion of the building exceeding a height of 37.1 metres;  
and,
10. A minimum setback of 42 metres for any portion of the building exceeding a height of 41.1 metres

In my opinion, the variances are consistent with the intent of the recently approved site specific official plan amendment in that they are needed to achieve the development form that was proposed with the application.

Similarly, the proposal is consistent with the intent of the zoning by-law which introduced stepped elements of various floors within the building to achieve compatibility with the surrounding neighbourhood. The variances thereby recognize and help to implement the development form which was reviewed and approved through the rezoning process.

The variances are desirable for the appropriate and use of the land in that they allow for the construction of the development form that was recently reviewed, accepted by staff, and approved by Council. There were no appeals filed with respect to the Council decision from the surrounding neighbourhood. The variances are required to maintain the design integrity of the building and contribute to the project remaining compatible with the neighbourhood. The design form was supported by a number of technical studies including a Shadow Impact Assessment which was reviewed and approved through the official plan and zoning process.

The variances are minor in nature in that they only affect a small corner of one of two buildings being constructed. The size of the variances as they relate to built form will not be noticeable from any public or private vantage point. They do not affect the overall design of the building or site development. It is my opinion that the proposed variances meet the appropriate tests of the Planning Act by allowing an approved form of development to move forward.

In support of the application, please find enclosed the following:

1. Application form signed by the owner.
2. Cheque made payable to the City of Hamilton in the amount of \$3900.
3. Property survey dated November 25, 2022 prepared by A.T. McLaren Ltd
4. Sketch plans to illustrate location and extent of variances dated September 11, 2024 prepared by Graziani + Corazza.

Sincerely,

**FOTHERGILL PLANNING & DEVELOPMENT INC.**



E.J. Fothergill, MCIP, RPP  
President

Encl.

cc. Sam DiSanto  
Ashley White  
Barry Graziani  
Jake Lanoue



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME
<b>Registered Owners(s)</b>	1826547 Ontario Inc. c/o Sam DiSanto
<b>Applicant(s)</b>	
<b>Agent or Solicitor</b>	Ed Fothergill Fothergill Planning & Dev. Inc.

1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes\*

No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

Yes\*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Credit over phone\*

Cheque

\*Must provide number above



**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:

Municipal Address	905-105 Highway 8		
Assessment Roll Number			
Former Municipality	Stoney Creek		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

Servicing Easements

**3. PURPOSE OF THE APPLICATION**

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Variance from rear yard setbacks - see attached details.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Would require changes to approved plan.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

**4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION**

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
112.5 m	85.3 m	1.04 ha	

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
1. Commercial	21.92	30.23	4.83 + 5.95	1993
2. Office	19.4	19.3	2.87 + 3.08	1973

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
See Plans				

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
1. Commercial	413	413	1	1 storey
2. Office	278	556	2	2 storey

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
See Plans				

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
Mixed use residential and commercial

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
Residential, Commercial

**7 HISTORY OF THE SUBJECT LAND**

7.1 Date of acquisition of subject lands:  
Jan. 18, 2019, July 29, 2022

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Building supply store and residential

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Commercial, Vacant

7.4 Length of time the existing uses of the subject property have continued:  
30+ years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Mixed Use Medium Density

Please provide an explanation of how the application conforms with the Official Plan.  
Implements Official Plan

7.6 What is the existing zoning of the subject land? C5, 862, H158

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

Yes  No  
If yes, please provide the file number: ZAC-23-034 - APPROVED

---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes       No

If yes, please provide the file number: \_\_\_\_\_

**8      ADDITIONAL INFORMATION**

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 379

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
- 
-