



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:218	SUBJECT PROPERTY:	308 Charlton Avenue West, Hamilton
ZONE:	"C5a" (Mixed Use Medium Density - Pedestrian Focus)	ZONING BY-LAW:	Hamilton Zoning By-law No. 05-200 as amended by By-law No. 17-240

APPLICANTS: Owner: Marissa Caldwell
 Agent: Donald Gregory Weekes - Weekes Engineering Inc.

The following variances are requested:

1. A 61% increase of the gross floor area of the building shall be permitted whereas the by-law permits a maximum increase of 10% of the existing gross floor area to a legally established non-conforming Single Detached Dwelling.
2. A covered porch shall be permitted to be constructed in the front yard of a legally established non-conforming use and may encroach a maximum of 1.47 metres into the front yard (and therefore being 0.15 metres from the front lot line) whereas the by-law permits a maximum porch encroachment of 0.81 metres.

PURPOSE & EFFECT: To permit an expansion of the second and third storey levels of the existing single detached dwelling along with a covered front porch, notwithstanding that:

Notes:

- Based on an existing gross floor area of 114.3 square metres, the By-law would permit an addition of not more than 11.43 square metres, whereas a 68.6 square metre addition is proposed.
- As it relates to variance No. 2, the By-law only permits the repair, restoration or replacement of an existing porch accessory to a legal non-conforming use, provided that such repair, restoration, or replacement will not increase the height, area or volume, or site coverage of such structure

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, November 12, 2024
TIME:	2:50 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon November 6, 2024


Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon November 8, 2024

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:218, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: October 24, 2024

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

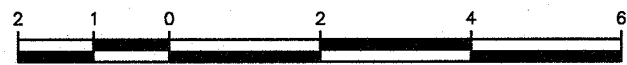
Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SURVEYOR'S REAL PROPERTY REPORT
 PART 1, PLAN OF PART OF
LOTS 11 & 12
PLAN 136
 IN THE
CITY OF HAMILTON

SCALE 1:100 METRIC



R.A. McLAREN, O.L.S. - 2023

BEARING COMPARISON

FOR BEARING COMPARISONS, A ROTATION OF 01°12'35" COUNTER CLOCKWISE WAS APPLIED TO BEARINGS ON PLAN BY A.T. McLAREN, O.L.S. DATED MAY 18, 1983 TO CONVERT TO GRID BEARINGS

BEARING NOTE:

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0)

NOTE:

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99968387

SURVEYOR'S REAL PROPERTY REPORT (PART 2)

PART OF LOTS 11 & 12, PLAN 136 AS ILLUSTRATED ON THE PLAN.

THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

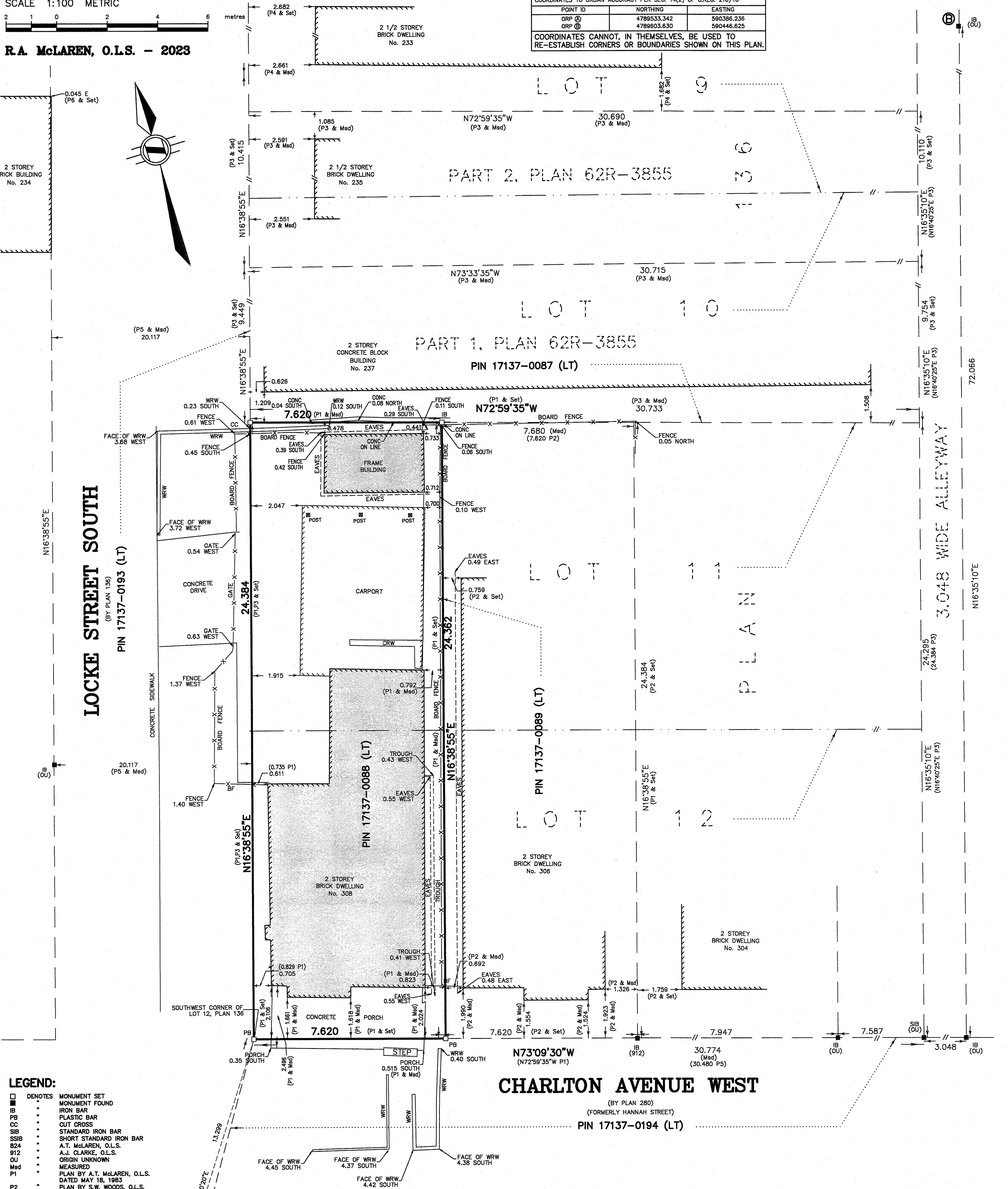
THIS PLAN WAS PREPARED FOR MARISSA CALDWELL

INTEGRATION DATA

OBSERVED REFERENCE POINTS (ORP's): UTM ZONE 17, NAD83 (CSRS) (2010.0). COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
ORP (A)	4789533.342	590386.236
ORP (B)	4789603.630	590446.825

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



- LEGEND:**
- DENOTES MONUMENT SET
 - MONUMENT FOUND
 - IB IRON BAR
 - PB PLASTIC BAR
 - CC CUT CROSS
 - SSB STANDARD IRON BAR
 - SSIB SHORT STANDARD IRON BAR
 - 824 A.T. McLAREN, O.L.S.
 - 912 A.J. CLARKE, O.L.S.
 - OU ORIGIN UNKNOWN
 - Med MEASURED
 - P1 PLAN BY A.T. McLAREN, O.L.S. DATED MAY 18, 1983
 - P2 PLAN BY S.W. WOODS, O.L.S. DATED JULY 27, 1984
 - P3 PLAN 62R-3855
 - P4 PLAN BY G.E. GIDDY, O.L.S. DATED JUNE 29, 1983
 - P5 PLAN 136
 - P6 PLAN BY A.T. McLAREN, O.L.S. DATED NOVEMBER 5, 2019
 - WRW WOOD RETAINING WALL
 - // NOT TO SCALE

METRIC NOTE:
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE:
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 9th DAY OF NOVEMBER, 2023

9 NOV 2023
 DATE

ROB A. McLAREN, O.L.S.

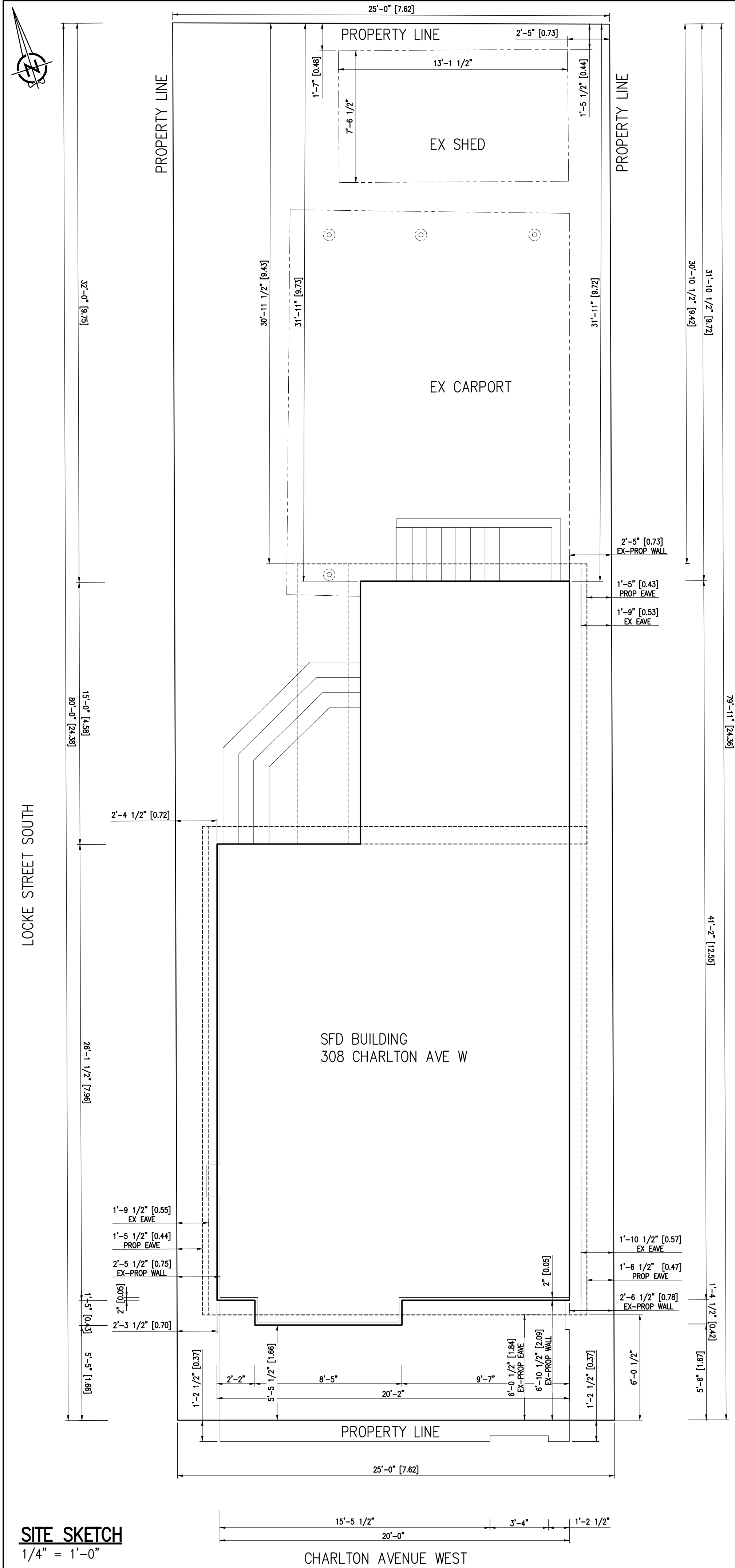
© R.A. McLaren, O.L.S. - 2023. NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF R.A. McLAREN, O.L.S.

