



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:259	SUBJECT PROPERTY:	114 Oneida Boulevard, Ancaster
ZONE:	R2 (Low Density Residential – Large Lot)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended by By-law 24-051

APPLICANTS: Owner: Seif El-Sahly
Agent: Tyler Rocheleau

The following variances are requested:

1. The aggregate gross floor area of all accessory buildings shall not exceed 54 square metres instead of the maximum aggregate gross floor area of 45m or 7.5% lot coverage permitted.

By-law 24-137;

1. The maximum combined lot coverage of all accessory buildings shall not exceed 54 square metres instead of the maximum 45 square metres or 7.5% lot coverage permitted.

PURPOSE & EFFECT: Variance required to facilitate the establishment of an accessory building.

Notes:

1. It is noted that the variances requested were relating to Ancaster By-law 87-57, which is no longer applicable to the subject lands. The subject lands were rezoned to the R2 zone, pursuant to Hamilton Zoning By-law 05-200 as part of by-law 24-051.
2. By-law 24-137 made amendments to section 4.8.1.1 a) and is not yet final and binding; as such, a variance has been written for the current regulation, as well as the proposed new regulation passed in by-law 24-137.

A-24:259

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, January 21, 2025
TIME:	3:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

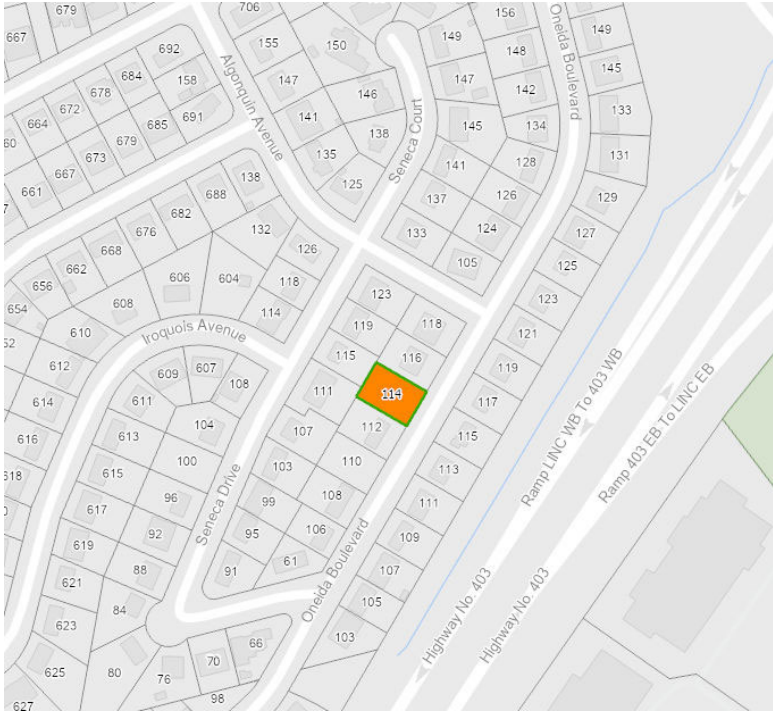
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon January 17, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received **no** later than noon January 20, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:259, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: January 2, 2025

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

GENERAL NOTES

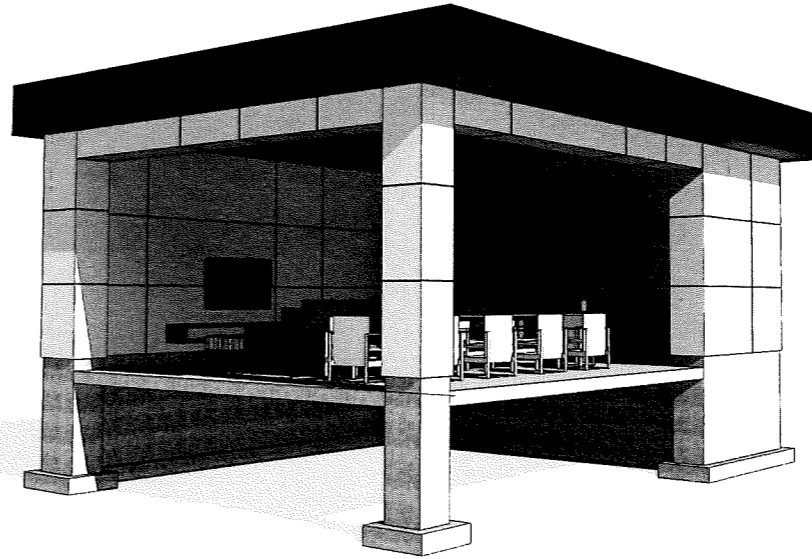
1. THESE DRAWINGS ARE PROTECTED BY COPYRIGHT LAW. REPRODUCTION IN WHOLE OR IN PART, OR PREPARATION OF DERIVATIVE WORKS THEREOF, WITHOUT PRIOR WRITTEN PERMISSION FROM ORIGIN AND CAUSE INC., IS STRICTLY PROHIBITED.
2. THESE DRAWINGS ARE FOR THE SPECIFIED PROJECT ONLY AND ARE NOT TRANSFERABLE.
3. DIMENSIONS ARE TO BE READ AND NOT SCALED.
4. DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO AND DURING CONSTRUCTION.
5. ALL CODES, STANDARDS, AND GUIDELINES REFERENCED HEREIN SHALL BE THE LATEST EDITIONS THEREOF UNLESS NOTED OTHERWISE.
6. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE OBC, INCLUDING SUPPLEMENTS AND AMENDMENTS.
7. WHERE INFORMATION CONTAINED ON THE DRAWINGS AND THE OBC DO NOT AGREE, THE MORE STRINGENT CONDITIONS SHALL APPLY.
8. A BUILDING PERMIT SHALL BE OBTAINED FROM THE AHJ PRIOR TO COMMENCING THE WORK.
9. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO:
 - 9.1. FILE A NOTICE OF PROJECT WITH THE MINISTRY OF LABOUR IN ACCORDANCE WITH O. REG 213/91;
 - 9.2. COMPLETE THE PROJECT IN A SAFE AND WORKMANLIKE MANNER AND TO COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS;
 - 9.3. TEST FOR THE PRESENCE OF MOULD, LEAD, ASBESTOS, OR OTHER HAZARDOUS MATERIALS WHERE SUCH MATERIALS MAY BE PRESENT AND TAKE ALL NECESSARY STEPS TO SAFELY AMELIORATE THE HAZARD;
 - 9.4. DETERMINE THE LOCATION OF SERVICES AND PROTECT UTILITIES AS NECESSARY TO COMPLETE THE WORK;
 - 9.5. PROTECT EXISTING TREES AND THEIR ROOT STRUCTURES IN ACCORDANCE WITH LOCAL BYLAWS;
 - 9.6. DISPOSE OF ALL DEMOLISHED, REMOVED, AND/OR WASTE MATERIALS LEGALLY OFF SITE AND IN ACCORDANCE WITH LOCAL HAULING AND DISPOSAL REQUIREMENTS;
 - 9.7. PROVIDE THE ERECTION PROCEDURE AND ALL TEMPORARY BRACING, FALSEWORK, FORMWORK, NEEDLING, SCAFFOLDING, SHORING, SUPPORTS, ETC. NECESSARY TO SAFELY CARRY OUT THE WORK;
 - 9.8. ENSURE THE ELIMINATION OF SMOKE ODOUR;
 - 9.9. NOTIFY THE AHJ AT THE APPROPRIATE STAGES TO SCHEDULE THE REQUIRED INSPECTIONS;
 - 9.10. MAKE GOOD ALL DAMAGES DONE DURING CONSTRUCTION.
10. ANY PROPRIETARY BUILDING PRODUCTS SPECIFIED SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. SUBSTITUTIONS OF ALTERNATE PRODUCTS MUST BE APPROVED BY ORIGIN AND CAUSE INC.
11. CONTRACTOR SHALL CONTACT ORIGIN AND CAUSE INC. FOR FURTHER INSTRUCTIONS IF DEVIATIONS FROM THIS DOCUMENT ARE REQUIRED.

