

50 Markland St

RENOVATION PROPOSAL

Project Address: 50 Markland St. Hamilton, ON

Owner information: Eric and Sarah Desrosiers

Project Overview: Demolish the back portion of the existing home and rebuild with salvaged or like materials (specified and outlined herein).

Attached

Appendix A – Photos of Existing [Attached Herein]

Appendix B – Architectural Drawings / Blueprints

INTRODUCTION

After years of searching and waiting, Sarah and I became the keepers of 50 Markland St., for years to come. After living in the Herkimer Apartments (looking into this very backyard every day) we were fortunate to make contact with Carl Turkstra, the previous owner of this home and a proud member of this community. Unfortunately, after 30 years of living there, he was no longer able to keep up with the maintenance of the home and it slowly fell into a somewhat weathered state. Sarah and I look forward to many years in this home, having just welcomed two children into this world since 2022, our vision is to raise our kids in this community and continue to thrive many years after.

Below, you will find our outlined proposal and vision to bring this home back into its glory and into a more liveable functional home so that it may remain our family home.

We look forward to discussions regarding our proposed renovations.

Scope of Work Breakdown

DEMOLITION

Our proposal includes the full demolition of the back portion of the home, as outlined and displayed in the attached drawings. This demolition will include the full demolition of the foundation, exterior walls and windows, and roof.

RECONSTRUCTION

The reconstruction will expand the back portion of the home using like materials (outlined throughout this document). The plans call to extend the home back 4' and increase the liveable space on both the main floor and second floor. Currently the back portion of the home is deteriorating due to previous neglect and was laid out in a manor that did not connect the liveable space to the back yard – as was common design in years past. We hope to rebuild the back portion in a manor to increase access to the rear yard and bring in more natural light to the liveable space. The reconstruction will utilize as many like or salvaged materials as possible.

BRICKS/MASONRY

During the demolition our best effort will be made to salvage some brick and material, though we are being advised by restoration masons and the engineer that not much brick will be kept. Currently we are allowing for all new brick. We have sourced a brick that is identical to the existing and perfectly matches the aged/ imperfect brick from this old home. This brick was also utilized on our Garage renovation (Heritage Permit: HP2023-018)

Existing vs Proposed



WINDOWS

For the front portion of the house, we are working with a company to be able to closely match the windows with a heritage style window. We have been advised that the current condition of the windows may hinder us from properly and effectively restoring them. The function of many windows is not effective, being unable to open or in some cases having lost the counterweight.

For the remaining windows (all side windows and windows at back of building) we are proposing to install all new windows in a matching style. We are proposing to install wood windows (same as existing) with an identical mullion pattern and trim from the exterior.

We believe this maintains the heritage look of the home from all visible sightlines, while increasing functionality in our home. It is important for us to keep the same aesthetic, while equally important to be able to properly utilize these fixtures.

The street facing windows we are proposing are Pella – Reserve windows. From Pella’s brochure *“Pella Reserve – Traditional products provide historical elements with uncompromised attention to detail.”* These windows are of same wood construction and both the profile, and the grille will be a near seamless match.

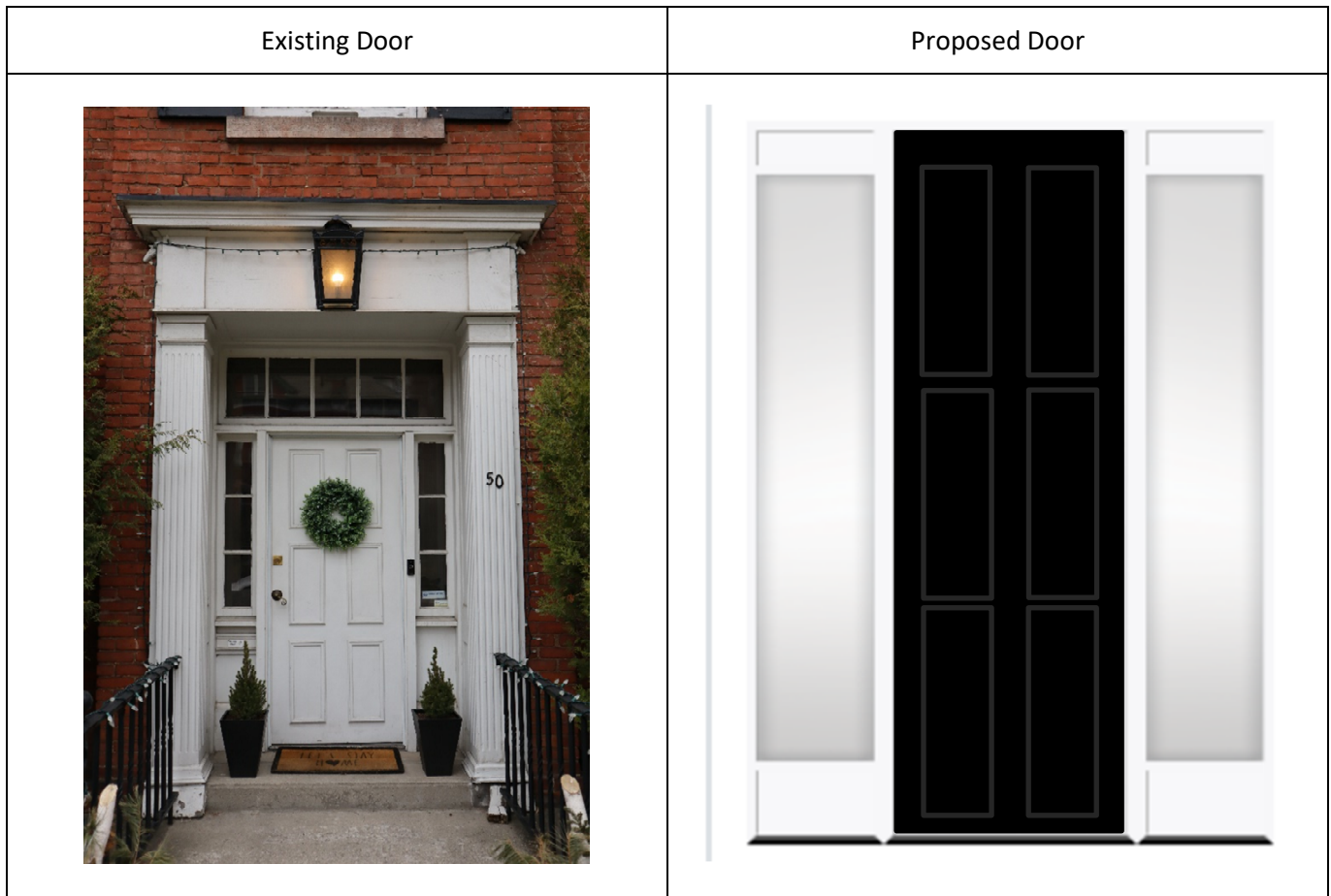
The non street facing windows we are proposing are Pella – Lifestyle windows. There of similar design and look, using wood construction, however they utilize some more modern technology and systems for better efficiency and functionality.

Render of replaced windows, using Pella: Reserve - Traditional



DOORS

The only door that will be visible from any sightline will be the front door (street facing). We intend to replace this door with a similar door and sidelights.

