



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:269	SUBJECT PROPERTY:	1038 Garner Road West, Ancaster
ZONE:	M3, 376, 678 (Prestige Business Park)	ZONING BY-LAW:	Zoning By-law No. 05-200 as amended by By-law No. 22-062

APPLICANTS: Owner: 1000304051 Ontario Inc.
 Applicant: Jessie-Lynn Giancola Marissa A Gritter, 1000968423 Ontario Inc.
 Agent: Lloyed Ferguson

The following variances are requested:

1. The use of a Personal Service(s) shall be permitted, whereas the use of a Personal Service(s) use is not permitted in the current "M3,376, 678, 771" Zone.

PURPOSE & EFFECT: To permit the use of a Personal Service(s) (hair salon).

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, January 21, 2025
TIME:	3:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

A-24:269

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

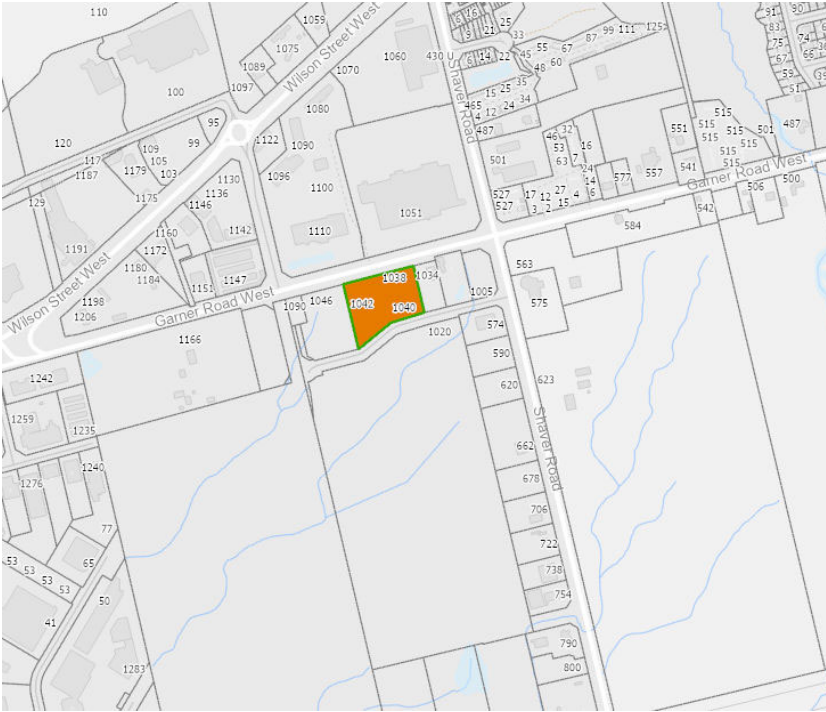
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon January 17, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received **no** later than noon January 20, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:269, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: January 2, 2025

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

LIST OF DRAWINGS

ARCHITECTURAL

A-100	SITE PLAN
A-101	OBC DATA MATRIX
A-102	WALL TYPES & ARCHITECTURAL ABBREVIATIONS
A-201	GROUND FLOOR PLAN
A-202	2ND FLOOR PLAN
A-203	ROOF PLAN & DETAILS
A-301	ELEVATIONS
A-400	BUILDING SECTIONS
A-401	WALL SECTIONS
A-501	STAIRS PLANS, SECTIONS AND DETAILS
A-502	STAIRS PLANS, SECTIONS AND DETAILS
A-503	ENLARGED ELEVATOR PLANS AND SECTION
A-601	DOOR SCHEDULE & DETAILS
A-602	WINDOW SCHEDULE & DETAILS

STRUCTURAL

S1.1B	GENERAL NOTES
S1.2B	TYPICAL DETAILS
S1.3B	TYPICAL DETAILS
S1.4B	STRUCTURAL SPECIFICATIONS
S1.5B	STRUCTURAL SPECIFICATIONS
S2.1B	FOOTING LAYOUT PLAN
S2.2B	FOUNDATION PLAN
S3.1B	2ND FLOOR FRAMING PLAN
S4.1B	ROOF FRAMING PLAN
S4.1B	SNOW/ICE/WIND/WATER PONDING PLANS
S4.3B	WIND UPLIFT PLAN
S5.1B	BUILDING ELEVATIONS
S6.1B	CONCRETE PER PLAN DETAIL
S6.2B	CONCRETE PER PLAN DETAIL
S6.3B	FOUNDATION SECTION DETAILS
S7.1B	STEEL SECTION DETAILS
S7.2B	STEEL SECTION DETAILS
S7.3B	STEEL SECTION DETAILS

MECHANICAL AND PLUMBING

M1.0	MECHANICAL COVER PAGE
M2.0	FOUNDATION PLUMBING LAYOUT
M2.1	SECOND FLOOR SUBFLOOR PLUMBING LAYOUT
M3.0	MAIN FLOOR PLUMBING LAYOUT
M3.1	SECOND FLOOR PLUMBING LAYOUT
M3.2	MAIN FLOOR WATER PLUMBING LAYOUT
M3.3	SECOND FLOOR WATER PLUMBING LAYOUT
M4.0	MAIN FLOOR HVAC LAYOUT
M4.1	SECOND FLOOR HVAC LAYOUT
M5.0	ROOF MECHANICAL LAYOUT
M6.0	MECHANICAL SPECIFICATIONS AND SCHEDULES

ELECTRICAL

E1.0	ELECTRICAL COVER PAGE
E2.0	ELECTRICAL SITE PLAN
E3.0	MAIN FLOOR ELECTRICAL PLAN
E3.1	SECOND FLOOR ELECTRICAL PLAN
E3.2	ROOF POWER PLAN
E4.0	EXTERIOR LIGHTING ELEVATION
E5.0	SINGLE LINE DIAGRAM, SCHEDULE & DETAILS
E6.0	LIGHTING SCHEDULE
E7.0	ELECTRICAL SPECIFICATIONS

GARNER ROAD BUSINESS PARK

BLOCK B

1040 GARNER RD W
ANCASTER, ON L9G 3K9



ISSUED FOR BUILDING PERMIT
01-JUN-2020

PROJECT CONTACTS

CLIENT

GARNER INVESTMENTS INC.
1040 GARNER RD W
ANCASTER, ON L9G 3K9

ARCHITECT

SAPLYS ARCHITECTS INC.
610 FORD DRIVE, SUITE 338
OAKVILLE, ON L6J 7W4

DEVELOPMENT CONSULTANT

API DEVELOPMENT CONSULTANTS INC.
1464 UNIT #7 CORNWALL ROAD
OAKVILLE, ON L6J 7W5
TEL: 905-337-7249
URL: APIDEVELOPMENTCONSULTANTS.COM

STRUCTURAL ENGINEER

PROTOSTATIX ENGINEERING CONSULTANTS INC.
500, 10410 - 102 AVENUE NW
EDMONTON, ALBERTA T6J 0E9

MEP ENGINEER

DESIGN WORKS ENGINEERING
2345-1 ADELAIDE STREET EAST
TORONTO, ON M5C 2V9

PROJECT NUMBER: S20-021
ISSUED FOR: BUILDING PERMIT
ISSUE DATE: 01-JUN-2020

GARNER ROAD BUSINESS PARK
BLOCK B

PROJECT NUMBER:
1040 GARNER RD W
ANCASTER, ON L9G 3K9

SYMBOL LEGEND

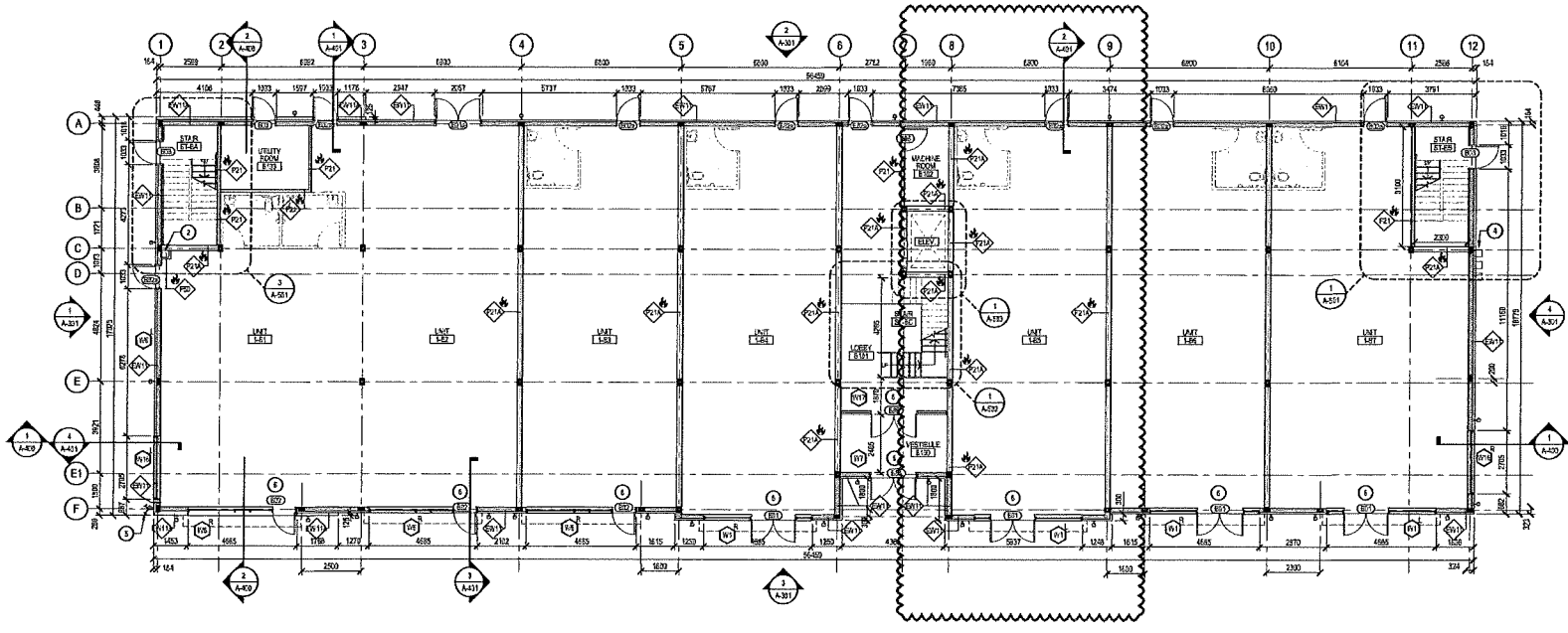
- ① DOOR TAG
- ② KEY NOTE
- ③ REVISION
- ④ WINDOW TAG
- ⑤ WALL TYPE

KEY NOTES

1. FRESH AIR INTAKE, ENGINE DETECTOR AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHERS WITH PUBLIC ACCESS SHALL BE CONTAINED IN FULLY RECESSED CABINET. CABINETS TO BE INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 4 FT.
2. FLOOR NUMBERING AND EXTENSION SHALL COMPLY WITH LOCAL CODE WITH THIS ARTICLE 3.4.1.9
3. ACCESSIBILITY RISKS SHALL COMPLY WITH DISC ARTICLE 3.2.1.1
4. THE SURFACE FLAME SPREAD RATING OF ALL INTERIOR FINISH MATERIALS APPLIED TO WALLS, PARTITIONS & CEILING SHALL NOT EXCEED 150 IN ACCORDANCE WITH DISC ARTICLES 3.3.1.11.1 & 3. AND 3.11.17.1
5. INTERIOR WALLS TO BE APPLIED FOR ACCESS A SEPARATE PERMIT
6. WALL RISERS ARE RESPONSIBILITY OF TENANTS (UNDER SEPARATE PERMIT)
7. ALL FLOOR FINISHES TO BE INSTALLED BY TENANT
8. TENANTS TO PROVIDE DRAINAGE FOR UNDER-SLABS INCLUDING
9. LEAD OR GUNITE IN ALL UNITS TO BE POURED DURING TENANT FIT-UP CONSTRUCTION PHASE. ALLOWANCE WILL BE PROVIDED TO THE UNIT PURCHASER FOR THE R.O.D.
10. FLOOR RISERS TO USE EXTERIOR DOOR OPERABLES
11. PROVIDE 1" OR LARGER SLAB RIGID INSULATION AT ALL EXTERIOR DOORWAYS
12. MIN 1.5" UNDER-SLAB INSULATION FOR 4" AT FULL BUILDING PERIMETER
13. DRAWING LINES IN GRAY SCALE REPRESENT TENANT WORK AND ARE NOT INCLUDED IN THE BASE BUILDING CONTRACT. TENANT WORK IS SHOWN AS REFERENCE ONLY. SPECIFIC CODE REQUIREMENTS FOR TENANT WORK ARE NOTED ON THE DISC DRAWING AND WHERE REGULATED ON THE BASE BUILDING DRAWINGS.
14. RAIN WATER LEADERS TO RUN IN CEILING SPACE AND DROP DIRECTLY AT THE STAIR SERVICE CONNECTION POINT (REFER TO MECHANICAL)
15. PROVIDE FIRE DAMPER AT ALL PENETRATIONS OF RAIN WATER LEADER THROUGH FIRE RATED PARTITIONS AT CEILING LEVEL.
16. ENCLOSE RAIN WATER LEADER IN FIRE RATED PARTITION WALL AT ALL VERTICAL RISERS FROM CEILING LEVEL TO GROUND FLOOR.

GENERAL NOTES

1. FRESH AIR INTAKE, ENGINE DETECTOR AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHERS WITH PUBLIC ACCESS SHALL BE CONTAINED IN FULLY RECESSED CABINET. CABINETS TO BE INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 4 FT.
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NO.	REV.	DATE	DESCRIPTION	BY	CHKD.
1	02		ISSUED FOR BIDDING POINT		

603.8 BY
 10/10/2023
 10/10/2023

DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY ANY ERRORS, OMISSIONS OR DISCREPANCY.