A.T. McLaren Limited
 LEGAL AND ENGINEERING SURVEYS

69 JOHN STREET SOUTH, SUITE 230
 HAMILTON, ONTARIO, L8N 2B9
 PHONE (905) 527-8559 FAX (905) 527-0032

Drawn JB	Checked RBM	Crew Chief ZA	Scale 1:100	Dwg.No. 37533
----------	-------------	---------------	-------------	---------------

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER 59060



SITE SKETCH
1/4" = 1'-0"

LEGEND

	EX CMU FOUNDATION WALL & FOOTING TO REMAIN
	EX RUBBLE STONE FOUNDATION WALL TO REMAIN
	EX WINDOWS TO REMAIN
	EX EXTERIOR DOORS TO REMAIN
	EX INTERIOR DOORS TO REMAIN
	EX BASEMENT CONCRETE SLAB ON GRADE TO REMAIN
	EX MAIN FLOOR ASSEMBLY TO REMAIN
	EX MAIN FLOOR ASSEMBLY TO REMAIN

LOADS

BASEMENT DEAD LOAD	1.9 kPa	SLAB ON GRADE	1.9 kPa
BASEMENT LIVE LOAD	1.9 kPa		
MAIN FLOOR DEAD LOAD	1.1 kPa		
MAIN FLOOR LIVE LOAD	1.9 kPa		
2ND FLOOR DEAD LOAD	1.1 kPa		
2ND FLOOR LIVE LOAD EXISTING	1.4 kPa		
2ND FLOOR LIVE LOAD PROPOSED	1.9 kPa		
3RD FLOOR ATTIC EX (UNOCCUPIED)	1.4 kPa		
3RD FLOOR DEAD LOAD	1.0 kPa		
3RD FLOOR LIVE LOAD PROPOSED	1.9 kPa		
ROOF DEAD LOAD	0.8 kPa		
2012 OBC SNOW LOAD	S _s = 1.1 S _r = 0.4		
(HAMILTON, BELOW ESCARPMENT, EAST OF 403)	S = 0.55 * 1.1 + 0.4 = 1.0 kPa		
SOIL BEARING UNDER RUBBLE-STONE FOUNDATION	150 kPa SLS, 225 kPa ULS		

DESIGN DATA

OCCUPANCY CLASS	C (SINGLE FAMILY DWELLING)
BUILDING AREA	66.9 M ²
LOT AREA	185.72 M ²
SHED AREA	9.2 M ²
GROSS FLOOR AREA EXISTING	114.3 M ²
GROSS FLOOR AREA PROPOSED	66.6 M ²
GROSS FLOOR AREA TOTAL	180.9 M ²
BUILDING HEIGHT	9.7 M
AREA OF WORK	116.8 M ²
NUMBER OF STORES EXISTING	2
NUMBER OF STORES PROPOSED	3
BASEMENT LEVELS	1
OCCUPANCY MAX	10
NUMBER OF BEDROOMS	5
FACING NUMBER OF STREETS	2

- NOTES**
- ZONING C56 (05-200)
 - 10.50.3 - REGULATIONS
 - MAXIMUM BUILDING SET-BACK 3.0
 - MINIMUM REAR YARD 7.5M
 - MINIMUM SIDE YARD 7.5M ABUTTING A RESIDENTIAL ZONE
 - FAÇADE HEIGHT: MIN 7.5, MAX 22.0M
 - 10.50.4 - SINGLE DETACHED DWELLINGS LEGALLY EXISTING AT THE DATE OF THE PASSING OF THE BY-LAW (NOVEMBER 8, 2017). THE INCREASE SHALL NOT EXCEED A MAXIMUM OF 10% OF THE GROSS FLOOR AREA OF THE BUILDING EXISTING AT THE DATE OF THE PASSING OF THE BY-LAW.
 - SECTION 4, 4.7, REDUCTION OF YARDS FOR NON-CONFORMING LOTS
 - AT LEAST 10% OF 25FT BUT NOT LESS THAN 0.9M. MINIMUM SIDE YARD 0.9M.
 - AT LEAST 10% OF 80FT BUT NOT LESS THAN 3.0M (PENDING BYLAW 24-051 2024-05-10). MINIMUM REAR YARD 6.09M.
 - SOIL BEARING CAPACITY REPORT BY SOIL-MAT ENGINEERS & CONSULTANTS LTD. - SM 240547-K (JULY 04, 2024).
 - PROPERTY SURVEY BY A.T. MCLAREN LTD - #37533 (NOVEMBER 09, 2023).

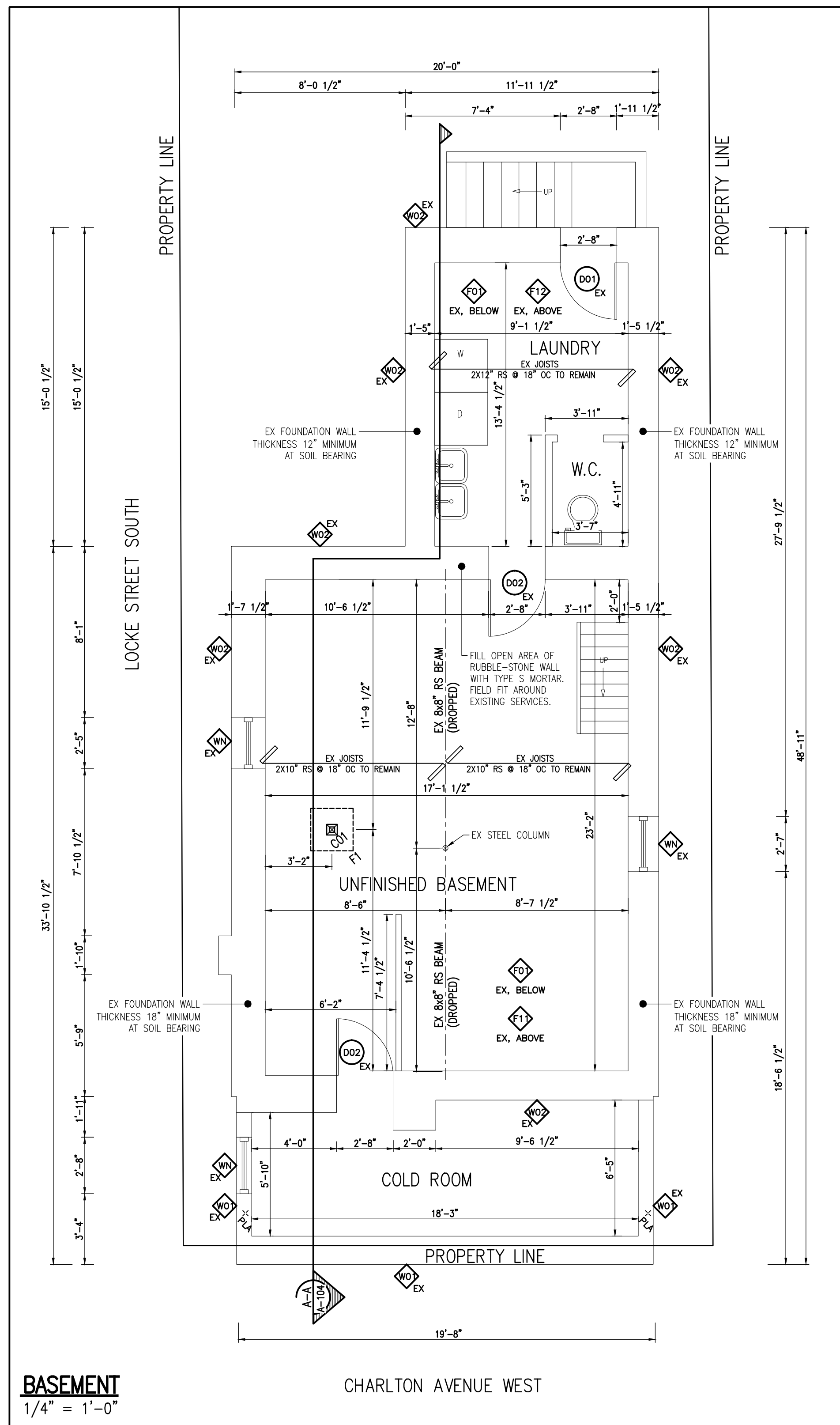
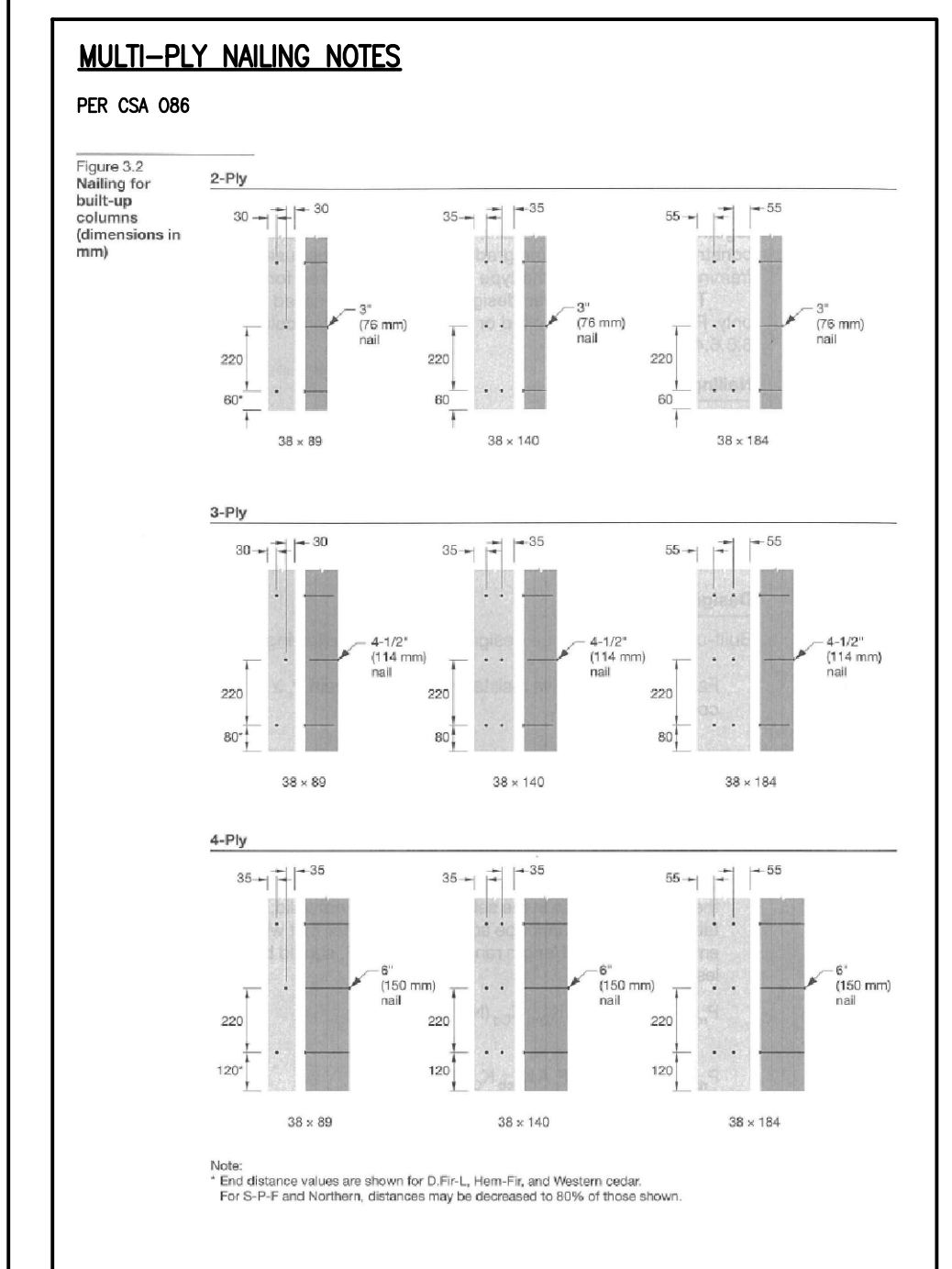
FOOTING LEGEND