DESIGN

1. ORIGIN AND CAUSE INC. IS RESPONSIBLE FOR THE STRUCTURAL & ARCHITECTURAL DESIGN ONLY. DRAINAGE, ELECTRICAL, HVAC, INTERIOR, LANDSCAPE, MECHANICAL, PLUMBING, SEWAGE SYSTEM, AND/OR SITE GRADING DESIGNS, IF REQUIRED, SHALL BE PROVIDED BY OTHERS.
2. DESIGN HAS BEEN CARRIED OUT IN GENERAL ACCORDANCE WITH THE FOLLOWING CODES, STANDARDS, AND GUIDELINES:
 - 2.1. 2012 ONTARIO BUILDING CODE (OBC)
 - 2.2. 2010 NATIONAL BUILDING CODE OF CANADA (NBCC)
 - 2.3. CSA STANDARDS:
 - 2.3.1. O86 ENGINEERING DESIGN IN WOOD
 - 2.4. CWC ENGINEERING GUIDE FOR WOOD FRAME CONSTRUCTION
3. SPECIFIED (UNFACTORED) DESIGN LOADS
 - 3.1. DEAD LOADS
 - 3.1.1. ROOF (TOP CHORD): 4 psf [0.19 kPa]
 - 3.1.2. ATTIC (BOTTOM CHORD): 3.5 psf [0.17 kPa]
 - 3.1.3. FLOOR: 12 psf [0.57 kPa]
 - 3.2. SUPERIMPOSED DEAD LOADS
 - 3.2.1. ROOF (TOP CHORD): 5 psf [0.24 kPa]
 - 3.2.2. ATTIC (BOTTOM CHORD): 4 psf [0.19 kPa]
 - 3.3. LIVE LOADS
 - 3.3.1. ROOF (TOP CHORD): 21 psf [1.00 kPa]
 - 3.3.2. ATTIC (W/O STAIR ACCESS): 10.4 psf [0.50 kPa]
 - 3.3.3. RESIDENTIAL OCCUPANCY: 40 psf [1.92 kPa]
 - 3.4. SNOW LOADS
 - 3.4.1. $S_s = 39.7$ psf [1.9 kPa] $S_r = 8.4$ psf [0.4 kPa]
 - 3.4.2. $I_s = 1.0$ (ULS) $I_s = 0.9$ (SLS)
 - 3.5. WIND LOADS
 - 3.5.1. $q(1/10) = 7.5$ psf [0.36 kPa] $q(1/50) = 9.6$ psf [0.46 kPa]
 - 3.5.2. $I_w = 1.0$ (ULS) $I_w = 0.75$ (SLS)
 - 3.5.3. TERRAIN: ROUGH
 - 3.5.4. INTERNAL PRESSURE: CATEGORY 2 (Cpi = -0.45 to +0.3)

INSPECTIONS

1. ORIGIN AND CAUSE INC. HAS NOT BEEN RETAINED TO PROVIDE GENERAL FIELD REVIEW OF CONSTRUCTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE INSPECTION REQUIREMENTS AND NOTIFY THE AHJ OF READINESS TO INSPECT IN COMPLIANCE WITH THE *ONTARIO BUILDING CODE ACT*.
3. ALL CONSTRUCTION, WHETHER DEPICTED ON THE DRAWINGS OR NOT, IS SUBJECT TO FIELD-APPROVAL BY THE LOCAL BUILDING INSPECTOR.
4. INSPECTIONS ARE FOR EVALUATING GENERAL CONFORMITY WITH THE DESIGN CONCEPT. THEY DO NOT ABSOLVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS AND IN COMPLIANCE WITH THE OBC AND OH & S ACT AND REGULATIONS.




SHEET LIST

SHEET #	SHEET TITLE
A001	General Notes
A002	General Notes
A003	Site Plan
A101	Foundation Plan
A102	Main Floor Plan
A103	Roof Plan & Schedules
A201	Elevations
A202	Elevations
A301	Sections

ABBREVIATIONS

AHJ	AUTHORITY HAVING JURISDICTION	F.J.	FLOOR JOISTS
BLDG	BUILDING	HOR	HORIZONTAL
B.O.	BOTTOM OF	INSUL	INSULATION
COL.	COLUMN	LG.	LONG
CANT.	CANTILEVERED	LNTL	LINTEL
C/W	COMPLETE WITH	MAX.	MAXIMUM
CL.	CLOSET	MIN.	MINIMUM
CLG	CEILING	NBCC	NATIONAL BUILDING CODE OF CANADA
CONC.	CONCRETE	NLB	NON-LOADBEARING
CONT.	CONTINUOUS	NTS	NOT TO SCALE
CSA	CANADIAN STANDARDS ASSOCIATION	OBC	ONTARIO BUILDING CODE
CSP	CANADIAN SOFTWOOD PLYWOOD	O.C.	ON CENTRE
DBL	DOUBLE	OSB	ORIENTED STRAND BOARD
DET.	DETAIL	POLY	POLYETHYLENE
DF-L	DOUGLAS FIR-LARCH	P/A	POST ABOVE
DFP	DOUGLAS FIR PLYWOOD	P.L.	POINT LOAD
DIA. Ø	DIAMETER	R/W	REINFORCED WITH
DIST.	DISTANCE	REQ'D	REQUIRED
DN	DOWN	R.R.	ROOF RAFTERS
E/W	EACH WAY	SPC.	SPACING
E.E.	EACH END	S-P-F	SPRUCE PINE FIR
EMBED	EMBEDMENT	T.O.	TOP OF
E.S.	EACH SIDE	TYP.	TYPICAL
EXT.	EXTERIOR	UNO	UNLESS NOTED OTHERWISE
EX.	EXISTING	W/	WITH
FDN.	FOUNDATION	W/O	WITHOUT

Project Name POOL CABANA		
Project Address 114 ONEIDA BLVD. ANCASTER, ON.		
File No.	R1179	
Sheet Title General Notes		
Drawing No.	Revision No.	Sheet No.
A001		1 OF 12
Scale		
Sheet Size ANSI B (11"x17")		
Checked by: AJL	Drawn by: TR	
Date 2024-11-12		
No.	Description	Date
1	Client Review	2024-05-09
2	Technical Revisions	2024-05-13
PEO Certificate of Authorization #11451103		
		
120 WATLINE AVE, UNIT 8 MISSISSAUGA, ONTARIO L4Z 2C1 TEL: +1 888-624-3473 INFO@ORIGIN-AND-CAUSE.COM		
DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS HAVE BEEN PREPARED FOR THE CLIENT FOR THE SPECIFIED PROJECT ONLY AND ARE NOT TRANSFERABLE. THEY REMAIN THE INTELLECTUAL PROPERTY OF ORIGIN AND CAUSE INC. USE OR REPRODUCTION IN WHOLE OR IN PART IS FORBIDDEN WITHOUT ORIGIN AND CAUSE'S CONSENT.		

NOT FOR CONSTRUCTION

EXCAVATION, FOUNDATIONS, AND BACKFILL

- 1. EXCAVATION SHALL BE UNDERTAKEN SUCH THAT EXISTING STRUCTURES, UTILITIES, AND ADJACENT PROPERTIES WILL NOT BE ADVERSELY AFFECTED.
2. ALL TOPSOIL AND ORGANIC MATTER IN UNEXCAVATED AREA UNDER THE BUILDING MUST BE REMOVED.
3. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ORGANIC MATERIAL.
4. WHERE TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS, AND WOOD DEBRIS SHALL BE REMOVED TO A DEPTH OF NO LESS THAN 12" [305 MM] IN EXCAVATED AREAS UNDER THE BUILDING.
5. BEARING-TYPE FOUNDATIONS SHALL BE CONSTRUCTED ON COMPETENT, UNDISTURBED SOIL, ROCK, OR MINIMUM 6" [152 MM] GRAVEL (ROAD BASE), COMPACTED TO AT LEAST 98% SPD, UNO.
6. DOUBLE THE BEARING AREA OF FOOTINGS WHERE THE DEPTH OF THE WATER TABLE IS LESS THAN THE DEPTH OF FOOTING PLUS 24" [610 MM].
7. FOUNDATION WALLS SHALL EXTEND NO LESS THAN 8" [203 MM] ABOVE FINISHED GRADE.
8. CONFIRM ALL OPENINGS IN FOUNDATION WALLS WITH WINDOW OR DOOR MANUFACTURER'S ROUGH OPENING SIZES PRIOR TO CONSTRUCTION.
9. BACKFILL MATERIALS WITHIN 24" [610 MM] OF FOUNDATION WALL SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 10" [254 MM] IN DIAMETER.
10. FOUNDATION WALLS SHALL BE SUITABLY BRACED WITH TEMPORARY BRACING OR BY THE FLOOR PLATFORM PRIOR TO BACKFILLING.
11. GRADE LINES SHOWN ON THE DRAWINGS ARE ASSUMED. BACKFILL HEIGHT SHALL NOT THE EXCEED THE MAXIMUM BACKFILL HEIGHT SPECIFIED ON THE DRAWINGS.
12. ALL FILL PLACED BENEATH CONCRETE SLABS SHALL BE HEAVILY COMPACTED TO PROVIDE UNIFORM SUPPORT.