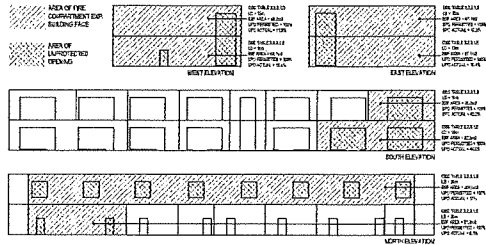
CLIENT: GARNER INVESTMENTS INC., 1540 GARNER RD WY, AMCASTER, ON L4G 3P3
 PROJECT: 1540 GARNER RD WY, AMCASTER, ON L4G 3P3
 DESIGNER: KAPLYS ARCHITECTS INC., 515 FORD DRIVE, SUITE 338, CANVILLE, ON L4G 7Y4
 CONSULTANT: APN DEVELOPMENT CONSULTANTS INC., 1022 CORNWALL ROAD, CANVILLE, ON L4G 7Y5

PROJECT NO: **GARNER ROAD BUSINESS PARK**
 PROJECT ADDRESS: 1540 GARNER RD WY, AMCASTER, ON L4G 3P3
 PROJECT FILE: **BLOCK B**
GROUND FLOOR PLAN

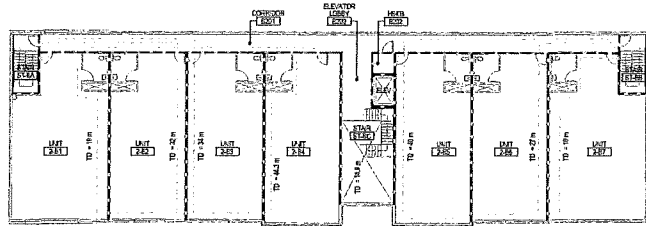
SHEET NO: **A-201** OF 2
 SCALE: 1/8" = 1'-0"

BUILDING ENVELOPE INSULATION VALUES	
CLIMATE ZONE 6 - TABLE SB 8.5-S-2017, NONRESIDENTIAL	
OPaque ELEMENT	MIN. INSULATION VALUE
ROOF	
INSULATION, ENTIRELY ABOVE DECK	R-25 d
WALLS	
WALL ABOVE GRADE, STEEL FRAMED	R-13 + R-12 d
FLOORS	
SLAB-ON-GRADE UNHEATED	R-15 for 4 th
VERTICAL PENETRATION	
METAL FRAMING, FIXED	Min U-Value: U4.0 Max GRC: 0.40, Min V-SHGC: 1.18
METAL FRAMING, ENTRANCE DOORS	Min U-Value: U2.0 Max GRC: 0.40, Min V-SHGC: 1.18

BUILDING ENVELOPE REQ'S 5 (A-101)

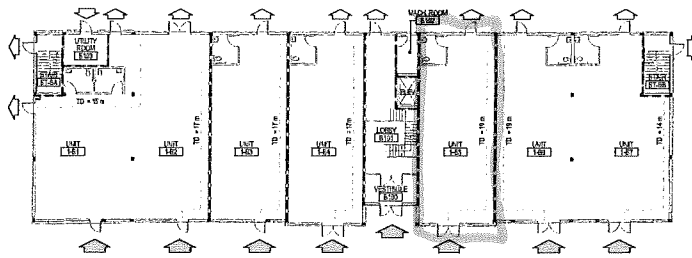


SPATIAL SEPARATION DIAGRAM - WEST ELEVATION 4 (A-101)



BUILDING B SECOND FLOOR FIRE SEPARATION PLAN 3 (A-101)

FIRE SEPARATION LEGEND	
45 MINUTE - FIRE RESISTANCE RATING	1 HR - FIRE RESISTANCE RATING
MAX TRAVEL DISTANCE LENGTH + 45 MIN AS PER CODE 3.2.2.3	
FIRE SEPARATION HAVING A FIRE RESISTANCE RATING	
ROOF - 1 HR	FLOORS - 1 HR
SUPPORTING ASSEMBLY - 45 MIN	EXTENDED WALLS - REFER TO OBC MATRIX
CONCRETE WALLS - 1 HR	EXIT STAIRS - 45 MIN
ELEVATOR SHAFTS - 45 MIN	VERTICAL SERVICE DWELLS - 45 MIN
ALL FIRE RATED PARTITIONS TO HAVE FIRE STOP CALICED AT TOP & BOTTOM OF SYSTEM BOARD	



BUILDING B GROUND FLOOR FIRE SEPARATION PLAN 2 (A-101)

ONTARIO BUILDING CODE DATA MATRIX
PART 3 - FIRE PROTECTION, OCCUPANT SAFETY AND ACCESSIBILITY OBC REFERENCE

Name of Practice	SARLYS ARCHITECTS INC		
Address 1	610 FORD DR. OAKVILLE ON L6J 7W5		
Contact	LINA S SARLYS		
Name of Project	GARNER ROAD BUSINESS PARK - BLOCK B		
Location/Address	1040 GARNER ROAD WEST, ANCASTER ONTARIO		
3.00 BUILDING CODE VERSION	O Reg. 33212	LAST AMENDMENT	O Reg. 6519
3.01 PROJECT TYPE	New Construction	INTEND USE COMMERCIAL BUILDING	[A] 1.1.2.
3.02 MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY E D	USE Mercantile Offices	3.1.2.1 (1)
3.03 SUPERIMPOSED MAJOR OCCUPANCIES	YES	Offices (group D) on second floor, over mercantile units (group E) on ground floor	3.2.2.7.
3.04 BUILDING AREA (m ²)	DESCRIPTION	EXISTING	NEW
	New Building	-	955.0
	TOTAL	955.0	955.0
3.05 GROSS AREA (m ²)	DESCRIPTION	EXISTING	NEW
	Ground floor	955.00	955.0
	Second floor	955.00	955.0
	TOTAL	1910.0	1910.0
3.06 MEZZANINE AREA (m ²)	DESCRIPTION	EXISTING	NEW
	TOTAL	-	32.11
3.07 BUILDING HEIGHT	2 STOREYS ABOVE GRADE	8.00 (m) ABOVE GRADE:	[A] 1.4.1.2.6
	0 STOREYS BELOW GRADE	-	3.2.1.1.
3.08 HIGH BUILDING	No	-	3.2.8.
3.09 NUMBER OF STORIES / FIRE FIGHTER ACCESS	2 STORIES	-	3.2.2.10.6.3.2.5
3.10 BUILDING CLASSIFICATION	3.2.2.6.2 3.2.2.5.6	GROUP E, UP TO 2 STOREYS, SPRINKLER GROUP D, UP TO 2 STOREYS, SPRINKLER	3.2.2.20-63
3.11 SPRINKLER SYSTEM	Required	Extra B-3.org	3.2.1.5.8 3.2.2.17
3.12 STANDPIPE SYSTEM	Not Required	-	3.2.9.
3.13 FIRE ALARM SYSTEM	Not Required	TYPE PROVIDED NA	3.2.4.1
3.14 WATER SERVICE SUPPLY IS ADEQUATE	Yes	-	-
3.15 CONSTRUCTION TYPE	RESTRICTIONS	Combustible Permitted	3.2.2.20-43
	ACTUAL	Noncombustible HEAVY TIMBER CONSTRUCTION	NO 3.2.1.4 4.1.2.1(3), 7.4.1.2.1.8
3.16 IMPORTANCE CATEGORY	Normal	-	4.1.2.1(3), 7.4.1.2.1.8
3.17 SEISMIC HAZARD INDEX (I _s , S, D, Z)	0.35	Seismic Design is Required for Table 4.1.8.18. Items 6 to 21	4.1.8.18
3.18 OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANCY TYPE	BASED ON OCCUPANT LOAD (PERSONS)
	Ground floor (Units 1-B1 TO 1-B7)	E	m ² per person 212
	Second floor (Units 2-B1 TO 2-B7)	D	m ² per person 84
	TOTAL	UNDER SEPARATE TENANT PERMITS	236
3.19 BARRIER-FREE DESIGN	Yes	-	3.8
3.20 HAZARDOUS SUBSTANCES	No	-	3.3.1.2.8 3.3.1.1.8
3.21 REDUCED FIRE RESISTANCE PATHS	HORIZONTAL ASSEMBLY	RATING (H)	SUPPORTING NONCOMBUSTIBLE LEU OF PARTITION
	FLOORS	075	075
	MEZZANINE	-	NA
	ROOF	-	NA
3.22 SPATIAL SEPARATION	WALL	TEST AREA (m ²)	LD (m) LAYOUT REQUIRED FRR (H)
	OCCUPANCY E	51.9	20.00
	OCCUPANCY D	204.6	20.00
	OCCUPANCY E	65.3	19.00
	OCCUPANCY D	32.3	19.00
	OCCUPANCY E	65.1	18.00
	OCCUPANCY D	65.1	19.00
	OCCUPANCY E	67.1	13.00
	OCCUPANCY E	67.1	13.00
3.23 FURNISHING REQUIREMENTS	RATED	UNLESS TABLE 6.0.5.0 EXCEPT AS NOTED OTHERWISE	3.7.4.7.3.7.4.8
	FLOOR LEVEL/AREA	OCCUPANT LOAD	USE FIXTURES REQUIRED FIXTURES PROVIDED
	UNDER SEPARATE PERMIT	-	-

OBC DATA MATRIX 1 (A-101)

1	2	3	4
NO.	DATE	REVISION	BY
1		ISSUE FOR PERMIT	
2		ISSUE FOR CONSTRUCTION	

GARNER ROAD BUSINESS PARK
 1040 GARNER RD W
 ANCASTER, ONTARIO L9G 3J9

DESIGNER:
 SARLYS ARCHITECTS INC.
 610 FORD DR, SUITE 201
 OAKVILLE, ON L6J 7W5

REGISTERED PROFESSIONAL ENGINEER
 ANCASTER, ONTARIO

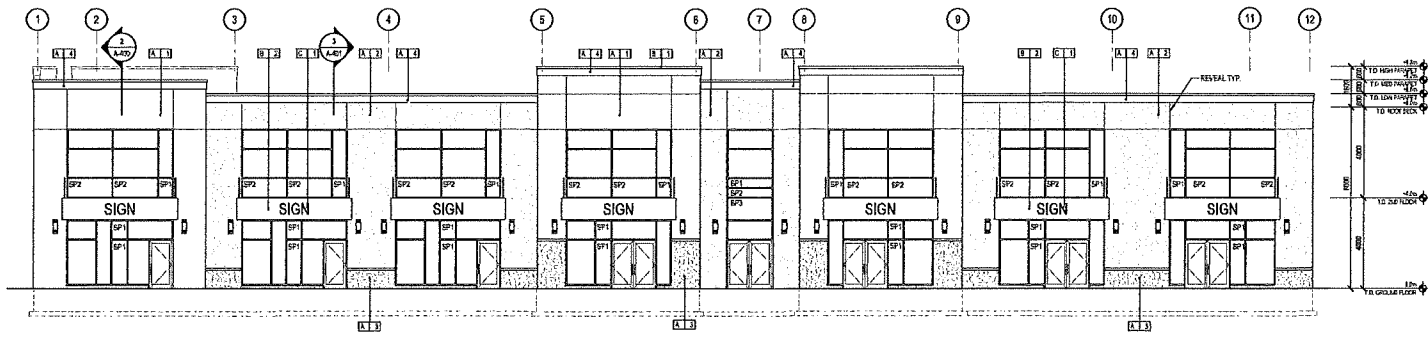
PROJECT NO.:
GARNER ROAD BUSINESS PARK

CLIENT/OWNER:
 1040 GARNER RD W
 ANCASTER, ONTARIO L9G 3J9

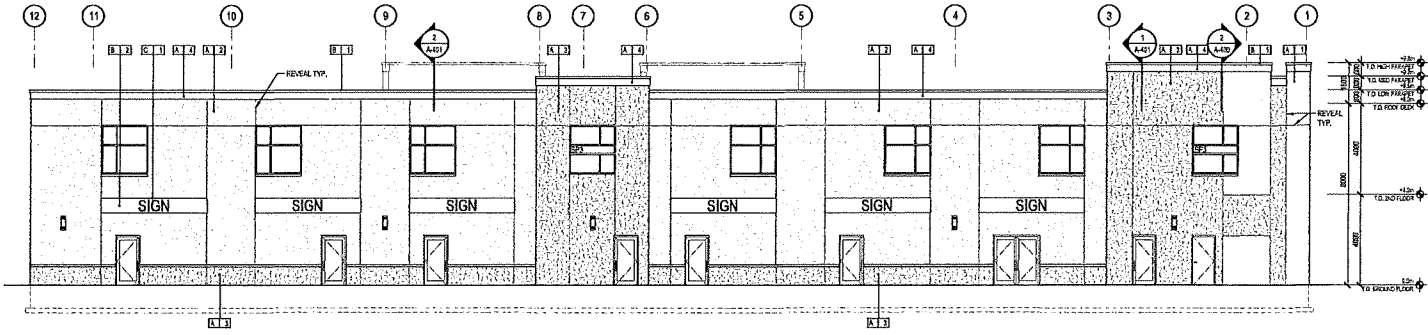
DRAWING NO.:
BLOCK B OBC DATA MATRIX

SCALE: AS SHOWN
 DATE: 2024-08-15

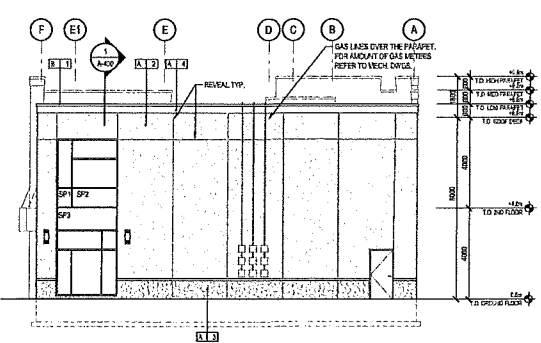
A-101



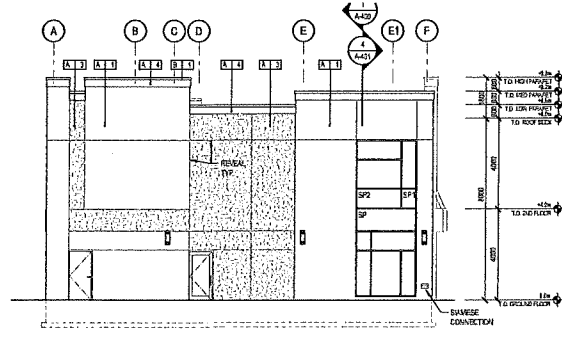
BUILDING B SOUTH ELEVATION
SCALE: 1/8" = 1'-0" A-301



BUILDING B NORTH ELEVATION
SCALE: 1/8" = 1'-0" A-301



BUILDING B EAST ELEVATION
SCALE: 1/8" = 1'-0" A-301



BUILDING B WEST ELEVATION
SCALE: 1/8" = 1'-0" A-301

GENERAL NOTES

1. ALL GLAZED WINDOWS AND DOORS TO BE CLEAR ANODIZED ALUMINUM DOUBLE GLAZED 10M E FINISH.
2. ALL GLAZED DOORS TO BE PAINTED, COLOR TO MATCH ADJACENT FINISH.

