



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-24:236</b>	<b>SUBJECT PROPERTY:</b>	7 Catalina Drive, Hamilton
<b>ZONE:</b>	DE-3 (Multiple Dwellings)	<b>ZONING BY-LAW:</b>	Zoning By-law former City of Hamilton 6593, as Amended 10-744

**APPLICANTS:**      Owner: 2779663 Ontario Inc.  
                                 Agent: Ken Bekendam

The following variances are requested:

1. A gross floor area greater than the area within the district of the lot on which it is situate, multiplied by the floor area ratio factor of 1.18 shall be permitted instead of the multiplying factor of 0.90.
2. The boundary of every parking area and loading space on a lot containing five or more parking spaces shall be not less than 0.0 metres from the adjoining residential district boundary instead of the required 1.5 metre setback.
3. 0.65 spaces per Class A dwelling unit for a Multiple Dwelling shall be permitted instead of the required 1.25 spaces per Class A dwelling unit.
4. A minimum of 0.11 visitor spaces per Class A dwelling unit for a Multiple Dwelling shall be permitted instead of the required 0.25 spaces per Class A dwelling unit.
5. A minimum required maneuvering space of 3.73 metres shall be provided for parking spaces with a parking angle of 45° instead of the required maneuvering space of 4.5 metres.

**PURPOSE & EFFECT:**      To facilitate the construction of an addition to an existing Multiple Dwelling.

**Notes:**

1. Please be advised no elevations were provided. Proposed existing condition for building height. If conformity cannot be achieved, additional variances may be required.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Tuesday, November 26, 2024</b>
<b>TIME:</b>	<b>1:45 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

## **PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon November 22, 2024

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon November 25, 2024

## **FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:236, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



SITE INFORMATION & STATISTICS	
ADDRESS:	7 CATALINA DR   HAMILTON, ON
ZONING TYPE:	DE-3
LOT AREA:	26,127.24 ft <sup>2</sup> 2427.30 m <sup>2</sup>
LOT FRONTAGE:	101' - 2" (30.84 m)

SITE STATISTICS			
SITE STATISTICS: PARKING		REQUIRED	PROPOSED
TOTAL PARKING	2.7m x 6.0m	47	28
STANDARD	2.7m x 6.0m	37	24
LOADING SPACE:	3.70m x 18m	1	0
VISITOR/PARALLEL:	2.7m x 6.0m	10	4

	REQUIRED	PROPOSED
LOT WIDTH	21m	30.84m
LOT AREA	630m <sup>2</sup>	2427.30m <sup>2</sup>
LANDSCAPED AREA	606.48m <sup>2</sup>	497.38 m <sup>2</sup>

	EXISTING	PROPOSED
FLOOR AREA RATIO (0.9)	2696.72 m <sup>2</sup>	2853.71 m <sup>2</sup>
	1.11 RATIO	1.18 RATIO

GENERAL NOTES:

- ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
- ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
- ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
- CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
- READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
- ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
- ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION, AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
- PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
- CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
- REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR
- DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

EXISTING STRUCTURE NOTE:

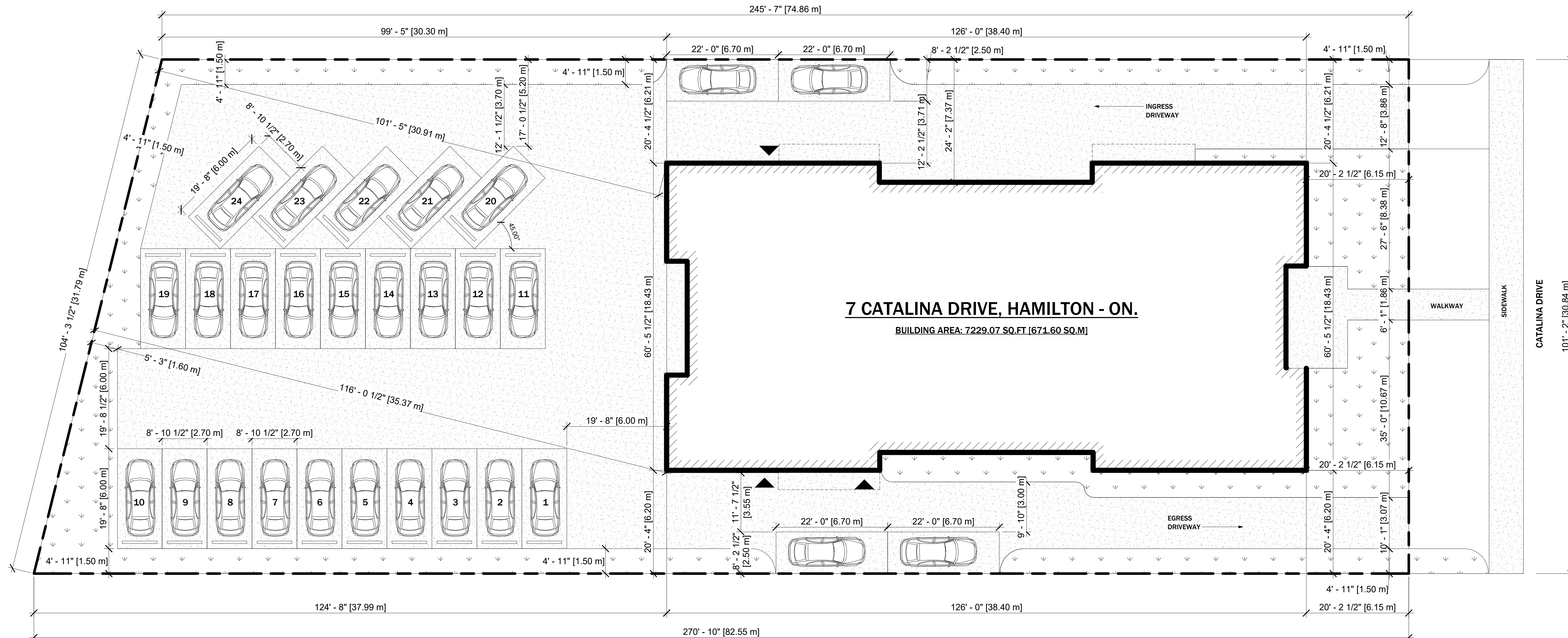
OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK, OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

BUILDING CODE COMPLIANCE NOTE:

THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

SITE PLAN:

BASED ON HAMILTON SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES.



**7 CATALINA DRIVE, HAMILTON - ON.**

BUILDING AREA: 7229.07 SQ.FT [671.60 SQ.M]



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T. CELL PHONE: 905-961-0647  
kenbekendam@gmail.com

OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON OFFICE PHONE: 855-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION  
Name: KING HOMES INC. 121307  
Signature: BCIN

GENERAL NOTES:  
1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"  
2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.  
4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

5. USE LATEST REVISED DRAWINGS.  
6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.  
7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)

8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.  
9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:  
7 CATALINA DR. | HAMILTON, ON | L8G 2M4

SHEET NAME:  
SITE PLAN

PROJECT NO.: 24-14 DATE: 08/02/2024

SCALE: 1" = 10'-0" REVISION:

DRAWN BY: GABRIELE MENDES REVIEWED BY: KEN BEKENDAM

SHEET NO.