BATHROOMS

- 1. PROVIDE MOISTURE RESISTANT DRYWALL TO PERIMETER OF INTERIOR BATHROOM WALLS AND CEILING. WHERE CEILING JOIST OR TRUSS SPACING EXCEEDS 12" [305 MM], PROVIDE STRAPPING TO CEILING AT 12" [305 MM] O.C.
2. TUBS SHOWN ON PLANS TO BE ONE PIECE TUB/SHOWER UNITS, UNLESS OTHERWISE NOTED ON THE DRAWINGS OR APPROVED BY OWNER.
3. STUD WALLS ADJACENT TO WATER CLOSETS, SHOWERS, AND BATHTUBS SHALL BE REINFORCED WITH 2X8 [38 MM X 184 MM] SOLID BLOCKING TO PERMIT FUTURE INSTALLATION OF GRAB BARS.

WOOD FRAMING

- 1. WOOD DESIGN AND CONSTRUCTION TO CONFORM TO CSA O86.
2. ALL DIMENSIONAL LUMBER SHALL BE KILN DRIED, SPF GRADE NO. 2 OR BETTER, UNLESS NOTED OTHERWISE OR WITH PRIOR WRITTEN APPROVAL BY THE ENGINEER.
3. EXTERIOR WALL SHEATHING SHALL BE MINIMUM 7/16" [11 MM] THICK EXTERIOR SHEATHING GRADE OSB OR PLYWOOD.
4. WALLS NOT SHEATHED ON BOTH SIDES SHALL BE INSTALLED WITH BLOCKING AT MAXIMUM 5'-0" [1524 MM] VERTICAL SPACING.
5. UNLESS NOTED OTHERWISE, SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" [13 MM] DIAMETER ANCHOR BOLTS AT ENDS OF WALLS, CORNERS, WALL OPENINGS, AND AT MAXIMUM 6'-0" [1829 MM] SPACING. ANCHOR BOLTS ARE TO BE EMBEDDED NO LESS THAN 4-1/2" [114 MM] IN THE CONCRETE. NON-LOADBEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON BLOCKING BETWEEN JOISTS. BLOCKING UNDER A PARTITION SHALL BE SPACED NO MORE THAN 3'-0" [914 MM] APART ON CENTRE.
7. PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.
8. PROVIDE SIMPSON STRONG-TIE FACE MOUNT JOIST HANGERS FOR DIMENSIONAL LUMBER OF SINGLE, DOUBLE, AND TRIPLE PLY FLUSH JOISTS.
9. CONTINUOUS LINES OF FULL-DEPTH BLOCKING OR 2X2 [38 MM X 38 MM] CROSS-BRIDGING SHALL BE PROVIDED AT MAXIMUM 6'-11" [2108 MM] SPACING FROM THE SUPPORTS AND/OR OTHER LINES OF BLOCKING AND/OR BRIDGING. PROPRIETARY METAL CROSS-BRIDGING MUST BE PRE-APPROVED IN WRITING BY THE ENGINEER. SINGLE-PLY HEADER JOISTS ARE PERMITTED UP TO 3'-8" [1118 MM] LONG. DOUBLE HEADER JOISTS ARE PERMITTED UP TO 9'-10" [2997 MM] LONG. REFER TO PLANS OR OBTAIN ENGINEER APPROVAL FOR OTHER CASES.
11. TRIMMER JOISTS SUPPORTING HEADER JOISTS UP TO 2'-7" [787 MM] LONG ARE PERMITTED TO BE SINGLE-PLY. DOUBLE TRIMMER JOISTS ARE PERMITTED TO SUPPORT HEADER JOISTS UP TO 6'-0" [1829 MM] LONG. REFER TO PLANS OR OBTAIN ENGINEER APPROVAL FOR OTHER FLOOR OPENING CONDITIONS.
12. SUBFLOORING TO BE MINIMUM 19/32" [15 MM] THICK T & G OSB OR PLYWOOD, INSTALLED WITH THE SURFACE GRAIN PERPENDICULAR TO THE FLOOR JOISTS. STAGGER THE JOINTS PARALLEL TO THE FLOOR JOISTS AND AVOID ALIGNING JOINTS WITH THE ENDS OF JOISTS AT INTERIOR LOADBEARING BEAMS OR WALLS.
13. SUBFLOORING TO BE GLUED AND NAILED IN ACCORDANCE WITH THE RECOMMENDATIONS OF APA Q300.
14. HIP, VALLEY, AND RIDGE RAFTERS SHALL BE AT LEAST ONE NOMINAL SIZE DEEPER THAN THE COMMON RAFTERS U.N.O.
15. COLLAR TIES WITH CLEAR SPAN EXCEEDING 7'-0" [2134 MM] SHALL BE Laterally BRACED WITH A CONTINUOUS BRACING MEMBER. BRACE TO BE 1X6 FOR COLLAR TIE SPACINGS UP TO 24", OR 2X6 FOR LONGER SPACINGS.
16. ROOF SHEATHING SHALL BE MINIMUM 1/2" [12.5 MM] THICK EXTERIOR SHEATHING GRADE PLYWOOD INSTALLED WITH THE SURFACE GRAIN PERPENDICULAR TO THE ROOF FRAMING. JOINTS PERPENDICULAR TO THE RIDGE SHALL BE STAGGERED, WITH EDGES SUPPORTED ON STRUCTURAL FRAMING.
17. PROVIDE METAL H-CLIPS FOR EDGE SUPPORT WHERE SPACING OF ROOF FRAMING EXCEEDS 20" [508 MM]. ALTERNATIVELY, PROVIDE BLOCKING INSTEAD OF H-CLIPS, OR INCREASE SHEATHING THICKNESS TO 5/8" [15.5 MM].
18. NAILS SHALL CONFORM TO ASTM F1667.
19. UNLESS OTHERWISE SPECIFIED, WOOD SCREWS SHALL CONFORM TO ASME B18.6.1.
20. LAG SCREWS SHALL CONFORM TO ASME B18.2.1.
21. BOLTS FOR WOOD CONNECTIONS SHALL CONFORM TO ASTM A307, GRADE A.
22. CONSTRUCTION ADHESIVE SHALL CONFORM TO ASTM D3498.
23. ALL HARDWARE AND FASTENERS SHALL BE OF COMPATIBLE MATERIALS OR BE SEPARATED BY A DIELECTRIC. DISSIMILAR METALS ARE PROHIBITED FROM BEING IN DIRECT ELECTRICAL CONTACT.

ELECTRICAL AND MECHANICAL

- 1. ELECTRICAL AND MECHANICAL SERVICES SHALL BE DESIGNED AND LOCATED ON SITE BY OTHERS. CLEARANCES AND INSTALLATION SHALL COMPLY WITH LOCAL CODE REQUIREMENTS.
2. ALL ELECTRICAL WORK SHALL BE COMPLETED UNDER AN ELECTRICAL PERMIT ISSUED BY THE AHJ AND SHALL BE INSPECTED FOR THEIR APPROVAL.
3. AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.
4. A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE, AND CARPORT.
5. STAIRS SHALL BE LIGHTED AND SHALL BE SERVED BY A THREE-WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS.
6. BASEMENTS REQUIRE A LIGHT FOR EACH 300 FT² [28 M²], CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

FINISHING

- 1. DRYWALL SHALL BE MINIMUM 1/2" [13 MM] THICK UNLESS NOTED OTHERWISE.
2. DRYWALL SHALL BE TAPED, MUDDERED, SANDED SMOOTH, AND BE PROVIDED WITH PRIME COAT OF PAINT.
3. DRYWALL SHALL BE FASTENED WITH SCREWS, MAXIMUM 8" [203 MM] SPACING ALONG PANEL EDGES AND 12" [305 MM] SPACING IN THE INTERIOR FIELD. WHERE MULTIPLE LAYERS OF DRYWALL ARE INSTALLED, JOINTS SHALL BE OFFSET FROM EACH OTHER.
5. INTERIOR FINISHES SHALL BE DETAILED TO RESIST DAMAGE AND ACCOMMODATE RELATIVE MOVEMENTS FROM TRUSS UPLIFT AT THE INTERFACE BETWEEN CEILINGS AND INTERIOR PARTITIONS. THE OWNER SHALL BE RESPONSIBLE FOR SELECTING FINISH MATERIALS AND COLOURS FOR WALLS, FLOORS, CEILINGS, MILLWORK, ETC.
7. ALL FINISH MATERIALS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S WRITTEN SPECIFICATIONS.
8. CERAMIC TILES IN AREAS OF WATER SUBMERSION (ACTUAL OR PROBABLE), SUCH AS SHOWERS, LAUNDRY ROOM FLOORS, ETC. SHALL HAVE A WATERPROOFING MEMBRANE INSTALLED UNDER THE TILES. THE MEMBRANE SHALL BE A SYSTEM AS PROVIDED BY A SINGLE MANUFACTURER, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