DRAWING LEGEND

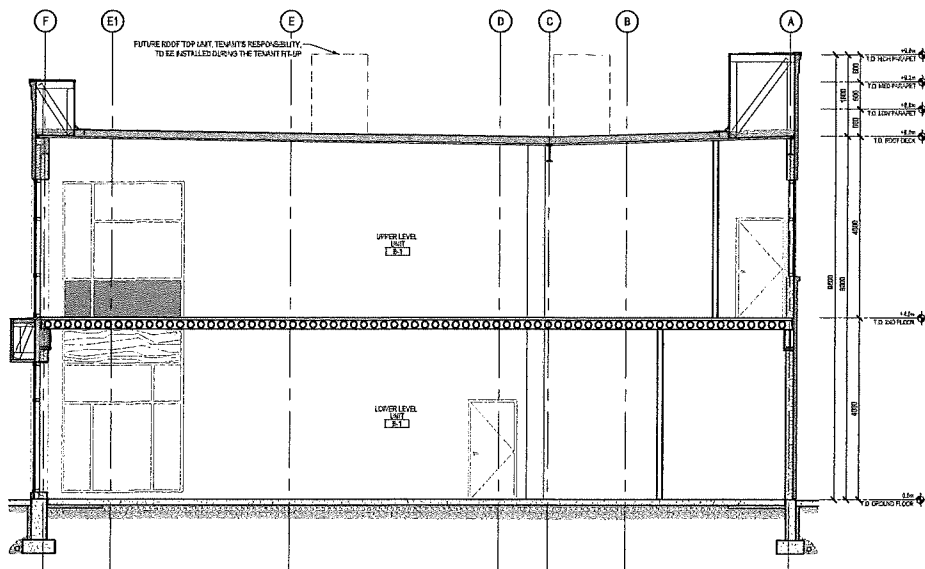
- [E1.1] EXTERIOR MATERIAL TYPE DESIGNATION SYMBOL
- [E1.2] FLOOR LEVEL DESIGNATION BY SYMBOL
- [E1.3] EXTERIOR DOORAGE
- [E1.4] EXTERIOR LIGHT FIXTURE
- [SCU] SCULPTURE

FAÇADE FINISH LEGEND

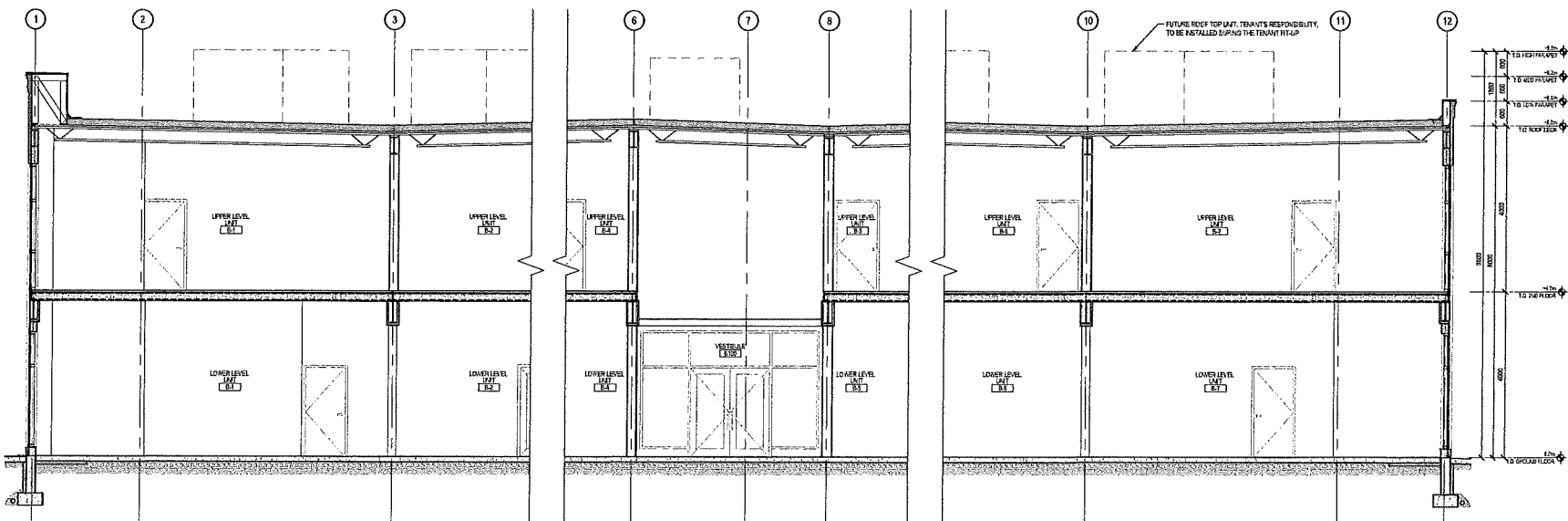
- [E1.1] FIELD APPLIED DRUMBLE EPS BY DURABOARD; BRIGHT FINISH; (LIGHT GRAY)
- [E1.2] FIELD APPLIED DRUMBLE EPS BY DURABOARD; BRIGHT FINISH; (MEDIUM GRAY)
- [E1.3] FIELD APPLIED SCHAUBLE EPS BY DURABOARD; BRIGHT FINISH; (DARK GRAY)
- [E1.4] FIELD APPLIED DRUMBLE EPS BY DURABOARD; BRIGHT FINISH; (GRAY) (TRD)
- [E1.5] PSE FINISHED METAL CAP FLASHING; WHITE FINISH (TRD)
- [E1.6] ECO-SYSTEM ALUMINUM METAL PANEL; (WHITE) WOOD PATTERN, SOFT TO MATCH
- [E1.7] BRIMAGE (BY TRSANT)
- [E1.8] SPANOR PANEL; (LIGHT GRAY)
- [E1.9] SPANOR PANEL; (MEDIUM GRAY)
- [E1.10] ALUMINUM SPANOR PANEL; (WOOD PATTERN)

NO.	REV.	REASON FOR CHANGE	DATE
1	1	ISSUED FOR BIDDING PRINT	04/20/23
2	1	REVISION	05/01/23

DESIGN BY: GARDNER HANSEN ARCHITECTS INC. 104 GARDNER RD W AUGUSTA, OH 44201
 ARCHITECT: GARDNER HANSEN ARCHITECTS INC. 104 GARDNER RD W AUGUSTA, OH 44201
 PROJECT: 140 GARDNER RD W AUGUSTA, OH 44201
 SHEET NO: BLOCK B ELEVATIONS
 SHEET TITLE: A-301
 SHEET NUMBER: 1/20



BUILDING SECTION 2
SCALE: 1/8" = 1'-0"
A-400



BUILDING SECTION 1
SCALE: 1/8" = 1'-0"
A-400

NO.	DATE	REVISIONS	BY	CHKD.
1	02/20/24	ISSUED FOR PERMIT	SAI	SAI
2	02/20/24	REVISED	SAI	SAI

SHEET NO. 122 OF 122
 PROJECT: GARNER INVESTMENTS INC., 1000 GARNER RD BY ANDASTER ON US 329
 ARCHITECT: SAJAYS ARCHITECTS INC., 1400 PARK DRIVE, SUITE 200, CHARLOTTE, NC 28204
 CLIENT: AN DEVELOPMENT CONSULTANTS INC., 1225 DOWNSIDE RD/333 DRAVILE ON I-77/76
 DATE: 02/20/24

GARNER ROAD BUSINESS PARK
 BLOCK B
 BUILDING SECTIONS

PROJECT NO. 122
 SHEET NO. 122 OF 122

PROJECT: GARNER INVESTMENTS INC., 1000 GARNER RD BY ANDASTER ON US 329
 ARCHITECT: SAJAYS ARCHITECTS INC., 1400 PARK DRIVE, SUITE 200, CHARLOTTE, NC 28204

CLIENT: AN DEVELOPMENT CONSULTANTS INC., 1225 DOWNSIDE RD/333 DRAVILE ON I-77/76

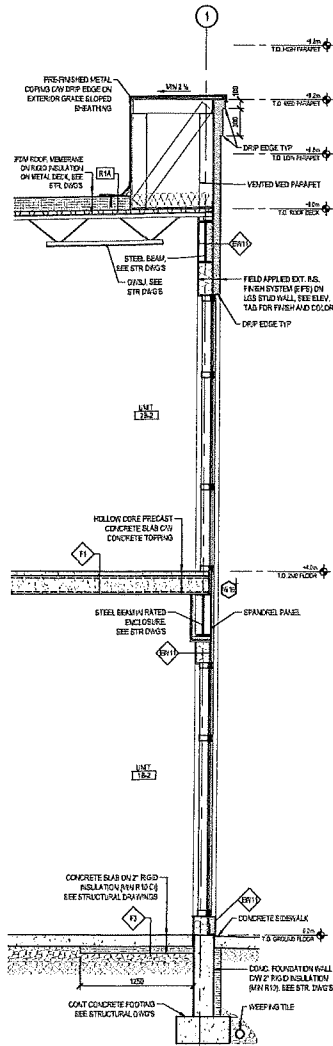
DATE: 02/20/24

PROJECT: GARNER INVESTMENTS INC., 1000 GARNER RD BY ANDASTER ON US 329
 ARCHITECT: SAJAYS ARCHITECTS INC., 1400 PARK DRIVE, SUITE 200, CHARLOTTE, NC 28204

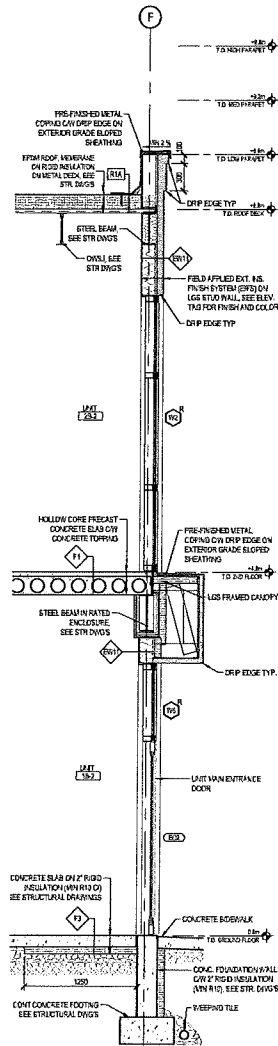
CLIENT: AN DEVELOPMENT CONSULTANTS INC., 1225 DOWNSIDE RD/333 DRAVILE ON I-77/76

DATE: 02/20/24

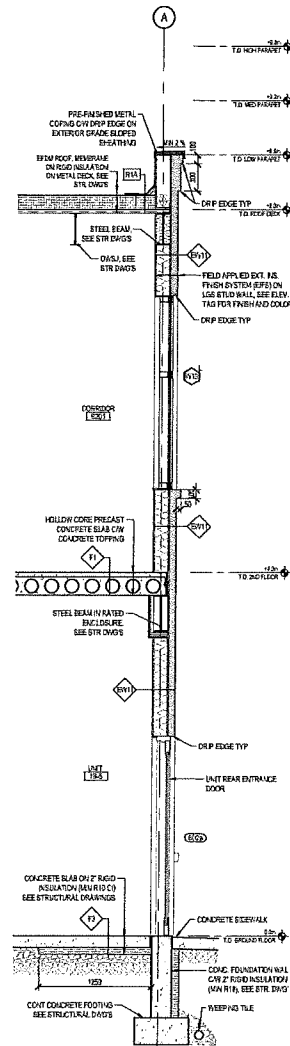
A-400



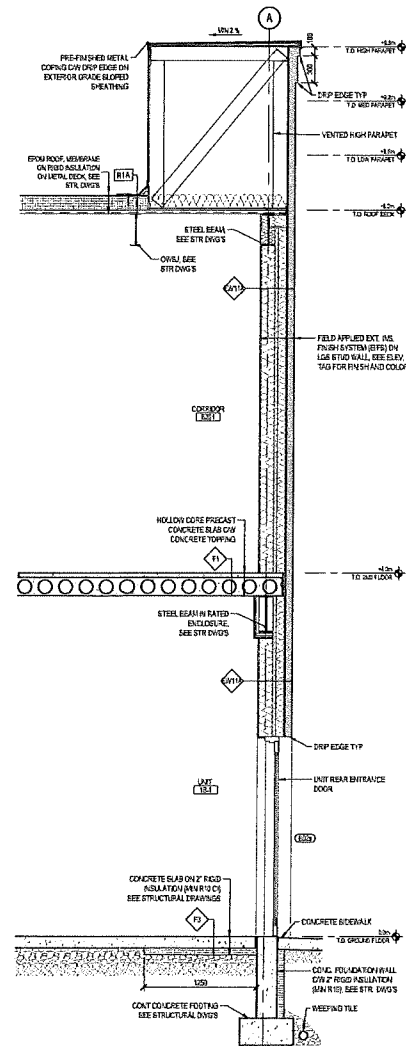
WALL SECTION @ MID PARAPET 4
SCALE: 1/8" = 1'-0"



WALL SECTION @ MAIN ENTR. 3
SCALE: 1/8" = 1'-0"



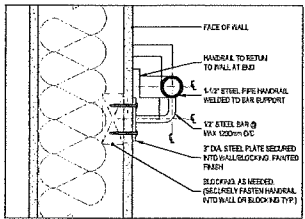
WALL SECTION @ REAR DOOR 2
SCALE: 1/8" = 1'-0"



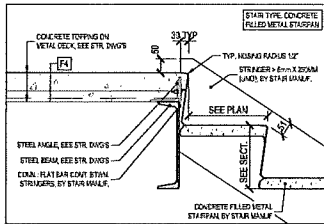
WALL SECTION @ HIGH PARAPET 1
SCALE: 1/8" = 1'-0"

NO.	DATE	REVISION	BY	CHKD.
1	02/15/23	ISSUED FOR PERMITS	SA	SA
2	02/15/23	ISSUED FOR PERMITS	SA	SA

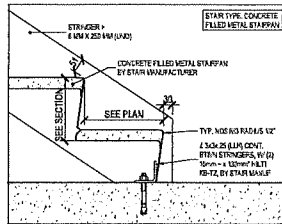
SHEET NO. 4-401
 PROJECT NO. 23-001
 1/8" = 1'-0" SCALE DRAWINGS. USE DIM DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFORMATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.
 DESIGNER: GARNER ARCHITECTS INC., 1548 GARNER RD WY, MANASSAS, VA 20108
 ARCHITECT: ANALYSIS ARCHITECTS INC., 410 FORD DRIVE, SUITE 108, CHARLOTTE, NC 28204
 ARCHITECT: ANB CONSULTANTS II CONSULTANTS INC., 100 COMMONWEALTH RD, DAVENPTE, NC 27834
 PROJECT: GARNER ROAD BUSINESS PARK
 BLOCK B WALL SECTIONS
 SHEET NO. 4-401
 TOTAL SHEETS: 4