**SP1.01**

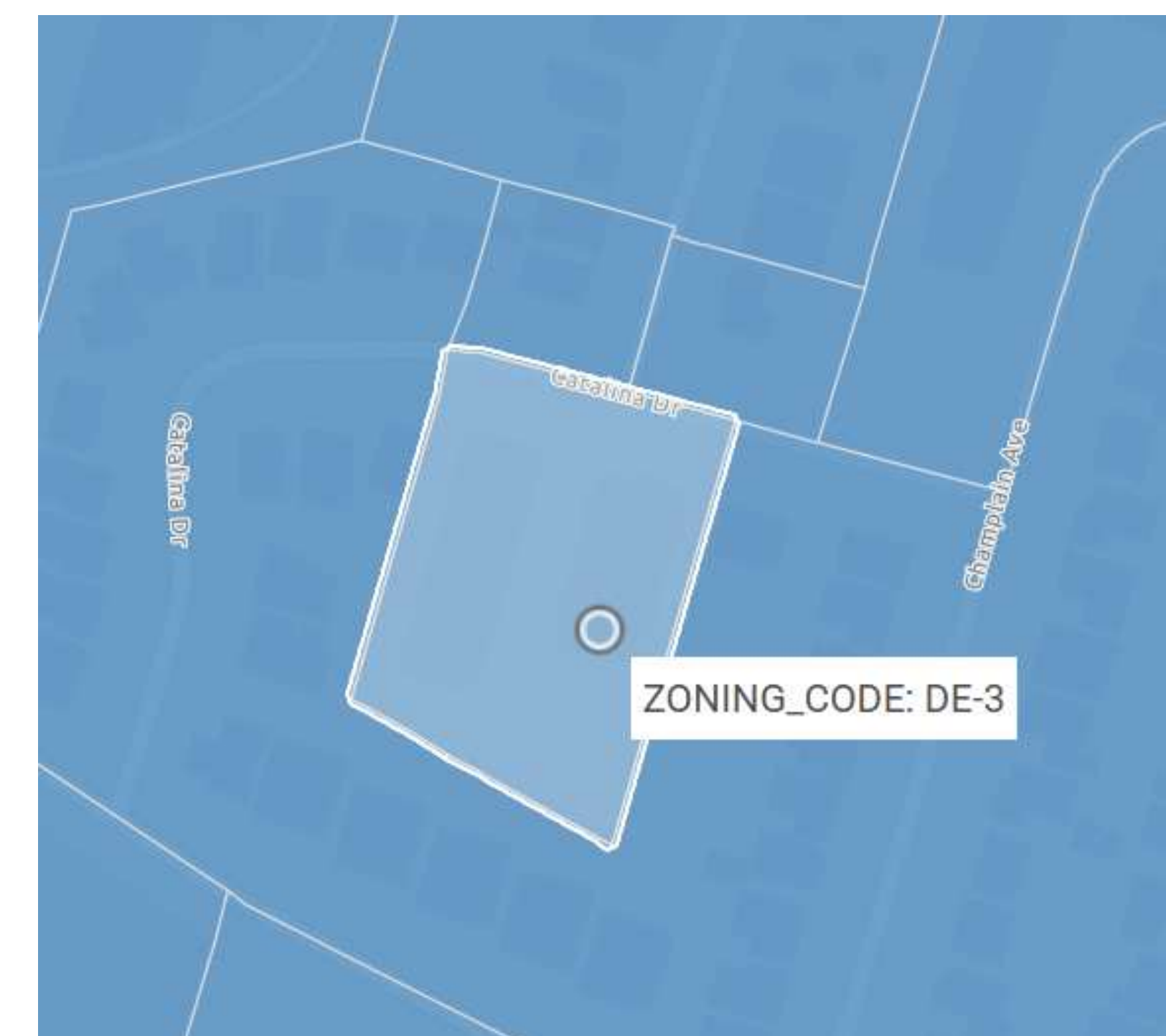
# 7 CATALINA DR - HAMILTON, ON.



**BUILDING PERSPECTIVE**



**AERIAL MAP**



**ZONING MAP**

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T.  
CELL PHONE: 905-961-0647  
kenbekendam@gmail.com

OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON  
OFFICE PHONE: 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 2.17.5.1 of the building code

Signature: BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307  
Name: BCIN

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

7 CATALINA DR. I HAMILTON, ON | LBG 2M4

SHEET NAME:

TITLE PAGE

PROJECT NO.	DATE
24-14	08/02/2024

SCALE: REVISION:

DRAWN BY:	REVIEWED BY:
GABRIELE MENDES	KEN BEKENDAM

SHEET NO.

**A0.01**



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.  
LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T.  
CELL PHONE: 905-961-0647  
kenbekendam@gmail.com  
OFFICE ADDRESS: 879 MAIN ST. E. HAMILTON, ON  
OFFICE PHONE: 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION  
Name: Ken Bekendam  
Signature: [Signature]  
BCIN: [BCIN]  
REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.5.1 of the building code  
KING HOMES INC. 121307  
Name: [Name] BCIN: [BCIN]

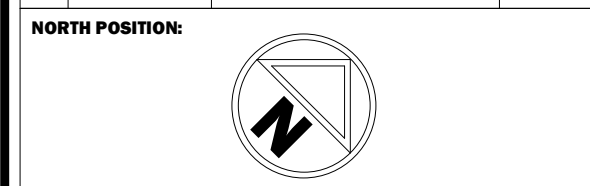
GENERAL NOTES:  
1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"  
2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.  
4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

5. USE LATEST REVISED DRAWINGS.  
6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.  
7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)

8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.  
9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:  
7 CATALINA DR. I HAMILTON, ON | L8G 2M4

SHEET NAME:  
EXISTING BASEMENT

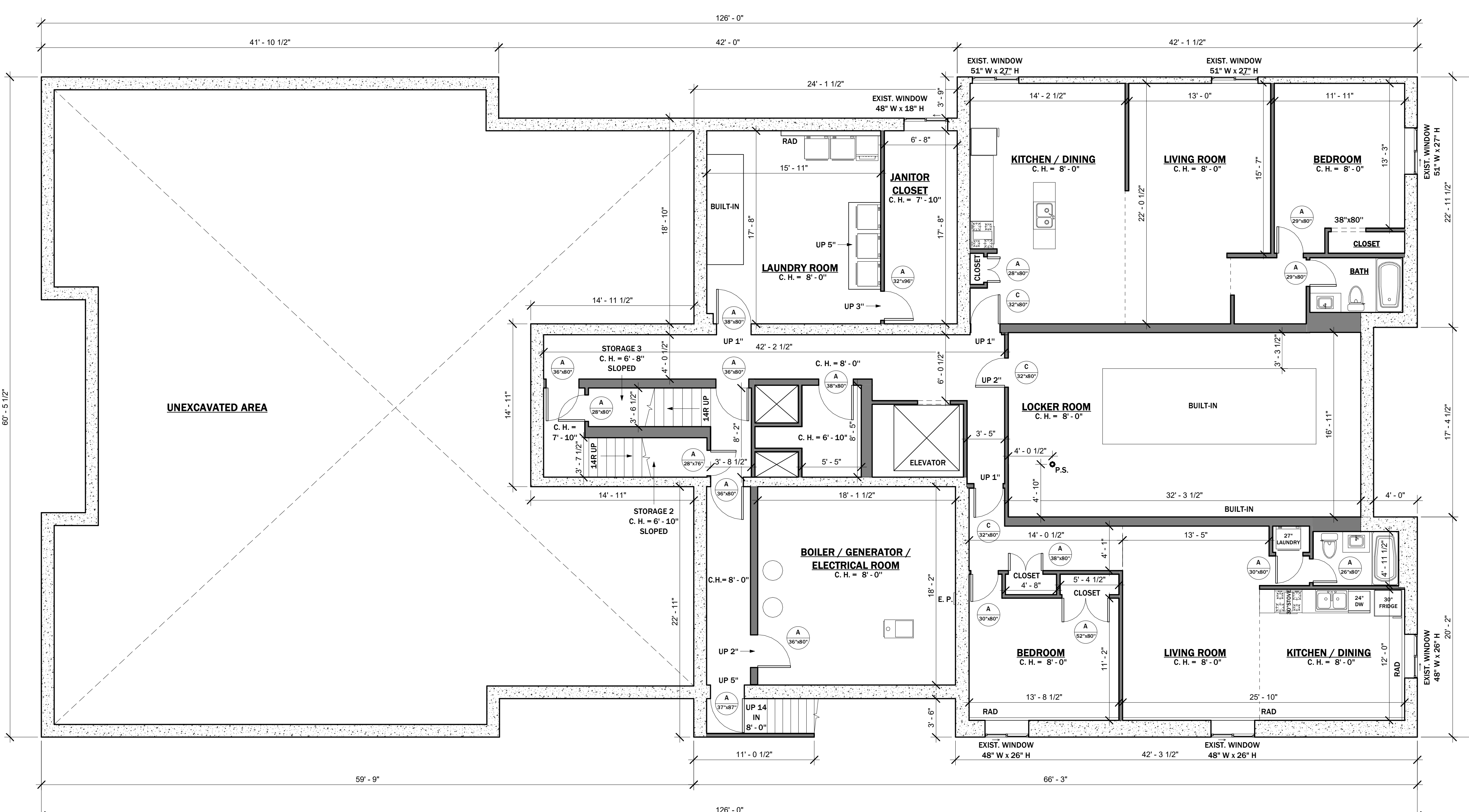
PROJECT NO. 24-54 DATE 08/02/2024

SCALE: 3/16" = 1'-0" REVISION:

DRAWN BY: GABRIELE MENDES / DANILO MARTINELLI REVIEWED BY: KEN BEKENDAM

SHEET NO.