F1	PROPOSED FOOTING 24X24" X 10" THICK X3-15M BARS EACH WAY, MIN 3" COVER TO BOTTOM
----	--

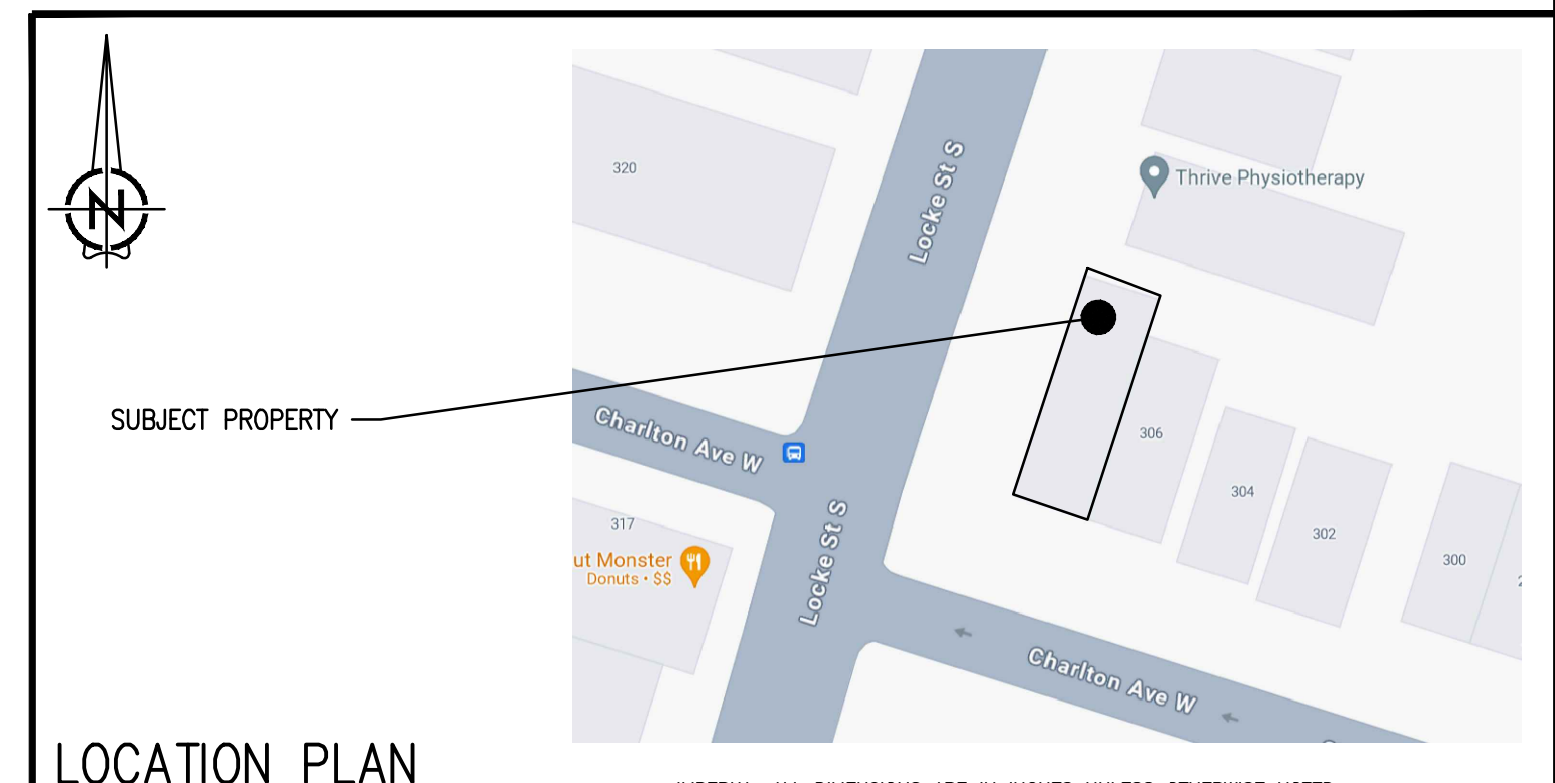
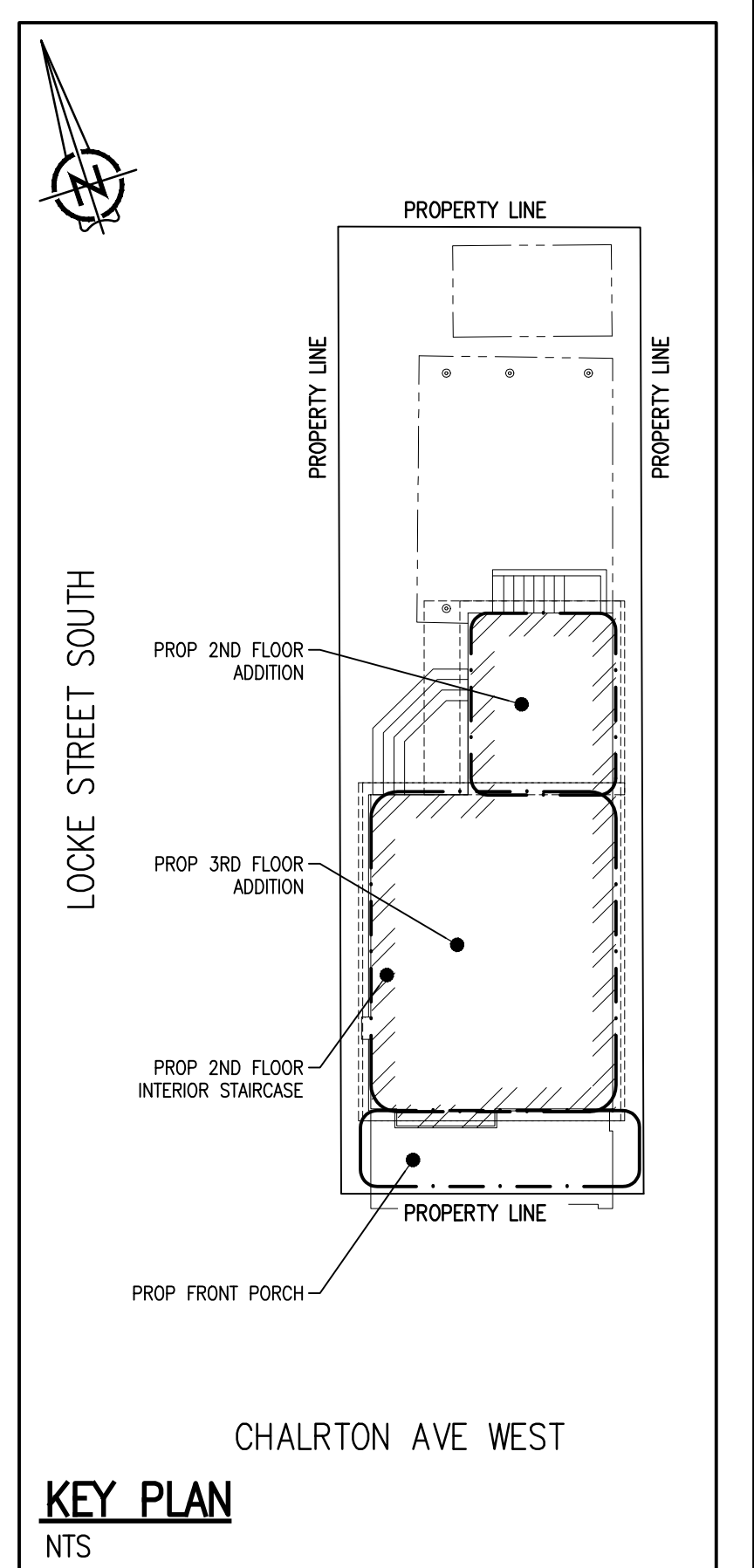
COLUMN LEGEND

C01	PROPOSED COLUMN HSS 3X3 X 0.188" 4#6 @ 8" TOP PLATE, X4-18# BARS, 3.5" LONG INTO C01 X3-X210" (38X235MM) SPF 1-2 ON EACH SIDE OF POST AT F11 6X6 X 3/8" BOTTOM PLATE, X4 #8 ANCHORS TO THE FOOTING PAD
-----	--

- STRUCTURAL NOTES**
- BASE BUILDING STRUCTURAL PER WEEKES ENGINEERING INC, PROJECT #1624.
- STRUCTURAL STEEL**
- ALL STRUCTURAL STEEL PLATES, BEAMS, HSS AND ANGLES PROPOSED SHALL BE GRADE 300W OR BETTER, PER CSA C40.20/21.
 - ALL STEEL SHALL BE PRIME PAINTED MIN 1 MILS THICKNESS. EXTERIOR STEEL SHALL BE PAINTED MIN 2 MILS THICKNESS.
 - ALL WELDS SHALL BE COMPLETED PER CSA W59, BY A FIRM REGISTERED PER CSA 47.1.
 - ALL WELDS TO BE $\frac{3}{8}$ " FILLET, UNLESS OTHERWISE NOTED.
- WOOD**
- ALL WOOD MEMBERS ARE TO BE SPF 1-2, FOR INTERIOR SERVICE UNLESS OTHERWISE NOTED.
 - ALL WOOD MEMBERS ARE SUITABLE FOR THE LOADS STATED, PER CSA O86 LIMIT STATES DESIGN.
 - ALL NAILING SHALL COMPLY WITH OBC 9.23.3. AT MINIMUM, AND AS STATED ON THIS PLAN.
 - ALL SIDE LOADED MEMBERS REQUIRE STAGGERED FASTENERS ON THE SECOND SIDE SO THEY FALL HALFWAY BETWEEN FASTENERS ON THE FIRST SIDE.
 - ALL MULTI-PLY MEMBER SHALL HAVE MULTI-PLY NAILING: X3 ROWS 100 COMMON 3" LG @ 12" OC BOTH SIDES.
 - DIFFERENTIAL SIZED SISTERING OF MEMBERS SHALL BE WITH X2 ROWS OF 100 COMMON 3" LG @ 12" OC, STAGGERED 12" OC EACH ROW.
 - VERTICAL X2 2X4" OR 2X6" SPF MEMBERS ARE TO BE PROVIDED AT WOOD LINTEL END BEARING, U.O.N.
 - ALL ENDS SUPPORTS FOR LINTELS OVER 72", SHALL HAVE X3 PLY END SUPPORT MEMBERS WITH 3" END BEARING.
 - ALL POINT LOADS SHALL HAVE SOLID BLOCKING, FULLY DOWN TO THE FOUNDATION WALL, ALL LOCATIONS.
 - ALL EXTERIOR WOOD MEMBERS TO BE PRESSURE TREATED.
 - HANGERS TO BE SIMPSON STRONG-TIE UNLESS OTHERWISE SPECIFIED.
 - ALL NAILS TO BE 100 COMMON NAILS UNLESS OTHERWISE SPECIFIED.
 - ALL BOLTS TO BE MIN 1" FROM ALL EDGES.
- CONCRETE**
- ALL CONCRETE SHALL BE 25MPA (28 DAY), W/ 20MM AGGREGATE.
 - ALL CONCRETE POURS SHALL BE VIBRATED TO ELIMINATE VOIDS.
 - FORM WORK AND CONCRETE SHALL BE PER CAN/CSA 23.1.
 - REINFORCING BARS SHALL BE PER CAN/CSA G30.18.
 - GRADE 300R BARS FOR STIRRUPS AND TIES, GRADE 400R IN ALL OTHER LOCATIONS.
 - ALL BAR FABRICATION, BENDING AND PLACEMENT SHALL BE PER CAN/CSA 23.3.
 - SPICES SHALL BE 16" FOR 10M BARS, AND 20" FOR 15M BARS.
 - BARS SHALL HAVE MIN 3" CONCRETE COVER.
- MASONRY**
- ALL STEEL LINTELS REQUIRE MIN 6" END BEARING.
 - END BEARING OF LINTELS ON BLOCK-BRICK SHALL HAVE CAVITY FILLING OF THE CMU AND BRICK GAPS AT THE BEARING POINT.
- GENERAL**
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORKS.
 - SHOP SKETCHES / DRAWING WILL BE REQUIRED IN AREAS NOT FULLY EXPOSED. CONTACT THE ENGINEER OF RECORD ONCE A CONCEALED AREA IS EXPOSED.



BASEMENT
1/4" = 1'-0"