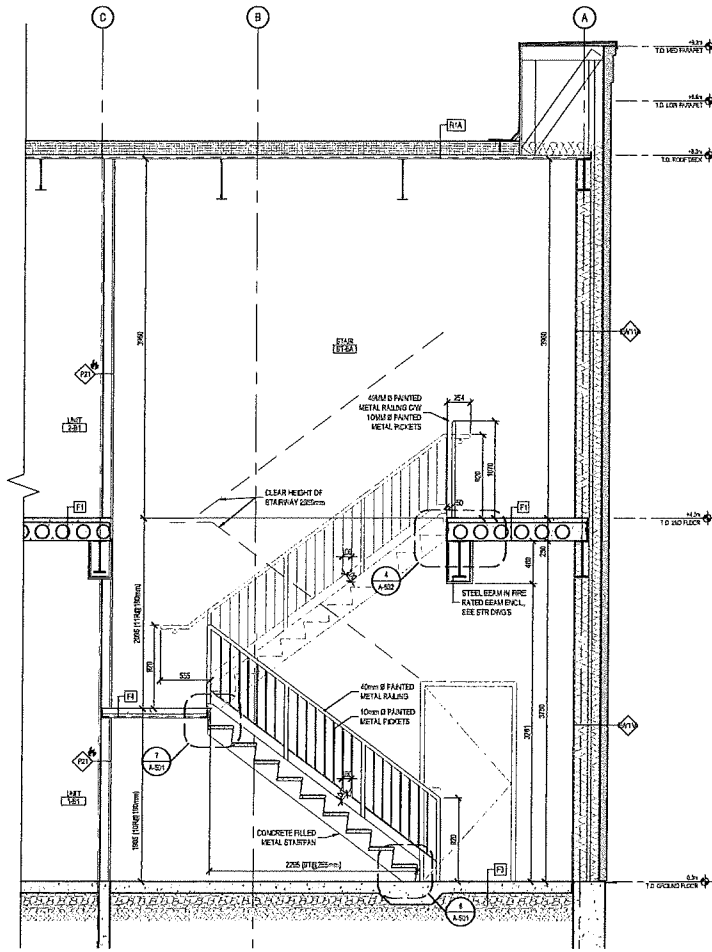
DETAIL @ HANDRAIL 8
SCALE: 1/4\"/>



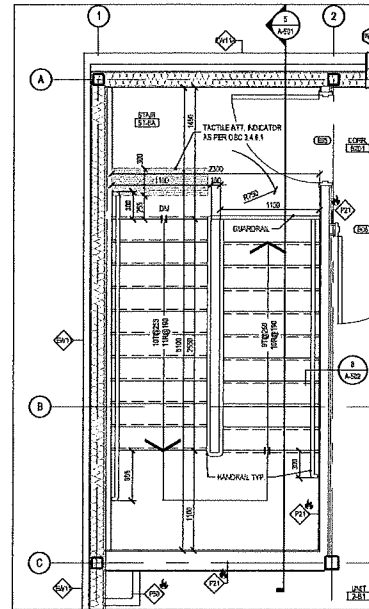
DETAIL @ TOP OF STAIR 7
SCALE: 1/4\"/>



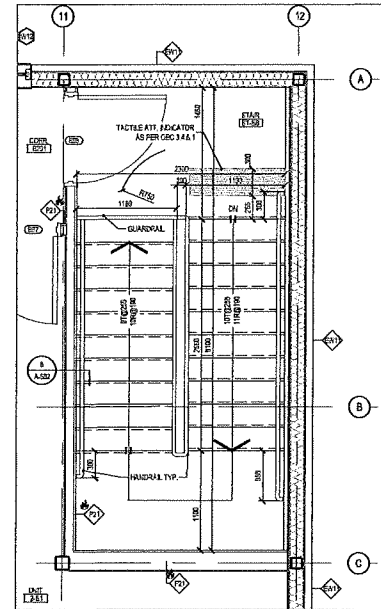
DETAIL @ BOTTOM OF STAIR 6
SCALE: 1/4\"/>



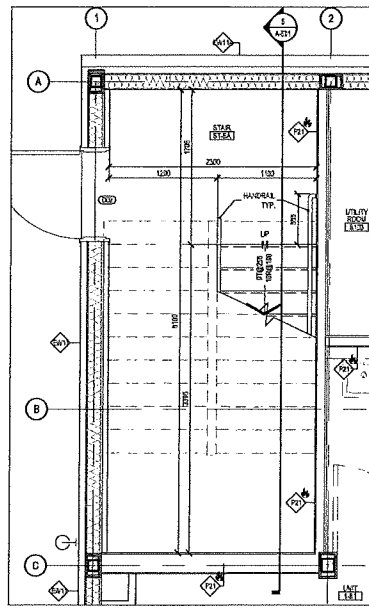
STAIR ST-BA TYPICAL SECTION 5
SCALE: 1/2\"/>



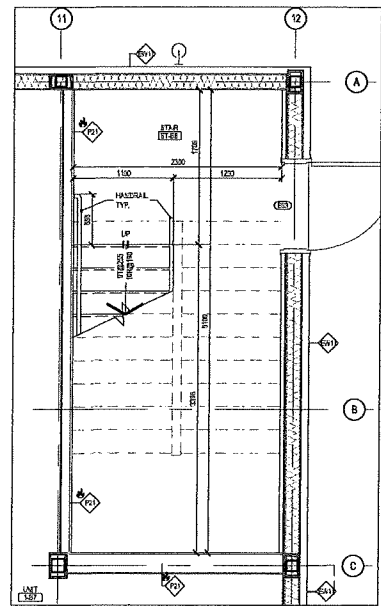
STAIR ST-BA 2ND FLOOR PLAN 4
SCALE: 1/2\"/>



STAIR ST-BB 2ND FLOOR PLAN 2
SCALE: 1/2\"/>



STAIR ST-BA 2ND FLOOR PLAN 3
SCALE: 1/2\"/>



STAIR ST-BB GROUND FLOOR PLAN 1
SCALE: 1/2\"/>

1	DATE	REVISION	BY	DATE

GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS MARKED "ISSUED FOR CONSTRUCTION". VERIFY DIMENSIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. USE BY ARCHITECT'S REPRESENTATIVE OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

OWNER:
 GARNER INDUSTRIES INC.
 1500 GARNER RD BY
 ANNEASTON, ON L4S 1V3

DESIGNER:
 SAULTY ARCHITECTS INC.
 810 FORD ST. SUITE 208
 DONMILLER, ON L4L 7M6

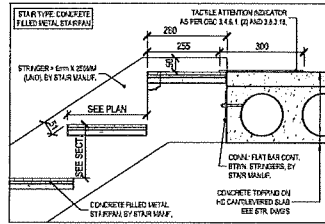
CONSULTANTS:
 AN ENGINEERING CONSULTANTS INC.
 1022 DONMILLER RD
 DONMILLER, ON L4L 7M6

PROJECT NAME:
GARNER ROAD BUSINESS PARK

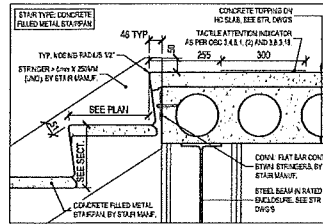
PROJECT ADDRESS:
 1500 GARNER RD BY
 ANNEASTON, ON L4S 1V3

PROJECT NO. / SHEET NO.:
 BLOCK B
 STAIR ST-BA & ST-BB PLANS, SECTIONS
 AND DETAILS

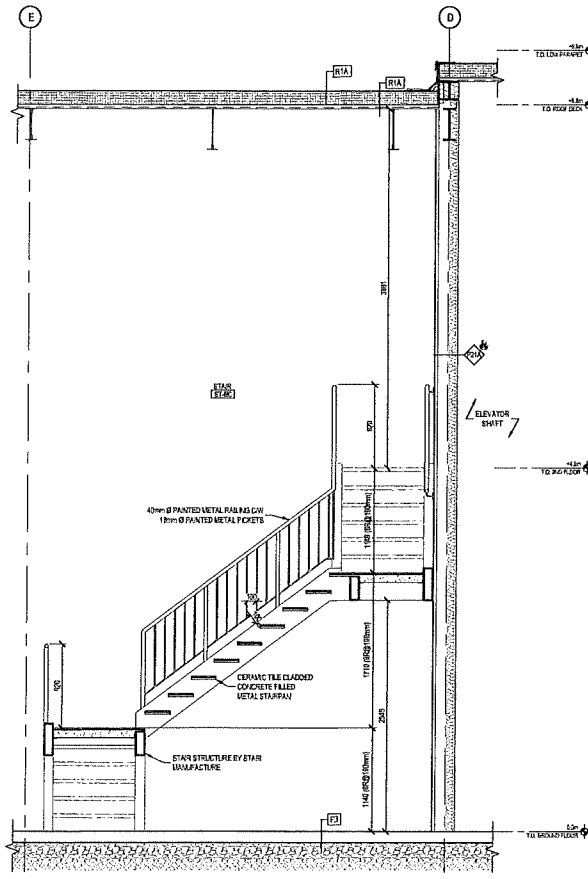
SCALE:
A-501



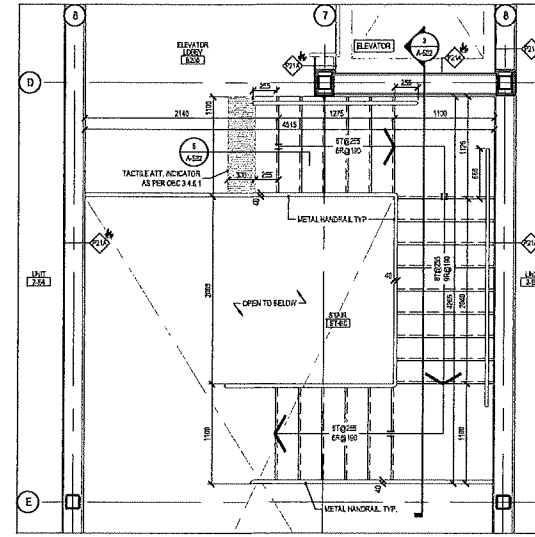
DETAIL @ TOP OF STAIR 5
SCALE: 1/8" = 1'-0"



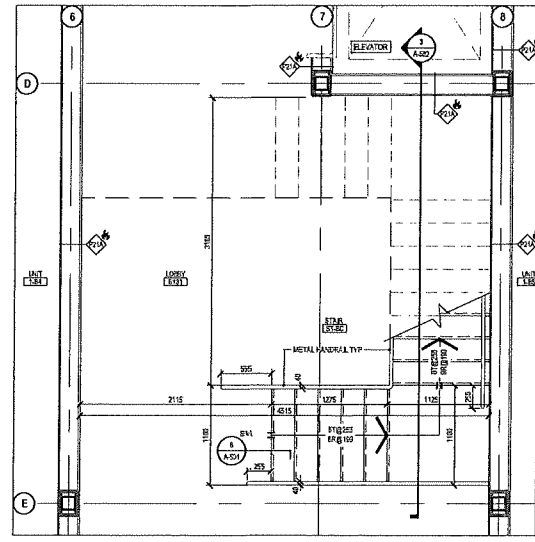
DETAIL @ TOP OF STAIR 4
SCALE: 1/8" = 1'-0"



STAIR ST-BC SECTION 3
SCALE: 1/2" = 1'-0"



STAIR ST-BC GROUND FLOOR PLAN 2
SCALE: 1/2" = 1'-0"

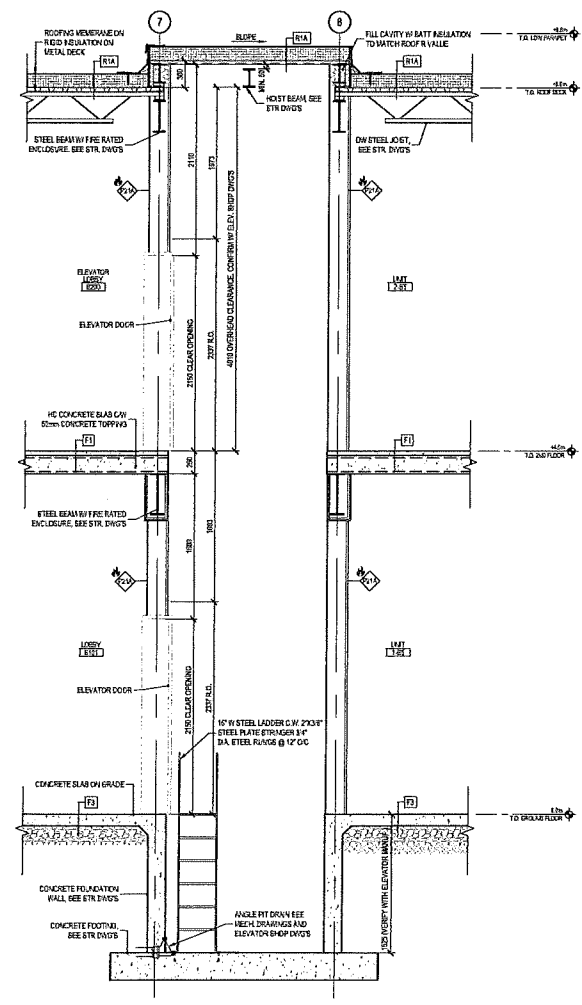


STAIR ST-BC GROUND FLOOR PLAN 1
SCALE: 1/2" = 1'-0"

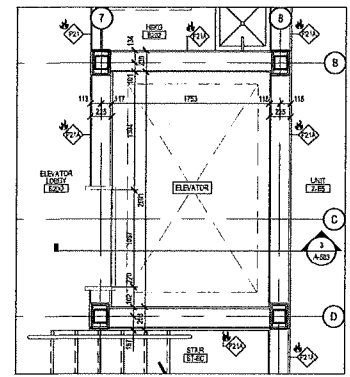
1	48	SEAL OF BELSHAM HEWITT	PROFESOR
1	48	SEAL OF BELSHAM HEWITT	PROFESOR
<p>GENERAL NOTES</p> <p>DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS MARKED "CHECKED FOR CONSTRUCTION". VERIFY DIMENSIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.</p>			
<p>OWNER</p> <p>GARNER INVESTMENTS INC.</p> <p>1400 GARNER RD W</p> <p>ALEXANDER, ON L4G 3G2</p>			
<p>PROJECT</p> <p>GARNER ARCHITECTS INC.</p> <p>100 FORD DRIVE, SUITE 308</p> <p>DRIVELLE, ON L4T 7N4</p>			
<p>DESIGNER</p> <p>AN EMPLOYMENT CONSULTANTS INC.</p> <p>100 FORD DRIVE, SUITE 308</p> <p>DRIVELLE, ON L4T 7N4</p>			
<p>PROFESSIONAL DESIGNER</p>			
<p>PROJECT NO.</p> <p>GARNER ROAD BUSINESS PARK</p>			
<p>PROJECT ADDRESS</p> <p>1400 GARNER RD W</p> <p>ALEXANDER, ON L4G 3G2</p>			
<p>PROJECT NO.</p> <p>BLOCK B</p> <p>STAIR ST-BC PLANS, SECTIONS AND DETAILS</p>			
BY	DATE	REVISION	APPROVED
1/22	1/22	AS NOTED	A-502

ELEVATOR NOTES

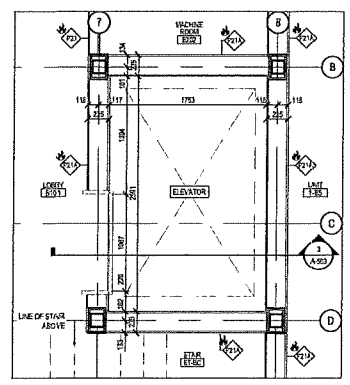
1. ELEVATOR KEYWAY DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION PURPOSES ONLY. DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO BE CONSTRUCTED UNLESS VERIFIED BY THE OWNER AND/OR CONTRACTOR. CONSTRUCTION IS TO BE BASED ON PROVIDED AND APPROVED ELEVATOR SHOP DRAWINGS. ANY RESULTING COSTS DUE TO CONSTRUCTION WITHOUT REVIEWED AND APPROVED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.