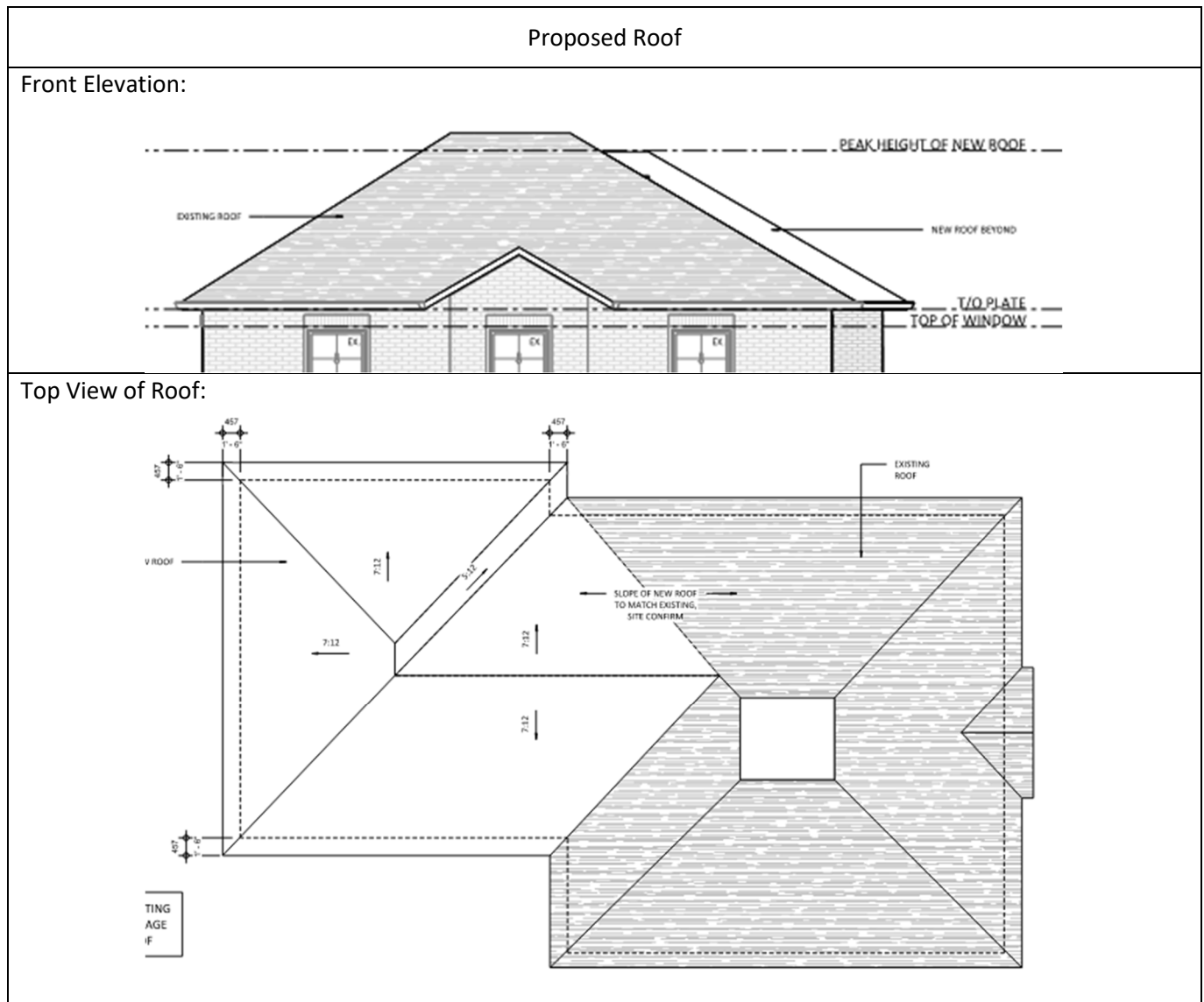


We are proposing a similar door/sidelight assembly – ***door panel in rendering is not accurate and will more closely match the existing.***

We will be changing the door colour to black to match the existing window shutters on the house.

ROOF

The new roof on the proposed addition will be set at the same level as the existing roof (as displayed in the Drawings – Appendix). The roofing will be of the same material, and all trim and gutters will match in colour and style.



Existing and proposed materials will be the same – GAF Black Architectural Shingles.

The visible downspouts are not being changed and will remain as is. The new downspouts will be a perfect match of same material and colour (black aluminum downspouts and off-white gutters).

Appendix A – Photos









Appendix B - Drawings

Provided on Following pages.

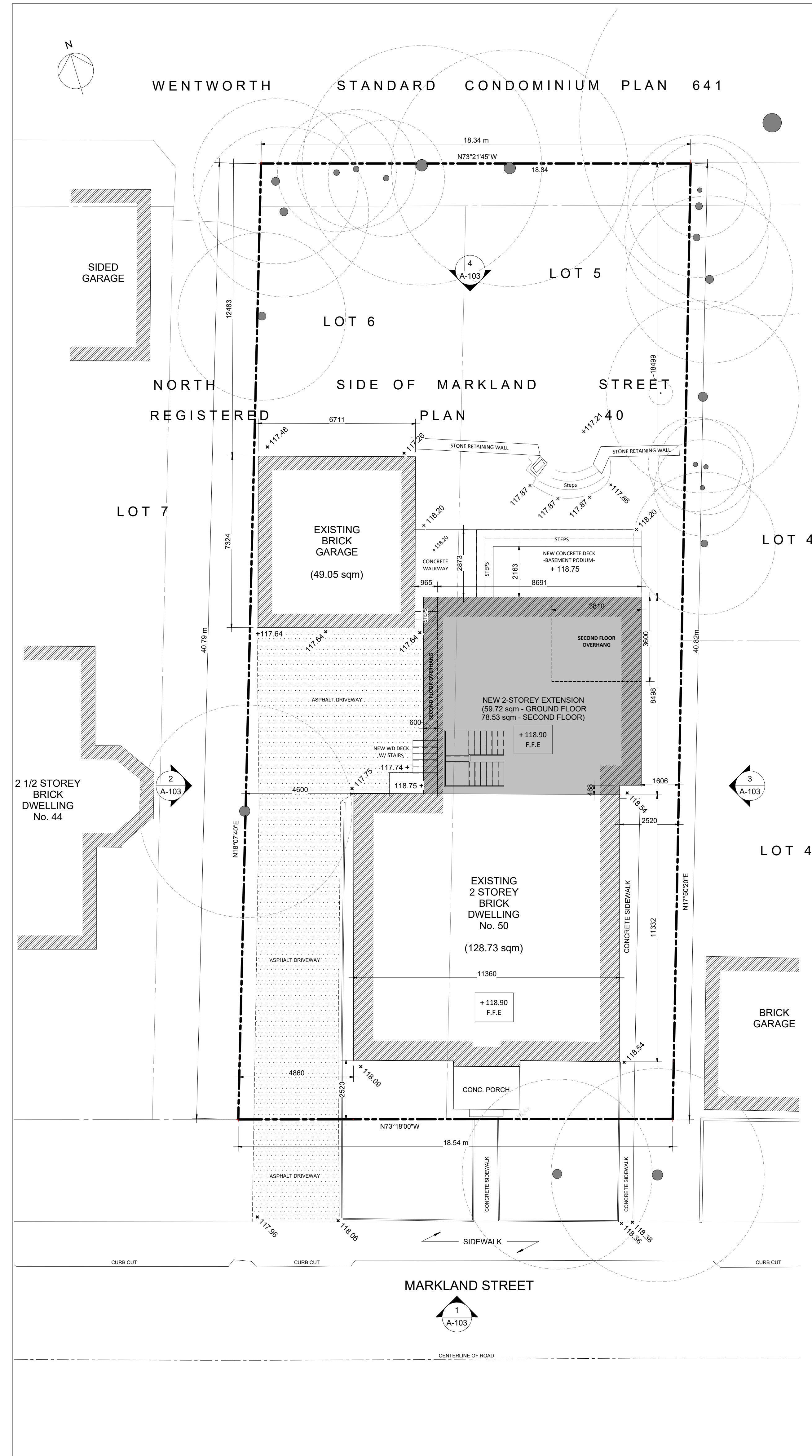
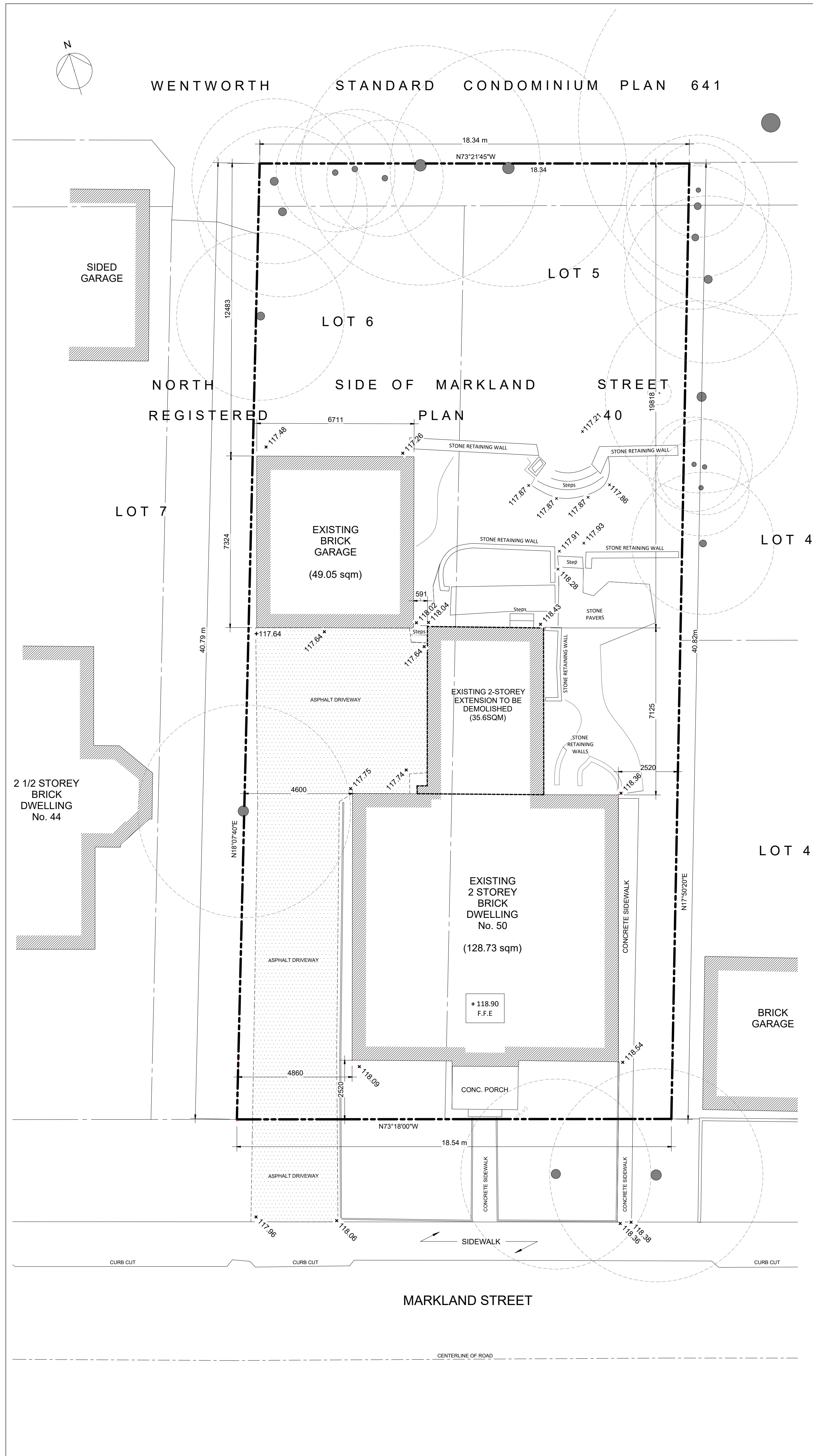
50 MARKLAND STREET 2-STOREY EXTENSION