A1.01



1 EXISTING BASEMENT  
3/16" = 1'-0"

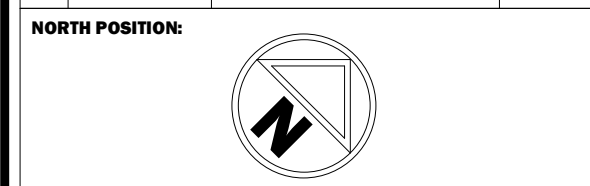


LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.  
LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T.  
CELL PHONE: 905-961-0647  
kenbekendam@gmail.com  
OFFICE ADDRESS: 879 MAIN ST. E. HAMILTON, ON  
OFFICE PHONE: 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code  
Name: Ken Bekendam  
Signature: [Signature]  
BCIN: [BCIN]  
**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code  
KING HOMES INC. 121307  
Name: Ken Bekendam BCIN: [BCIN]

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
  - ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
  - FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
  - UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
  - USE LATEST REVISED DRAWINGS.
  - ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
  - ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.
  - BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
  - CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:  
**7 CATALINA DR. I HAMILTON, ON | L8G 2M4**

SHEET NAME:  
**EXISTING 1ST FLOOR**

PROJECT NO.	DATE
24-54	08/02/2024

SCALE:	REVISION:
3/16" = 1'-0"	

DRAWN BY:	REVIEWED BY:
GABRIELE MENDES / DANIELO MARTINELLI	KEN BEKENDAM

SHEET NO.  
**A1.02**



1 EXISTING 1ST FLOOR  
3/16" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC. LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T. CELL PHONE: 905-961-0647 kenbekendam@gmail.com OFFICE ADDRESS: 679 MAIN ST. E. HAMILTON, ON OFFICE PHONE: 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code Name Signature

REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC. 121307 Name BCIN

GENERAL NOTES: 1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"

2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

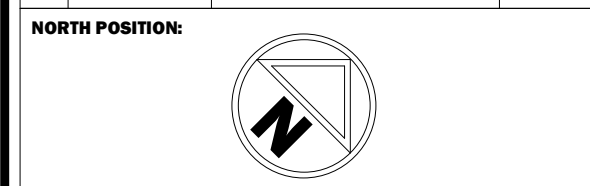
3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS. 4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

5. USE LATEST REVISED DRAWINGS. 6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

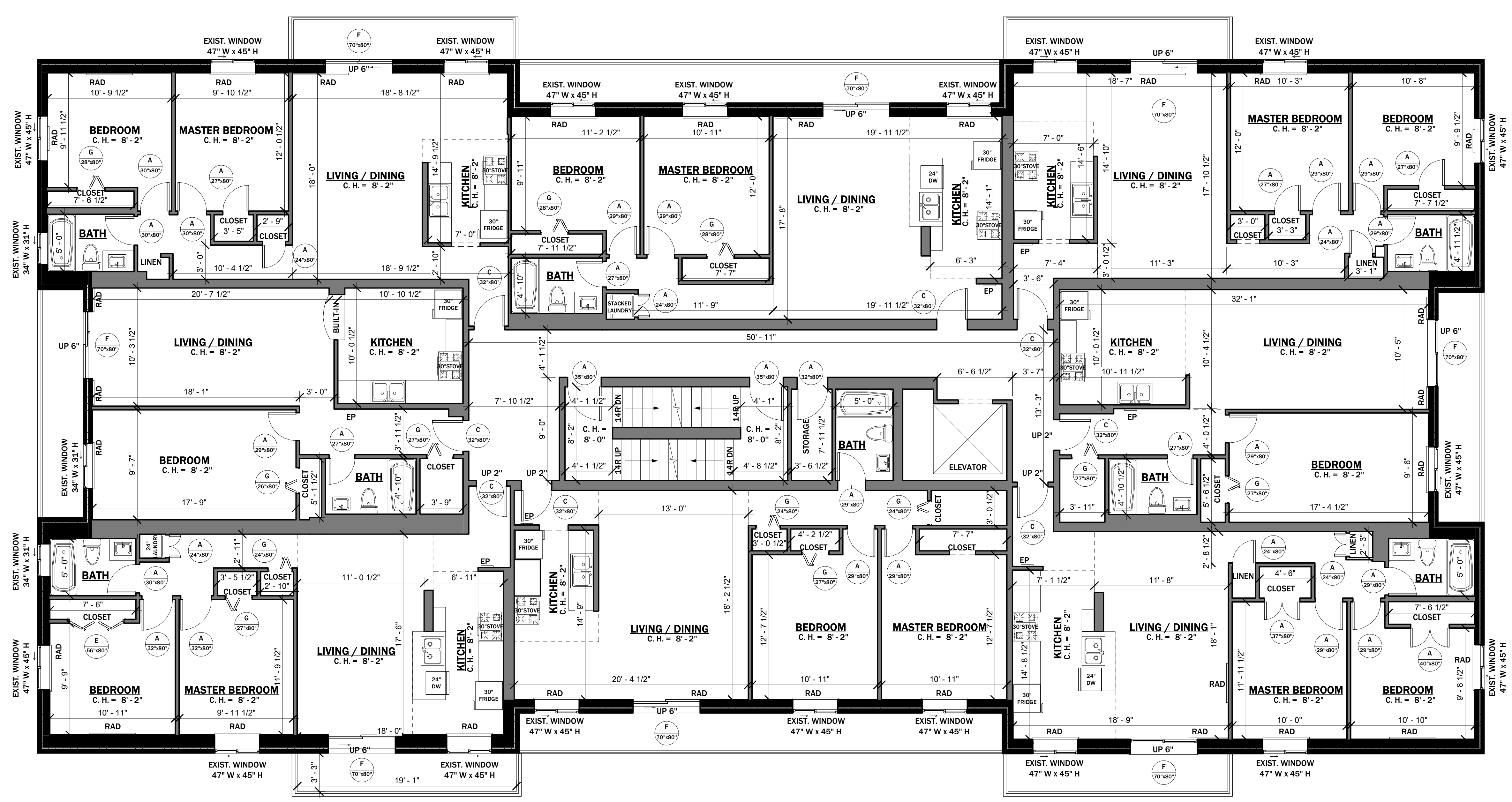
7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PFD NUMBER AND ORIGINAL SIGNATURE.

8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT. 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

Table with 4 columns: NO., DATE, GENERAL DESCRIPTION, INITIALS. Rows 01, 02, 03, 04.



ENGINEER'S STAMP:



1 EXISTING / PROPOSED 2ND FLOOR 3/16" = 1'-0"

NO CHANGES TO THIS FLOOR

PROJECT NAME/ADDRESS:

7 CATALINA DR. I. HAMILTON, ON | L8G 2M4

SHEET NAME: EXISTING / PROPOSED 2ND FLOOR

PROJECT NO. 24-54 DATE 08/02/2024

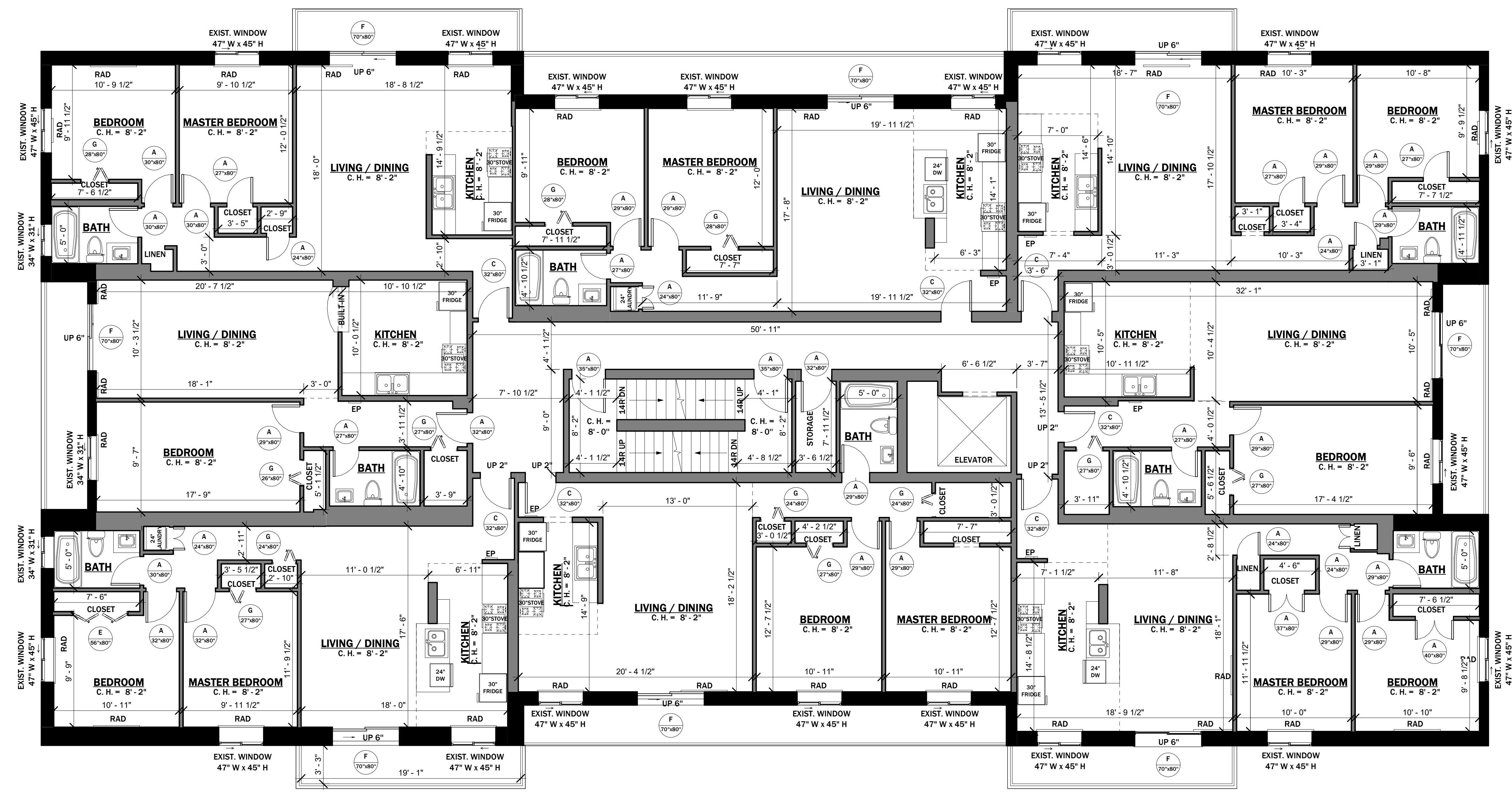
SCALE: 3/16" = 1'-0" REVISION:

DRAWN BY: GABRIELE MENDES / DANILO MARTINELLI REVIEWED BY: KEN BEKENDAM

SHEET NO.

A1.03





1 EXISTING / PROPOSED 3RD FLOOR  
3/16" = 1'-0"

NO CHANGES  
TO THIS FLOOR



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES  
ARE OWNED AND OPERATED BY KING HOMES INC.  
LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T.  
CELL PHONE: 905-961-0647  
kenbekendam@gmail.com  
OFFICE ADDRESS: 679 MAIN ST. E. HAMILTON, ON  
OFFICE PHONE: 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION  
Name: Ken Bekendam  
Signature: [Signature]  
BCIN: [BCIN]  
REGISTRATION INFORMATION  
Name: Ken Bekendam  
Signature: [Signature]  
BCIN: [BCIN]

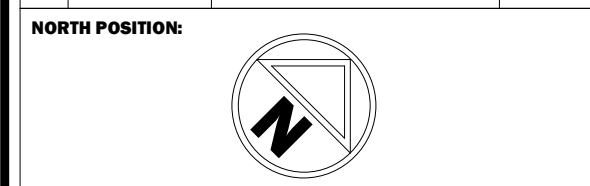
GENERAL NOTES:  
1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"  
2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.  
4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

5. USE LATEST REVISED DRAWINGS.  
6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.  
7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.

8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.  
9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:  
7 CATALINA DR. I HAMILTON, ON | L8G 2M4

SHEET NAME:  
EXISTING / PROPOSED 3RD FLOOR

PROJECT NO.	DATE
24-54	08/02/2024

SCALE:	REVISION:
3/16" = 1'-0"	

DRAWN BY:	REVIEWED BY:
GABRIELE MENDES / DANILLO MARTINELLI	KEN BEKENDAM

SHEET NO.  
**A1.04**



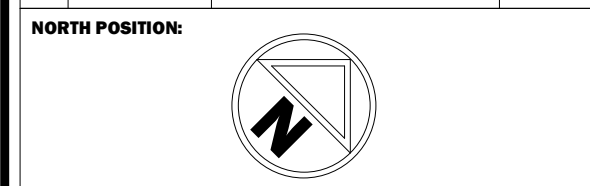
LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.  
LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T.  
OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON

Required unless design is exempt under 2.17.5.1 of the building code  
QUALIFICATION INFORMATION  
Name: Signature: BCIN

Required unless design is exempt under 2.17.5.1 of the building code  
REGISTRATION INFORMATION  
Name: KING HOMES INC. 121307 BCIN

- GENERAL NOTES:  
1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"  
2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS.  
3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.  
4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.  
5. USE LATEST REVISED DRAWINGS.  
6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.  
7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PFD NUMBER AND ORIGINAL SIGNATURE.  
8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.  
9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:  
7 CATALINA DR. I HAMILTON, ON | L8G 2M4

SHEET NAME:  
EXISTING / PROPOSED 4TH FLOOR

PROJECT NO.	DATE
24-54	08/02/2024

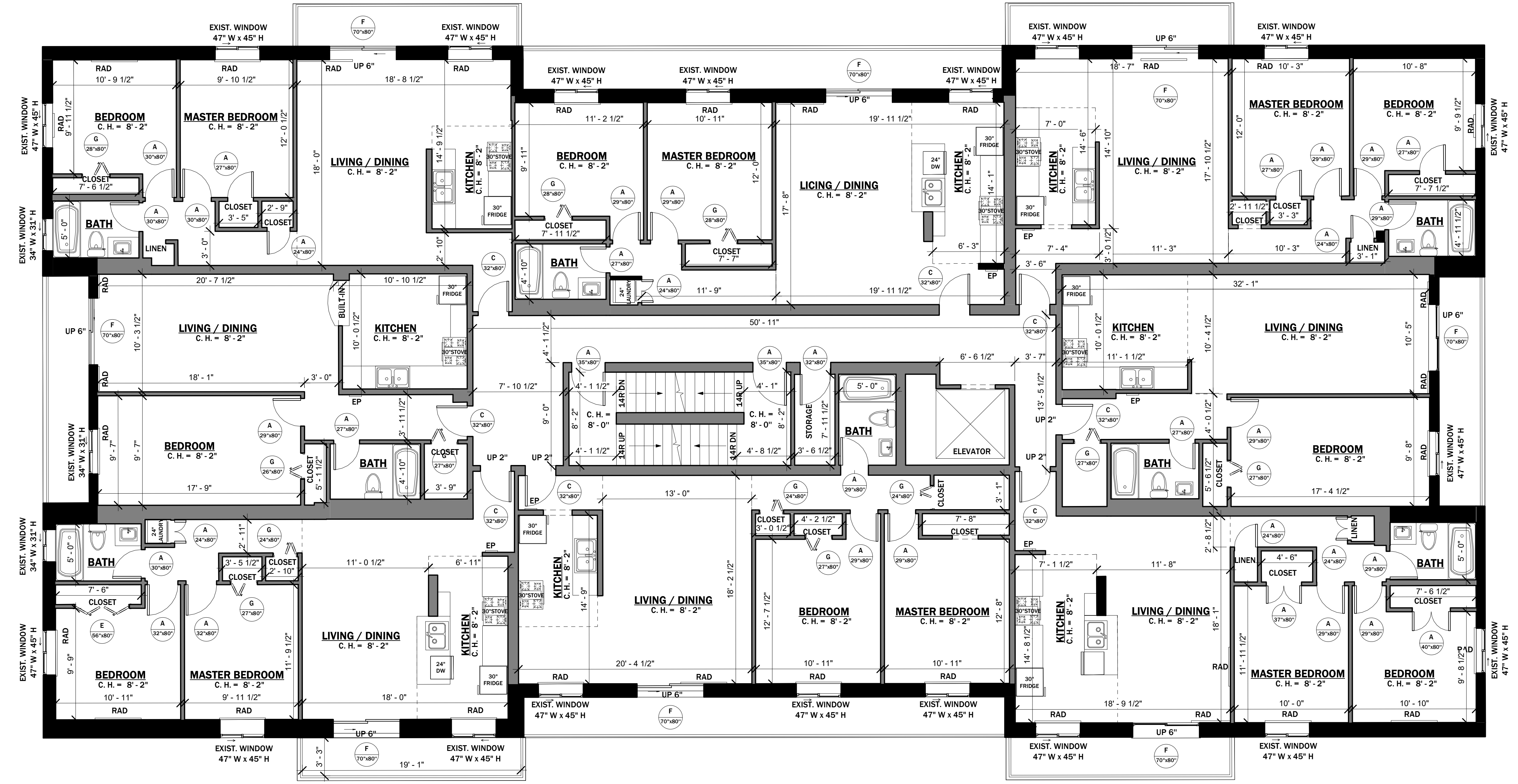
  

SCALE	REVISION
3/16" = 1'-0"	

DRAWN BY:	REVIEWED BY:
GABRIELE MENDES / DANILO MARTINELLI	KEN BEKENDAM

SHEET NO.  
**A1.05**



1 EXISTING / PROPOSED 4TH FLOOR  
3/16" = 1'-0"

NO CHANGES  
TO THIS FLOOR



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.  
LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCON, L.T.  
CELL PHONE: 905-961-0647  
kenbekendam@gmail.com  
OFFICE ADDRESS: 879 MAIN ST. E. HAMILTON, ON  
OFFICE PHONE: 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 2.17.5.1 of the building code

NAME: Ken Bekendam BCIN: 121307  
REGISTRATION INFORMATION: Required unless design is exempt under 2.17.5.1 of the building code  
KING HOMES INC. 121307  
Name: BCIN

GENERAL NOTES:  
1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"

2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.  
4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.  
5. USE LATEST REVISED DRAWINGS.  
6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)  
8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.