ELEVATOR SECTION 3
SCALE: 1/8" = 1'-0" A-503



ENL. ELEVATOR PLAN 2ND FLOOR 2
SCALE: 1/8" = 1'-0" A-503



ENL. ELEVATOR PLAN GR. FLOOR 1
SCALE: 1/8" = 1'-0" A-503

NO.	DATE	REVISION	BY	CHKD BY
1	07/15/20 </td <td>ISSUED FOR PERMIT REVIEW</td> <td>JANYS</td> <td>SAI</td>	ISSUED FOR PERMIT REVIEW	JANYS	SAI
2	07/15/20	REVISIONS	JANYS	SAI

DESIGNER:
 GARNER INVESTMENTS INC.
 1540 GARNER RD W
 ANCASTER, ON L4G 3G0

PROJECT:
 JANYS ARCHITECTS INC.
 14 FORD DRIVE, SUITE 218
 OAKVILLE, ON L7M 4M4

CONSULTANT:
 AN DEVELOPMENT CONSULTANTS INC.
 1324 CENTRAL RD
 OAKVILLE, ON L7W 5K6

PROJECT NAME:
 GARNER ROAD BUSINESS PARK

PROJECT NUMBER:
 1540 GARNER RD W
 ANCASTER, ON L4G 3G0

PROJECT TITLE:
 BLOCK B
 ENLARGED ELEVATOR PLANS
 AND SECTION

SCALE:
 1/8" = 1'-0"

DATE:
 07/15/20

BY:
 JANYS

CHKD BY:
 SAI

PROJECT NUMBER:
 A-503

ABBREVIATION LEGEND

- AL ANODIZED ALUMINUM
- CL CLEAR
- DG DOUBLE GLASS
- EXT EXTRUSION
- GL GLAZED
- HM HOLDING METAL
- HM ANGLUVA HOLDING METAL
- IST INSULATED STEEL
- PF FINISH/PURCH
- PH FINANC HARDWARE
- PS PRESSURE STEEL
- PT PAINT
- SLD SLD CLOSING DEVICE
- TR THERMALLY BROKEN
- TD TEMPERED GLASS
- WS WEATHER STOPPING

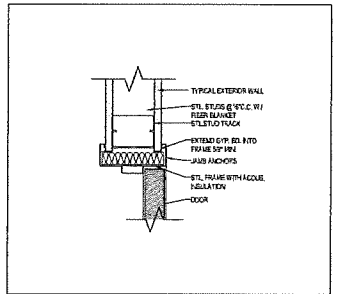
DOOR NOTES

1. ALL EXTERIOR HOLLOW METAL DOORS SHALL BE GALVANIZED & INSULATED
2. ALL DOORS SHALL BE PRE-FINISHED (S-P OR FACTORY) TOP, BOTTOMS AND SIDES OF ALL DOORS SHALL BE FINISHED OR FINISHED TO MATCH DOOR FINISH/COLOR.
3. GLAZED EXTERIOR DOORS MUST HAVE CLOSED TOPS
4. EXTERIOR DOORS MUST BE WEATHER STOPPING WITH THE APPROPRIATE TYPE OF THRESHOLD.
5. PROVIDE CONSTRUCTION CLAMPED DURALD CONSTRUCTION FOR DOORS REQUIRED TO BE GLAZED (SEE CONSTRUCTION CLAMPED PRIOR TO HOTEL DRAWING (COORDINATE WITH GENERAL CONTRACTOR))
6. ALL DOOR CLOSERS SHALL BE FINISH TO MATCH PROPERTY STANDARDS. ALL LOCKS (BY HAND OR KEY) SHALL BE SUPPLIED WITH PANA LOCKS.
7. ALL DOORS SHALL BE MASTER KEYED. COORDINATE KEYING WITH OWNER. PERMANENT KEYING BY DOOR SUBCONTRACTOR.
8. ALL FULL-GLASS VISION DOORS SHALL BE A RED WASTLE GLASS (GLAZING BY ALL EXTERIOR DOOR GLAZING AND Sidelights SHALL BE INSULATED TEMPERED GLASS.
9. ALL RATED DOORS SHALL BE PROVIDED BY A/N RATED DOOR HARDWARE (SEE SCHEDULES IF NOT SHOWN ON SCHEDULES IF OPERATIONS NOTED OR NOTED IS SPECIFICALLY IN CONTRADICTION TO WHAT IS REQUIRED IN RATED DOORS, CONTACT ARCHITECT)
10. WHERE UNDESIGNATED NOT SPECIFIED, PROVIDE STANDARD UNDERCUT OF 3/4" FOR H&H & WOOD DOORS
11. PROVIDE 1/4" UP FOR BUTT HINGES PER DOOR LEAF UP TO 10". PROVIDE 3/8" BUTT HINGES PER DOOR LEAF FOR BOLD CORE WOOD OR H&H DOORS FROM 10" TO 12"
12. PROVIDE (2) BRANCHES IN SINGLE LEAF DOORS, (3) BRANCHES IN DOUBLE LEAF DOORS

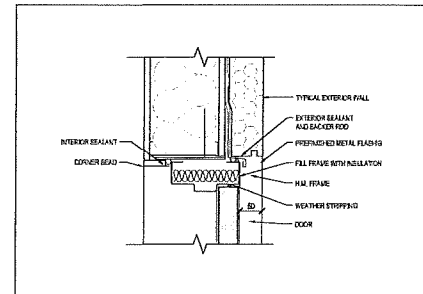
13. LOCKSET SHALL OPERATE WHEN TURNING KEY UNLESS THE DOOR WHEN PUSH BUTTON IS ENGAGED & TURNED. KEY OPERATION WILL BE REQUIRED AT ALL TIMES. RELEASE PUSH-BUTTON UNLESS DOOR.
14. ALL EXTERIOR DOORS SHALL BE PROVIDED WITH AN ALUMINUM DROP EDGE. ANCHORED TO UNDESIRABLE BY BALL CONSTRUCTION (DOORS AS PART OF AN ALUMINUM SUPPORT SYSTEM WITH A TENSILE MEMBER) NOT REQUIRED. BARE EDGE, NO FOOT DOORS THAT ARE PROTECTED UNDER CANOPIES.
15. ALL EXTERIOR DOORS SHALL HAVE THE TOP OF THE DOOR LEAF CONSTRUCTED IN SUCH A MANNER TO BE PROTECTED FROM WATER FROM COLLECTOR WITH THE TOP OF THE DOOR LEAF. JOINTS SHALL BE WEATHERED AT THE TOP OF DOOR LEAF. ANY CONSTRUCTION JOINTS SHALL BE FULLY WEATHERED TOP.
16. THRESHOLDS AT ACCESSIBLE DOORS TO MEET ALL APPLICABLE ACCESSIBILITY REQUIREMENTS. ACCESSIBLE DOORS INCLUDE ALL PUBLIC ACCESS SPACES. ALL PUBLIC EXTERIOR DOORS ALL EXTERIOR DOORS, AND EXTERIOR DOORS THAT ARE INDICATED WITH A CLEARANCE AREA.
17. THRESHOLDS AT ACCESSIBLE DOORS TO MEET ALL APPLICABLE ACCESSIBILITY REQUIREMENTS. ACCESSIBLE DOORS INCLUDE ALL PUBLIC ACCESS SPACES. ALL PUBLIC EXTERIOR DOORS ALL EXTERIOR DOORS, AND EXTERIOR DOORS THAT ARE INDICATED WITH A CLEARANCE AREA.
18. ALL DOOR HARDWARE SHALL COMPLY WITH REQUIREMENTS FOR ACCESSIBILITY AS PER ADA.
19. PROVIDE PUSH BUTTON ON BOTH SIDES OF DOORS WITH AUTOMATIC OPERATOR FOR ACCESSIBLE DOOR
20. ALL EXIST DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
21. ALL WEATHER CONSTRUCTION AT HOLLOW METAL DOOR FRAMES
22. ALL FIRE RATED DOORS TO HAVE GLAZERS AND LATCHES AND LATCH HARDWARE.
23. FINISH WITH HARDWARE FINISH.
24. ALL GLAZING TO BE 1/2" THICK TEMPERED GLASS, UNLESS OTHERWISE NOTED
25. ENSURE COMPATIBILITY WITH THE GSE DATA MATRIX, EN-13 TABLE, WINDOW SCHEDULE AND OTHER SCHEDULES

<p>SET #1 ALUMINUM GLASS EXTERIOR DOOR FIN BY OPERATOR</p> <ul style="list-style-type: none"> • HINGES • LOCK SET • DOOR SWEEP • CONCAVED DOOR CLOSER • FULL FINISH • FINANC HARDWARE • THRESHOLD • WEATHERSTRIP • MASTER FREE OPERATION AS INDICATED IN THE DOOR NOTES 	<p>SET #2 1/2" INSULATED ROOMS EXTERIOR DOOR</p> <ul style="list-style-type: none"> • HINGES • LOCK SET • LOCK PLATE • DOOR SWEEP • DOOR CLOSER • FLOOR STOP • WEATHERSTRIP 	<p>SET #3 1/2" INSULATED INTERIOR DOOR</p> <ul style="list-style-type: none"> • JOCK SET • CONCAVED DOOR CLOSER • FULL FINISH
<p>SET #4 ALUMINUM GLASS EXIT DOOR</p> <ul style="list-style-type: none"> • HINGES • LOCK SET • DOOR SWEEP • CONCAVED DOOR CLOSER • FULL FINISH • FINANC HARDWARE • THRESHOLD • WEATHERSTRIP 	<p>SET #5 1/2" INSULATED ROOMS</p> <ul style="list-style-type: none"> • HINGES • LOCK SET • LOCK PLATE • DOOR CLOSER • FLOOR STOP 	

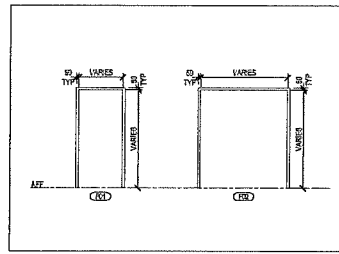
HARDWARE SCHEDULE 5
SCALE: 1/8" = 1'-0"



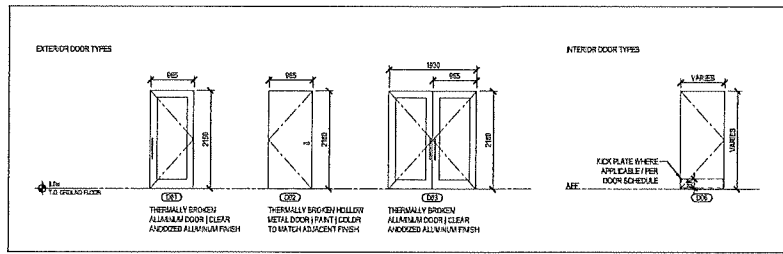
DETAIL @ INTERIOR DOOR HEAD 5
SCALE: 1/8" = 1'-0"



DETAIL @ EXTERIOR DOOR HEAD 4
SCALE: 1/8" = 1'-0"



FRAME TYPES 3
SCALE: 1/8" = 1'-0"



DOOR TYPES 2
SCALE: 1/8" = 1'-0"

DOOR AND FRAME SCHEDULE													
DOOR											FRAME		REMARKS
AL	LOCATION	WIDTH	HEIGHT	THICK	MATERIAL	FINISH	H&H	TYPE	GLAZING	FR. RAT.	TYPE	MATERIAL	
B-01	LIFT MAIN ENTRANCE	2062mm	2100mm	45mm	AL	PF	#1	DG	DG	-	W1	AL	
B-01a	LIFT REAR ENTRANCE	2062mm	2100mm	45mm	AL	PF	#2	DG	DG	-	FS2	AL	
B-02	LIFT MAIN ENTRANCE	893mm	2100mm	45mm	AL	PF	#1	DG	DG	-	W6	AL	
B-02a	LIFT REAR ENTRANCE	893mm	2100mm	45mm	AL	PF	#2	DG	DG	-	FS1	AL	
B-03	UTILITY ROOM EXTERIOR	893mm	2100mm	45mm	H&H	PT	#1	DG	-	-	FS1	H&H	
B-04	VESTIBULE EXTERIOR	2402mm	2100mm	45mm	AL	PF	#1	DG	DG 170	-	W7	AL	
B-05	VESTIBULE INTERIOR	2402mm	2100mm	45mm	AL	PF	#2	DG	TG	-	W17	AL	
B-05	MACHINE ROOM/H&H	893mm	2100mm	45mm	H&H	PT	#4	DG	-	45W	FS1	H&H	
B-07	INTERIOR LIFT	893mm	2100mm	45mm	H&H	PT	#5	DG	-	45W	FS1	H&H	
B-08	STAR	893mm	2100mm	45mm	H&H	PT	#6	DG	-	45W	FS1	H&H	

DOOR SCHEDULE 1
SCALE: 1/8" = 1'-0"

1 **2** **3** **4** **5** **6** **7** **8** **9** **10** **11** **12** **13** **14** **15** **16** **17** **18** **19** **20** **21** **22** **23** **24** **25**