50 MARKLAND ST, HAMILTON, ON, L8P 2J7

PROJECT No. 23-310



30" x 42" ARCHITECT SHEET SIZE
PLOT DATE: 2024-10-03 12:45:46 PM



GROSS FLOOR AREAS - 50 MARKLAND ST				
LEVEL	GFA - EXISTING TO REMAIN (SQM)	GFA - EXISTING TO BE DEMOLISHED (SQM)	GFA - NEW (SQM)	TOTAL (SQM)
BASEMENT	70.13	35.61	84.14	118.66
GROUND FLOOR	164.34	35.61	59.72	188.45
SECOND FLOOR	164.34	35.61	78.53	207.26
ATTIC	24.81		0.00	24.81
TOTAL AREA				539.18
TOTAL GFA ABOVE GRADE				420.53

SITE STATISTICS				
	SQM	REQUIRED	BY-LAW 05-200	BY-LAW 6893
LOT AREA - EXISTING PER SURVEY	751.87	360 sqm	360.00	360.00
BUILDING AREA PROPOSED (FOOTPRINT)	188.45			
EXISTING GARAGE (FOOTPRINT)	49.05			
ASPHALT DRIVEWAY AREA - EXISTING	99.466			
TOTAL LANDSCAPED AREA	414.89 sqm (55.18%)	30% min.	SECTION 15.1.2.(h) : 30%	NOT PROVIDED

FRONT YARD LANDSCAPING				
	SQM	REQUIRED (%)		
FRONT YARD AREA (FYA)	45.535			
ASPHALT DRIVEWAY AREA (WITHIN FRONT YARD)	9.093			
FRONT YARD LANDSCAPING (FYL)	36.442sqm (80.03%)	50.00%	SECTION 4.3.6(a) : 50%	NOT PROVIDED

SETBACKS/ BUILDING DIMENSIONS				
	PROPOSED (m)	REQUIRED (m)		
BUILDING HEIGHT LIMIT	9.78m New (10.3m existing)	10.50	10.5m	11m
LOT WIDTH	18.54m - EXISTING	12.00	12m	12m

SETBACKS				
	PROPOSED (m)	REQUIRED (m)		
FRONT YARD SETBACK	2.4 to 2.5m - EXISTING	4m MIN	4m MIN	6m MIN.
SIDE YARD SETBACK	2.3 to 4.86m - EXISTING	1.2m MIN.	1.2m MIN.	1.2m MIN.
REAR YARD SETBACK		7.5m MIN.	7.5m MIN.	7.5m MIN.

PROJECT
50 MARKLAND STREET
2-STORY EXTENSION
50 MARKLAND ST, HAMILTON, ON, L8P 2J7

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KEY PLAN
N

SEAL
NORTH ARROW
PROJECT NORTH TRUE NORTH

REVISIONS
No. Date Description

1 No. Date Description

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DRAWN BY: Author REVIEWED BY: Checker
DATE: Issue Date SCALE: 1:100
PROJECT NO.: 23-310

SHEET TITLE
SITE PLAN AND STATISTICS

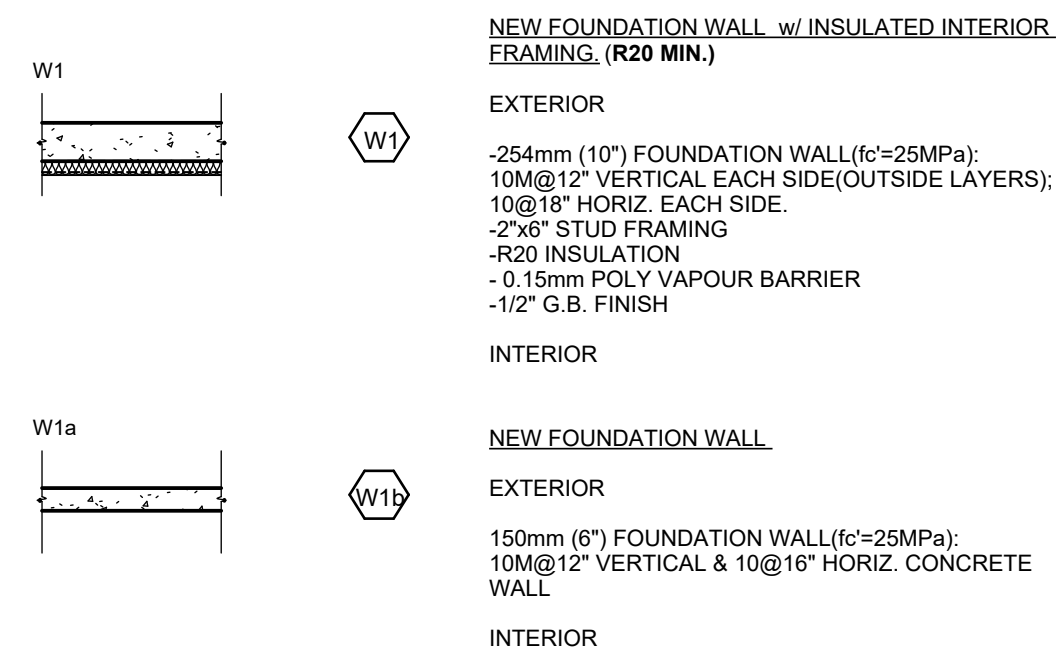
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30" x 42" ARCH. E1 - SHEET SIZE