PROTECTION OF WOOD

- 1. MOISTURE CONTENT OF ALL FRAMING SHALL BE LESS THAN 19% AT THE TIME THAT IT IS INSTALLED, AND AT THE TIME OF INSTALLATION OF INSULATION, VAPOUR BARRIER, AND/OR FINISHES.
2. WOOD NOT EXPOSED TO WEATHER OR WET SERVICE BUT IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE TREATED OR SEPARATED FROM THE CONCRETE WITH AN IMPERVIOUS BARRIER SUCH AS 6 MIL. [0.15 MM] POLYETHYLENE.
3. WHERE TERMITES ARE KNOWN TO EXIST, WOOD FRAMING SHALL BE AT LEAST 18" [457 MM] ABOVE FINISHED GRADE, BE SUITABLY TREATED WITH WOOD PRESERVATIVE TOXIC TO TERMITES, OR OTHERWISE PROTECTED WITH AN APPROVED TERMITE-PROTECTION DETAIL.
4. ALL EXPOSED EXTERIOR WOOD ELEMENTS SHALL BE PRESSURE TREATED TO RESIST DECAY OR BE OF AN APPROVED DECAY-RESISTANT SPECIES. DECAY RESISTANT LUMBER MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
5. MINIMUM PRESERVATIVE TREATMENT CATEGORY AS FOLLOWS:
5.1. INTERIOR CONSTRUCTION, ABOVE GROUND, DAMP CONDITIONS: UC2
5.2. EXTERIOR DECKING AND JOISTS AT LEAST 12" [305 MM] ABOVE GRADE: UC3.2
5.3. EXTERIOR DECKING AND JOISTS LESS THAN 12" [305 MM] ABOVE GRADE: UC4.1
5.4. EXTERIOR BEAMS AND POSTS ABOVE GRADE: UC4.1
5.5. STRUCTURAL MEMBERS, BURIED OR DIRECT GROUND CONTACT: UC4.2
5.6. PERMANENT WOOD FOUNDATIONS: UC4.2

PLUMBING

- 1. EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHTUB OR SHOWER STALL, AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES.
2. A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A SEWAGE EJECTION PUMP. THE FLOOR DRAIN SHALL BE PROTECTED WITH A SEWER BACKFLOW PREVENTION DEVICE.
3. A DRAIN WATER HEAT RECOVERY (DWHR) UNIT SHALL BE INSTALLED IN EVERY DWELLING UNIT TO RECEIVE DRAIN WATER FROM THE SHOWER WHERE THERE IS ONE SHOWER INSTALLED, OR AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS INSTALLED.
4. DWHR UNITS SHALL CONFORM TO CSA B55.2.
5. THE EFFICIENCY OF THE DWHR UNIT SHALL BE NOT LESS THAN 42% WHEN TESTED IN ACCORDANCE WITH CSA STANDARD B55.1.
6. A DWHR UNIT IS NOT REQUIRED IF ARE NO SHOWERS IN THE DWELLING UNIT OR THERE ARE NO STOREYS OR CRAWLSPACES BELOW ANY OF THE SHOWERS IN THE DWELLING UNIT.

STRUCTURAL STEEL

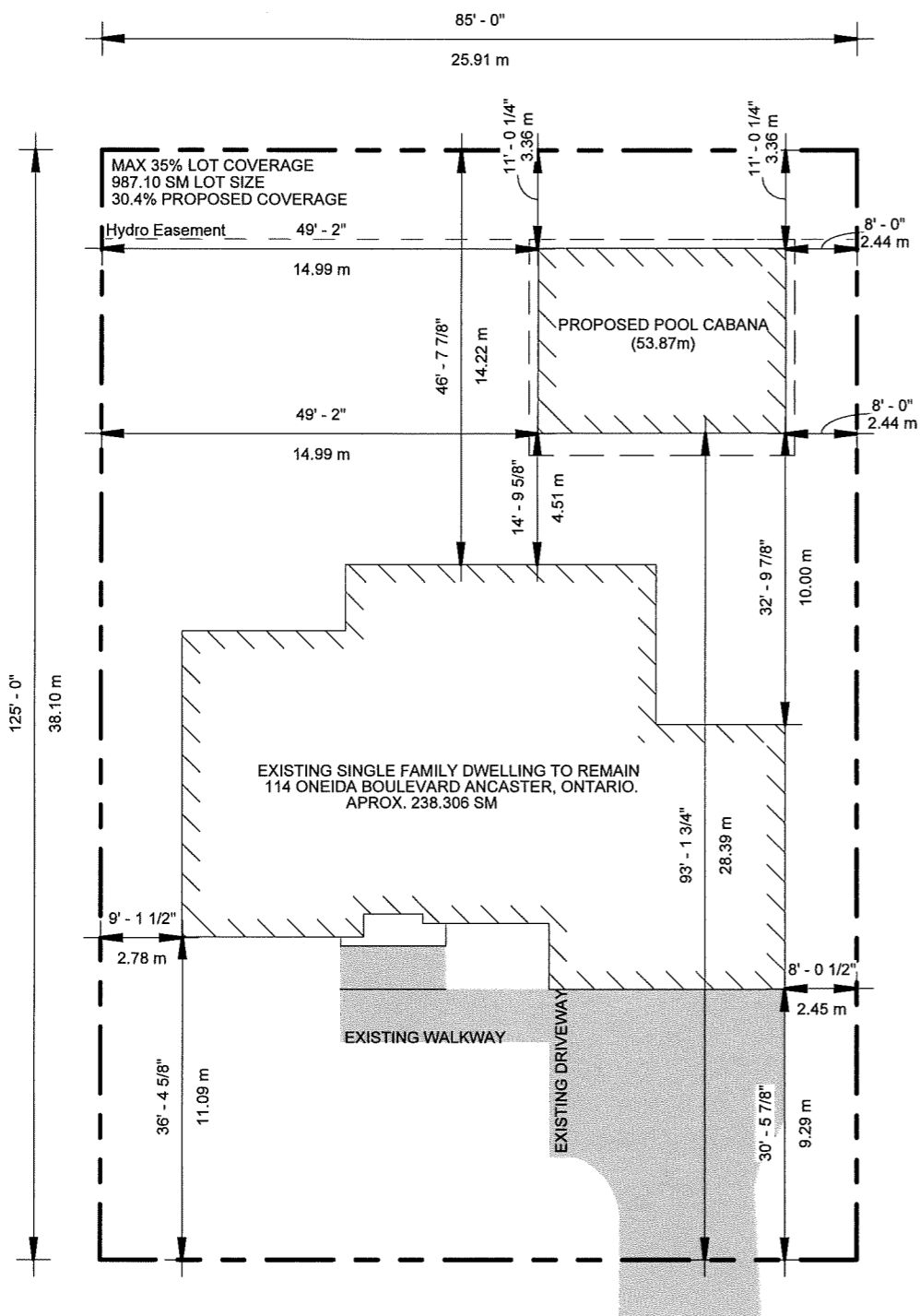
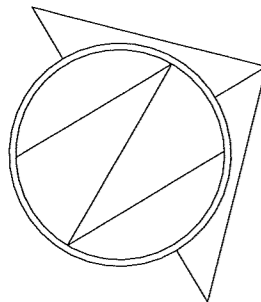
- 1. STRUCTURAL STEEL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA S16, LATEST EDITION.
2. STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA G40.20/G40.21, LATEST EDITION. UNLESS OTHERWISE NOTED ON THE DRAWINGS, STRUCTURAL STEEL SHALL BE MINIMUM GRADE 50W [METRIC 350W] FOR WIDE-FLANGE AND HSS SHAPES, AND MINIMUM GRADE 44W [METRIC 300W] FOR CHANNELS, PLATES, ANGLES, AND OTHER SHAPES.
3. BOLTS FOR STRUCTURAL STEEL CONNECTIONS SHALL CONFORM TO ASTM F3125 GRADE A325.
4. ALL WELDING SHALL CONFORM TO CSA STANDARDS W47.1 AND W59, LATEST EDITIONS

CONCRETE AND REINFORCING STEEL

- 1. CONCRETE MATERIALS, DESIGN, TESTING, AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA STANDARD A23 SERIES, LATEST EDITION.
2. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE SHALL BE AS FOLLOWS U.N.O.:
2.1. GARAGE & CARPORT SLABS, EXTERIOR FLATWORK: 4600 PSI [32 MPA]
2.2. INTERIOR SLABS (EXCEPT GARAGES & CARPORTS): 3600 PSI [25 MPA]
2.3. FOOTINGS, FOUNDATION WALLS, PIERS, BEAMS: 3600 PSI [25 MPA]
3. MINIMUM CLEAR COVER TO STEEL REINFORCEMENT SHALL BE AS FOLLOWS U.N.O.:
3.1. UNFORMED SURFACES IN CONTACT WITH EARTH: 3" [76 MM]
3.2. FORMED SURFACES IN CONTACT WITH EARTH: 2" [51 MM]
3.3. ALL OTHER SURFACES: 1 1/2" [38 MM]
4. EXTERIOR FLATWORK AND GARAGE AND CARPORT SLABS SHALL HAVE 5% TO 8% AIR ENTRAINMENT. ALL OTHER CONCRETE POTENTIALLY EXPOSED TO FREEZING TEMPERATURES SHALL HAVE 4% TO 7% AIR ENTRAINMENT.
5. REINFORCING STEEL BARS SHALL CONFORM TO CSA G30.18, LATEST EDITION. WELDED WIRE REINFORCEMENT SHALL CONFORM TO ASTM A1064, LATEST EDITION.
6. MINIMUM YIELD STRENGTH SHALL BE 58 KSI [400 MPA] FOR STEEL REBAR AND 65 KSI [450 MPA] FOR WELDED WIRE REINFORCEMENT.
7. ALL REINFORCEMENT SHALL BE PROPERLY TIED AND CHAIRED PRIOR TO CONCRETE PLACEMENT. WET-SETTING OF REINFORCEMENT IS STRICTLY PROHIBITED.
8. LAP SPLICES SHALL BE AT LEAST 40 TIMES THE NOMINAL BAR DIAMETER U.N.O.
9. PROVIDE CORNER BARS AT CORNERS AND INTERSECTIONS.