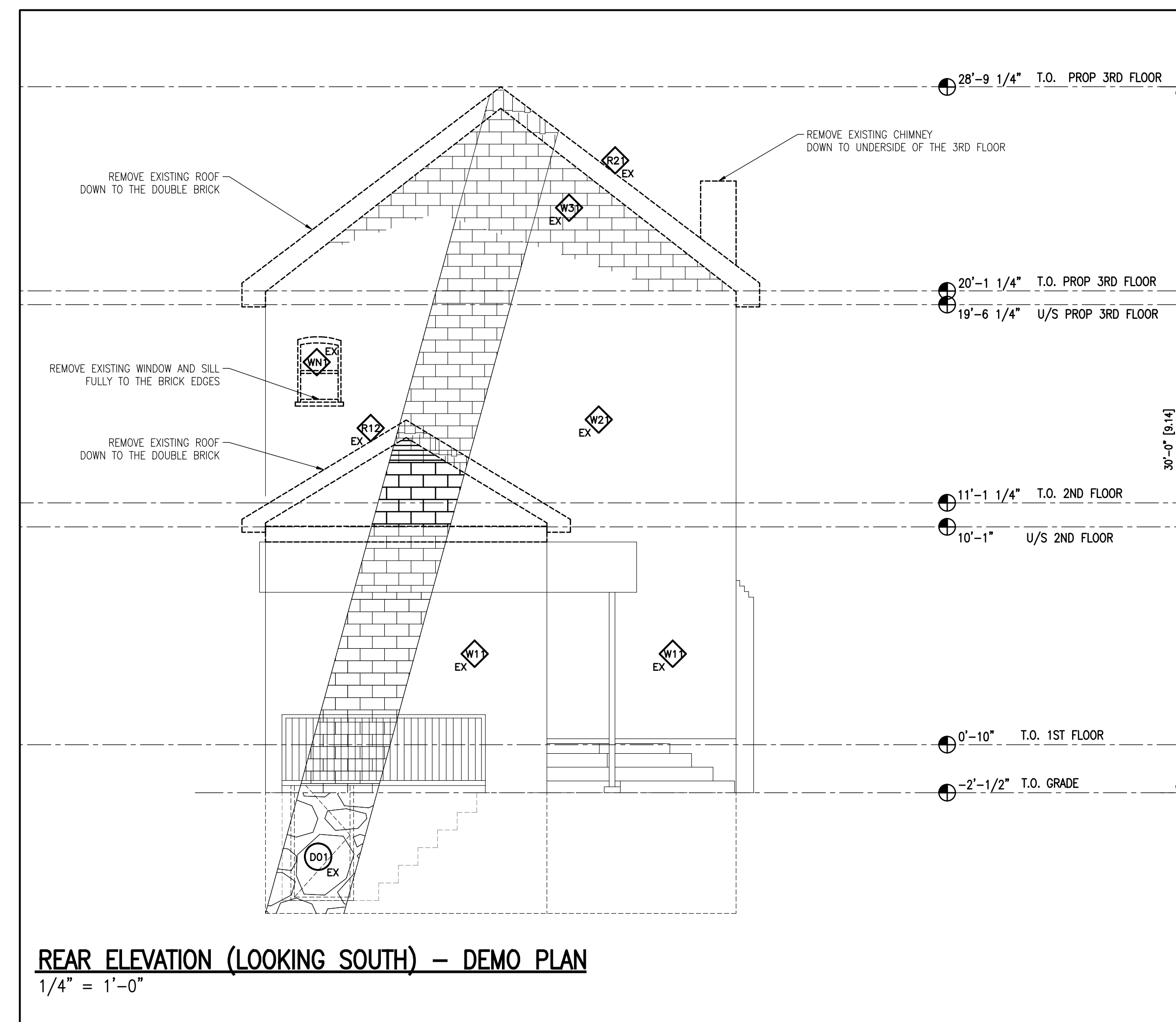
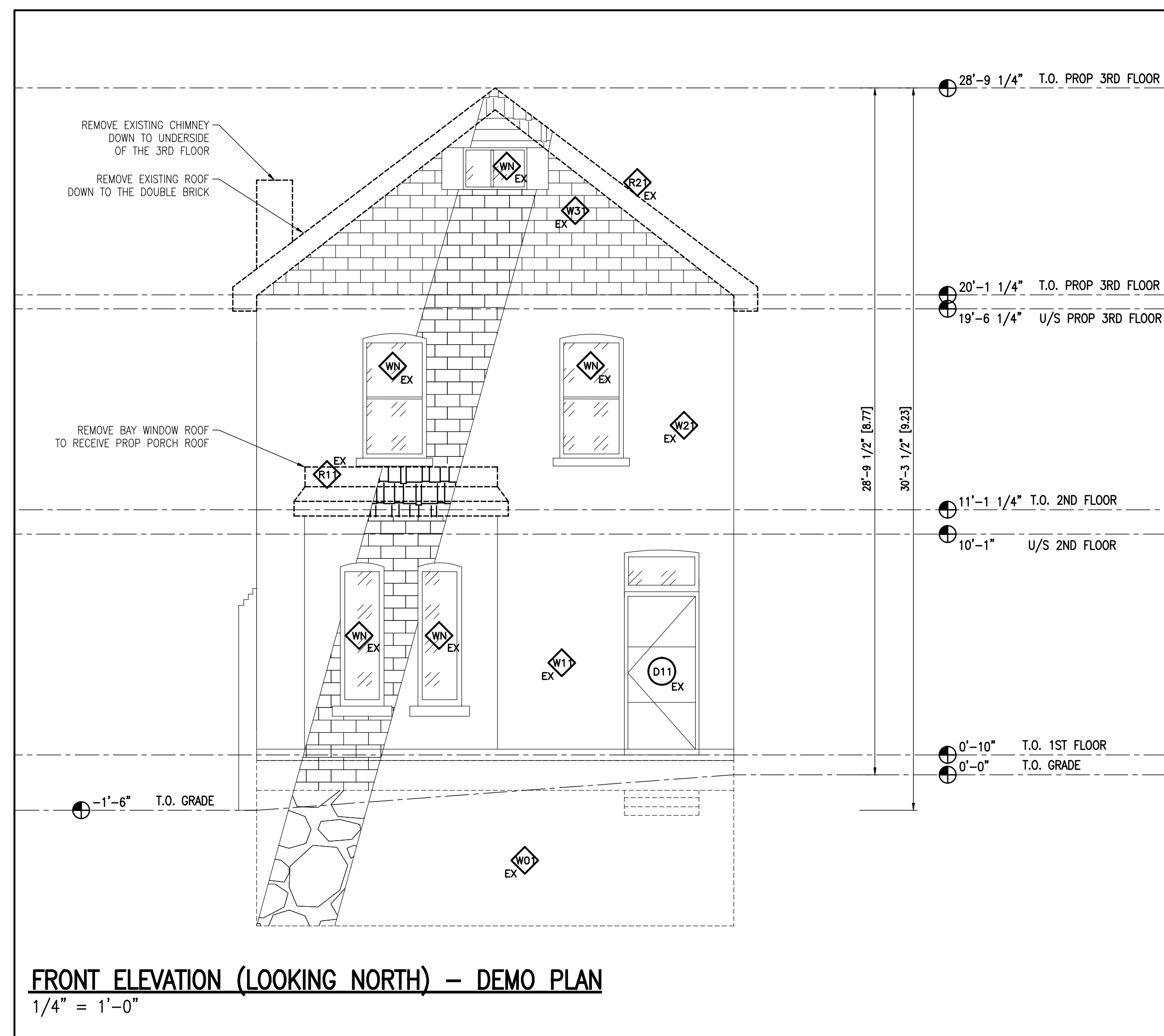
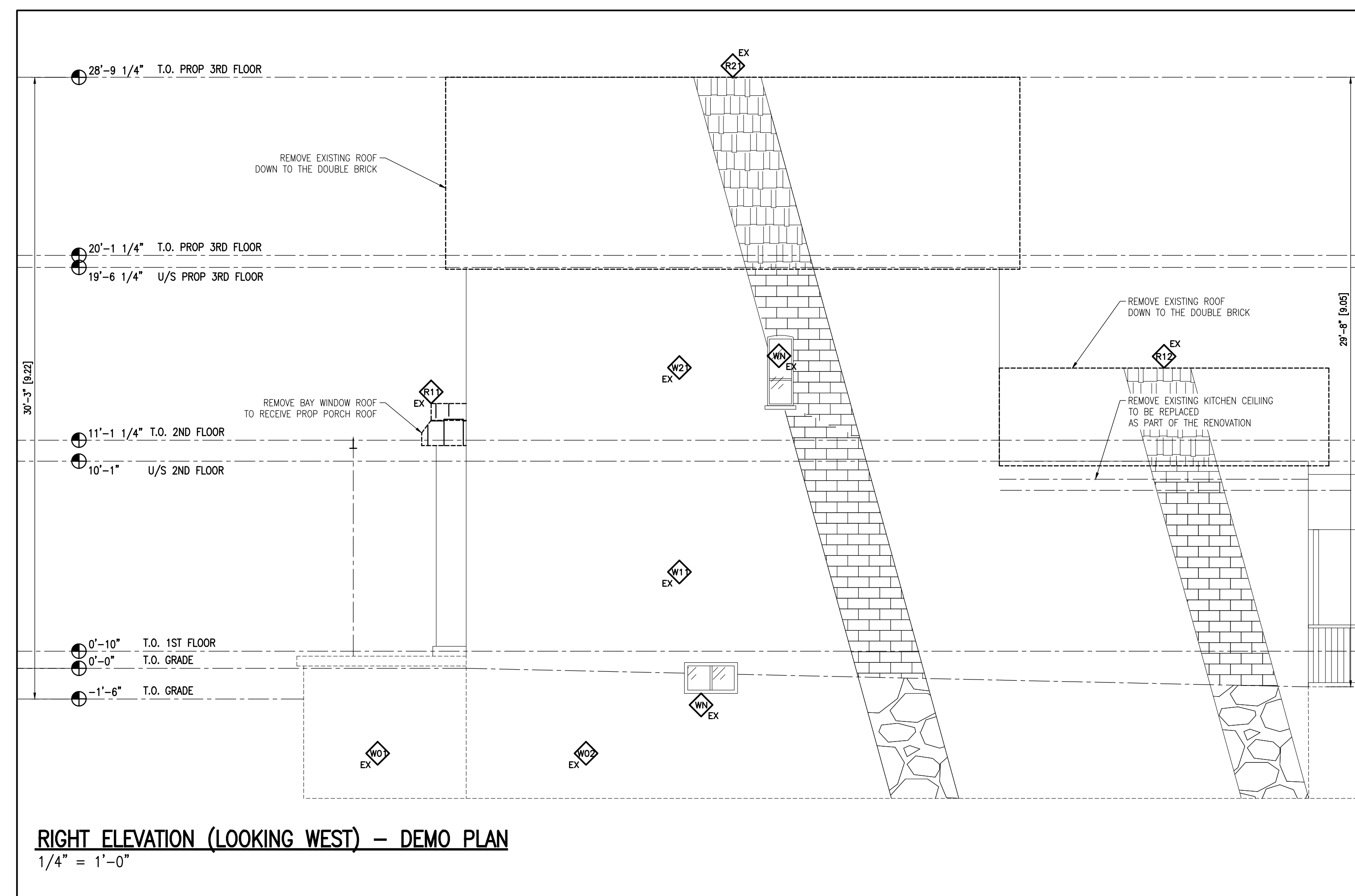
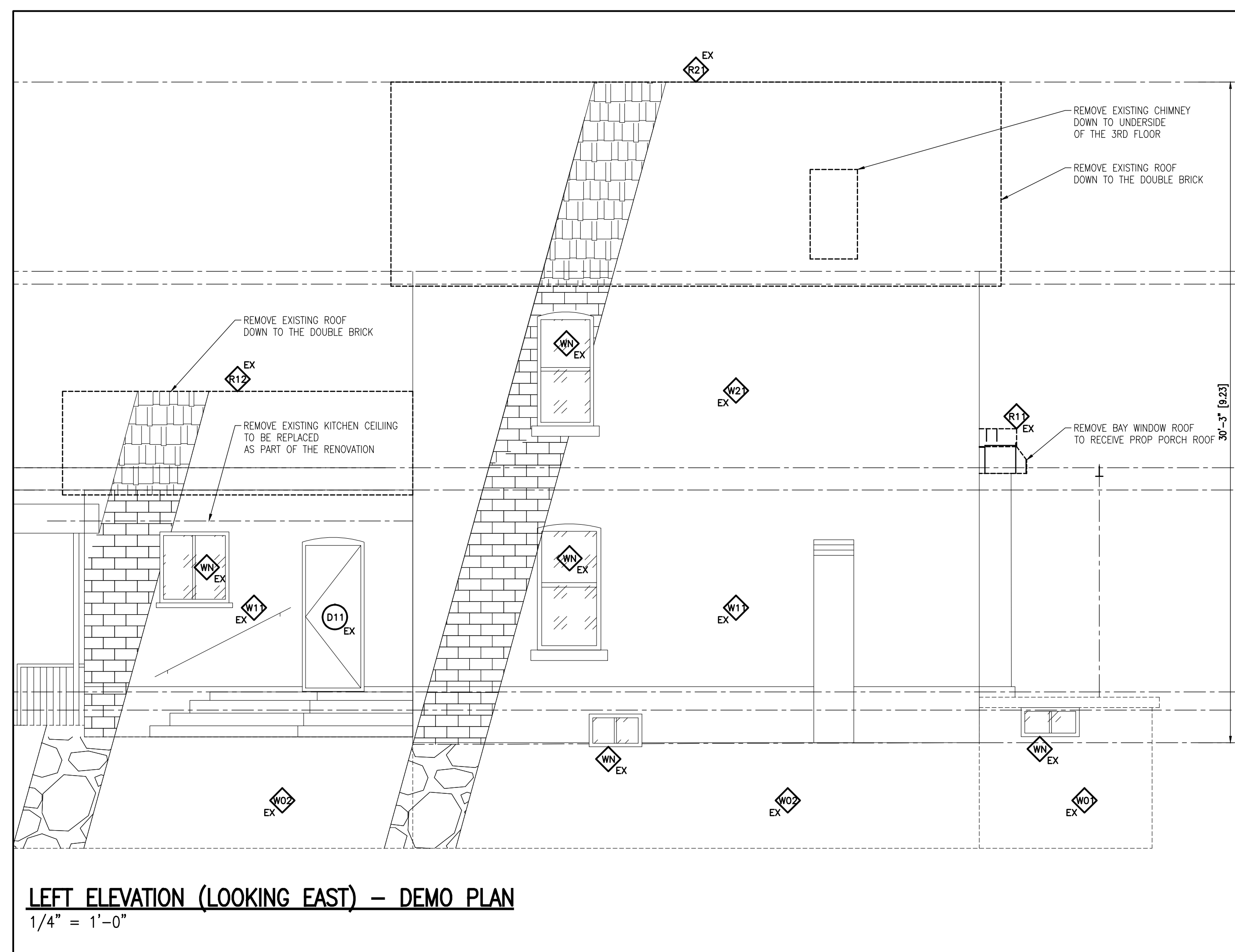


REV	Y-M-D	DESCRIPTION	BY	CHECKED
0	2024-07-30	FOR REVIEW	L MOHANTY	D WEEKES
1	2024-08-26	FOR PERMIT	DG WEEKES	-
2	2024-09-23	FOR PERMIT, REVISED	DG WEEKES	-
3	YYYY-MM-DD	-	-	-