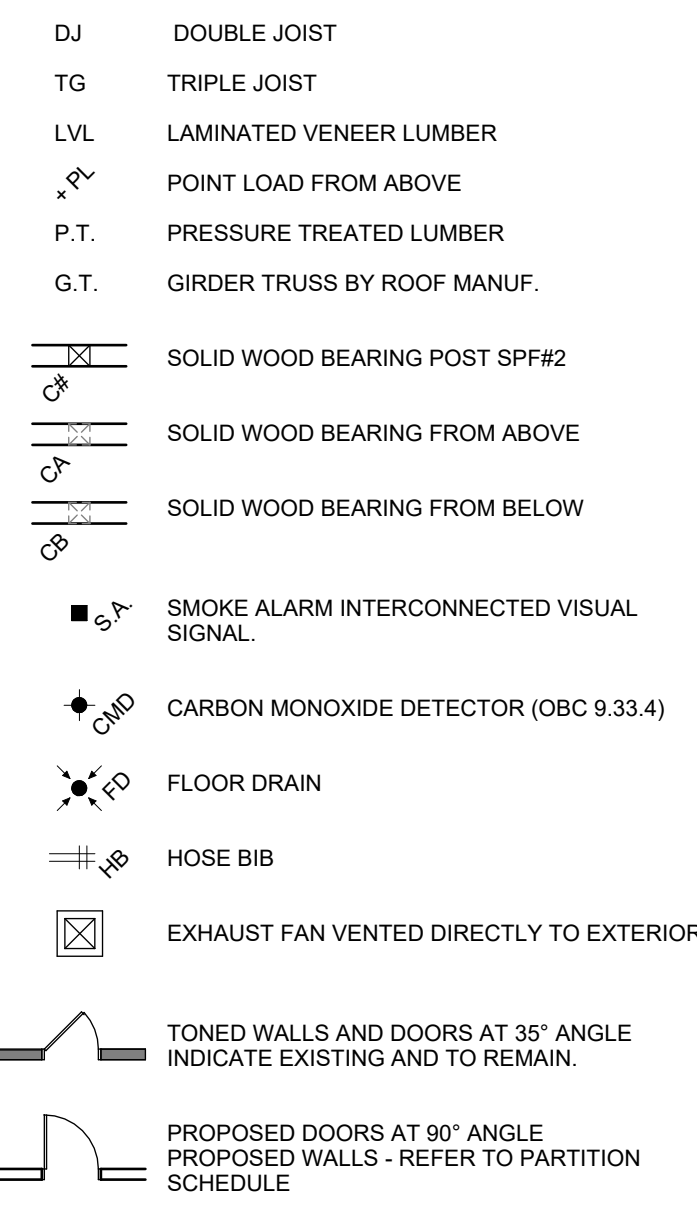
WALL & PARTITION SCHEDULE



NOTES

1. ALL PROPOSED INTERIOR PARTITIONS ARE TO BE 02.
2. STRUCTURE THAT IS HIGHLIGHTED IN A GREY TONE REFERS TO THE EXISTING STRUCTURE THAT WILL REMAIN AS IS.

DRAWING / PLAN SPECIFIC LEGEND



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2-STOREY EXTENSION

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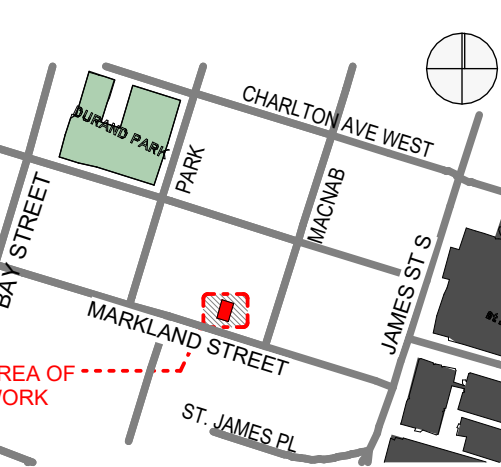
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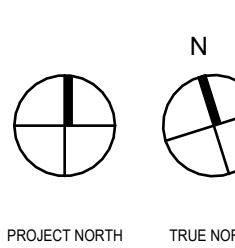
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KEY PLAN