Project Name: POOL CABANA
Project Address: 114 ONEIDA BLVD. ANCASTER, ON.
File No.: R1179
Sheet Title: General Notes
Drawing No.: A002, Revision No., Sheet No.: 2 OF 12
Scale: ANSI B (11"x17")
Checked by: Checker, Drawn by: Initials
Date: 2024-11-12
Table with 3 columns: No., Description, Date. Row 1: 1, Client Review, 2024-05-09. Row 2: 2, Technical Revisions, 2024-05-13.
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GENERAL VIEW OF SUBJECT PROPERTY



LOCATION PLAN

- (vi) Accessory buildings in excess of 12 square metres ground floor area shall not be located in any minimum rear yard.
- (A) Notwithstanding Subsection 7.18 (a) (vi), accessory buildings in excess of 12 square metres ground floor area shall not be less than 7.5 metres from the rear lot line for any lot located in an Existing Residential "ER" Zone. (18-221)
- (iv) The maximum ground floor area for any accessory building shall be 40 square metres and the maximum height shall be 4.5 metres.

ZONING BY-LAW RELIEF

Project Name

POOL CABANA

Project Address

**114 ONEIDA BLVD.
ANCASTER, ON.**

File No. **R1179**

Sheet Title

Site Plan

Drawing No.	Revision No.	Sheet No.
A003		3 OF 12

Scale **1" = 20'-0"**

Sheet Size ANSI B (11"x17")

Checked by: AJL Drawn by: TR

Date **2024-11-12**

No.	Description	Date
3	Submitted for variance	2024-09-25

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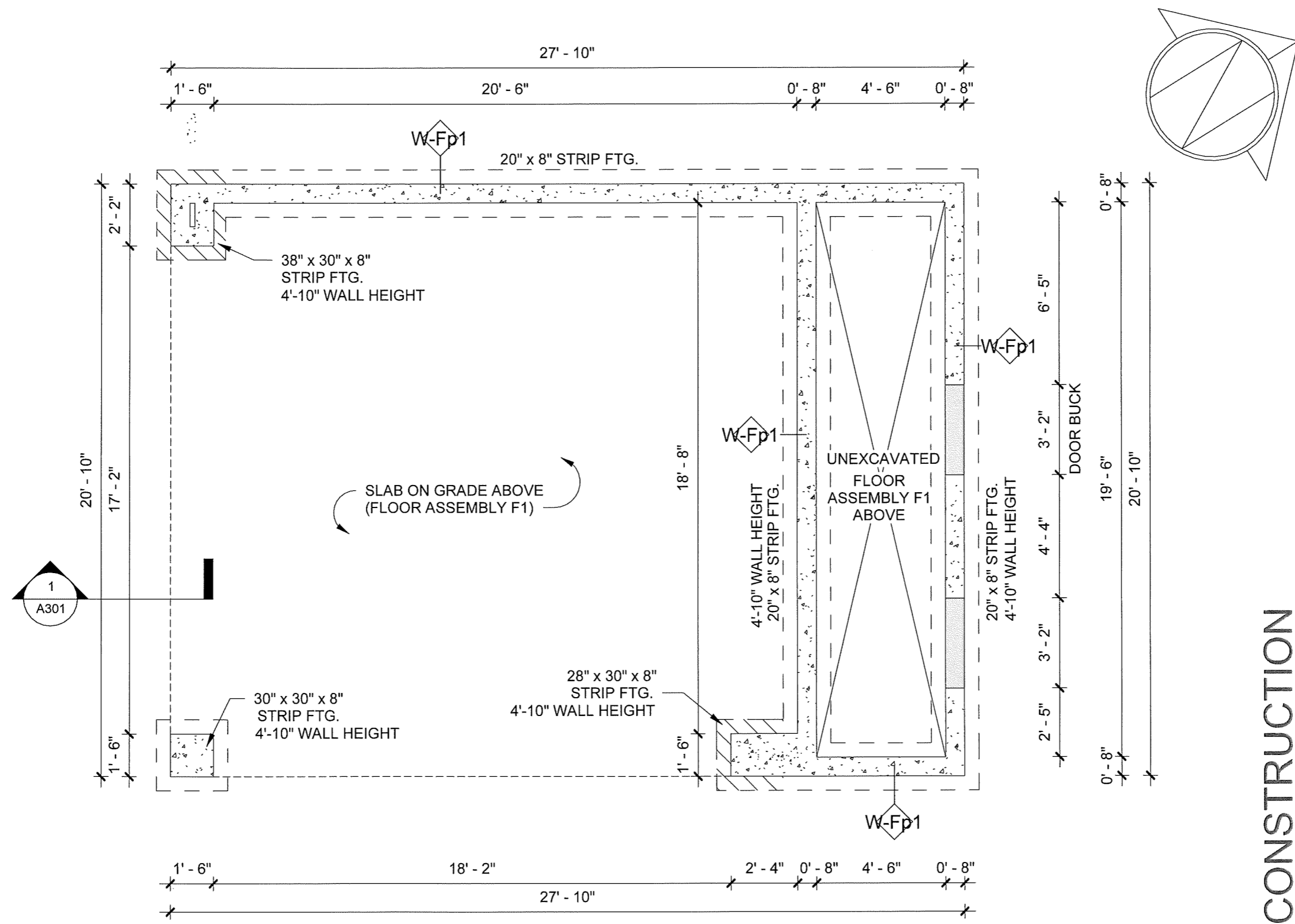


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1 Site Plan
A003 1" = 20'-0"



Project Name
POOL CABANA

Project Address
**114 ONEIDA BLVD.
 ANCASTER, ON.**

File No. **R1179**
 Sheet Title
Foundation Plan

Drawing No. A101	Revision No.	Sheet No. 4 OF 12
----------------------------	--------------	-----------------------------