9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:

7 CATALINA DR. I HAMILTON, ON | LBG 2M4

SHEET NAME:  
PROPOSED BASEMENT

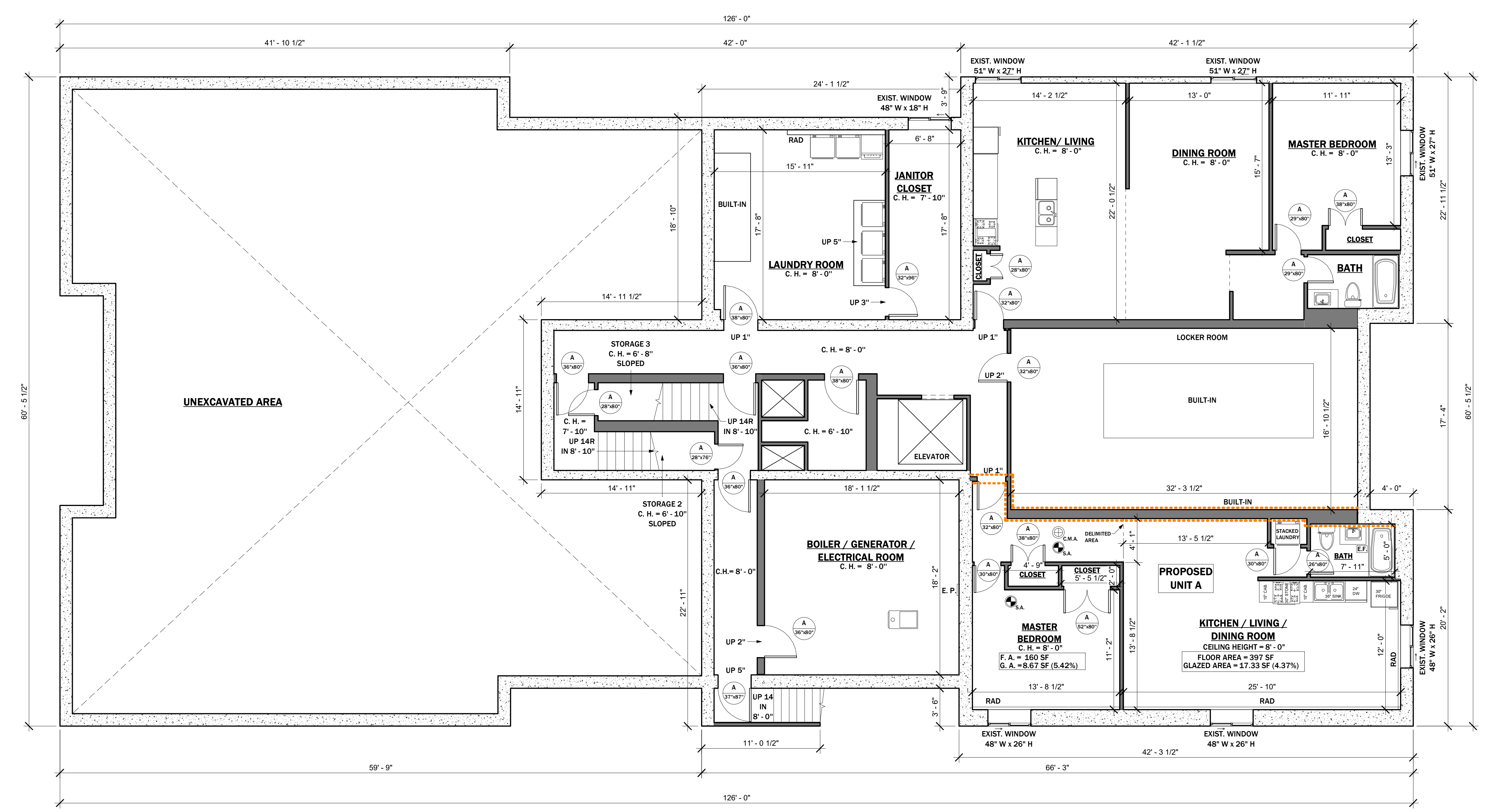
PROJECT NO. 24-54 DATE: 08/02/24

SCALE: 3/16" = 1'-0" REVISION:

DRAWN BY: BEATRIZ TOSCHI REVIEWED BY: KEN BEKENDAM

SHEET NO.

A1.06



1 PROPOSED BASEMENT  
3/16" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC. LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T. CELL PHONE: 905-961-0647 kenbekendam@gmail.com OFFICE ADDRESS: 679 MAIN ST. E. HAMILTON, ON OFFICE PHONE: 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

REGISTRATION INFORMATION: Required unless design is exempt under 2.17.5.1 of the building code. Name: Signature: REGISTRATION INFORMATION: Required unless design is exempt under 2.17.5.1 of the building code. KING HOMES INC. 121307 Name: BCIN

GENERAL NOTES: 1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36" 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

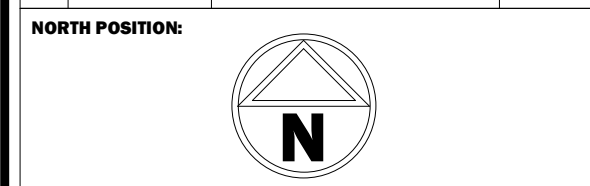
3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS. 4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

5. USE LATEST REVISED DRAWINGS. 6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE. 7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)

8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT. 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

Table with 4 columns: NO., DATE, GENERAL DESCRIPTION, INITIALS. Rows 01 to 04.

Table with 4 columns: NO., DATE, GENERAL DESCRIPTION, INITIALS. Rows 01 to 04.



ENGINEER'S STAMP:

PROJECT NAME/ADDRESS: 7 CATALINA DR. I. HAMILTON, ON | L8G 2M4

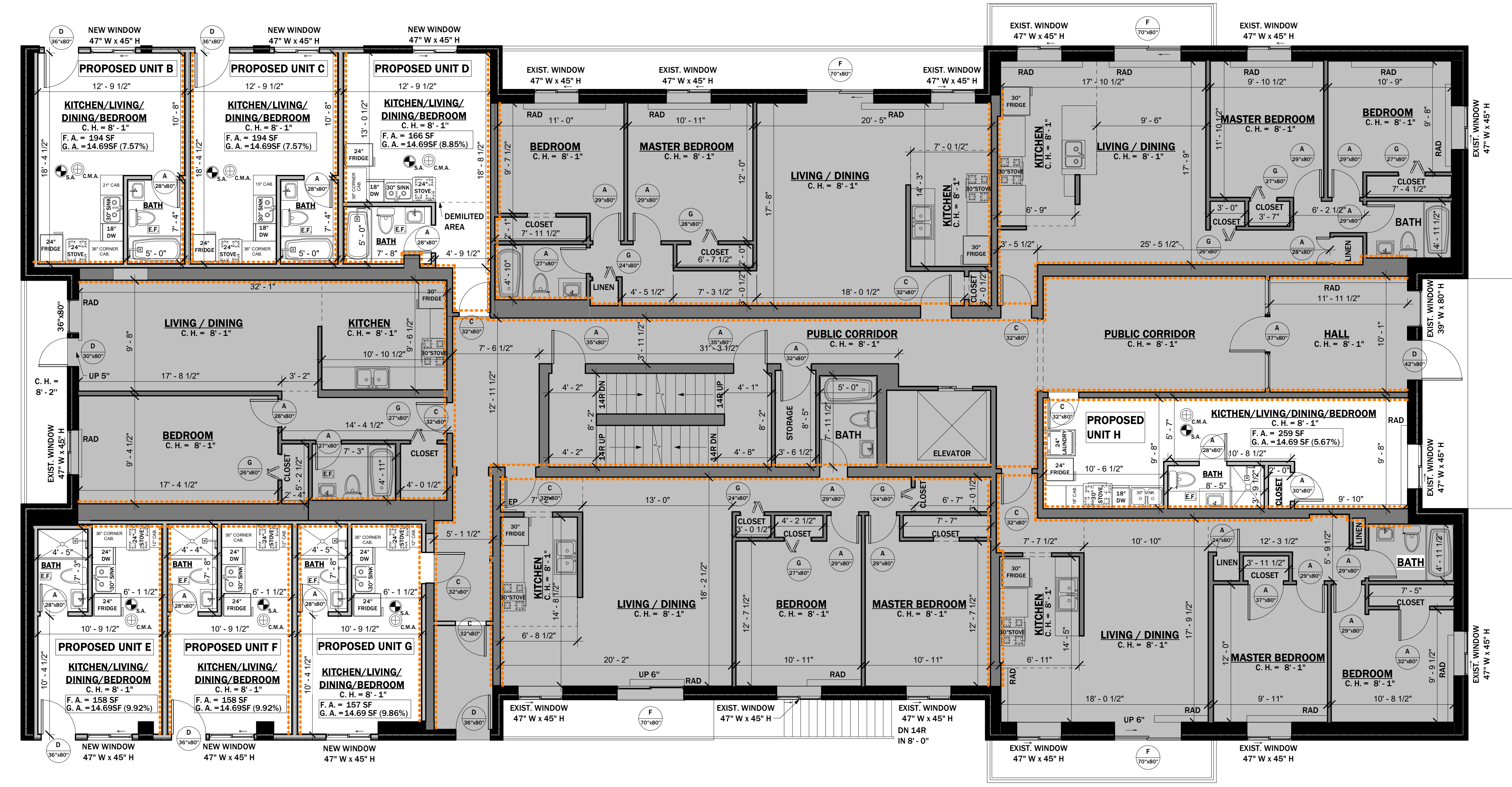
SHEET NAME: PROPOSED 1ST FLOOR PLAN

PROJECT NO. 24-54 DATE 17/08/24

SCALE: 3/16" = 1'-0" REVISION:

DRAWN BY: DANILO MARTINELLI / BEATRIZ TOSCHI REVIEWED BY: KEN BEKENDAM

SHEET NO. A1.07



1 PROPOSED 1ST FLOOR 3/16" = 1'-0"



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT  
Building Division  
71 Main Street West  
Hamilton, Ontario, Canada, L8P 4Y5  
Phone: 905.546.2720 Fax: 905.546.2764  
[www.hamilton.ca](http://www.hamilton.ca)

October 11<sup>th</sup>, 2024

FOLDER: ALR  
ATTENTION OF: Morgan Gowans  
EMAIL: [morgan.gowans@hamilton.ca](mailto:morgan.gowans@hamilton.ca)

Christopher Houghton  
160 White Swan Road  
Hamilton, ON L8G 2M4

**Attention:**

**Re: Applicable Law Review – Zoning By-law Compliance**  
**Zoning District: Multiple Dwellings (DE-3)**  
**Zoning By-law: Hamilton Zoning By-law No. 6593**  
**Address: 7 Catalina Drive**

---

An Applicable Law Review respecting zoning by-law compliance pursuant to application for Building Permit/Applicable Law Review has been completed and the following comments are provided.

**COMMENTS:**

1. The proposal is to enclose a covered parking area of a existing multiple dwelling with 29 dwelling units with 36 parking spaces, they are proposing to convert existing parking located at the first floor under the building to 6 dwelling units and removing 8 parking spaces. The proposal will be 35 dwelling units and 28 parking spaces. [New proposal is 37 units with 28 parking spaces](#)
2. As the enclosure of the parking spaces isn't expanding the existing building in size or height it will be considered existing for building setbacks.
3. Variance application A-86:158 was granted to permit 33 off-street car parking spaces, no loading space required and permit a landscaped area of 3750 square feet.
4. The property is zoned DE-3 Multiple Dwellings in former Hamilton Zoning By-law 6593, the use of a multiple dwelling is permitted.
5. All Yard Encroachments shall conform to Section Eighteen "Encroachments on Yards" of the former City of Hamilton Zoning By-law No. 6593.
6. All mechanical and unitary equipment shall conform to Section Eighteen of the former City of Hamilton Zoning By-law No. 6593.
7. All new fences proposed for this development must comply with the regulations contained within the Fence By-law.
8. All new signs proposed for this development must comply with the regulations contained within the Sign By-law.

9. The designer shall ensure that the fire access route conforms to the Ontario Building Code.
10. The proposed development has been reviewed and compared to the standards of the DE-3 Zone, as indicated in the following chart:

	<b>Required By By-Law</b>	<b>Provided</b>	<b>Conforming/ Non-Conforming</b>
<b>Permitted Uses</b> [Section 10C (1) of Hamilton Zoning By-law 6593]	Subject to the applicable provisions of Section 3, 18, 18A, and 19, in a "DE-3" District, no building or structure shall be erected, altered, extended or enlarged, and no building or structure or part thereof shall be used, and no land shall be used, for other than one or more of the following uses,  (i) Any use permitted in a "D" District except a district yard of a municipal Corporation.  (iii) A multiple dwelling, with accommodation for lodgers to the number of not more than three in each Class A dwelling unit; (See Section 18(8) for Special Requirements for Groups of Multiple Dwellings).	A existing multiple dwelling, 6 additional units are proposed.  <b>8 New units proposed</b>	<b>Conforms</b>
<b>Height Requirements</b> [Section 10C (2) of Hamilton Zoning By-law 6593]	In a "DE-3" District, no building shall exceed three storeys, and no structure other than a building, shall exceed 11.0 metres (36.09 feet).	No elevations provided, existing condition. Building is 4 storeys	<b>Existing Condition</b>
<b>Area Requirements</b> [Section 10C (3) of Hamilton Zoning By-law 6593]	There shall be provided and maintained within the district, for every building and structure in a "DE-3" District, the following yards, namely:  (a) for a single family dwelling, two family dwelling, three family dwelling, a front yard of a depth of at least 6.0 metres.  (b) for all other buildings or structures a front yard of a depth of at least one one-hundred and twentieth part of the product obtained by multiplying the height of the building structure by its width, but no such front yard shall have a depth of less than 4.5 metres (14.76 feet) and need not have a depth of more than 7.5	(a) N/A  (b) N/A existing building, no addition proposed to the front of the building	<b>N/A</b>

	<b>Required By By-Law</b>	<b>Provided</b>	<b>Conforming/ Non-Conforming</b>
	<p>metres (24.61 feet), provided that with respect to said other buildings and structures, where a front yard abuts upon a street of a width of less than 20.0 metres (65.62 feet), the required depth shall be increased by half of the difference between the actual width of the street and 20.0 metres (65.62 feet): (79-288) (80-049) (82-146) Provided, however, that where a deeper front yard is required for any lot in another district on the same side of the street between two intersecting streets, the front yard shall be increased in depth to what would have been required had the front yard required by this Section been in such other district:</p>		
	<p>(a) for a single family dwelling, two family dwelling or three family dwelling, along each side lot line a side yard having a width of at least 1.2 metres</p> <p>(b) for every other building or structure, along each side lot line a side yard of a width of at least one one-hundred and twentieth part of the product obtained by multiplying the height of the building by its length, less 1.5 metres (4.92 feet) where no balcony, sunroom or any window of a habitable room overlooks the side yard, but no such side yard shall have a width of less than 1.5 metres (4.92 feet), and need not have a width of more than 9.0 metres (29.53 feet), but plus 3.0 metres (9.84 feet) where any balcony, sunroom or window of a habitable room does overlook such side yard, but no such side yard shall have a width of less than 4.5 metres (14.76 feet) and</p>	<p>(a) N/A</p> <p>(b) N/A existing building, no addition proposed</p>	<b>N/A</b>

	<b>Required By By-Law</b>	<b>Provided</b>	<b>Conforming/ Non-Conforming</b>
	<p>need not have a width of more than 13.5 metres (44.29 feet): (79-288) (80-049) (82-146) Provided that with respect to said other buildings and structures, where a side lot line is a street line, the side yard on that side shall have a width of at least 3.0 metres (9.84 feet), and need not have a width of more than 7.5 metres (24.61 feet); and that where a side lot line is the street line of a street less than 20.0 metres (65.62 feet) wide, the required width of the side yard on that side shall be increased by half of the difference between the actual width of the street and 20.0 metres (65.62 feet);</p>		
	<p>(a) for a single family dwelling, two family dwelling, three family dwelling, a rear yard of a depth of at least 7.5 metres</p> <p>(b) for every other building or structure, a rear yard of a depth of at least one one-hundred and twentieth part of the product obtained by multiplying the height of the building or structure by its width, less 1.5 metres (4.92 feet) where no balcony, sunroom or any window of a habitable room overlooks the rear yard, but no such rear yard shall have a depth of less than 3.0 metres (9.84 feet) and need not have a depth of more than 13.5 metres (44.29 feet) but plus 3.0 metres (9.84 feet) where any balcony, sunroom or any window of a habitable room does overlook such rear yard, but no such rear yard need have a depth of more than 13.5 metres</p>	<p>(a) N/A</p> <p>(b) N/A existing building, no addition proposed</p>	<b>N/A</b>