SEAL

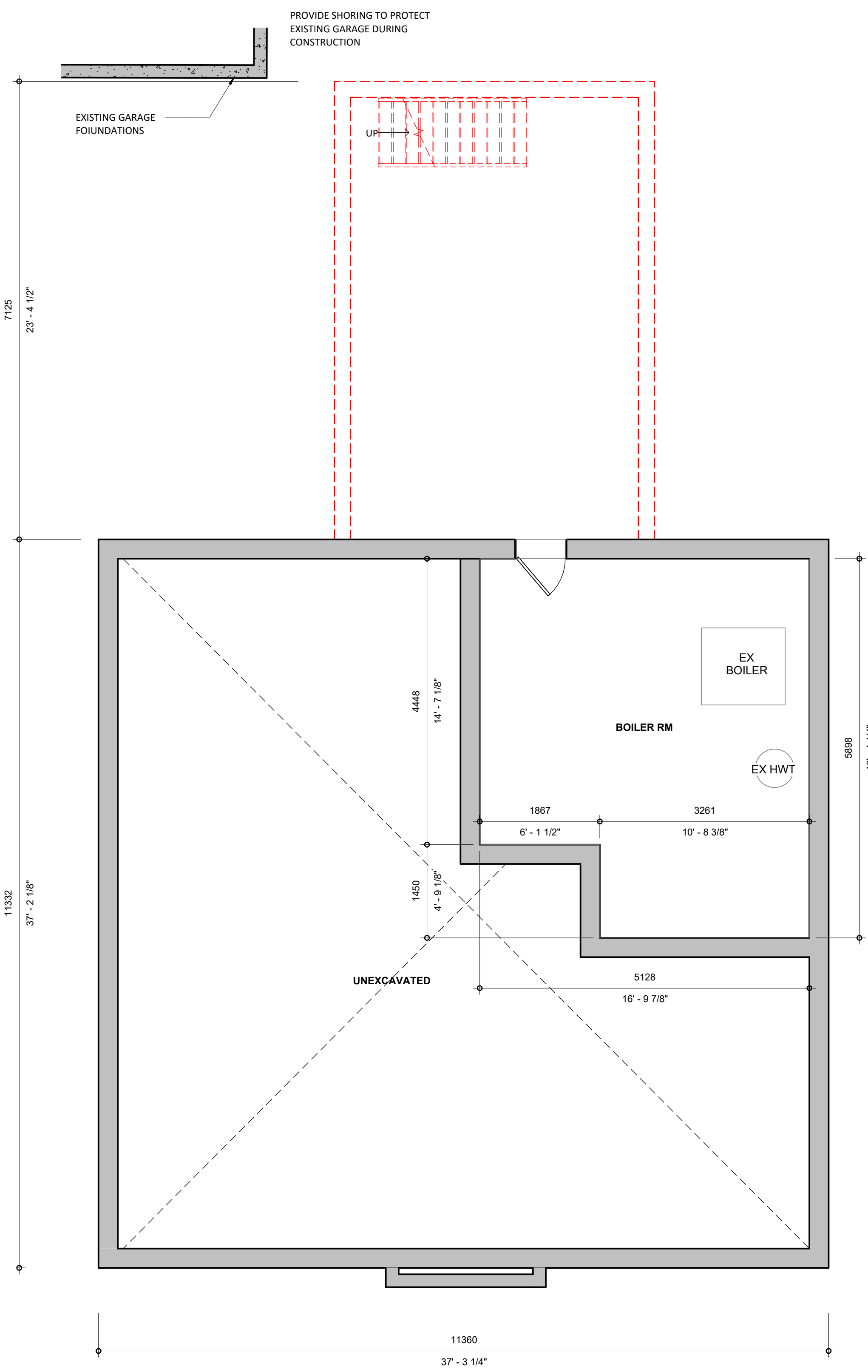
NORTH ARROW



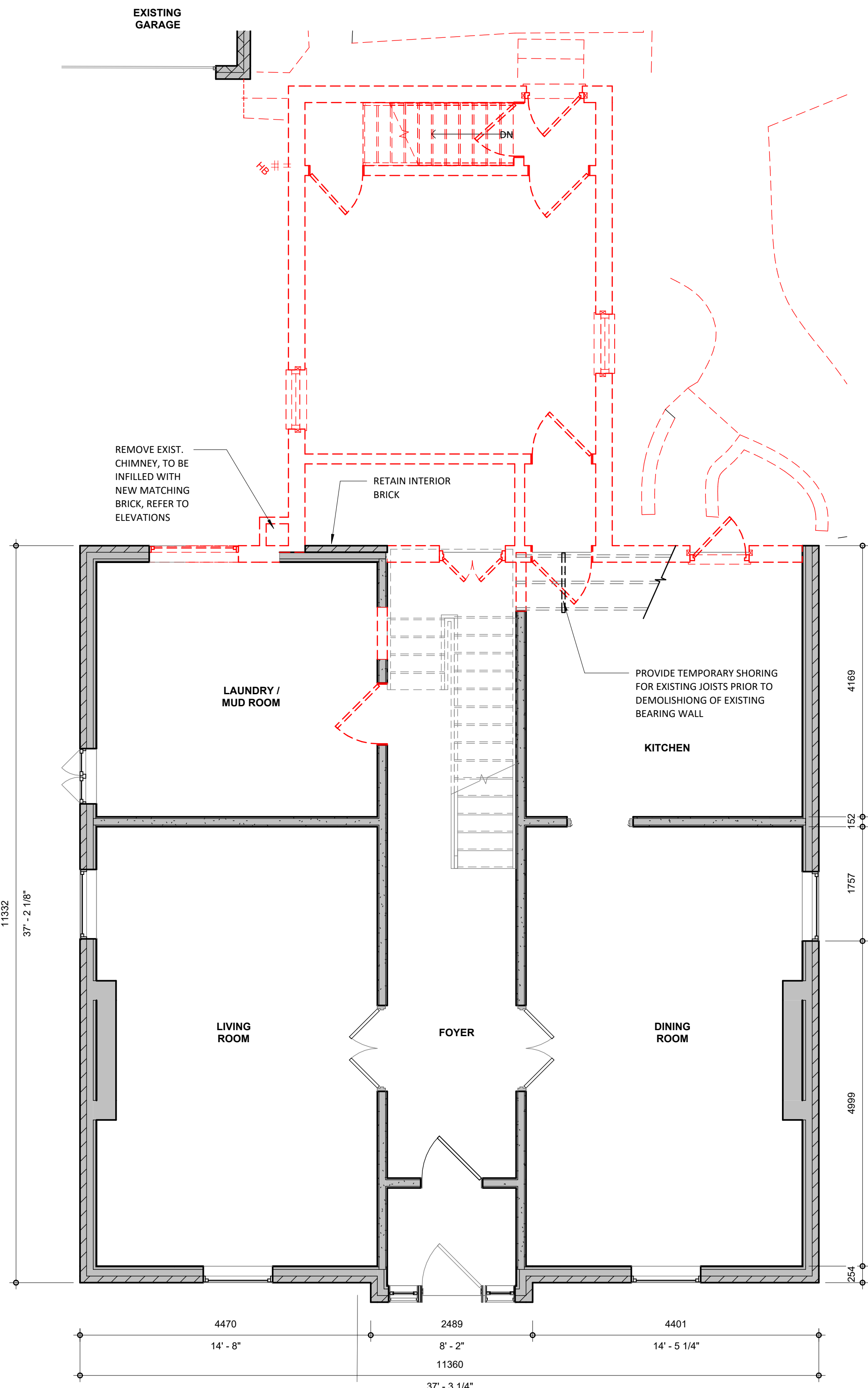
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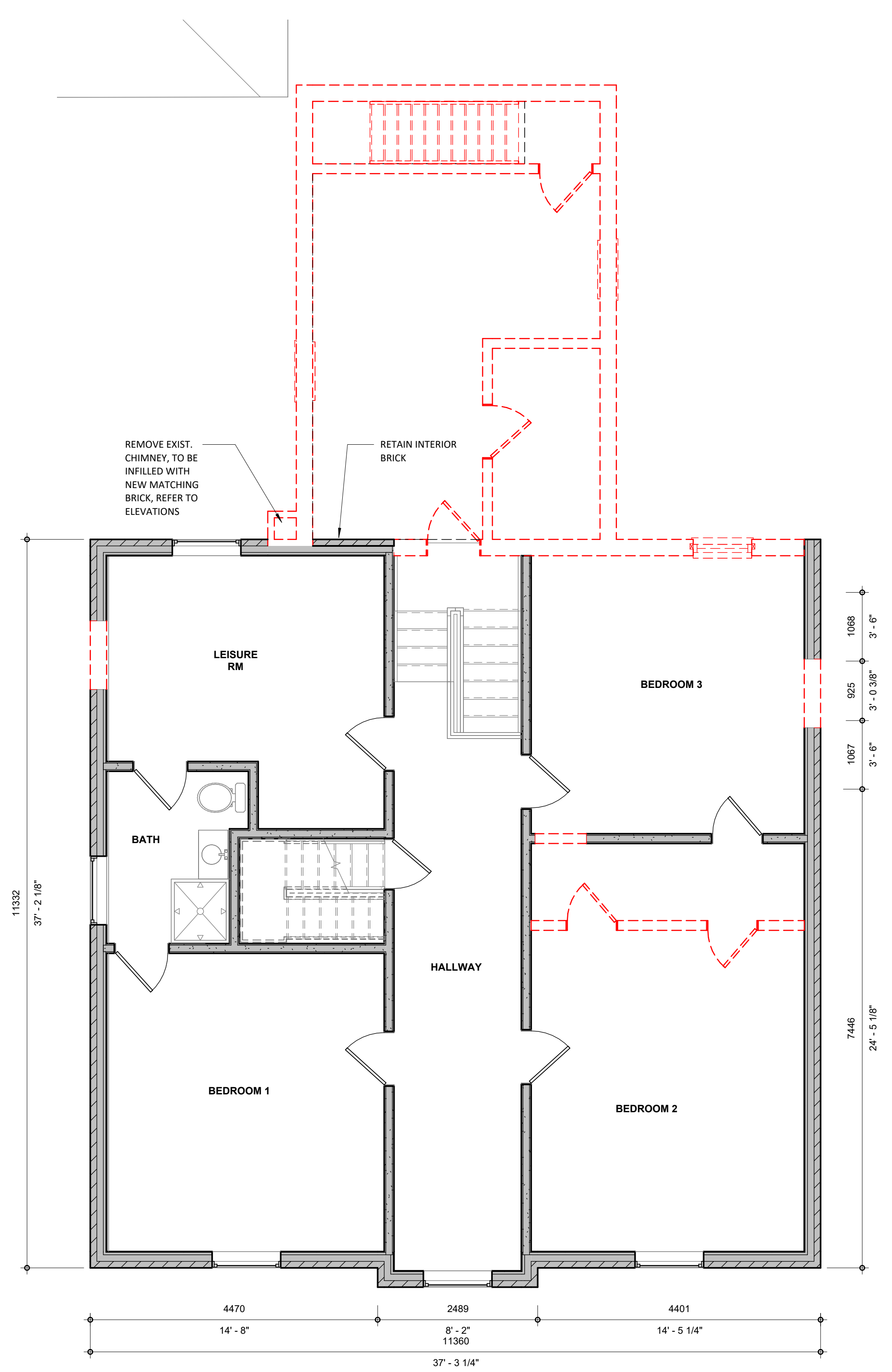
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1 EXIST. BASEMENT
1 : 50