Scale **1/4" = 1'-0"**

Sheet Size **ANSI B (11"x17")**

Checked by: **AJL** Drawn by: **TR**

Date **2024-11-12**

No.	Description	Date
3	Submitted for variance	2024-09-25

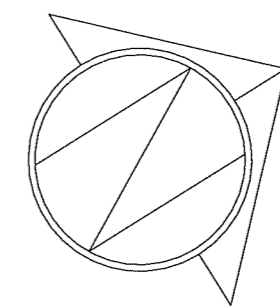
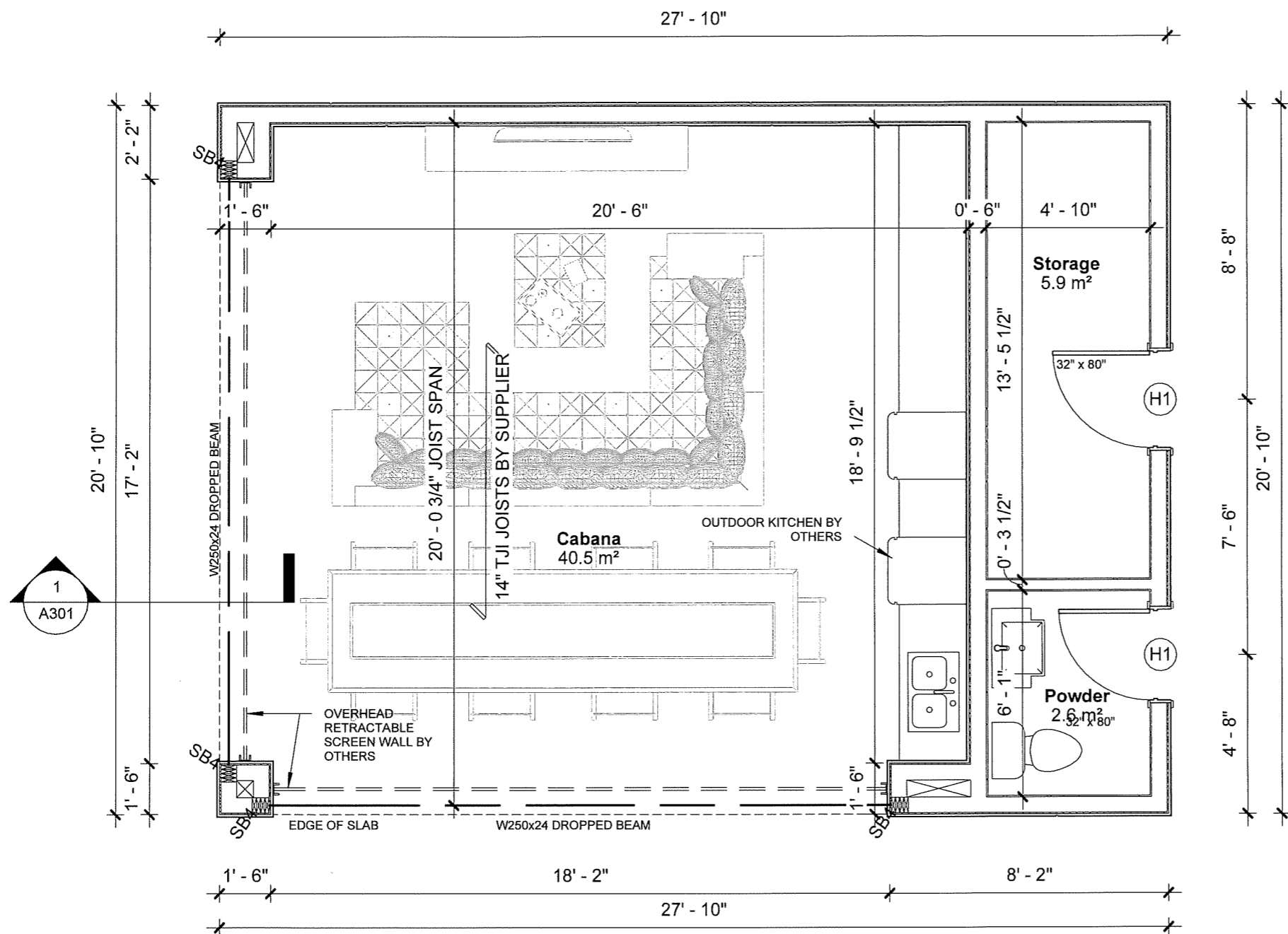
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NOT FOR CONSTRUCTION

1 Foundation Plan
 A101 1/4" = 1'-0"



Project Name
POOL CABANA

Project Address
**114 ONEIDA BLVD.
ANCASTER, ON.**

File No. **R1179**

Sheet Title
Main Floor Plan

Drawing No. A102	Revision No.	Sheet No. 5 OF 12
----------------------------	--------------	-----------------------------

Scale **1/4" = 1'-0"**

Sheet Size **ANSI B (11"x17")**

Checked by: **AJL** Drawn by: **TR**

Date **2024-11-12**

No.	Description	Date
3	Submitted for variance	2024-09-25

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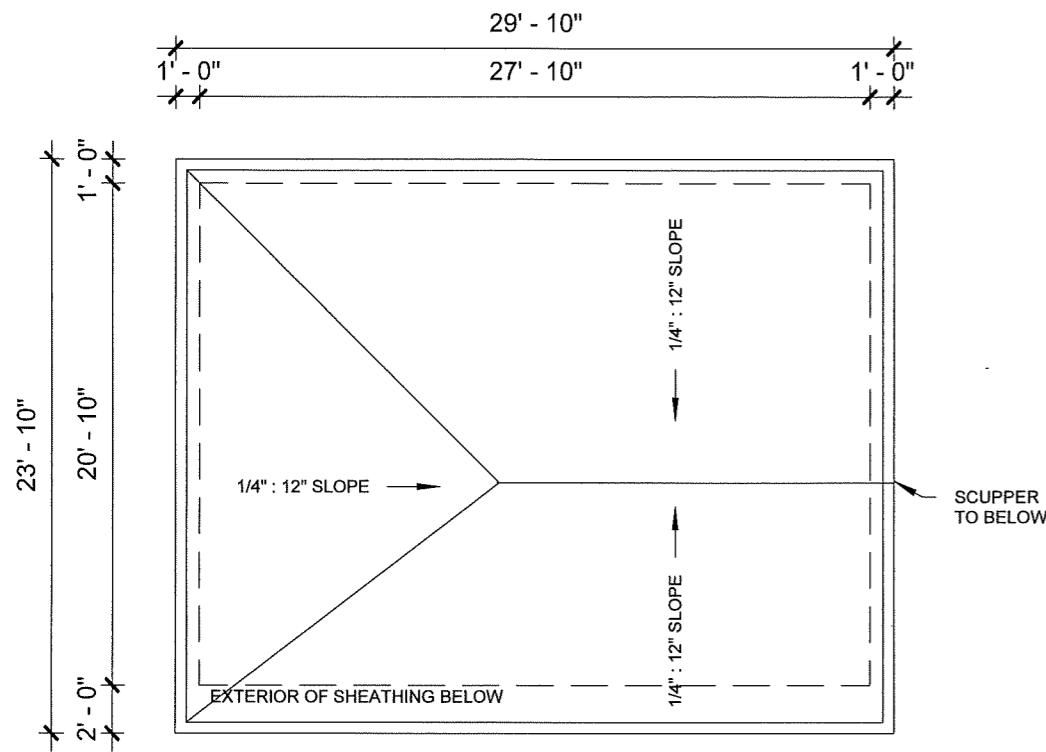


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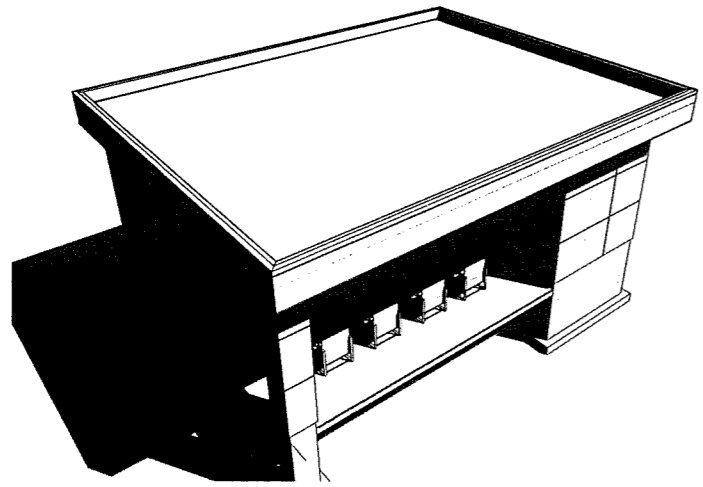
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1 Main Floor Plan
A102 1/4" = 1'-0"



1 Roof Plan
A103 1/8" = 1'-0"



3 Isometric 3D Roof view
A103

LINTEL SCHEDULE		
NO.	DESCRIPTION	SECTION
H1	2 - 2"x8" SPF#2	
H2	3 - 2"x8" SPF#2	
H3	2 - 2"x10" SPF#2	
H4	3 - 2"x10" SPF#2	
H5	2 - 2"x12" SPF#2	
H6	3 - 2"x12" SPF#2	
L7	L - 5 x 3 1/2 x 5/16	
L8	L - 5 x 5 x 5/16	
L9	L - 6 x 4 x 1/2	

2 Lintel/Column Schedule
A103 1/2" = 1'-0"

COLUMN SCHEDULE		
NO.	DESCRIPTION	SECTION
SB2	2 - 2"x6" SPF#2	
SB3	3 - 2"x6" SPF#2	
SB4	4 - 2"x6" SPF#2	
SB5	5 - 2"x6" SPF#2	
SB6	6 - 2"x6" SPF#2	
P1	6"x6" P.T.	
P2	8"x8" P.T.	
C1	HSS 4"Ø x 5/16 8"x8"x1/2" BP + 4-1/2"Ø J-BOLTS 6" EMBEDMENT	
C2	HSS 5"x5"x3/8" 8"x8"x1/2" BP + 4-5/8"Ø J-BOLTS 6" EMBEDMENT	
C3	HSS 6"x6"x1/2" 8"x8"x1/2" BP + 4-5/8"Ø J-BOLTS 6" EMBEDMENT	

NOT FOR CONSTRUCTION

Project Name
POOL CABANA

Project Address
**114 ONEIDA BLVD.
ANCASTER, ON.**

File No. **R1179**

Sheet Title
**Roof Plan &
Schedules**

Drawing No. A103	Revision No.	Sheet No. 6 OF 12
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Scale **As indicated**