	<b>Required By By-Law</b>	<b>Provided</b>	<b>Conforming/ Non-Conforming Existing Condition</b>
<b>Intensity of Use</b> [Section 10C (4) of Hamilton Zoning By-law 6593]	Every lot or tract of land upon which a dwelling or multiple dwelling is erected, converted or reconstructed shall have within the district:  (iv) for a multiple dwelling a width of at least 21.0 metres (68.90 feet) and an area of at least 630.0 square metres (6,781.49 square feet):	<b>30.84m</b>	
<b>Floor Area Ratio</b> [Section 10C (5) of Hamilton Zoning By-law 6593]	No building or structure in a "DE-3" District shall have a gross floor area greater than the area within the district of the lot on which it is situate, multiplied by the floor area ratio factor of 0.90.	1.18 ratio as per site statistics chart	<b>Non-conforming</b>
<b>Landscaped Area</b> [Section 10C (6) of Hamilton Zoning By-law 6593]-Amended by variance A-86:158	<del>For every building or structure in a "DE-3" District, there shall be provided and maintained on the lot and within the district, at least one-quarter of the area of the lot on which it is situate, as landscaped area, unused for access or manoeuvring space or parking space or for any other purpose other than landscaped area including a playground.</del>  As per variance A-86:158 only 3750 sq feet (348 sq m) is required.	As per variance A-86:158 only 3750 sq feet (348 sq m) is required.  497.38 m2 was provided	<b>Conforms</b>  <i>As per variance approval A-86:158</i>
<b>Distance Requirements</b> [Section 10C (7) (8) of Hamilton Zoning By-law 6593]	Except as provided in Subsection 8, every residential care facility and emergency shelter shall be situated on a lot having a minimum radial separation distance of 300.0 metres from the lot line to the lot line of any other lot occupied or as may be occupied by a residential care facility, emergency shelter, corrections residence or correctional facility.	N/A Residential Care Facility not proposed	<b>N/A</b>
	Where the radial separation distance from the lot line of an existing residential care facility is less than 300.0 metres to the lot line of any other lot occupied by a residential care facility, emergency shelter, corrections residence or correctional facility may be expanded or redeveloped to accommodate not more than the permitted number of residents.	N/A Residential Care Facility not proposed	<b>N/A</b>
<b>Special Requirements for</b>	Notwithstanding subsection 3 of Section 4 of this By-Law, a group of	N/A only 1 building on the lot	<b>N/A</b>

	<b>Required By By-Law</b>	<b>Provided</b>	<b>Conforming/ Non-Conforming</b>
<p><b>Multiple Dwellings</b> [Section 18 (8) of Hamilton Zoning By-law 6593]</p>	<p>the following classes of dwellings in any combination with each other,</p> <p>(a) Townhouse Dwellings, and</p> <p>(b) Maisonette Dwellings, and</p> <p>(c) Multiple Dwellings,</p> <p>may be erected, altered, extended or enlarged on any lot or tract of land in a district in which such a use is permitted by this By-Law. (72-239) (74-117)</p> <p>1. For multiple dwellings, the entire lot or tract of land shall be shown on a plan under By-Law No. 79-275 which shall indicate which street line is to be considered the front lot line in the case of a corner lot and which shall the location of all buildings and that the yards as required by the district provisions are provided around all boundaries of the lot or tract of land and that each building is distant from every other building by at least by at least ½ of the height of the taller of the two buildings provided that the same encroachments into the distance separating buildings shall be permitted as are permitted into a required side yard and provided further that the same provisions with regard to parking spaces, manoeuvring spaces and access driveways shall be observed in the distance separating buildings as if that distance was a rear yard.</p>		
<p><b>Required Parking for Residential</b> [Section 18A (1) of Hamilton Zoning By-law 6593]</p>	<p>Except as otherwise provided, for every building or structure and use identified in this Section, there shall be provided and maintained within each district on the same lot on which one or more buildings are erected, altered, extended or enlarged, (a) not less than the number of parking spaces at the ratio mentioned in column 2 for the corresponding use mentioned in paragraphs numbered 1, 2, 3 and 4 of column 1 of Table 1,</p>	<p>Please note</p>	<p><b>Please note</b></p>
<p><b>Residential Visitor Parking</b> [Section 18A (b) of Hamilton Zoning By-law 6593]</p>	<p>not less than the number of parking spaces exclusively for visitors at the ratio mentioned in column 2 for the corresponding residential use mentioned in column 1 of Table 2, as already included in the minimum</p>	<p>Please note</p>	<p><b>Please note</b></p>

	<b>Required By By-Law</b>	<b>Provided</b>	<b>Conforming/ Non-Conforming</b>
	number of required parking spaces for residential uses mentioned in Table 1,		
<b>Minimum Required Loading Space for Multiple Dwelling</b> [Section 18A (1) (c) of Hamilton Zoning By-law 6593]	where a building is a multiple dwelling containing more than four dwelling units, a minimum number of loading spaces conveniently located for the building having the minimum dimensions mentioned in columns 2 and 3 for the corresponding number of dwelling units mentioned in column 1 of Table 3,	Please note	<b>Please note</b>
<b>Minimum Required Maneuvering Space for Parking Areas</b> [Section 18A (1) (f) of Hamilton Zoning By-law 6593]	manoeuvring space abutting upon and accessory to each required parking space, having an aisle width mentioned in column 2 of Table 6 for each parking space having a parking angle mentioned in column 1,	Please note	<b>Please note</b>
<b>Calculation of Parking Spaces</b> [Section 18A (6) of Hamilton Zoning By-law 6593]	Where calculations of the number of parking and loading spaces result in a fractional number of parking or loading spaces, the next higher number shall be taken.	Please note	<b>Please note</b>
<b>Required Parking Space Size</b> [Section 18A (7) of Hamilton Zoning By-law 6593]	Every required parking space, other than a parallel parking space, shall have dimensions not less than 2.7 metres wide and 6.0 metres long.	2.7m x 6.0m	<b>Conforms</b>
<b>Required Parallel Parking Space Size</b> [Section 18A (8) of Hamilton Zoning By-law 6593]	Every parallel parking space shall have dimensions not less than 2.5 metres wide and 6.7 metres long.	2.5m x 6.7m	<b>Conforms</b>
<b>Required Parking Space Location</b> [Section 18A (9) of Hamilton Zoning By-law 6593]	Required parking space, loading space and manoeuvring space shall be provided and maintained only on the lot on which the principle use, building or structure is located.	Parking space is located on the same lot as the use	<b>Conforms</b>
<b>Required Parking Space Location</b> [Section 18A (10) of Hamilton Zoning By-law 6593]	Sufficient space additional to required parking space shall be provided and maintained on the same lot on which the parking space is located, in such a manner as to enable each and every parking space to be unobstructed and freely and readily accessible from within the lot, without moving any vehicle on the lot or encroaching on any designated parking or loading space.	Appears every parking space is unobstructed and readily accessible from within the site	<b>Conforms</b>
<b>Required Parking Space Location</b> [Section 18A (11) of	The boundary of every parking area and loading space on a lot containing five or more parking		

	<b>Required By By-Law</b>	<b>Provided</b>	<b>Conforming/ Non-Conforming</b>
Hamilton Zoning By-law 6593]	spaces located on the surface of a lot adjoining a residential district shall be fixed,  (a) not less than 1.5 metres from the adjoining residential district boundary; and  (b) not closer to the street line than the minimum depth of the front yard required to be provided in the adjoining residential district for that portion of the parking area within 3.0 metres of a residential district.	(a) 0.0m from adjoining R1 Zone and DE-3 Zone  (b) Required front yard of adjoining R1 Zone (east) is 4.0m, DE-3 Zone (west) is 4.5m there is no parking within 4.5m of the street line	<b>Non-conforming</b>  <b>Conforms</b>
<b>Required Parking Space Location</b> [Section 18A (12) of Hamilton Zoning By-law 6593]	For every parking area and loading space referred to in subsection 11, there shall be provided and maintained,  (a) between the boundary of the parking area and the residential district, an area landscaped with a planting strip; and  (b) between the boundary of the loading area and the residential district, an area landscaped with a planting strip; and 18A-4  (c) a visual barrier along the boundary of the lot abutting the residential district not less than 1.2 metres in height and not greater than 2.0 metres in height.	N/A no loading space required as per A-86:158.	<b>N/A</b>
<b>Required Parking Space Location</b> [Section 18A (13) of Hamilton Zoning By-law 6593]	Where illumination is provided for a parking area or loading space the illumination shall be directed towards or on the lot on which the parking area is located and away from,  (a) any adjacent use;  (b) any highway.	Please note, illumination now shown on site plan	<b>Please note</b>
<b>Required Parking Space Location</b> [Section 18A (15) of Hamilton Zoning By-law 6593]	The following vehicles shall not be parked in a residential district:  1. A vehicle for which the permit fee under The Highway Traffic Act is based on the weight of the vehicle and load, in excess of 4.0 tonnes; or  2. A vehicle which exceeds 6.5 metres in length; or  3. A vehicle which is equipped with dual wheels or tandem axles; or  4. A vehicle which is a tow truck; or	N/A	<b>N/A</b>