2 EXIST. GROUND FLOOR
1 : 50



3 EXIST. SECOND FLOOR
1 : 50

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No. Date Description

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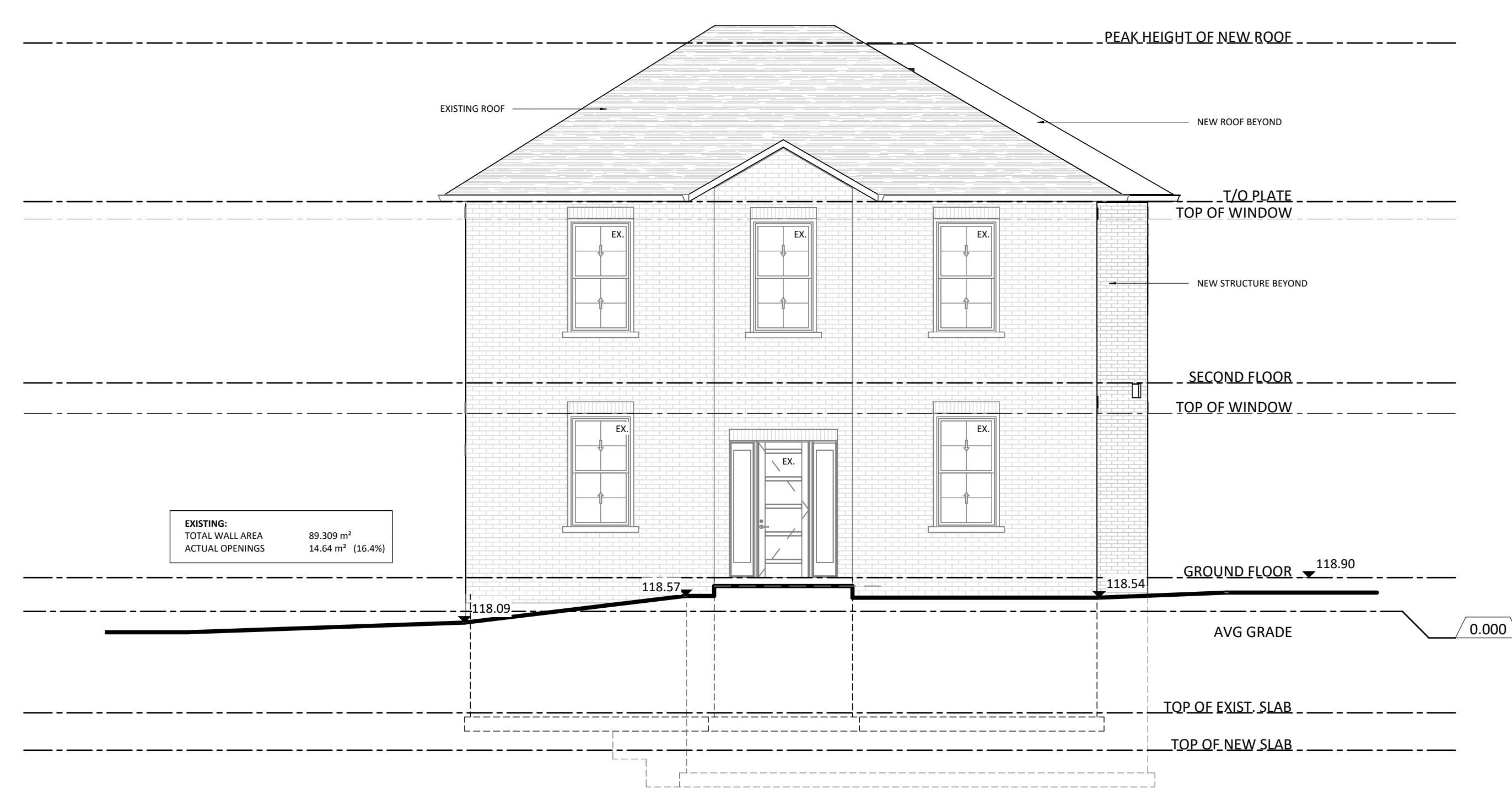
SHEET TITLE

EXISTING - DEMOLITION PLANS

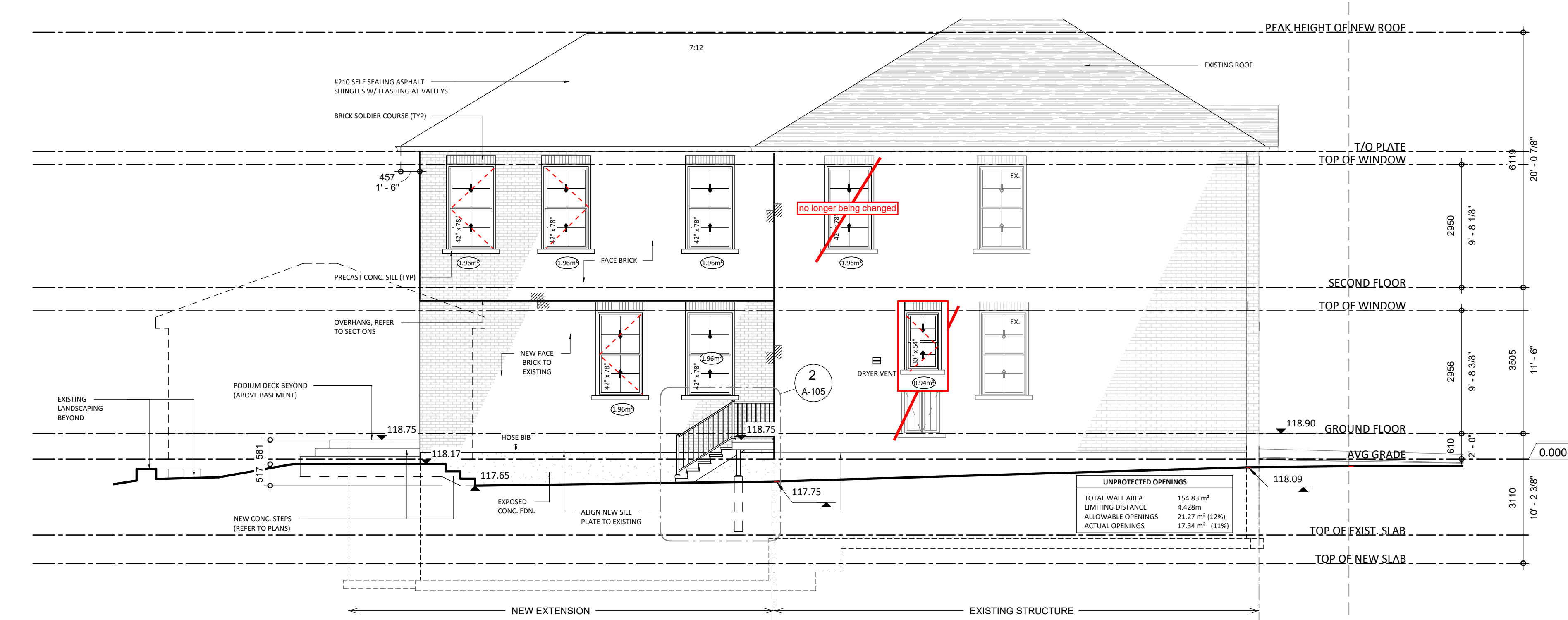
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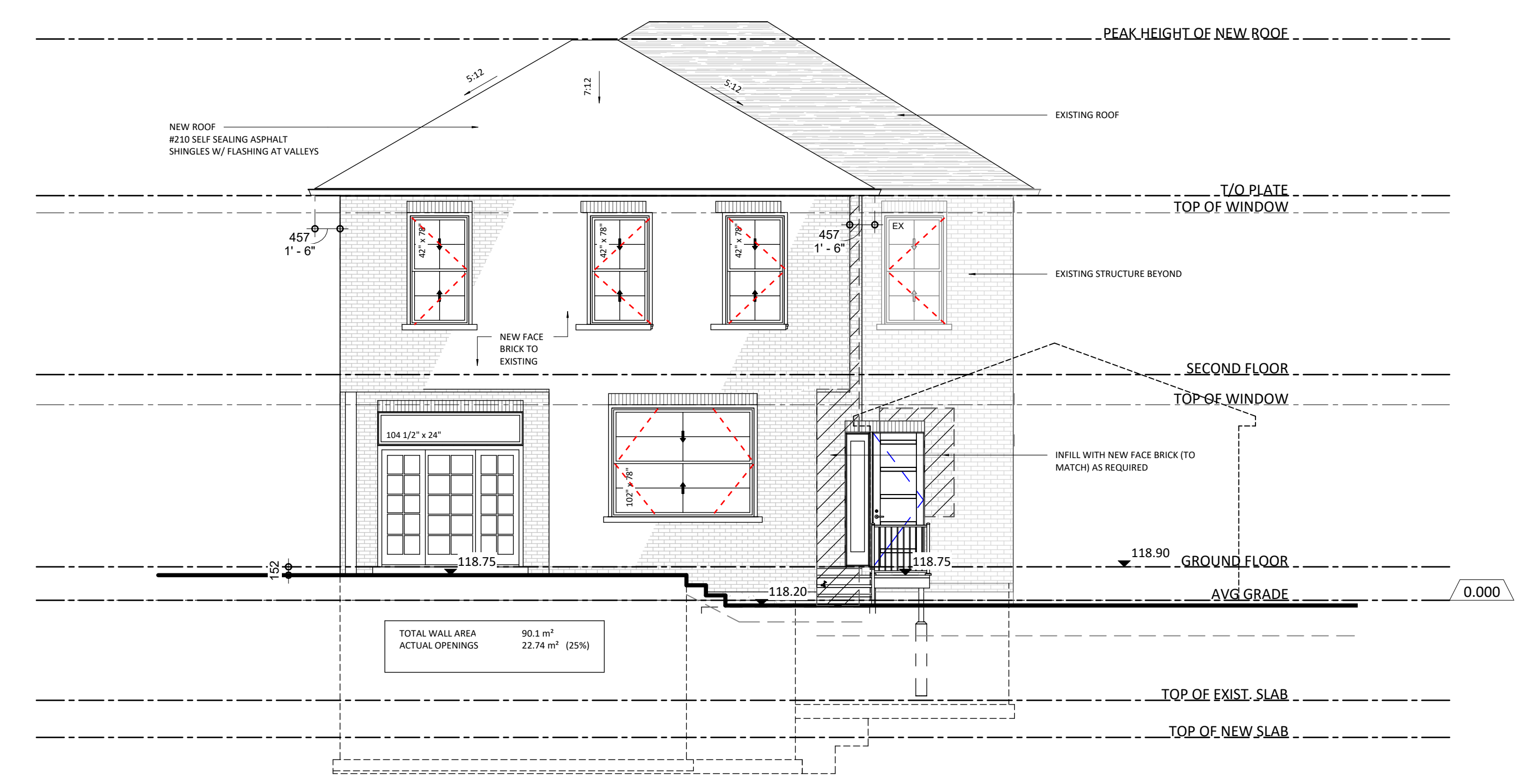