GARNER ROAD BUSINESS PARK
 BLOCK B
 DOOR SCHEDULE & DETAILS

BATES ARCHITECTS INC.
 150 FORD DRIVE, SUITE 138
 DANVILLE, ON L1R 7Y4

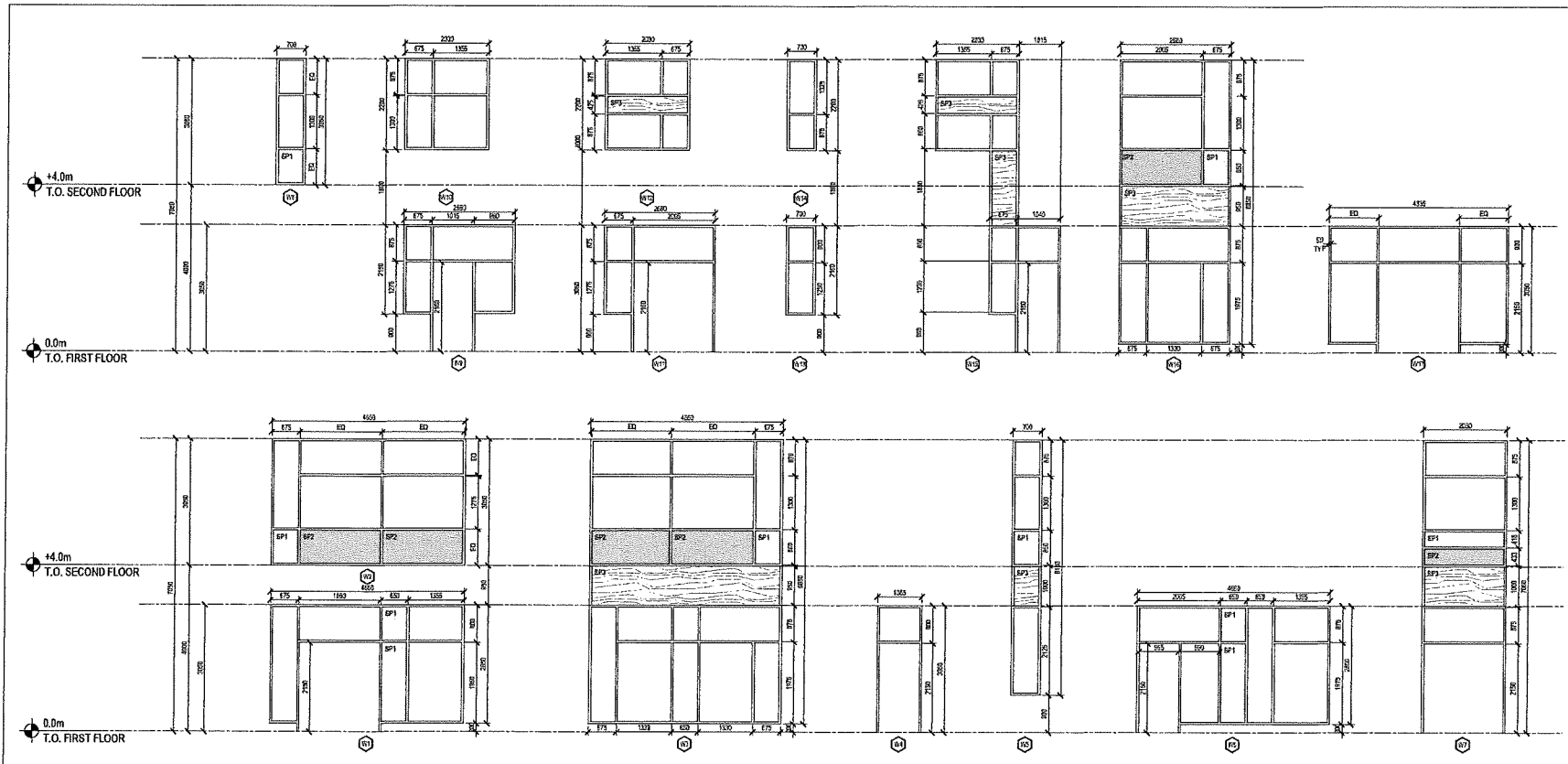
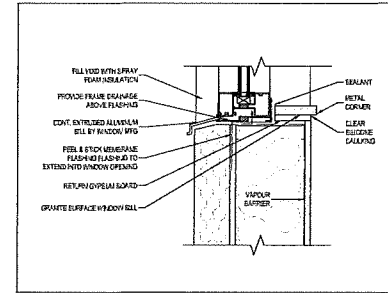
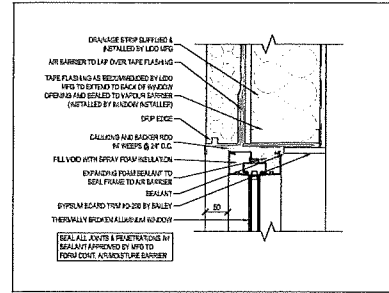
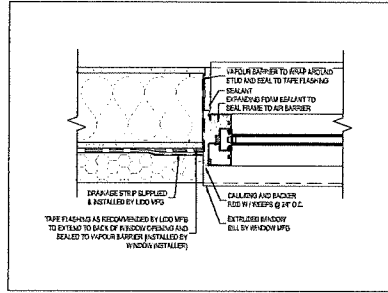
SCALE: 1/8" = 1'-0"

SPANDREL PANELS

- BP1 CLEAR TEMPERED GLASS SPANDREL PANEL (LIGHT GRAY)
- BP2 CLEAR TEMPERED GLASS SPANDREL PANEL (MEDIUM GRAY)
- BP3 ALUMINUM SPANDREL PANEL WOOD PATTERN

GENERAL WINDOW NOTES

1. OWNER CONTRACTOR TO ENSURE SHOP DRAWINGS SUBMITTED ARE PROVIDED BY THE WINDOW SYSTEMS DESIGNER AND SUBMITTED FOR ARCHITECT'S REVIEW
2. CONTRACTOR TO REVIEW AND APPROVE THE ABOVE NOTIFIED BY SHOP DRAWINGS PRIOR TO BUSINESS ON TO THE ARCHITECT. THE WINDOW AND SCREEN DRAWINGS SHOW NOTES ARE FOR REFERENCE AND DESIGN INTENT ONLY, AND NOT INTENDED FOR FABRICATION.
3. STANDARD WINDOW DETAILS ARE PROVIDED FOR INTENT ONLY. FINAL DETAILS MAY VARY BASED ON MANUFACTURER AND/OR TRADES SPECIFIC AND STANDARDS.
4. ENSURE COORDINATE WITH THE OIG DATA MATRICES, BS-10 TABLE, JOINTS, DETAILS AND OTHER DRAWINGS.
5. DIMENSIONS SHOWN ARE PROPOSED WINDOW FRAME, WINDOW SILL/JAMB AND FRAME TO COORDINATE SIZE OF FINISH OPENING.
7. WINDOW SUPPLIER TO CONFIRM SIZE OF OPENING ON SITE BEFORE IFC.
8. ALL EXTERIOR WINDOWS TO BE THERMALLY BROKEN WITH LOW-E, DOUBLE GLAZED HERMETICALLY SEALED, ARGON FILLED INSULATING GLASS.
9. THERMALLY BROKEN EXTERIOR FRAME, COLOUR CLEAR ANODIZED ALUMINUM.
10. EXTERIOR GLAZING TO BE HEAT TREATED TEMPERED GLASS.
11. INTERIOR GLAZING TO BE CLEAR TEMPERED GLASS.



1	42	SEALS FOR BUILDING PROJECT	1/18/2024
FILE	BY	DESCRIPTION	DATE
<p>NOTES: 1. NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "NEEDED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.</p>			
<p>OWNER: GARNER INVESTMENTS INC. 1045 GARNER RD BY ALEXSTER, ON L4G 3V9</p>			
<p>ARCHITECT: BARRY'S ARCHITECTS INC. 4000 BIRCHVIEW BLVD, SUITE 208 SCARBOROUGH, ON M1S 1Y4</p>			
<p>ENGINEER: AN ENGINEERING CONSULTANTS INC. 100 EDWARDS RD SCARBOROUGH, ON M1B 2Y5</p>			
<p>PROJECT NO: GARNER ROAD BUSINESS PARK</p>			
<p>PROJECT OWNER: 1045 GARNER RD BY ALEXSTER, ON L4G 3V9</p>			
<p>PROJECT FILE: BLOCK B WINDOW SCHEDULE & DETAILS</p>			
BY	DATE	EXTN.	DESCRIPTION

LIST OF DRAWINGS

ARCHITECTURAL

A-100	SITE PLAN
A-101	OBC DATA MATRIX
A-102	WALL TYPES & ARCHITECTURAL ABBREVIATIONS
A-201	GROUND FLOOR PLAN
A-202	2ND FLOOR PLAN
A-203	ROOF PLAN & DETAILS
A-301	ELEVATIONS
A-400	BUILDING SECTIONS
A-401	WALL SECTIONS
A-501	STAIRS PLANS, SECTIONS AND DETAILS
A-502	STAIRS PLANS, SECTIONS AND DETAILS
A-503	ENLARGED ELEVATOR PLANS AND SECTION
A-601	DOOR SCHEDULE & DETAILS
A-602	WINDOW SCHEDULE & DETAILS

STRUCTURAL

S1.1B	GENERAL NOTES
S1.2B	TYPICAL DETAILS
S1.3B	TYPICAL DETAILS
S1.4B	STRUCTURAL SPECIFICATIONS
S1.5B	STRUCTURAL SPECIFICATIONS
S2.1B	FOOTING LAYOUT PLAN
S2.2B	FOUNDATION PLAN
S3.1B	2ND FLOOR FRAMING PLAN
S4.1B	ROOF FRAMING PLAN
S4.1B	SNOW PILING & WATER PONDING PLANS
S4.3B	WIND UPLIFT PLAN
S5.1B	BUILDING ELEVATIONS
S6.1B	CONCRETE PER PLAN DETAIL
S6.2B	CONCRETE PER PLAN DETAIL
S6.3B	FOUNDATION SECTION DETAILS
S7.1B	STEEL SECTION DETAILS
S7.2B	STEEL SECTION DETAILS
S7.3B	STEEL SECTION DETAILS

MECHANICAL AND PLUMBING

M1.0	MECHANICAL COVER PAGE
M2.0	FOUNDATION PLUMBING LAYOUT
M2.1	SECOND FLOOR SUBFLOOR PLUMBING LAYOUT
M3.0	MAIN FLOOR PLUMBING LAYOUT
M3.1	SECOND FLOOR PLUMBING LAYOUT
M3.2	MAIN FLOOR WATER PLUMBING LAYOUT
M3.3	SECOND FLOOR WATER PLUMBING LAYOUT
M4.0	MAIN FLOOR HVAC LAYOUT
M4.1	SECOND FLOOR HVAC LAYOUT
M5.0	ROOF MECHANICAL LAYOUT
M6.0	MECHANICAL SPECIFICATIONS AND SCHEDULES

ELECTRICAL

E1.0	ELECTRICAL COVER PAGE
E2.0	ELECTRICAL SITE PLAN
E3.0	MAIN FLOOR ELECTRICAL PLAN
E3.1	SECOND FLOOR ELECTRICAL PLAN
E3.2	ROOF POWER PLAN
E4.0	EXTERIOR LIGHTING ELEVATION
E5.0	SINGLE LINE DIAGRAM, SCHEDULE & DETAILS
E6.0	LIGHTING SCHEDULE
E7.0	ELECTRICAL SPECIFICATIONS

GARNER ROAD BUSINESS PARK BLOCK B

1040 GARNER RD W
ANCASTER, ON L9G 3K9



ISSUED FOR BUILDING PERMIT
01-JUN-2020

PROJECT CONTACTS

CLIENT

GARNER INVESTMENTS INC.
1040 GARNER RD W
ANCASTER, ON L9G 3K9

ARCHITECT

SAPLYS ARCHITECTS INC.
610 FORD DRIVE, SUITE 338
OAKVILLE, ON L6J 7W4

DEVELOPMENT CONSULTANT

API DEVELOPMENT CONSULTANTS INC.
1464 UNIT #7 CORNWALL ROAD
OAKVILLE, ON L6J 7W5
TEL: 905-337-7249
URL: APIDEVELOPMENTCONSULTANTS.COM

STRUCTURAL ENGINEER

PROTOSTATIX ENGINEERING CONSULTANTS INC.
500, 10410 - 102 AVENUE NW
EDMONTON, ALBERTA T5J 0E9

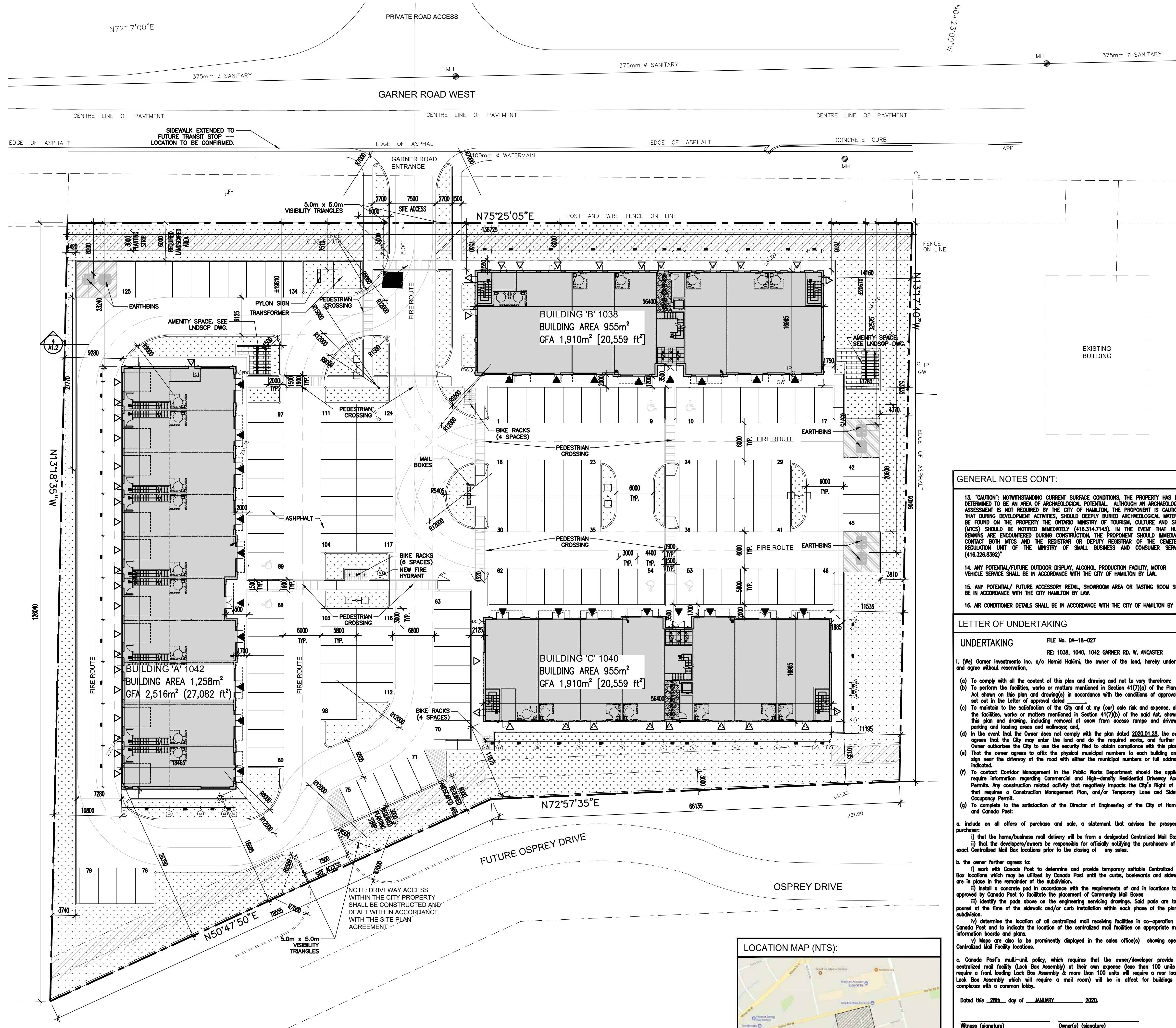
MEP ENGINEER

DESIGN WORKS ENGINEERING
2345-1 ADELAIDE STREET EAST
TORONTO, ON M5C 2V9

PROJECT NUMBER:
S20-021
ISSUED FOR:
BUILDING PERMIT
ISSUE DATE:
01-JUN-2020

**GARNER ROAD BUSINESS PARK
BLOCK B**

PROJECT NUMBER:
**1040 GARNER RD W
ANCASTER, ON L9G 3K9**



SITE LEGEND:

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	REQUIRED LANDSCAPED AREA SETBACK
---	REQUIRED YARD SETBACK
□	NEW BUILDING FOOTPRINT
▼	MAIN BUILDING ENTRANCE / EXITS
▽	SECONDARY BUILDING ENTRANCE / EXITS
→	DIRECTION OF TRAFFIC
▬	CURB CUT C/W DEPRESSED CURB
▬	CONTINUOUS CONCRETE CURB
▨	NEW LANDSCAPED AREA
▨	NO PARKING PAINT
□	BARRIER-FREE PARKING STALL (4.4m x 5.8m) c/w ACCESSIBILITY SIGNAGE
□	TYPICAL PARKING STALL (3.0m x 5.8m)
FD	FIRE DEPARTMENT CONNECTION
⊙	SURFACE COMPOSITION OF PARKING AREA - ASPHALT
⊙	NEW FIRE HYDRANT

SITE STATISTICS:

	REQUIREMENTS	PROPOSED
ZONING DESIGNATION	PRESTIGE BUSINESS PARK ZONE (M3-376)	PRESTIGE BUSINESS PARK ZONE (M3-376)
LOT FRONTAGE (MIN)	- (GARNER)	136.7 m
LOT AREA (MIN)	4,000 m²	13,817.44 m²
LOT COVERAGE (MAX)	N/A	23%
BUILDING HT (MAX)	N/A	2 STOREY
MIN YARD	FRONT YARD (NORTH) 6.0m MIN (GARNER) 25m MAX REAR YARD (MIN) 3m (OSPREY) WEST YARD (MIN) 0m EAST YARD (MIN) 0m	BLDG 'A': N=23.3m, E=109m, S=18.7m, W=9.3m BLDG 'B': N=7.5m, E=138m, S=66m, W=66.1m BLDG 'C': N=65.8m, E=112m, S=101.1m, W=68.7m
GFA (MAX)	-	PROPOSED BUILDING 'A'=2,516m² PROPOSED BUILDING 'B'=1,910m² PROPOSED BUILDING 'C'=1,910m² TOTAL GFA = 6,336 sqm
PARKING (MIN)	PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: FOR EACH 50m² GFA = 6,336 m² / 50 = 126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.	128 Regular Sized 6 Barrier Free THEREFORE, 134 PARKING SPACES ARE PROVIDED
BF PARKING (MIN)	1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES = (1)+(127*3%)=4.51 THEREFORE, 5 BF PARKING SPACES ARE REQUIRED.	6 PROVIDED
LOADING SPACE (MIN)	N/A	0
LANDSCAPED AREA (MIN)	6m COMBINED LANDSCAPE AND PLANTING STRIP ADJUTING A STREET, WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.	6m COMBINED LANDSCAPE AND PLANTING STRIP ADJUTING A STREET, WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.
EXT.STORAGE/DISPLAY	N/A	0

NOTE:
SITE PLAN CONDITIONS AND APPROVAL CLEARED MARCH 24, 2020 UNDER FILE: DA-18-027

GENERAL NOTES CONT':

13. "CAUTION": NOTWITHSTANDING CURRENT SURFACE CONDITIONS, THE PROPERTY HAS BEEN DETERMINED TO BE AN AREA OF ARCHAEOLOGICAL POTENTIAL. ALTHOUGH AN ARCHAEOLOGICAL ASSESSMENT IS NOT REQUIRED BY THE CITY OF HAMILTON, THE PROPONENT IS CAUTIONED THAT DURING DEVELOPMENT ACTIVITIES, SHOULD DEEPLY BURIED ARCHAEOLOGICAL MATERIALS BE FOUND ON THE PROPERTY THE ONTARIO MINISTRY OF TOURISM, CULTURE AND SPORT (MTCOS) SHOULD BE NOTIFIED IMMEDIATELY (416.314.7143). IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE PROPONENT SHOULD IMMEDIATELY CONTACT BOTH MTCOS AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERIES REGULATION UNIT OF THE MINISTRY OF SMALL BUSINESS AND CONSUMER SERVICES (416.328.8392)

14. ANY POTENTIAL/FUTURE OUTDOOR DISPLAY, ALCOHOL PRODUCTION FACILITY, MOTOR VEHICLE SERVICE SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON BY LAW.

15. ANY POTENTIAL/FUTURE ACCESSORY RETAIL, SHOWROOM AREA OR TASTING ROOM SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON BY LAW.

16. AIR CONDITIONER DETAILS SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON BY LAW.

LETTER OF UNDERTAKING

UNDERTAKING FILE NO. DA-18-027
RE: 1038, 1040, 1042 GARNER RD. W, ANCASTER

I, (We) Garner Investments Inc. c/o Hamid Holmi, the owner of the land, hereby undertake and agree without reservation,

(a) To comply with all the content of this plan and drawing and not to vary therefrom;
(b) To perform the facilities, works or matters mentioned in Section 41(7)(c) of the Planning Act shown on this plan and drawing(s) in accordance with the conditions of approval as set out in the Letter of approval dated _____;
(c) To maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways; and,
(d) In the event that the Owner does not comply with the plan dated 2020.01.28, the owner agrees that the City may enter the land and do the required works, and further the Owner authorizes the City to use the security filed to obtain compliance with this plan.
(e) That the owner agrees to affix the physical municipal numbers to each building and a sign near the driveway at the road with either the municipal numbers or full addresses indicated.
(f) To contact Corridor Management in the Public Works Department should the applicant require information regarding Commercial and High-density Residential Driveway Access Permits. Any construction related activity that negatively impacts the City's Right of Way that requires a Construction Management Plan, and/or Temporary Lane and Sidewalk Occupancy Permit.
(g) To complete to the satisfaction of the Director of Engineering of the City of Hamilton and Canada Post:

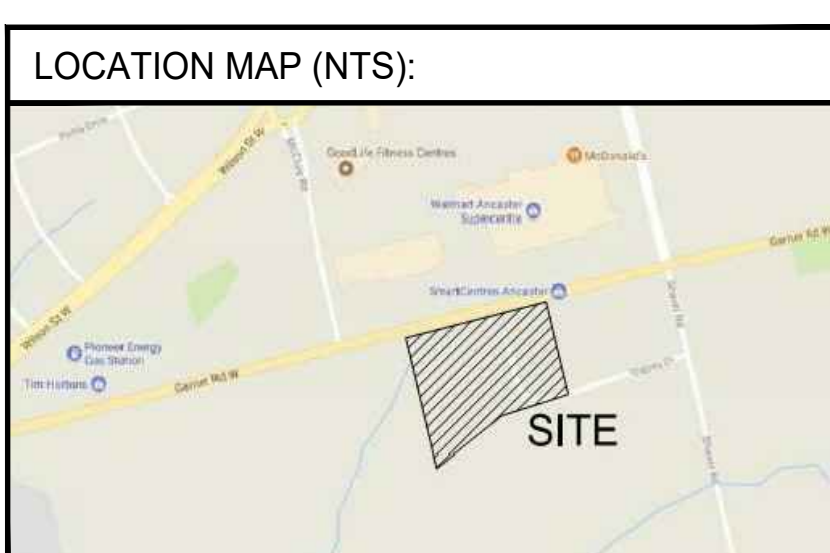
a. include on all offers of purchase and sale, a statement that advises the prospective purchaser:
i) that the home/business mail delivery will be from a designated Centralized Mail Box
ii) that the developers/owners are responsible for officially notifying the purchasers of the exact Centralized Mail Box locations prior to the closing of any sales.

b. the owner further agrees to:
i) work with Canada Post to determine and provide temporary suitable Centralized Mail Box locations which may be utilized by Canada Post until the curbs, boulevards and sidewalks are in place in the remainder of the subdivision.
ii) install a concrete pad in accordance with the requirements of and in locations to be approved by Canada Post to facilitate the placement of Community Mail Boxes
iii) identify the pads above on the engineering servicing drawings. Said pads are to be poured at the time of the sidewalk and/or curb installation within each phase of the plan of subdivision.
iv) determine the location of all centralized mail receiving facilities in co-operation with Canada Post and to indicate the location of the centralized mail facilities on appropriate maps, information boards and plans.
v) Maps are also to be prominently displayed in the sales office(s) showing specific Centralized Mail Facility locations.

c. Canada Post's multi-unit policy, which requires that the owner/developer provide the centralized mail facility (Lock Box Assembly) at their own expense (less than 100 units will require a front loading Lock Box Assembly & more than 100 units will require a rear loading Lock Box Assembly which will require a mail room) will be in effect for buildings and complexes with a common lobby.

Dated this 28th day of JANUARY 2020.

Witness (signature) _____ Owner(s) (signature) _____
Sam Esposito _____ Hamid Holmi _____
Witness (print) _____ Owner (print) _____
548 Upper James St. Hamilton ON L9C 2Y4
Address of Witness



GENERAL NOTES:

1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.

2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.

3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS OR MINUS 7.5 m UNLESS OTHERWISE STATED.

4. ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL BE WITHIN SIX MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN 10% MAXIMUM GRADES.

5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PERMIT, SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVICES, APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIRED), COMMITTEE OF ADJUSTMENT.

6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE TRAFFIC AND ENGINEERING SECTION, PUBLIC WORKS DEPARTMENT.

7. FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOWING NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WHICH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT TO EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPONDING PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."

8. ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10-197

9. THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVICE. THE COLLECTION OF WASTE MATERIAL IS REQUIRED THROUGH A PRIVATE WASTE HAULER.

10. BOTH BUILDING A AND B SHALL BE CONSTRUCTED FIRST, BUILDING C SHALL BE CONSTRUCTED SECOND. EARTHINS AND TRELLISES WILL BE CONSTRUCTED IN TANDEM W THE CONSTRUCTION OF BUILDINGS A AND B.

11. FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON FENCE BY LAW NO. 10-142.

12. A MINIMUM OF 1.2m SEPARATION MUST BE PROVIDED WITHIN THE CITY'S ROAD ALLOWANCE AREA BETWEEN DRIVEWAYS, A FENCE AND ANY POLE, UTILITY, FIRE HYDRANT, TREE, SIGN ETC. ANY COSTS FOR TRAFFIC SIGN OR UTILITY RELOCATION ARE THE SOLE RESPONSIBILITY OF THE APPLICANT/OWNER. IT IS THE APPLICANT'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE.

CLIENT: GARNER INVESTMENTS INC. 1040 GARNER RD W ANCASTER, ON L9G 3K9

ARCHITECT: SAPLYS ARCHITECTS INC. 810 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J 7W4

CONSULTANT: API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE, ON L6J 7W5