WEEKES ENGINEERING
130 FERGUSON AVE N
HAMILTON ON L8R1L7
905-218-5482
www.WeekesEngineering.com

308 CHARLTON AVE W
HAMILTON, ON L8P 2E5
PROPOSED RENOVATION

W.E. Prj #: 1624 DWG: A-100 SHT: 1 REV: 2



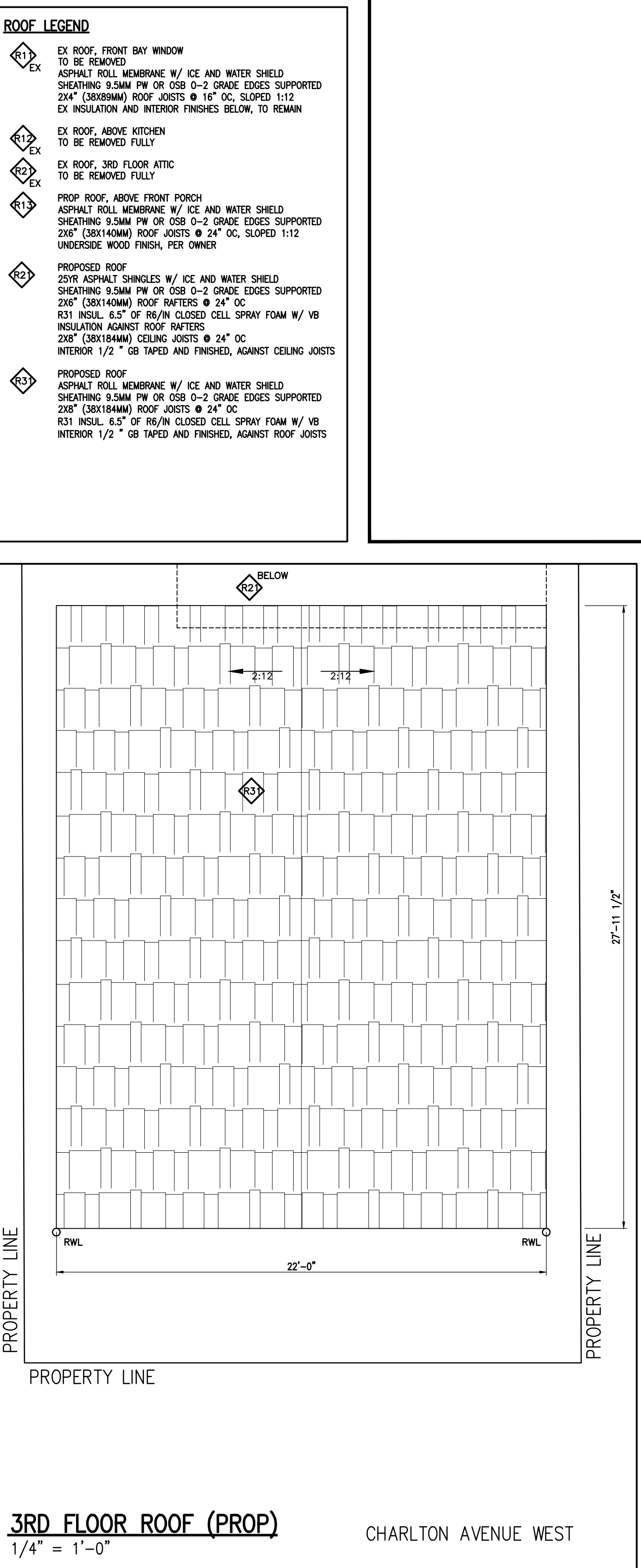
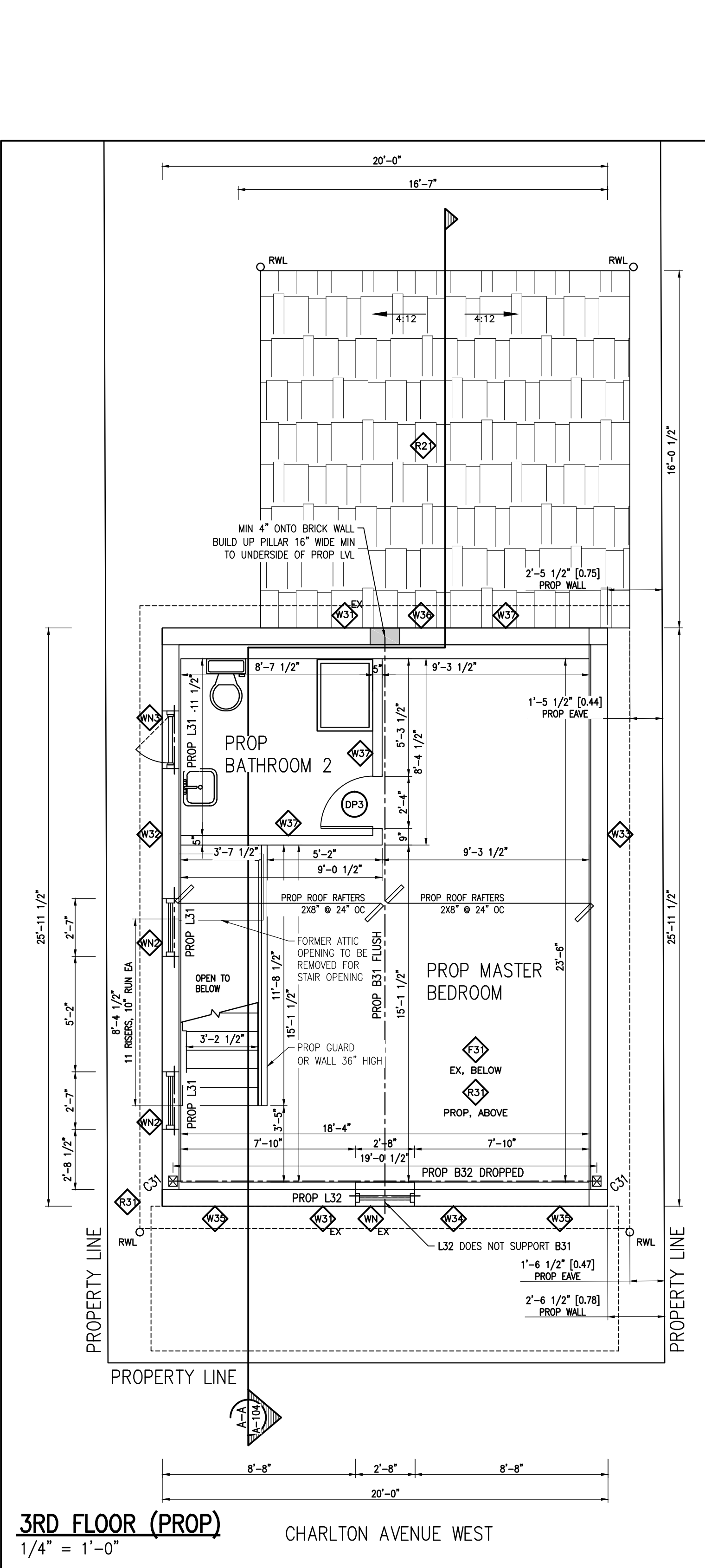
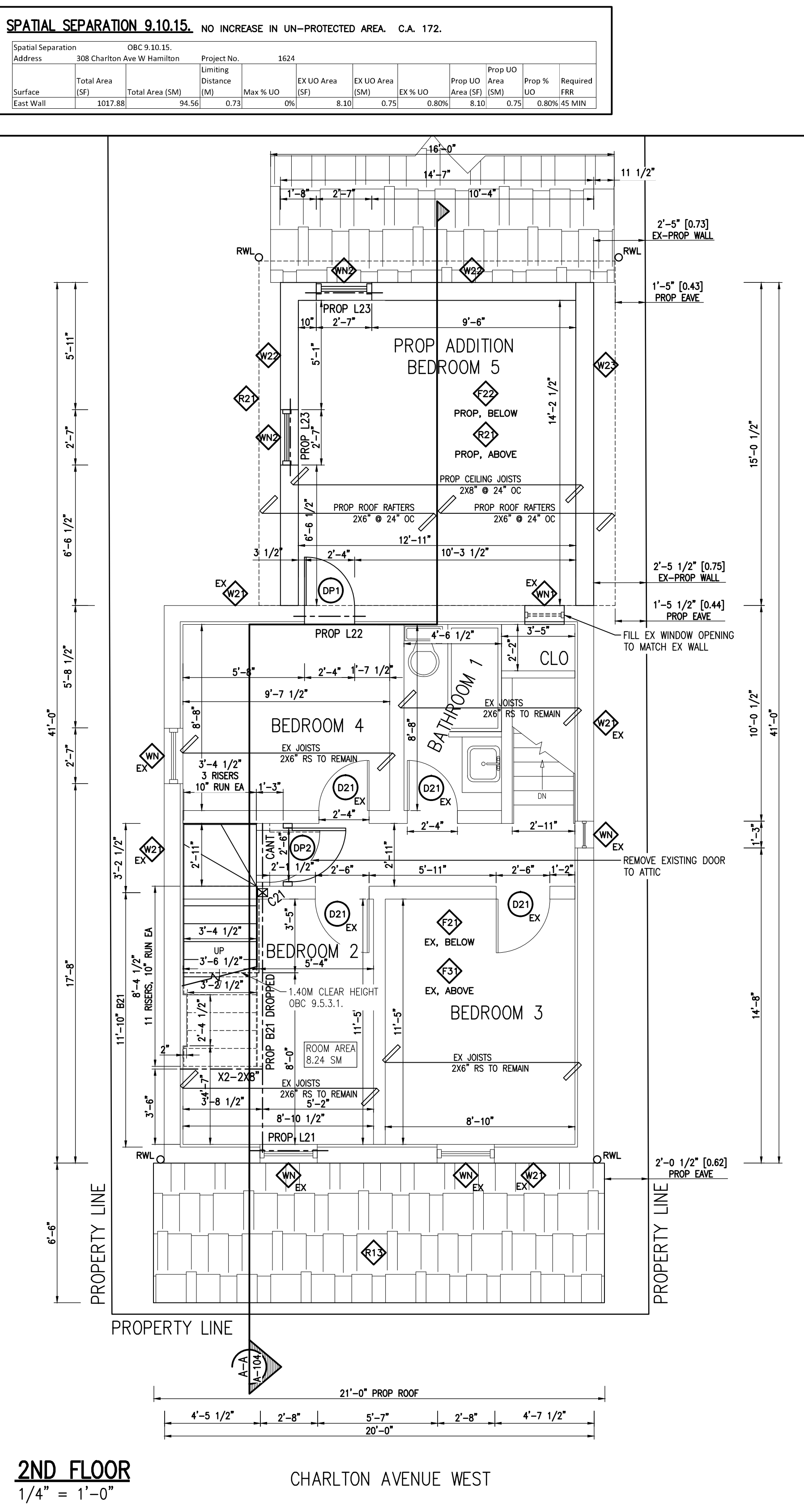
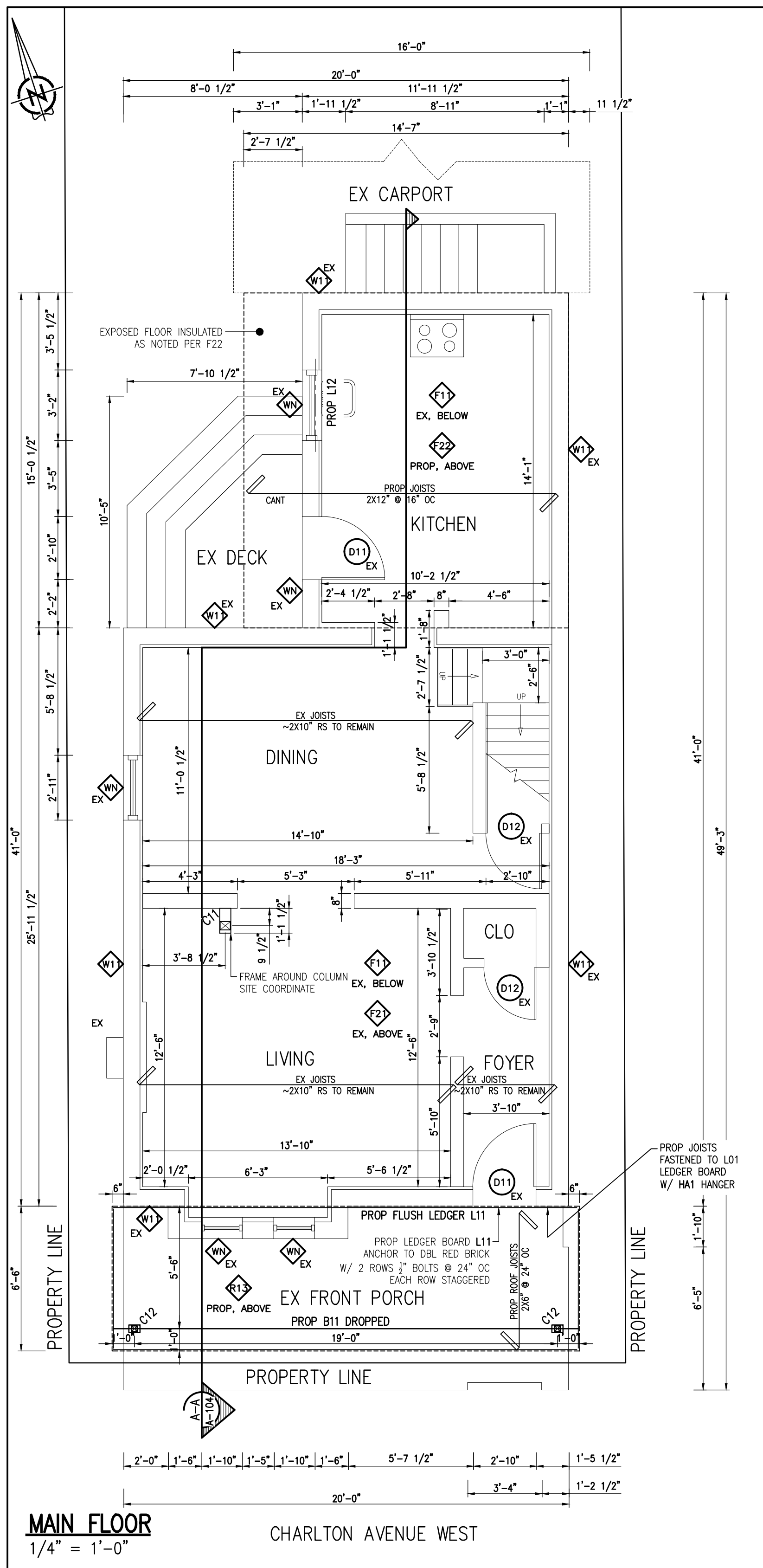
IMPERIAL: ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED

REV	Y-M-D	DESCRIPTION	BY	CHECKED
0	2024-07-30	FOR REVIEW	L MOHANTY	DG WEEKES
1	2024-08-26	FOR PERMIT	DG WEEKES	-
2	2024-09-23	FOR PERMIT, REVISED	DG WEEKES	-
3	YYYY-MM-DD	-	-	-

WEEKES ENGINEERING
130 FERGUSON AVE N
HAMILTON ON L8P1L7
905-218-5482
www.WeekesEngineering.com

308 CHARLTON AVE W
HAMILTON, ON L8P 2E5
DEMO PLAN

W.E. Prj #: 1624 DWG: A-101 SHT: 1 REV: 2



SPATIAL SEPARATION 9.10.15. NO INCREASE IN UN-PROTECTED AREA. C.A. 172.

Surface	Total Area (SF)	Total Area (SM)	Limiting Distance (M)	Max % UD	EX UD Area (SM)	EX UD Area (SF)	EX % UD	Prop UD Area (SM)	Prop UD Area (SF)	Prop % UD	Required FRR
East Wall	1017.88	94.56	0.73	0%	8.10	0.75	0.80%	8.35	0.75	0.80% (5 MIN)	

- ROOF LEGEND**
- EX ROOF, FRONT BAY WINDOW TO BE REMOVED
ASPHALT ROLL MEMBRANE W/ ICE AND WATER SHIELD SHEATHING 9.5MM PW OR OSB 0-2 GRADE EDGES SUPPORTED 2X6" (38X140MM) ROOF JOISTS @ 16" OC, SLOPED 1:12 EX INSULATION AND INTERIOR FINISHES BELOW, TO REMAIN
 - EX ROOF, ABOVE KITCHEN TO BE REMOVED FULLY
 - EX ROOF, 3RD FLOOR ATTIC TO BE REMOVED FULLY
 - PROPOSED ROOF, ABOVE FRONT PORCH
ASPHALT ROLL MEMBRANE W/ ICE AND WATER SHIELD SHEATHING 9.5MM PW OR OSB 0-2 GRADE EDGES SUPPORTED 2X6" (38X140MM) ROOF JOISTS @ 24" OC, SLOPED 1:12 UNDERSIDE WOOD FINISH, PER OWNER
 - PROPOSED ROOF, 2ND FLOOR
25/IR ASPHALT SHINGLES W/ ICE AND WATER SHIELD SHEATHING 9.5MM PW OR OSB 0-2 GRADE EDGES SUPPORTED 2X6" (38X140MM) ROOF RAFTERS @ 24" OC R31 INSUL. 6.5" OF R6/IN CLOSED CELL SPRAY FOAM W/ VB INSULATION AGAINST ROOF RAFTERS 2X8" (38X144MM) CEILING JOISTS @ 24" OC INTERIOR 1/2" GB TAPED AND FINISHED, AGAINST CEILING JOISTS
 - PROPOSED ROOF, 3RD FLOOR
ASPHALT ROLL MEMBRANE W/ ICE AND WATER SHIELD SHEATHING 9.5MM PW OR OSB 0-2 GRADE EDGES SUPPORTED 2X6" (38X140MM) ROOF JOISTS @ 24" OC R31 INSUL. 6.5" OF R6/IN CLOSED CELL SPRAY FOAM W/ VB INSULATION AGAINST ROOF RAFTERS 2X8" (38X144MM) CEILING JOISTS @ 24" OC INTERIOR 1/2" GB TAPED AND FINISHED, AGAINST ROOF JOISTS

- FLOOR LEGEND**
- EX MAIN FLOOR ASSEMBLY TO REMAIN SUBFLOOR AND FINISHED FLOOR ~2X10" @ 16" OC
 - EX MAIN FLOOR ASSEMBLY TO REMAIN SUBFLOOR AND FINISHED FLOOR ~2X12" @ 16" OC
 - EX SECOND FLOOR ASSEMBLY TO REMAIN SUBFLOOR AND FINISHED FLOOR ~2X10" @ 8" OC
 - EX SECOND FLOOR ASSEMBLY TO REMAIN SUBFLOOR AND FINISHED FLOOR ~2X12" @ 16" OC
 - PROPOSED 2ND FLOOR ASSEMBLY 3/4" PLYWOOD OR OSB SUB-FLOOR (T-C), FINISHED FLOORING 2X12" (38X288MM) @ 16" OC R31 INSULATION. 6.5" OF R6/IN CLOSED CELL SPRAY FOAM W/ VB CANTILEVERED EXPOSED PORTION, INSULATION AGAINST SUB-FLOOR SHEATHING 7.5MM PW OR OSB 0-2 GRADE EDGES SUPPORTED AIR BARRIER, SING. INTERIOR PORTION, 1/2" GWB TAPED & FINISHED.
 - EX ATTIC FLOOR ASSEMBLY TO REMAIN, PORTIONS REFINISHED EX SUBFLOOR TO REMAIN. NEW FINISHED FLOORING ~2X6" RS @ 7" OC EX CEILING WOOD LATHE AND PLASTER FINISH PORTIONS OF CEILING PATCHED WITH 1/2" GWB TAPED & FINISHED

- WINDOW AND DOOR LEGEND**
- EX WINDOWS TO REMAIN
 - EX WINDOW TO BE REMOVED
 - PROP WINDOW, CASEMENT 31X51" OVERALL 25X47" (65X1190MM) OPERABLE MAX U-VALUE 0.25, ER 29
 - PROP WINDOW, CASEMENT 31X39" MAX U-VALUE 0.25, ER 29
 - EX DOOR (EXTERIOR) TO REMAIN
 - EX DOOR (INTERIOR) TO REMAIN
 - EX DOOR (INTERIOR) TO REMAIN
 - PROP DOOR, 2ND FLOOR ADDITION BEDROOM 28X80"
 - PROP DOOR, 2ND FLOOR TO MASTER SUITE 30X80"
 - PROP DOOR, 3RD FLOOR BATHROOM 28X80"

- WALL LEGEND**
- EX EXTERIOR WALL TO REMAIN DOUBLE WHYTE RED BRICK, INTERIOR WOOD LATHE W/ AIR GAP AND PLASTER FINISH
 - EX EXTERIOR WALL TO REMAIN DOUBLE WHYTE RED BRICK, INTERIOR WOOD LATHE W/ AIR GAP AND PLASTER FINISH
 - PROPOSED EXTERIOR WALL, 2ND FLOOR ADDITION EXTERIOR SIDING W/ AIR BARRIER EX W31 DOUBLE WHYTE RED BRICK TO REMAIN SHEATHING 7.5MM PW OR OSB 0-2 GRADE EDGES SUPPORTED 2X6" (38X140MM) @ 24" OC W/ 1.5" STRAPPING IN THE INSIDE MIN EFFECTIVE R26.4, 6.5" OF R6/IN CLOSED CELL SPRAY FOAM W/ VB 1/2" GWB TAPED & FINISHED
 - PROPOSED EXTERIOR WALL, 2ND FLOOR ADDITION EX W31 DOUBLE WHYTE RED BRICK TO REMAIN SHEATHING 1/2" DENSGLASS OR 1/2" TYPE X GWB EXTERIOR, FULLY TO ROOF U.S. 2X6" (38X140MM) @ 24" OC, ABOVE W31 DOUBLE BRICK, OUTBOARD OF W33 6.5" OF R6/IN CLOSED CELL SPRAY FOAM WITHIN WALL CAVITY W/ VB 1/2" GWB TAPED & FINISHED APPLIED TO W33 STUDS
 - PROPOSED EXTERIOR WALL, 3RD FLOOR ADDITION EX W31 DOUBLE WHYTE RED BRICK TO REMAIN SHEATHING 7.5MM PW OR OSB 0-2 GRADE EDGES SUPPORTED 2X6" (38X140MM) @ 24" OC, FULL HEIGHT, SET 1" OFF THE BRICK 1" CONTINUOUS AGAINST THE BRICK AND 5" OF R6/IN CLOSED CELL SPRAY FOAM BETWEEN THE STUDS W/ VB 1/2" GWB TAPED & FINISHED
 - EX EXTERIOR WALL TO REMAIN, 3RD FLOOR DOUBLE WHYTE RED BRICK, INTERIOR FINISHES REMOVED INSULATION AND FINISHES PER OTHER WALLS ON THE SCHEDULE
 - PROPOSED EXTERIOR WALL, 3RD FLOOR ADDITION EXTERIOR SIDING W/ AIR BARRIER SHEATHING 7.5MM PW OR OSB 0-2 GRADE EDGES SUPPORTED 2X6" (38X140MM) @ 24" OC W/ 1.5" STRAPPING IN THE INSIDE MIN EFFECTIVE R26.4, 6.5" OF R6/IN CLOSED CELL SPRAY FOAM W/ VB 1/2" GWB TAPED & FINISHED APPLIED TO W36 STUDS

- FRAMING NOTES**
- B11 PROP BEAM DROPPED (PORCH) W6 X 12
 - B21 PROP BEAM DROPPED (FRAMING STAIRS ON 2ND FLOOR) X2-1.75X7.25" LVL 2.0E ONE END CANTILEVER PER PLAN FRONT END TO BRICK FACE, H42
 - B31 PROP RIDGE BEAM FLUSH X3-1.75X14" LVL 2.0E REAR BEARING ON THE DOUBLE WHYTE RED BRICK WALL W31 FRONT BEARING ON THE DROPPED BEAM B32
 - B32 PROP BEAM DROPPED X3-1.75X14" LVL 2.0E MIN 3.5" END BEARING TO C31
 - H41 PROPOSED HANGER, FACE LUS26, EXTERIOR SERVICE X4 100 X 3" LG TO HEADER X4 100 X 3" LG TO JOIST
 - H42 PROPOSED HANGER, FACE LUS410, INTERIOR SERVICE X6-3/16" X 1.5" MASONRY SCREWS TO BRICK HEADER X4 160 X 3.5" LG TO JOIST
 - L11 PROPOSED LEDGER, FLUSH 2X6" (38X144MM)
 - L21 PROP STEEL LINTEL L4X3.5" X 1/2" LVL (LONG LEG VERT) INNER BRICK WYTHE
 - L12, L22 PROP STEEL LINTEL L6X3.5" X 1/2" LVL (LONG LEG HORIZ) SUPPORTING TWO WYTHES
 - L23 PROP LINTEL, X2-2X6" (38X140MM)
 - L31 PROP LINTEL, X2-2X6" (38X140MM)
 - L32 PROP LINTEL, X2-2X4" (38X89MM)
 - C12 PROPOSED COLUMN (DECORATIVE SHROUD PER OWNER) HSS 3X3 X 0.25" 4X4" X 1/2" TOP FL, WELD 1/2" FILET X2-3" LG 2 SIDES 4X4" X 1/2" BIM FL, WELD 1/2" FILET ALL RND FASTEN BASE PLATE TO SLAB W/ X4 1/2" ANCHORS.
 - C11, C21 PROP COLUMN X3-2X6" (38X140MM) MULTI-PLY NAILING BLOCKING ALL ROUND AT EACH FLOOR LEVEL TOP OF C21 LUS24 BEAM X8-100 X 3" LG POST X8-100 X 3" LG
 - C31 PROP COLUMN X3-2X6" (38X140MM) MULTI-PLY NAILING BEARING DIRECTLY ONTO THE DOUBLE BRICK