1 NORTH ELEVATION
 1 : 75

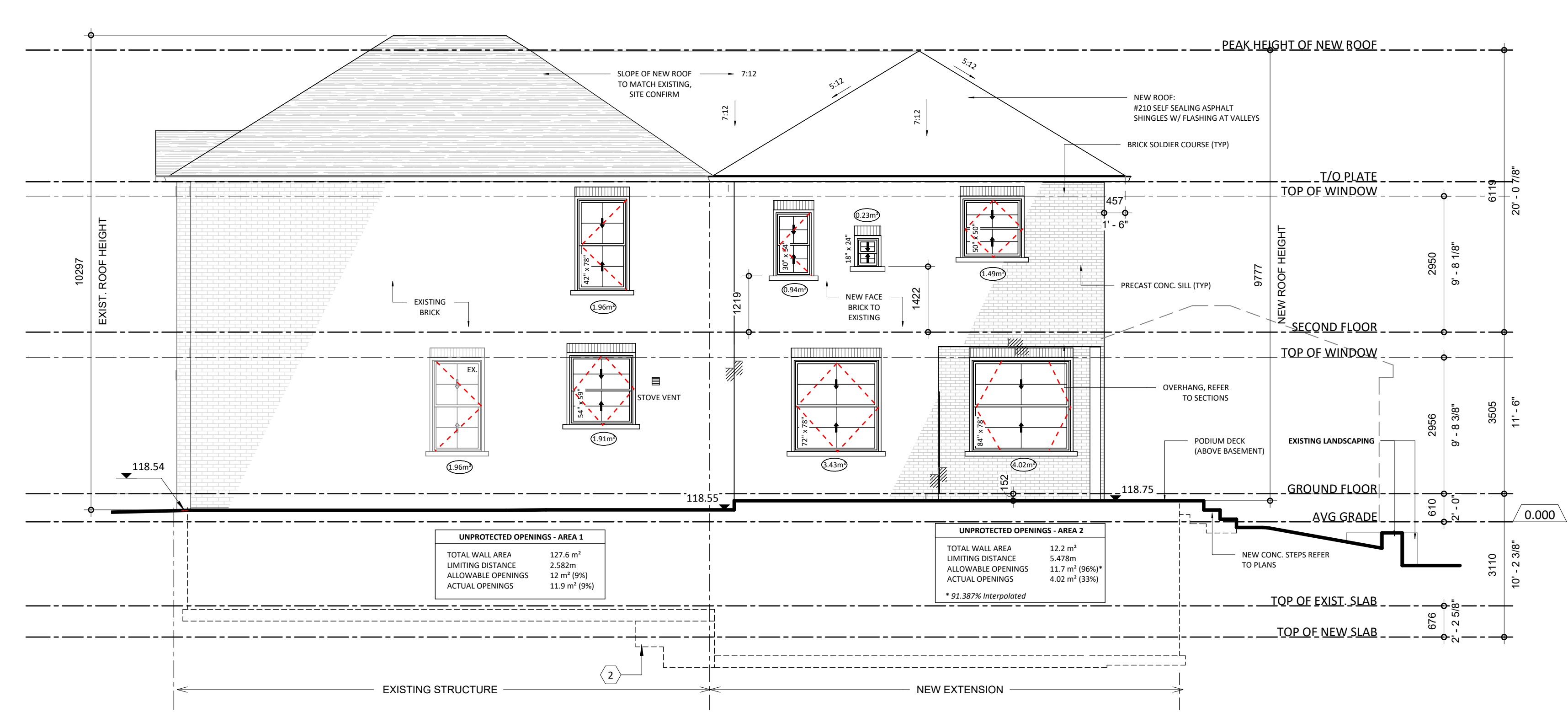


2 EAST ELEVATION
 1 : 75

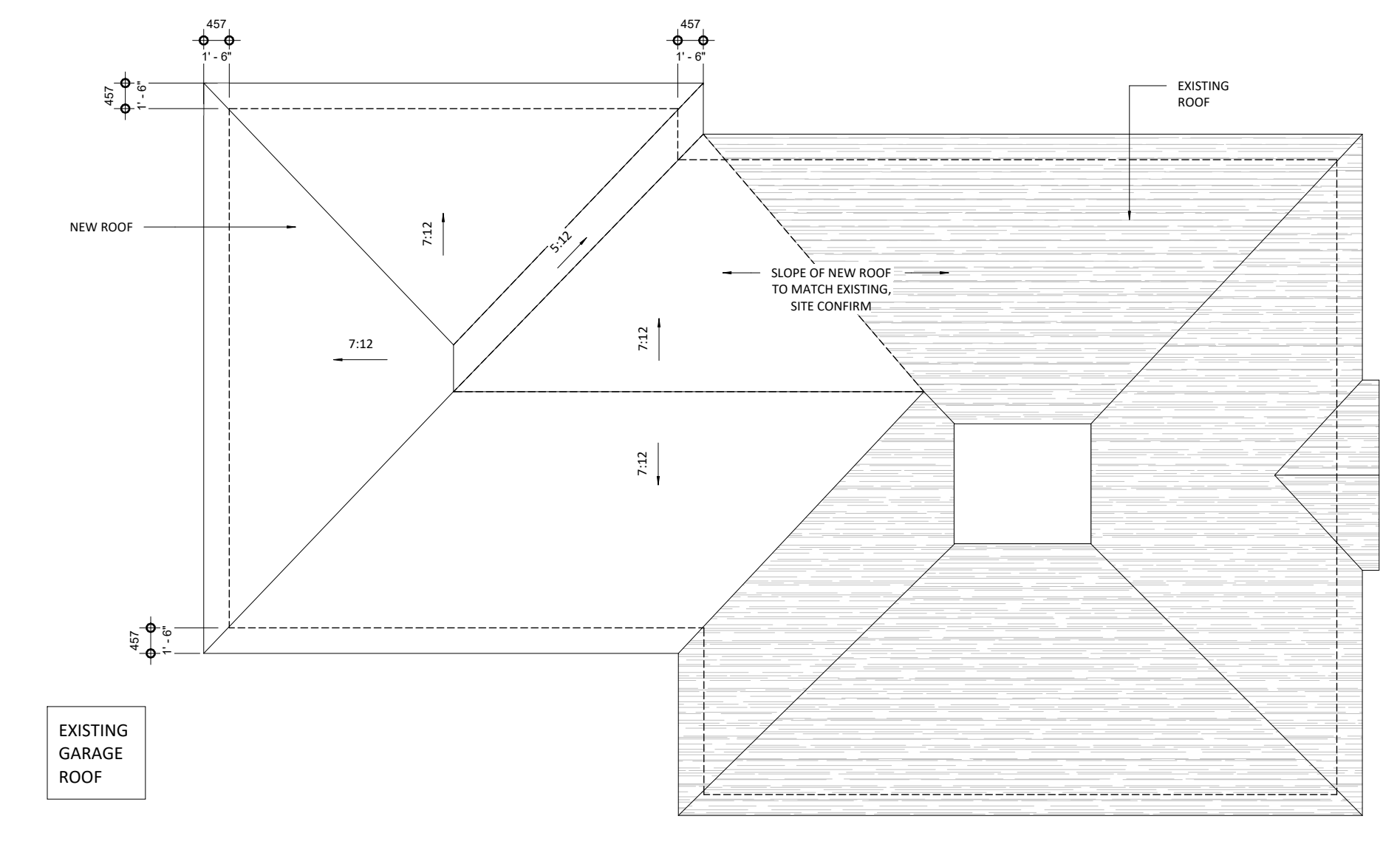
EXISTING WINDOWS TO BE REPLACED AS PER PROPOSAL DOCUMENT.
NEW WINDOWS TO MATCH SIMILAR STYLE AS EXISTING WINDOWS.