	<b>Required By By-Law</b>	<b>Provided</b>	<b>Conforming/ Non-Conforming</b>
	<p>5. A vehicle which is a bus; or</p> <p>6. A vehicle which is a bus converted into a mobile home; or</p> <p>7. A vehicle which is a bus used for commercial purposes.</p>		
<p><b>Required Visitor Space Location</b> [Section 18A (16) of Hamilton Zoning By-law 6593]</p>	<p>Each required visitor parking space shall,</p> <p>(a) be maintained for the exclusive use of visitors; and</p> <p>(b) have a sign appurtenant thereto legibly marked that the parking space is for the exclusive use of visitors; and</p> <p>(c) be maintained readily accessible to visitors and free and clear of all obstructions.</p>	<p>Visitor parking spaces are labeled visitors and are readily accessible to visitors</p>	<b>Conforms</b>
<p><b>Required Parking Space Location</b> [Section 18A (21) of Hamilton Zoning By-law 6593]</p>	<p>All required parking spaces and manoeuvring spaces shall have access by means of one or more access driveways,</p> <p>(a) located on the lot; or</p> <p>(b) located partly on the lot in the case of a mutual driveway; or</p> <p>(c) by means of a right of way. (84-45)</p>	<p>Parking area accessed by driveway located on the lot</p>	<b>Conforms</b>
<p><b>Required Parking Space Location</b> [Section 18A (22) of Hamilton Zoning By-law 6593]</p>	<p>All manoeuvring spaces shall be maintained free and clear of all obstructions to permit unobstructed access to and egress from required parking spaces.</p>	<p>Maneuvering area clear of obstructions</p>	<b>Conforms</b>
<p><b>Required Parking Space Location</b> [Section 18A (23) of Hamilton Zoning By-law 6593]</p>	<p>Every access driveway shall provide easy access from a highway to the parking area to which the access driveway is accessory.</p>	<p>Driveway provides easy access from the parking area</p>	<b>Conforms</b>
<p><b>Required Parking Space Location</b> [Section 18A (24) of Hamilton Zoning By-law 6593]</p>	<p>Every parking area for a use where,</p> <p>(b) there are more than five parking spaces shall have,</p> <p>(i) not less than one access driveway or mutual access driveway, having a width of at least 5.5 metres; or</p> <p>(ii) a separate ingress driveway and a separate egress driveway, each having a width of at least 3.0 metres and each operated in a one way but opposite direction to each other and</p>	<p>i) two access driveway see ii) below</p> <p>ii) one ingress driveway 3.86m and one egress driveway 3.0m</p>	<b>Conforms</b>

	<b>Required By By-Law</b>	<b>Provided</b>	<b>Conforming/ Non-Conforming</b>
	<p>so designed that vehicles shall not back out onto an adjoining highway.</p> <p>(iii) markings on the surface of the parking area delineating the separate parking spaces; and</p> <p>(iv) bumpers or wheel barriers to prevent physical encroachment beyond the parking area except at the entrance to and exit from the parking area.</p>	<p>iii) markings delineated the parking spaces provided.</p> <p>iv) bumpers provided for all the standard parking spaces</p>	
<b>Required Parking Space Location</b> [Section 18A (25) of Hamilton Zoning By-law 6593]	Where a townhouse dwelling, maisonette dwelling or multiple dwelling is adjacent to a residential district that does not permit such uses, every access driveway to the townhouse dwelling, maisonette dwelling or multiple dwelling shall be located not less than 3.0 metres from the common boundary between the district in which the townhouse dwelling, maisonette dwelling or multiple dwelling is located and the district that does not permit such uses.	1.5m	<b>Conforms</b>
<b>Required Parking Space Location</b> [Section 18A (27) of Hamilton Zoning By-law 6593]	No land in any residential district shall be used for the purpose of vehicular access to or egress from any land in a commercial district or industrial 18A-9 district.	N/A	<b>N/A</b>
<b>Required Parking Space Location</b> [Section 18A (28) of Hamilton Zoning By-law 6593]	No land in a residential district in which a multiple dwelling is not permitted shall be used for the purpose of vehicular access to or egress from any land used for a multiple dwelling.	N/A	<b>N/A</b>
<b>Required Parking Space Surface</b> [Section 18A (30) of Hamilton Zoning By-law 6593]	Except as provided in subsection 31, a permanent durable and dustless surface that is graded, drained, and paved with concrete or asphalt or a combination of concrete and asphalt shall be provided and maintained for every parking area, manoeuvring space, loading space and access driveway.	Parking area appears to be asphalt	<b>Conforms</b>
<b>Required Loading Space Location</b> [Section 18A (31) of Hamilton Zoning By-law 6593]	Sufficient space additional to required loading space shall be provided and maintained on the same lot on which the loading space is located, in such a manner as to enable each and every loading space to be unobstructed and freely and readily accessible from within the lot, without moving any vehicle on the lot or encroaching on any	No loading space shown on site plan	<b>N/A</b>

	Required By By-Law	Provided	Conforming/ Non-Conforming
	designated parking or loading space.		
<b>Required Loading Space Location</b> [Section 18A (33) of Hamilton Zoning By-law 6593]	Every loading space shall be provided and maintained to permit commercial motor vehicles to move readily and without hindrance between the loading space and an access driveway.	No loading space shown on site plan	<b>N/A</b>
<b>Minimum Required Parking Space</b> [Section 18A Table 1 (g) of Hamilton Zoning By-law 6593]	Multiple Dwelling; (g) 1.25 spaces per Class A dwelling unit except as follows:  (i) 0.8 of a space per Class A dwelling unit within area "A", shown on Schedule "H";  (ii) 1 space per Class A dwelling unit within area "B", shown on Schedule "H";  Calculation: $1.25 \times 37 = 46.25 = 47 \text{ spaces}$ $1.25 \times 35 = 43.75 = 44 \text{ parking spaces required}$	28 parking spaces provided total  24 parking spaces provided for residence	<b>Non-conforming</b>
<b>Minimum Required Visitor Parking Space</b> [Section 18A Table 2 of Hamilton Zoning By-law 6593]	3. Multiple Dwellings not in areas referred to in paragraphs 1 and 2;  0.25 of a space per Class A dwelling unit $0.25 \times 37 = 9.25 = 10 \text{ spaces}$ $0.25 \times 35 = 8.75 = 9 \text{ visitor parking spaces required}$	4 visitor parking spaces	<b>Non-conforming</b>
<b>Minimum Required Loading Space – Multiple Dwellings</b> [Section 18A Table 3 of Hamilton Zoning By-law 6593]	2. Greater than 30 to 100  One (1) Minimum Size:  Length: 18.0m  Width: 3.7m  Height: 4.3m	N/A no loading space required as per A-86:158.	<b>Conforms</b>  <i>As per variance approval A-86:158</i>
<b>Minimum Required Maneuvering Space for Parking Areas</b> [Section 18A Table 6 of Hamilton Zoning By-law 6593]	Parking Angle Degree= 45°  Required Maneuvering Space Aisle Width= 4.5 metres  Parking Angle Degree= 90°  Required Maneuvering Space Aisle Width= 6.0 metres	3.73m  $\text{Revised Parking Angle Degree} = 44$ $\text{Required Aisle} = 3.70\text{m}$  6.0m	<b>Non-conforming</b>  <b>Conforms</b>  <b>Conforms</b>

Yours truly

*Morgan Gowans*

---

for the Manager of Zoning and Committee of Adjustment





Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS
<b>Registered Owners(s)</b>	2779663 Ontario Inc.	
<b>Applicant(s)</b>	Ken Bekendam	
<b>Agent or Solicitor</b>	Ken Bekendam	

1.2 Primary contact  Applicant  Owner  Agent/Solicitor

1.3 Sign should be sent to  Applicant  Owner  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent \_\_\_\_\_

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type  In person  Credit over phone\*  Cheque

\*Must provide number above

## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	7 Catalina Dr, Hamilton ON		
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

## 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

See attached ZCR

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Existing Site constraints

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
30.84m	82.55m	2427.30 sq.m	n/a

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
4 storey brick building	6.15m	30.91m	6.20m	unknown

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
4 storey brick building	6.15m	30.91m	6.20m	unknown

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
4 storey brick building	671.60m	2696.72sqm	4 Storeys	12.19m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
4 storey brick building	671.60m	2853.71sqm	4 Storeys	12.19m

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year \_\_\_\_\_

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.): 37 unit Multiple Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.): residential

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:  
unknown

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
29 unit Multiple Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
29 unit Multiple Dwelling

7.4 Length of time the existing uses of the subject property have continued:  
unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) residential

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? DE-3 - Zoning By-Law 6593

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

Yes  No

If yes, please provide the file number: A-86:158

---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: \_\_\_\_\_

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 29

8.2 Number of Dwelling Units Proposed: 37

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
- 
-