ROOM AREAS AND DAYLIGHTING

ROOM AREAS NOT CONSIDERING CLOSET

Location	Total Glass Area (SM)	Floor Area (SM)	Min Glass Area Req'd (SM)
Master Bedroom (5%)	1.64	28.78	1.44
Bedroom 5 (5%)	1.30	17.05	0.85

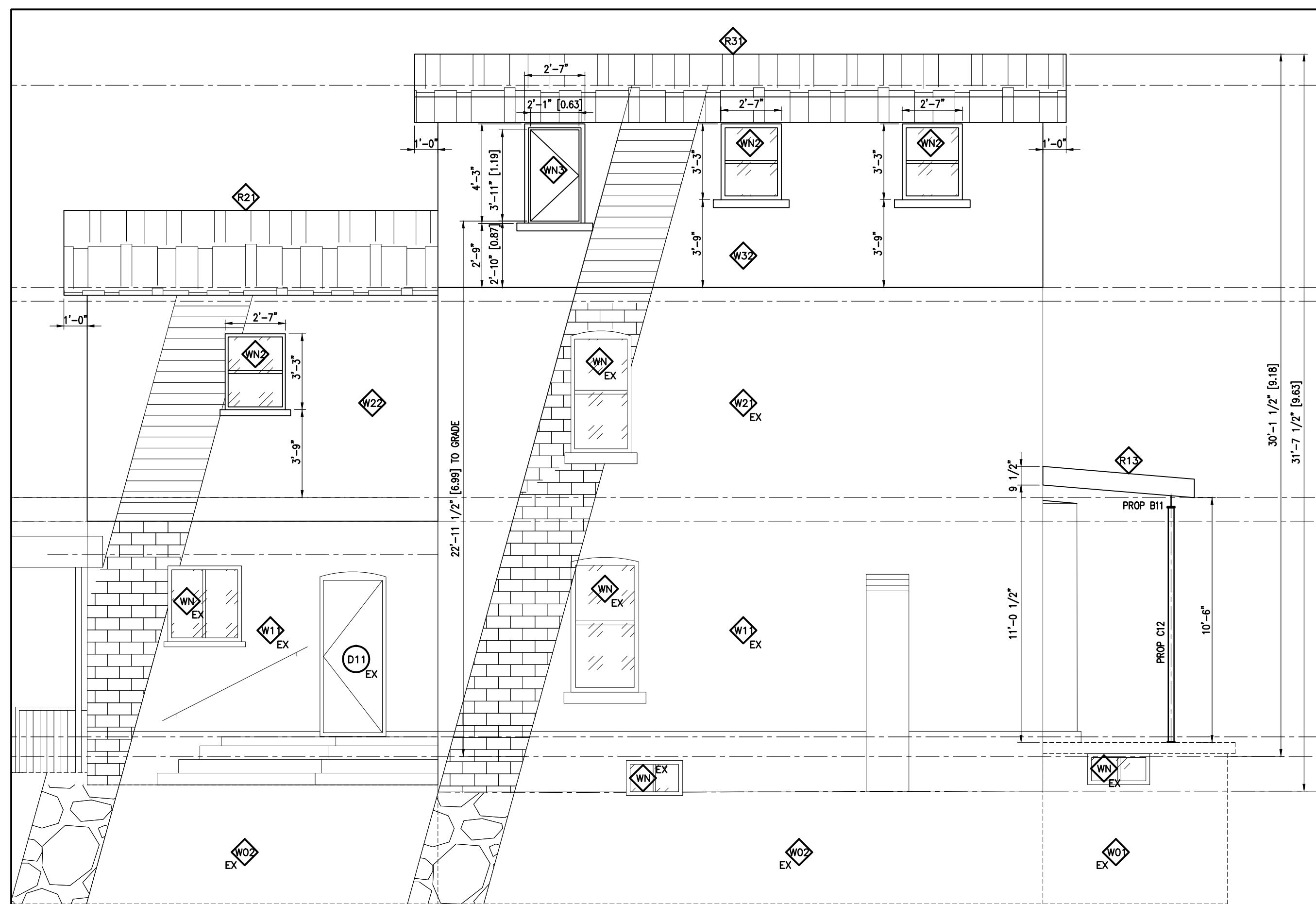
IMPERIAL: ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED

REV	Y-M-D	DESCRIPTION	BY	CHECKED
0	2024-07-30	FOR REVIEW	L MOHANTY	DG WEEKES
1	2024-08-26	FOR PERMIT	DG WEEKES	-
2	2024-09-23	FOR PERMIT, REVISED	DG WEEKES	-
3	YYYY-MM-DD	-	-	-

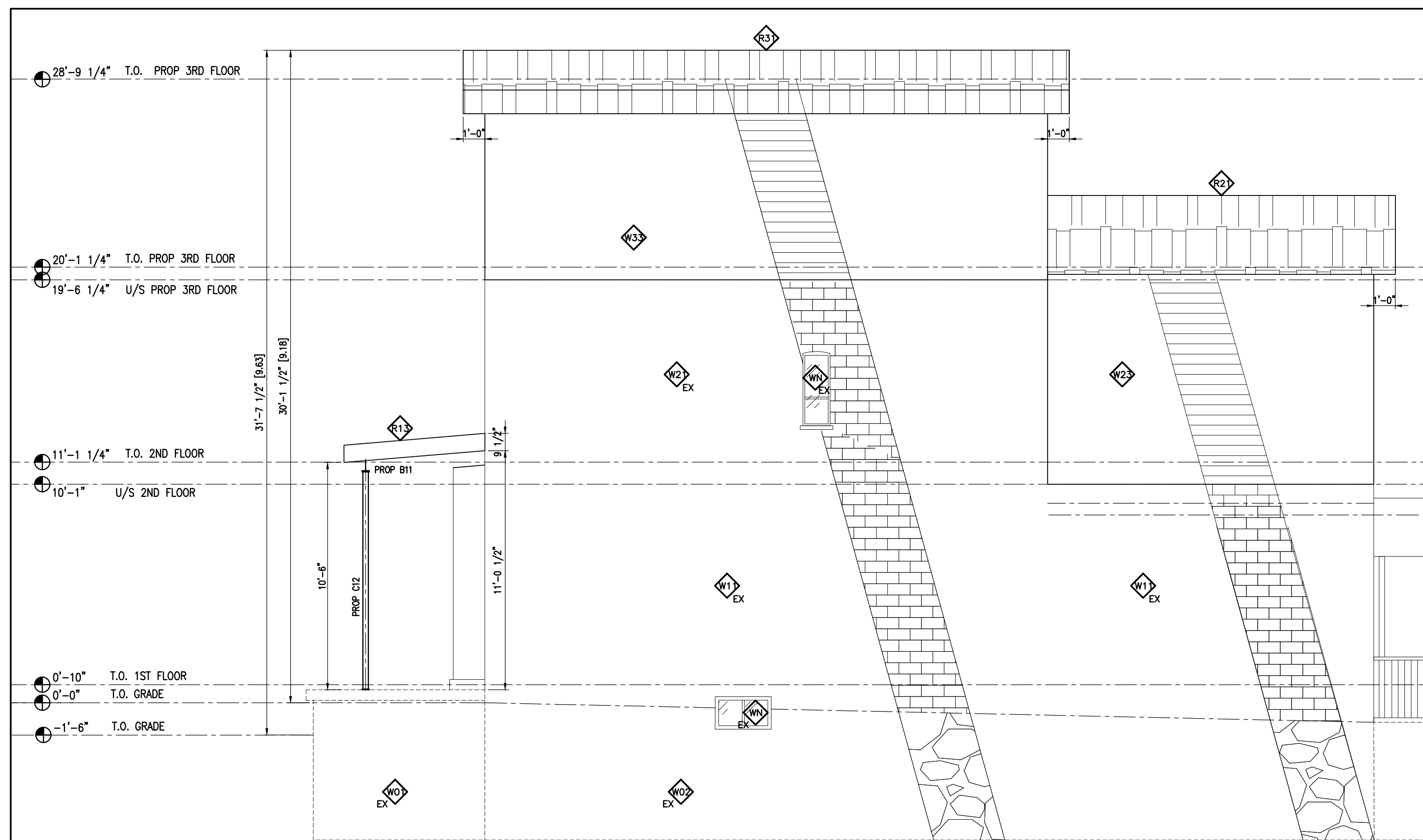
WEEKES ENGINEERING
130 FERGUSON AVE N
HAMILTON, ON L8P 2E5
905-218-5482
www.WeekesEngineering.com

308 CHARLTON AVE W
HAMILTON, ON L8P 2E5
PROPOSED RENOVATION - PLAN VIEWS

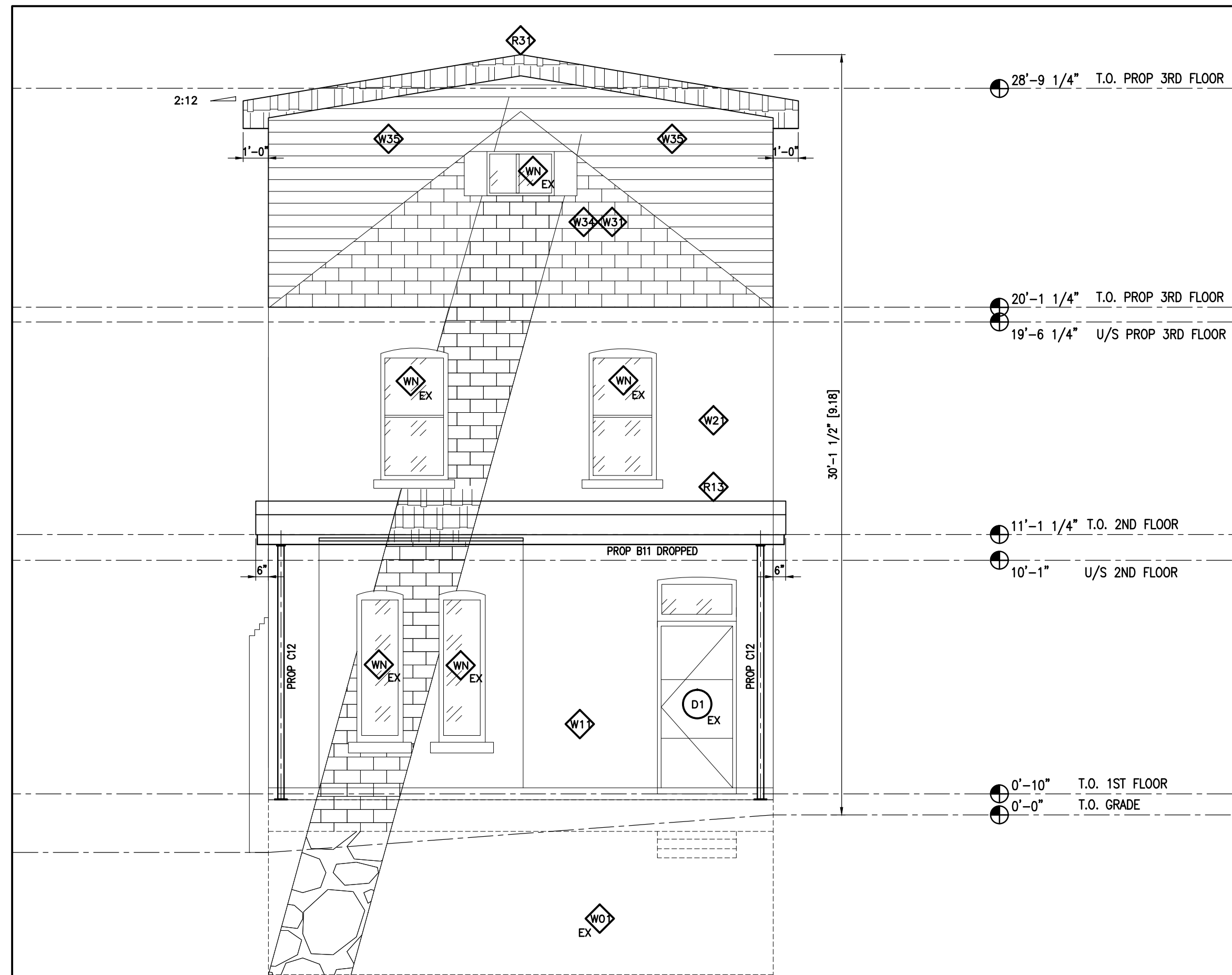
W.E. Prj #: 1624 DWG: A-102 SHT: 1 REV: 2