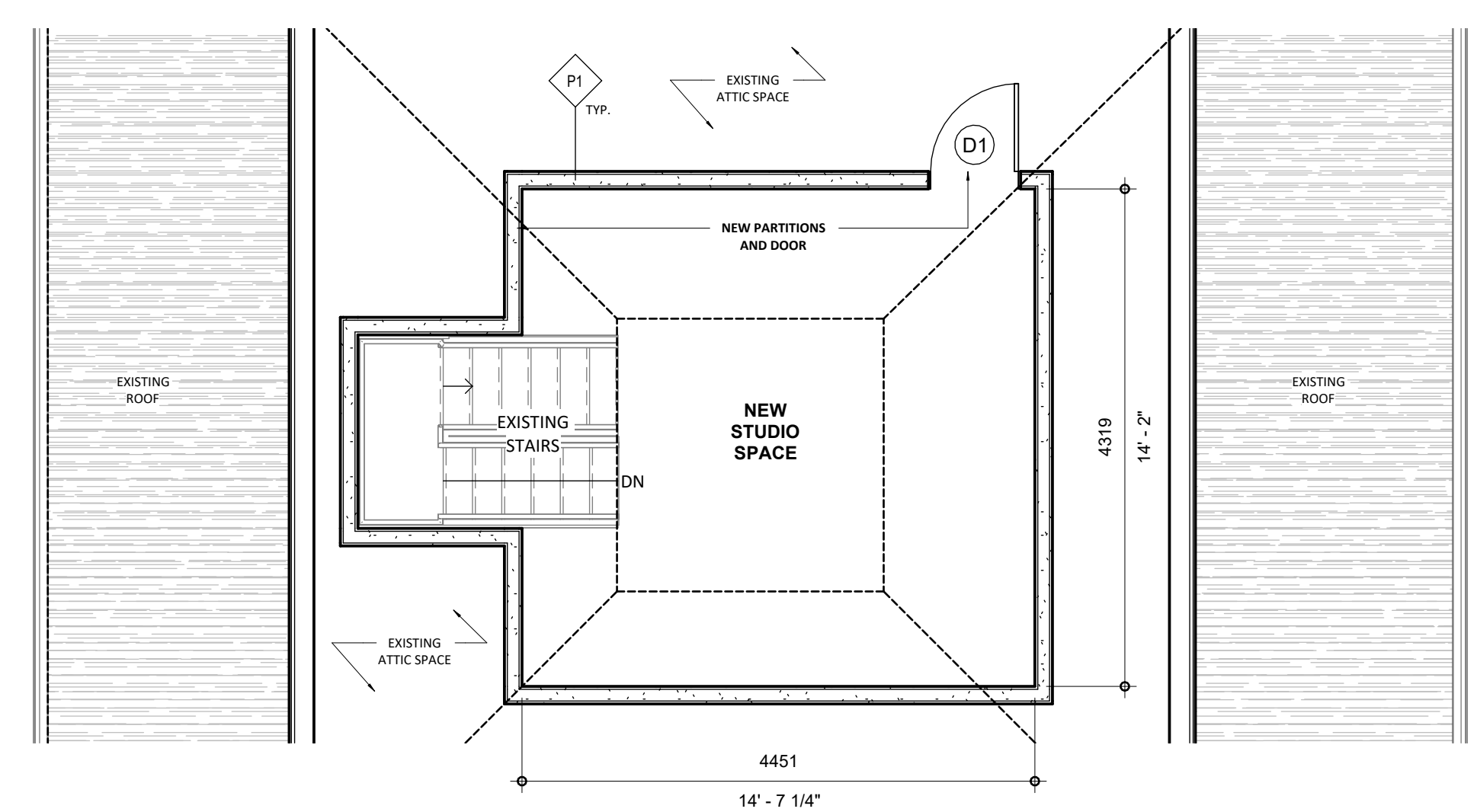
4 SOUTH ELEVATION
 1 : 75



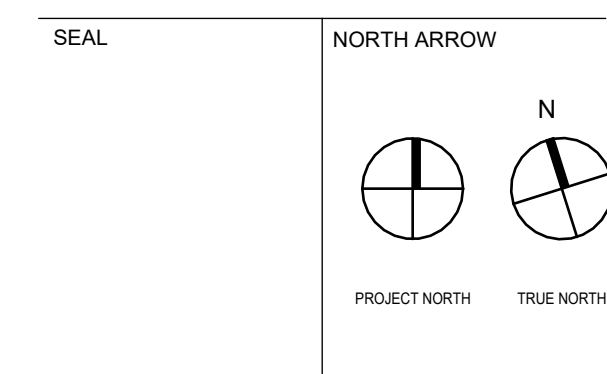
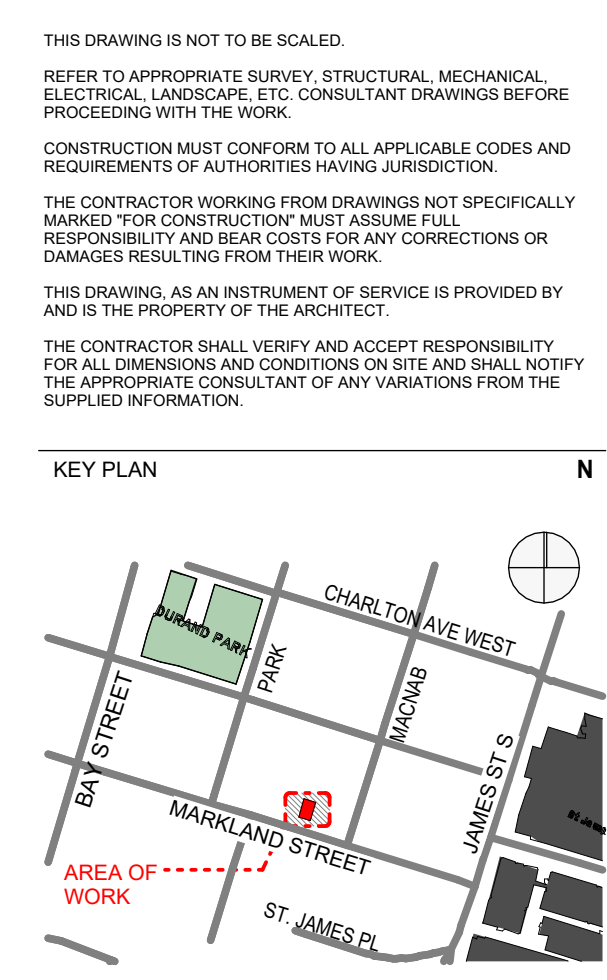
3 WEST ELEVATION
 1 : 75



5 ROOF PLAN
 1 : 100



6 EXISTING ATTIC SPACE
 1 : 50



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PROJECT NO.: **23-310**

SHEET TITLE
ELEVATIONS & PLANS