Sheet Size **ANSI B (11"x17")**

Checked by: AJL Drawn by: TR

Date **2024-11-12**

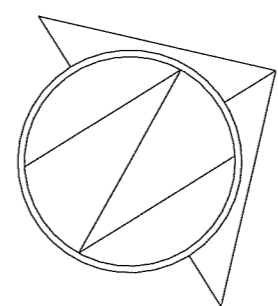
No.	Description	Date
3	Submitted for variance	2024-09-25

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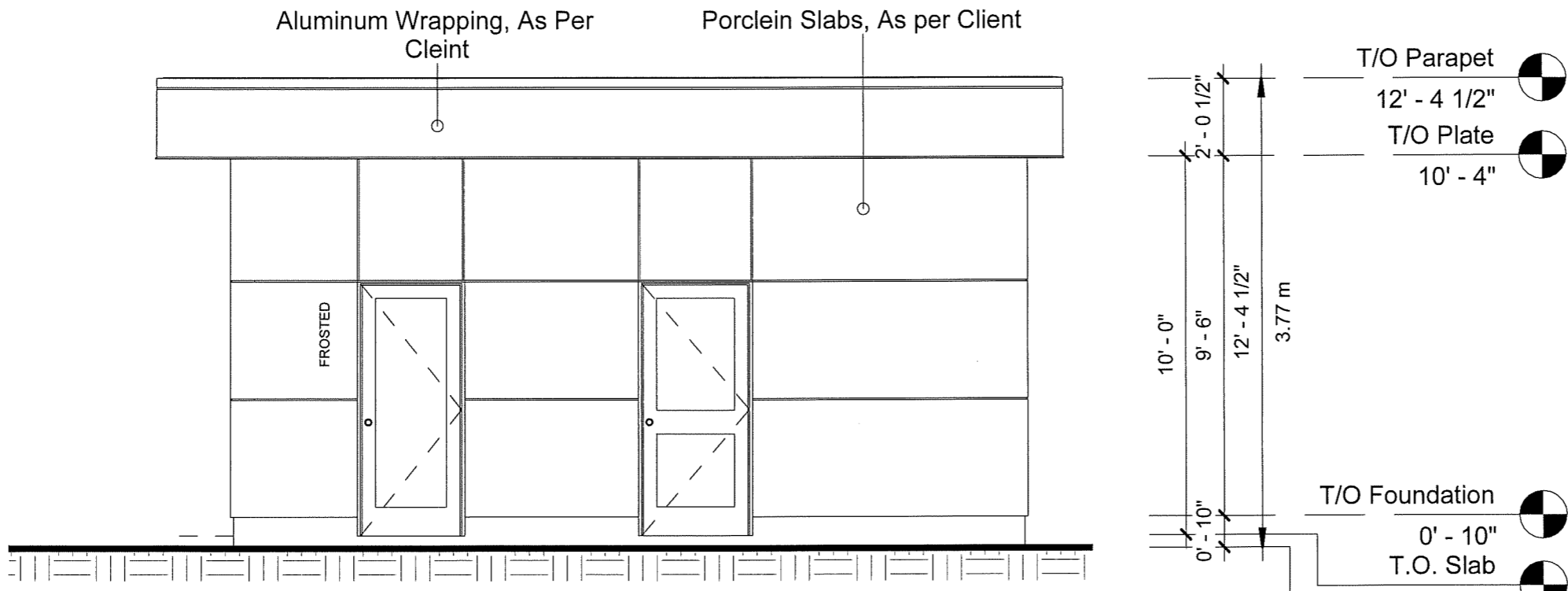
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2
North Elevation
A201 1/4" = 1'-0"



1
East Elevation
A201 1/4" = 1'-0"

Project Name
POOL CABANA

Project Address
**114 ONEIDA BLVD.
ANCASTER, ON.**

File No. **R1179**

Sheet Title
Elevations

Drawing No. A201	Revision No.	Sheet No. 7 OF 12
----------------------------	--------------	-----------------------------

Scale **1/4" = 1'-0"**

Sheet Size **ANSI B (11"x17")**

Checked by: **AJL** Drawn by: **TR**

Date **2024-11-12**

No.	Description	Date
3	Submitted for variance	2024-09-25

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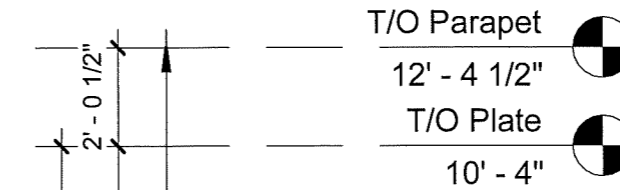
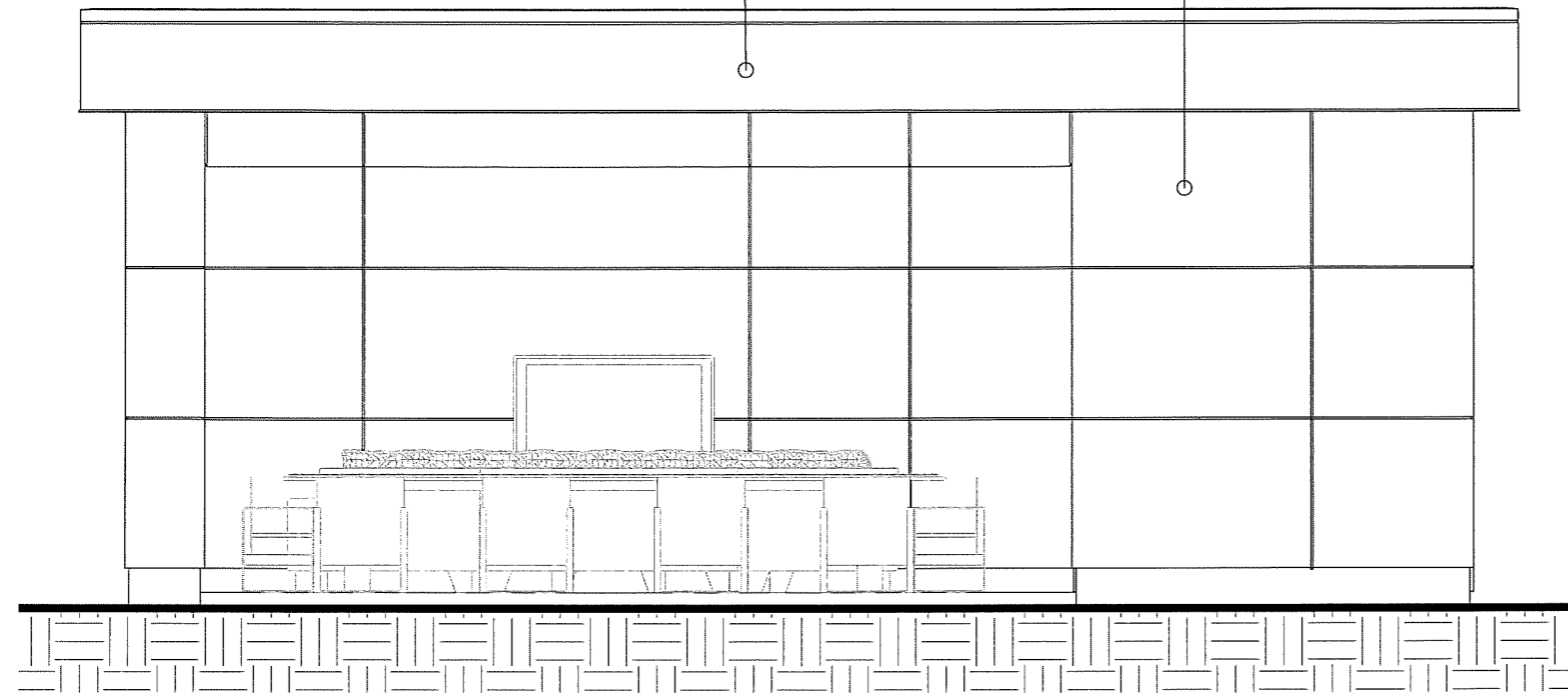