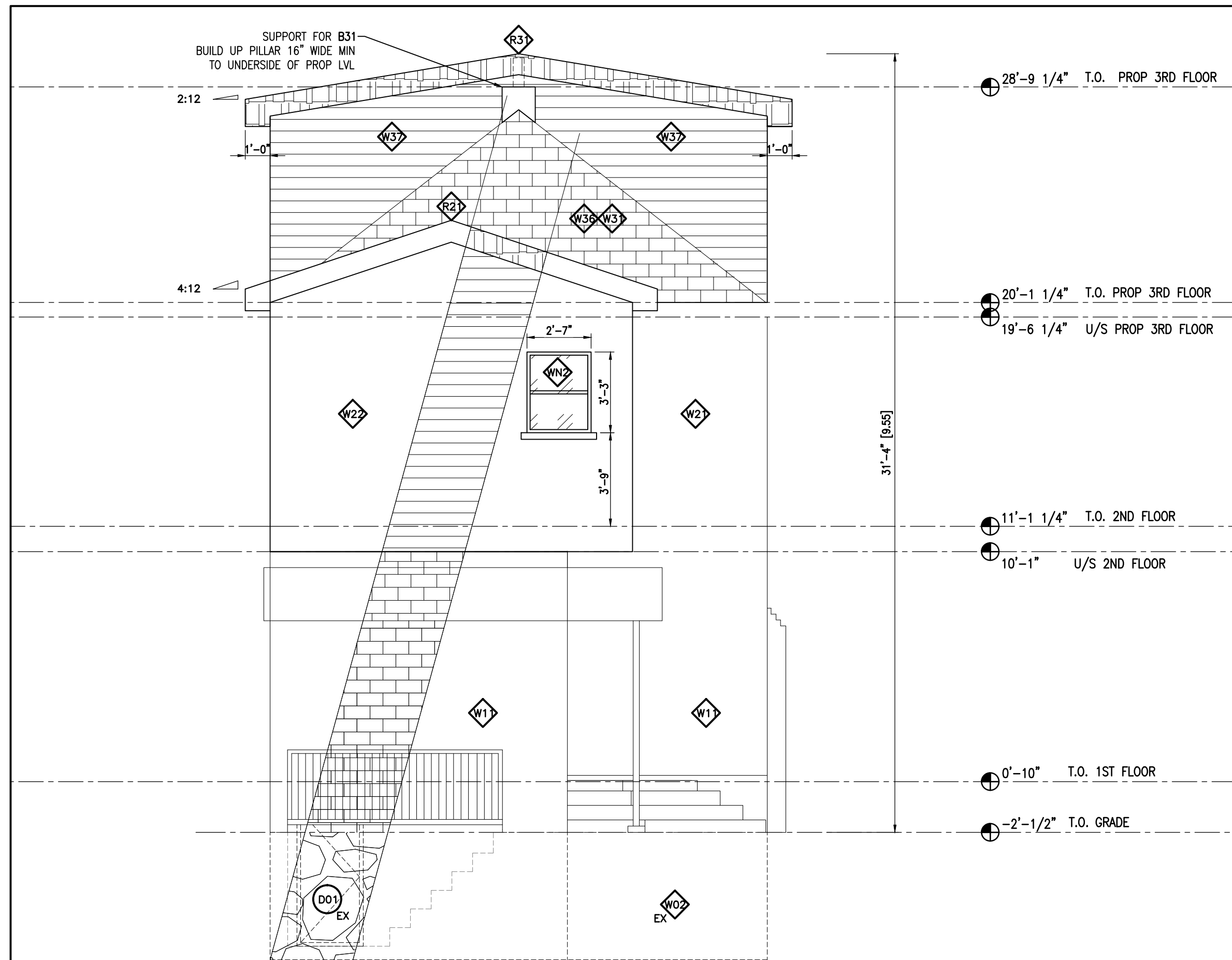
LEFT ELEVATION (LOOKING EAST)
1/4" = 1'-0"



RIGHT ELEVATION (LOOKING WEST)
1/4" = 1'-0"



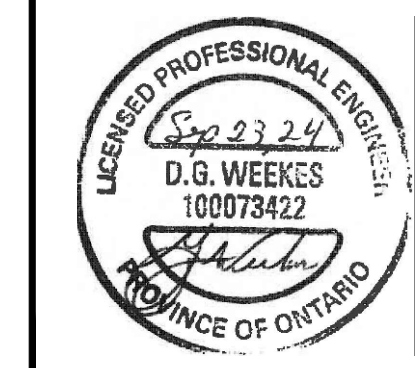
FRONT ELEVATION (LOOKING NORTH)
1/4" = 1'-0"



REAR ELEVATION (LOOKING SOUTH)
1/4" = 1'-0"

IMPERIAL: ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED

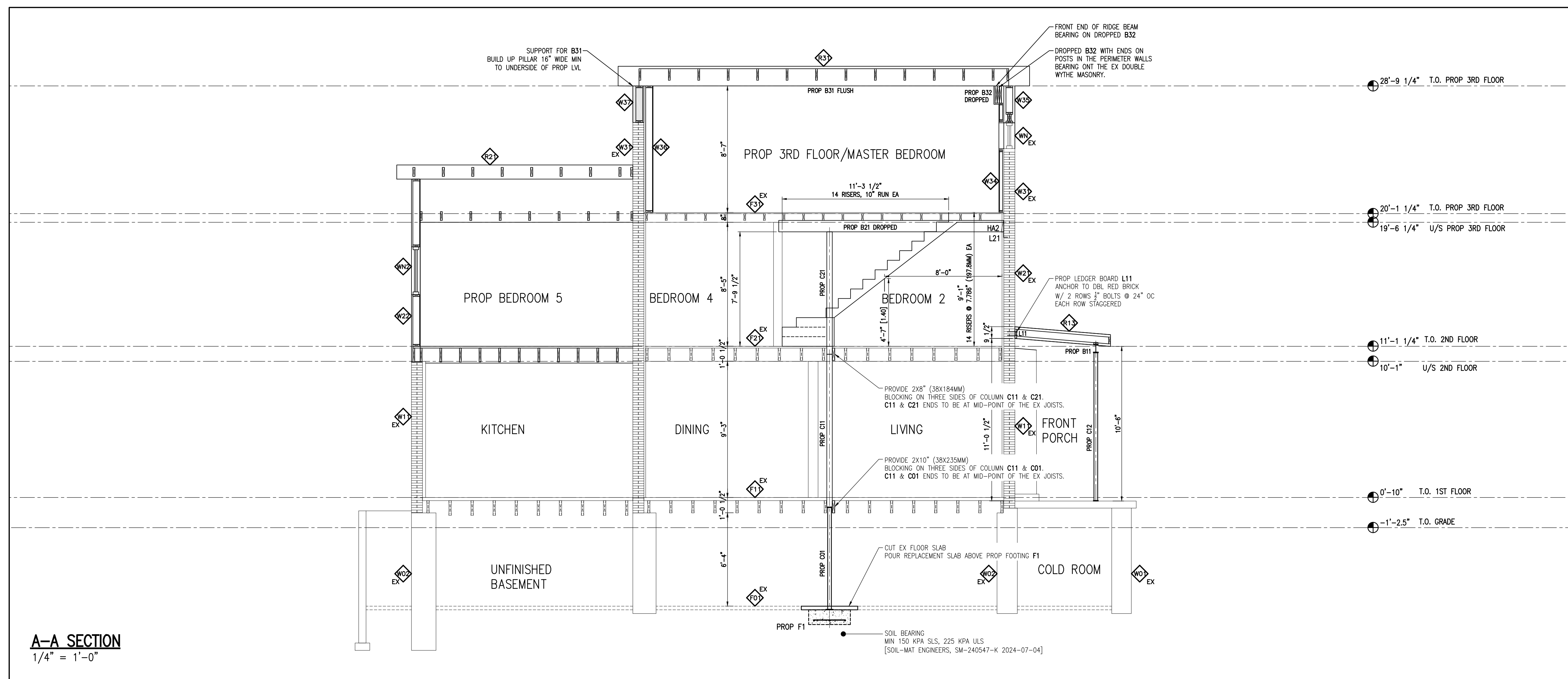
REV	Y-M-D	DESCRIPTION	BY	CHECKED
0	2024-07-30	FOR REVIEW	L MOHANTY	DG WEEKES
1	2024-08-26	FOR PERMIT	DG WEEKES	-
2	2024-09-23	FOR PERMIT, REVISED	DG WEEKES	-
3	YYYY-MM-DD	-	-	-



WEEKES ENGINEERING
130 FERGUSON AVE. N.
HAMILTON ON L8P 1L7
905-218-5482
www.WeekesEngineering.com

308 CHARLTON AVE W
HAMILTON, ON L8P 2E5
PROPOSED RENOVATION - ELEVATIONS

W.E. Prj #: 1624 DWG: A-103 SHT: 1 REV: 2



A-A SECTION
1/4" = 1'-0"

IMPERIAL: ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED

REV	Y-M-D	DESCRIPTION	BY	CHECKED
0	2024-07-30	FOR REVIEW	L MOHANTY	DG WEEKES
1	2024-08-26	FOR PERMIT	DG WEEKES	-
2	2024-09-23	FOR PERMIT, REVISED	DG WEEKES	-
3	YYYY-MM-DD	-	-	-



WEEKES ENGINEERING
130 FERGUSON AVE. N.
HAMILTON ON L8P1L7
905-218-5482
www.WeekesEngineering.com

308 CHARLTON AVE W
HAMILTON, ON L8P 2E5
PROPOSED RENOVATION - SECTION

W.E. Prj #: 1624 DWG: A-104 SHT: 1 REV: 2



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

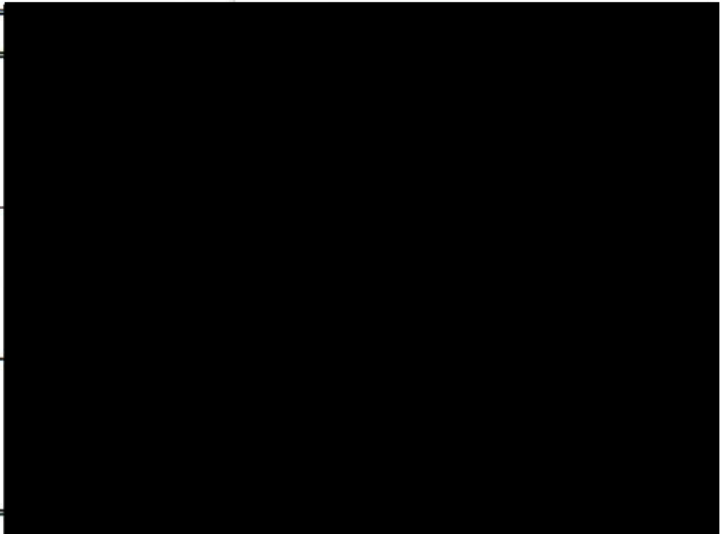
Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

Table with 2 columns: Category (Registered Owners(s), Applicant(s), Agent or Solicitor) and Name (Marissa Caldwell, Donald Gregory Weekes Weekes Engineering Inc)



1.2 Primary contact

- Applicant, Owner, Agent/Solicitor

1.3 Sign should be sent to

- Applicant, Owner, Agent/Solicitor

1.4 Request for digital copy of sign

- Yes*, No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

- Yes*, No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

- In person, Cheque, Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	308 Charlton Ave W Hamilton ON L8P2E5		
Assessment Roll Number	251801009353890		
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number	136	Lot(s)	11 & 12
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

10.5a.4.i) Increase in area greater than 10% of the Gross Floor area of the building existing at the date of the passing of the by-law.

Existing gross floor area: 114.3 SM, Proposed gross floor area 68.6 SM, for a total of 182.9 SM

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The third floor area alone, is much greater than the 10% value.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
7.62m	24.362m	185.72 sm	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
BRICK DWELLING	1.66m	9.72m	0.73m East Wall	01/01/1920
CARPORT	14.34m	3.28m	0.70m East	07/27/1983
FRAME BUILDING	21.58m	0.44m	2.91m West, 0.71m East	07/27/1983

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
BRICK DWELLING	1.66m	9.72m	0.73m East Wall	01/01/1920
CARPORT	14.34m	3.28m	0.70m East	07/27/1983
FRAME BUILDING	21.58m	0.44m	2.91m West, 0.71m East	07/27/1983

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
BRICK DWELLING	66.9 sm	11.43 sm	2	9.23m
CARPORT	31.6 sm	31.6 sm	1	3.3m
FRAME BUILDING	9.2 sm	9.2 sm	1	2.7m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
BRICK DWELLING	66.9 sm	182.9 sm	3	9.63m
CARPORT	31.6 sm	31.6 sm	1	3.3m
FRAME BUILDING	9.2 sm	9.2 sm	1	2.7m

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)
-

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)
-

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Single Family Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Residential

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
2020-10-22

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
SFD

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Since Inception

7.4 Length of time the existing uses of the subject property have continued:
Since Inception

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Mixed Use - Medium Density

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? C5a 05-200

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: C5a 05-200

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

See attached survey and building permit plans.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-