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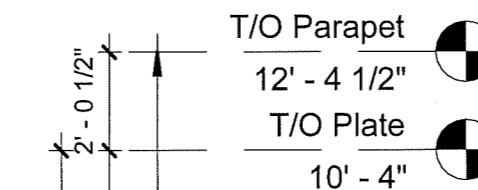
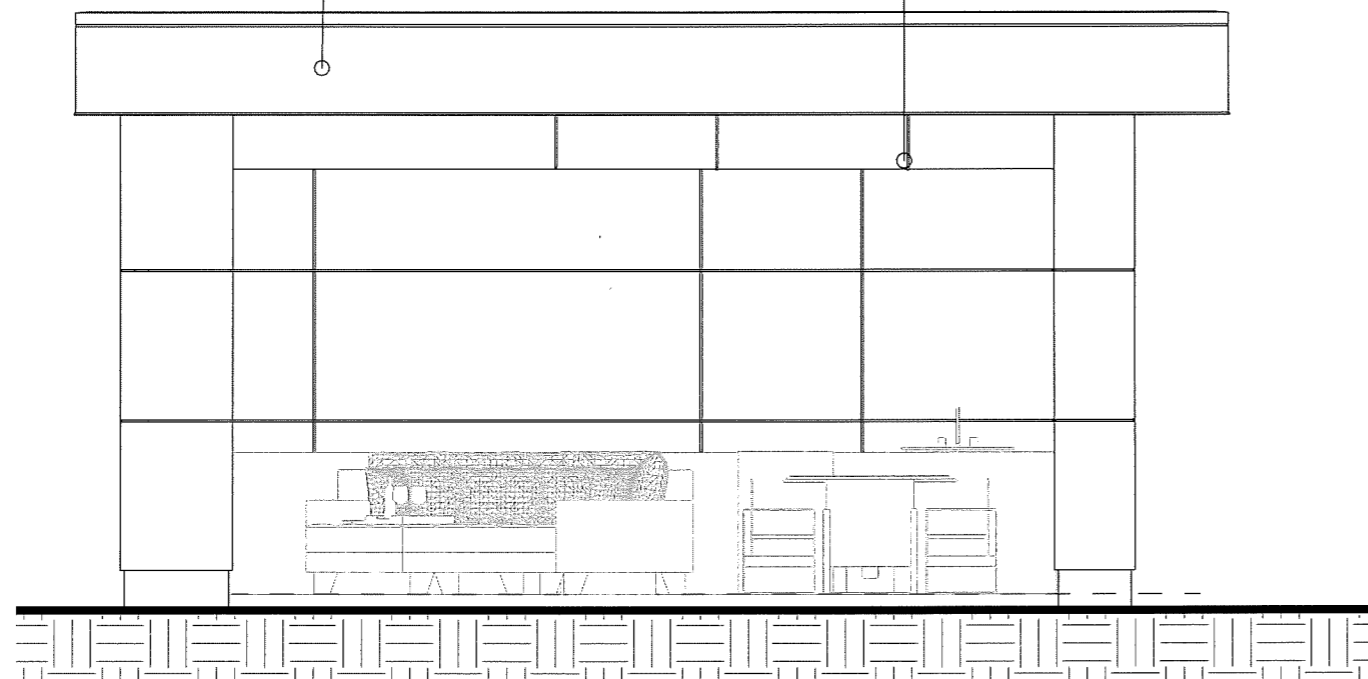
Aluminum Wrapping, As Per Cleint
Porclein Slabs, As per Client



1 South Elevation

A202 1/4" = 1'-0"

Aluminum Wrapping, As Per Cleint
Porclein Slabs, As per Client



2 West Elevation

A202 1/4" = 1'-0"

Project Name
POOL CABANA

Project Address
**114 ONEIDA BLVD.
ANCASTER, ON.**

File No. **R1179**

Sheet Title
Elevations

Drawing No. A202	Revision No.	Sheet No. 8 OF 12
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Scale **1/4" = 1'-0"**

Sheet Size **ANSI B (11"x17")**

Checked by: AJL Drawn by: TR

Date **2024-11-12**

No.	Description	Date
3	Submitted for variance	2024-09-25

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Project Name
POOL CABANA

Project Address
**114 ONEIDA BLVD.
ANCASTER, ON.**

File No. **R1179**

Sheet Title
Sections

Drawing No. A301	Revision No.	Sheet No. 9 OF 12
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Scale **1/4" = 1'-0"**

Sheet Size **ANSI B (11"x17")**

Checked by: **AJL** Drawn by: **TR**

Date **2024-11-12**

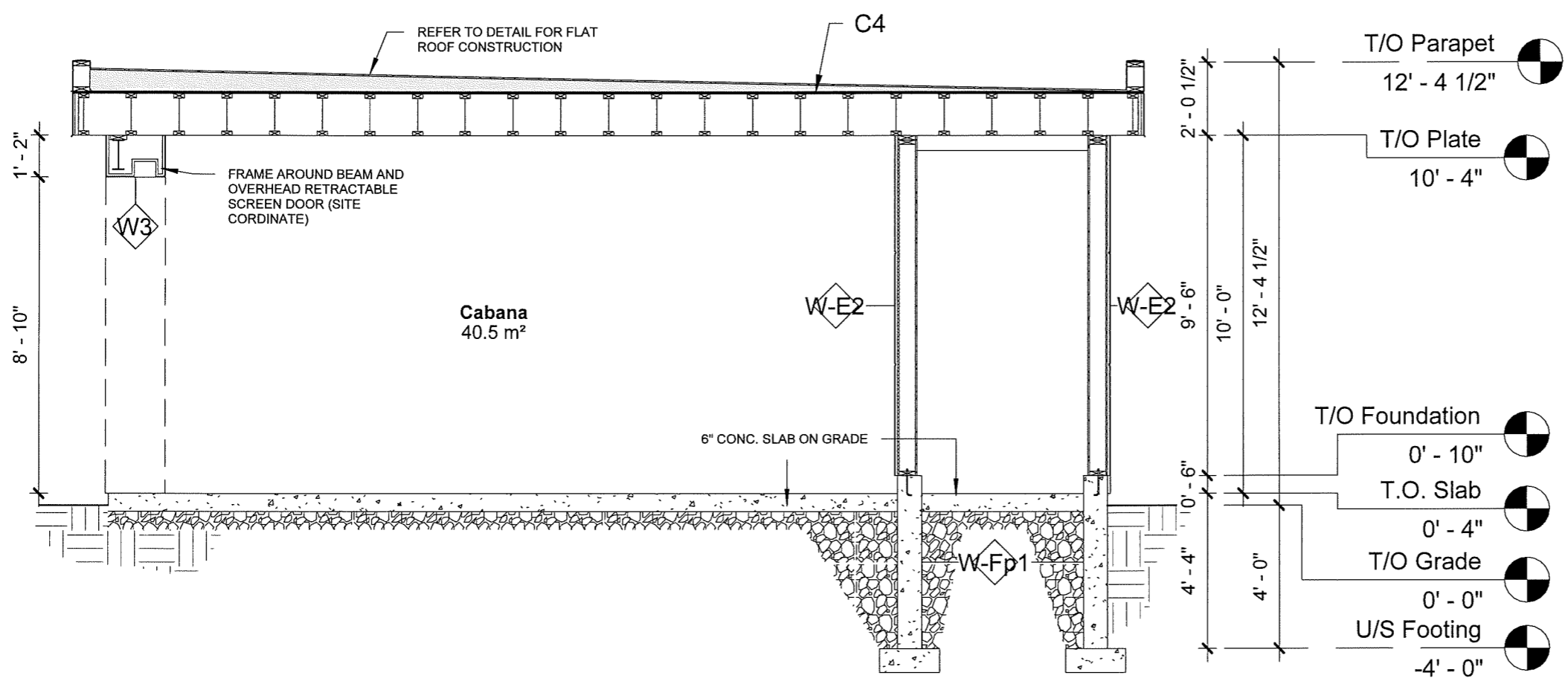
No.	Description	Date
3	Submitted for variance	2024-09-25

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1 Building Section - 'A'
A301 1/4" = 1'-0"



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Seif El-Sahly
Applicant(s)	Seif El-Sahly
Agent or Solicitor	Benjamin Mcfadgen TYLER ROCHELEAU

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner AgentSolicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque _____

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	114 Oneida Boulevard Ancaster, Ontario L9G 3C8		
Assessment Roll Number	140270210000000		
Former Municipality	Ancaster		
Lot	LT 29, PL 1064	Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

1. 7.18.(a)(iv) maximum ground floor area = 40sm } pool cabana (accessory struc.)
 2. 7.18.(a)(vi)(A) minimum rear yard setback = 7.5m

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

1. proposed ground floor area = 53.87sm
 2. proposed rear yard setback = 3.36m

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
25.90	38.1	987.10	7.6

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Family Dwelling	9.29	14.22	2.45,2.78	01/01/2023

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Pool Cabana (Accessory)	28.39	3.36	2.44	04/01/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Family Dwelling	238.31	476.62	2	7.0

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Pool Cabana (Accessory)	53.87		1	3.77

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)
-

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)
-

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
 - system privately owned and operated individual
 - septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- provincial highway
 - municipal road, seasonally maintained
 - municipal road, maintained all year
- right of way
 - other public road
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
single detached

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
single detached

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
January 8, 2024
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single detached
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single detached
- 7.4 Length of time the existing uses of the subject property have continued:
Originally built in 1956 (68 years)
- 7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) NEIGHBORHOODS

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? Existing Residential (ER)

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: Existing Residential (ER)

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-