PROJECT NAME: GARNER ROAD BUSINESS PARK

PROJECT ADDRESS: 1040 GARNER RD W ANCASTER, ON L9G 3K9

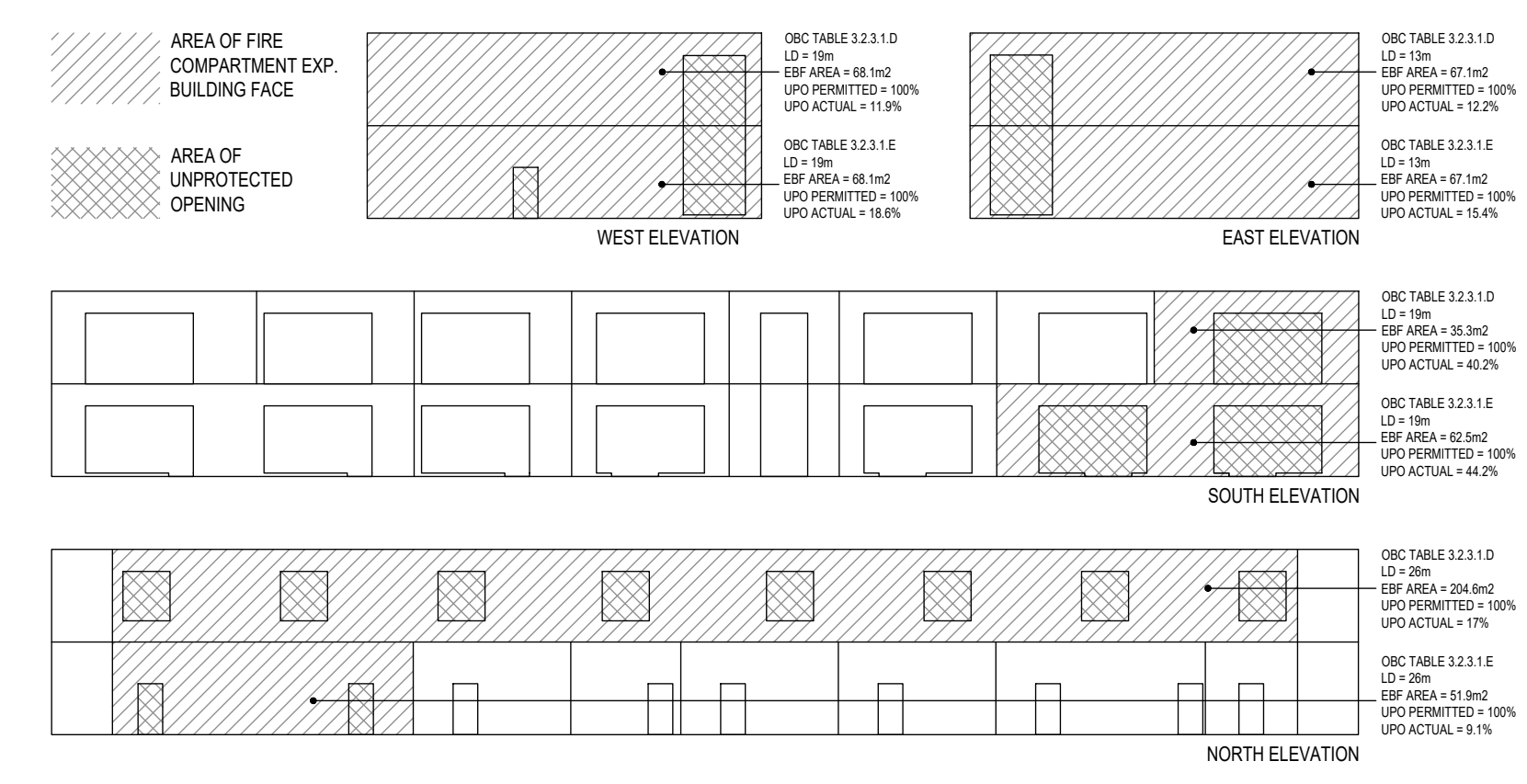
DRAWING TITLE: SITE PLAN

BY: NZ **CHECKED:** SHEET: A-100 **DATE:** 01-JUN-2020

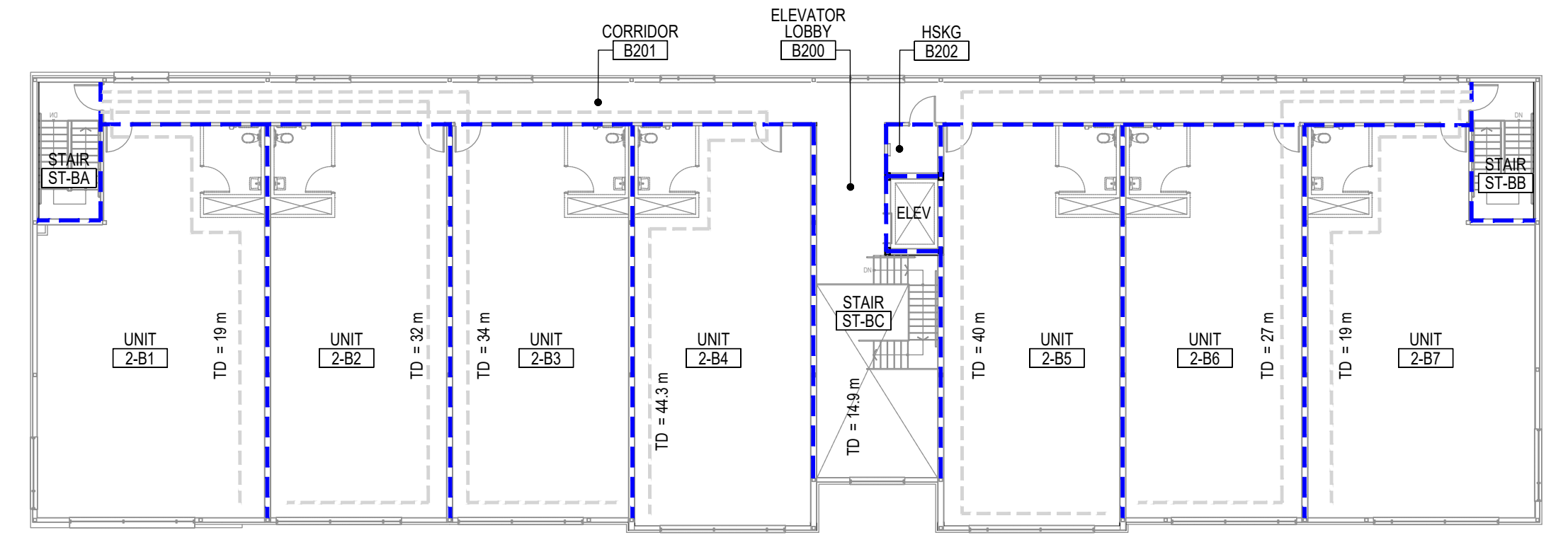
SCALE: UNITS: MM 1:300 **SHEET REVISION:** 1

BUILDING ENVELOPE INSULATION VALUES	
CLIMATE ZONE 5 - TABLE SB 5.5-5-2017, NONRESIDENTIAL	
OPAQUE ELEMENT	MIN. INSULATION R-VALUE
ROOF	
INSULATION ENTIRELY ABOVE DECK	R-35 ci
WALLS	
WALL ABOVE GRADE, STEEL FRAMED	R-13 + R-12 ci
FLOORS	
SLAB-ON-GRADE UNHEATED	R-15 for 48"
VERTICAL FENESTRATION	
METAL FRAMING, FIXED	Max U-Value: U-0.38 Max SHGC: 0.40, Min VT/SHGC 1.10
METAL FRAMING, ENTRANCE DOORS	Max U-Value: U-0.69 Max SHGC: 0.40, Min VT/SHGC 1.10

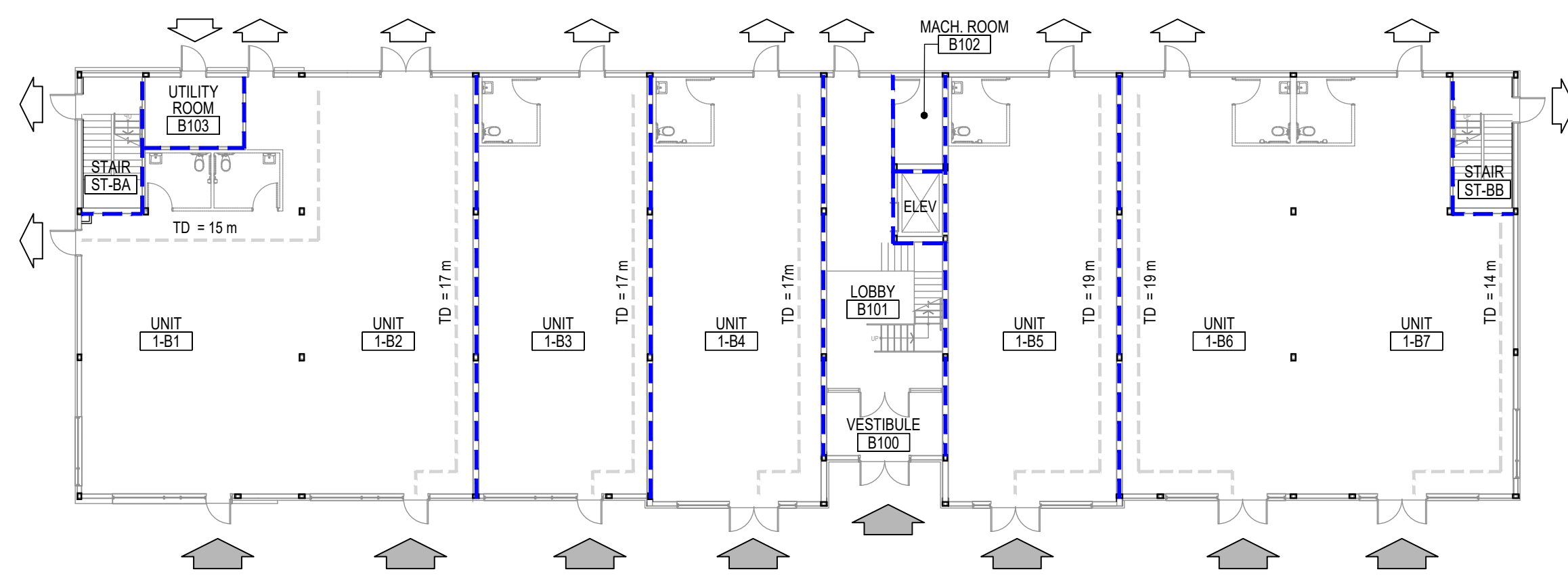
BUILDING ENVELOPE REQ'S 5
A-101



SPATIAL SEPARATION DIAGRAM - WEST ELEVATION 4
SCALE: 1:200 A-101



BUILDING B SECOND FLOOR FIRE SEPARATION PLAN 3
SCALE: 1:200 A-101



BUILDING B GROUND FLOOR FIRE SEPARATION PLAN 2
SCALE: 1:200 A-101

FIRE SEPARATION LEGEND	
	45 MINUTE - FIRE RESISTANCE RATING
	1HR - FIRE RESISTANCE RATING
	MAX. TRAVEL DISTANCE LENGTH = 45m MAX AS PER OBC 3.4.2.5
FIRE SEPARATION HAVING A FIRE RESISTANCE RATING	
ROOF	0HR
FLOORS	1HR
SUPPORTING ASSEMBLY	45 MIN
EXTERIOR WALLS	REFER TO OBC MATRIX
DEMISING WALLS	1HR
EXIT STAIRS	45 MIN
ELEVATOR SHAFTS	45 MIN
VERTICAL SERVICE SPACES	45 MIN
ALL FIRE RATED PARTITIONS TO HAVE FIRE STOP CAULKING AT TOP & BOTTOM OF GYPSUM BOARD	

ONTARIO BUILDING CODE DATA MATRIX
PART 3 - FIRE PROTECTION, OCCUPANT SAFETY AND ACCESSIBILITY OBC REFERENCE⁽¹⁾

Name of Practice		SAPLYS ARCHITECTS INC.	
Address 1		610 FORD DR, OAKVILLE ON, L6J 7W5	
Contact		LINAS SAPLYS	
Name of Project		GARNER ROAD BUSINESS PARK - BLOCK B	
Location/Address		1040 GARNER ROAD WEST, ANCASTER, ONTARIO	
3.00 BUILDING CODE VERSION	O.Reg. 332/12	LAST AMENDMENT	O.Reg. 88/19
3.01 PROJECT TYPE	New Construction	MIXED USE COMMERCIAL BUILDING	[A] 1.4.1.2.
3.02 MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY	USE	3.1.2.1.(1)
	E	Mercantile	
	D	Offices	
3.03 SUPERIMPOSED MAJOR OCCUPANCIES	YES	Officed (group D) on second floor, over mercantile units (group E) on ground floor	3.2.2.7.
3.04 BUILDING AREA (m²)	DESCRIPTION	EXISTING	NEW
	New building	-	955.0
	TOTAL	955.0	955.0
	TOTAL [A] 1.4.1.2.		
3.05 GROSS AREA (m²)	DESCRIPTION	EXISTING	NEW
	Ground Floor	-	955.00
	Second Floor	-	955.00
	TOTAL	1,910.0	1,910.0
	TOTAL [A] 1.4.1.2.		
3.06 MEZZANINE AREA (m²)	DESCRIPTION	EXISTING	NEW
	TOTAL	-	-
	TOTAL 3.2.1.1.		
3.07 BUILDING HEIGHT	2 STOREYS ABOVE GRADE	8.00 (m) ABOVE GRADE	[A] 1.4.1.2. & 3.2.1.1.
	0 STOREYS BELOW GRADE		
	TOTAL 3.2.6		
3.08 HIGH BUILDING	No		
3.09 NUMBER OF STREETS/ FIREFIGHTER ACCESS	2 STREETS		3.2.2.10. & 3.2.5.
3.10 BUILDING CLASSIFICATION	3.2.2.62. GROUP E, UP TO 2 STOREYS, SPRINKERED		3.2.2.20-83.
	3.2.2.56. GROUP D, UP TO 2 STOREYS, SPRINKERED		
3.11 SPRINKLER SYSTEM	Required	Entire Building	3.2.1.5. & 3.2.2.17.
3.12 STANDPIPE SYSTEM	Not Required		3.2.9.
3.13 FIRE ALARM SYSTEM	Not Required	TYPE PROVIDED: N/A	3.2.4.1
3.14 WATER SERVICE/ SUPPLY IS ADEQUATE	Yes		
3.15 CONSTRUCTION TYPE	Restrictions	Combustible Permitted	3.2.2.20-83.
	ACTUAL	Noncombustible	HEAVY TIMBER CONSTRUCTION NO 3.2.1.4.
3.16 IMPORTANCE CATEGORY	Normal		4.1.2.1.(3), 74.1.2.1.B.
3.17 SEISMIC HAZARD INDEX (I _s F _s (0.2)) =	0.35	Seismic Design Is Required for Table 4.1.8.18. Items 6 to 21	4.1.8.18.
3.18 OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANCY TYPE	BASED ON OCCUPANT LOAD (PERSONS)
	Ground floor (Units 1-B1 TO 1-B7)	E	m² per person 212
	Second floor (Units 2-B1 TO 2-B7)	D	m² per person 84
	TOTAL	UNDER SEPARATE TENANT PERMITS	296
3.19 BARRIER-FREE DESIGN	Yes		3.8.
3.20 HAZARDOUS SUBSTANCES	No		3.3.1.2. & 3.3.1.19.
3.21 REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY	RATING (H)	SUPPORTING ASSEMBLY (H)
	FLOORS	0.75	0.75
	MEZZANINE	-	N/A
	ROOF	-	N/A
	NONCOMBUSTIBLE IN LIEU OF RATING?		3.2.1.4.
3.22 SPATIAL SEPARATION	WALL	EBF AREA (m²)	L.D. (m) L/H OR H/L
	N	-	-
	OCCUPANCY E	51.9	26.00
	OCCUPANCY D	204.6	26.00
	S	-	-
	OCCUPANCY E	62.5	19.00
	OCCUPANCY D	35.3	19.00
	W	-	-
	OCCUPANCY E	68.1	19.00
	OCCUPANCY D	68.1	19.00
	E	-	-
	OCCUPANCY E	67.1	13.00
	OCCUPANCY E	67.1	13.00
3.23 PLUMBING FIXTURE REQUIREMENTS	RATIO:	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE	3.7.4.7 & 3.7.4.8
	FLOOR LEVEL/AREA	OCCUPANT LOAD	OBC SENTENCE
		FIXTURES REQUIRED	FIXTURES PROVIDED
		UNDER SEPARATE PERMIT	

OBC DATA MATRIX 1
A-101

1	NZ	ISSUED FOR BUILDING PERMIT	01-JUN-2020
ISSUE	BY	DESCRIPTION	DATE (DD/MMA/YYYY)
GENERAL NOTES DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.			
CLIENT GARNER INVESTMENTS INC. 1040 GARNER RD W ANCASTER, ON L9G 3K9			
ARCHITECT SAPLYS ARCHITECTS INC. 610 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J 7W4			
CONSULTANT API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE, ON L6J 7W5			
PROJECT NAME GARNER ROAD BUSINESS PARK			
PROJECT ADDRESS 1040 GARNER RD W ANCASTER, ON L9G 3K9		PROJECT No. S20-021	
DRAWING TITLE BLOCK B OBC DATA MATRIX			
BY	CHECKED	SHEET No.	SHEET REVISION
NZ	-	A-101	1
SCALE	UNITS:MM	AS NOTED	

LIST OF ARCHITECTURAL ABBREVIATIONS

ACC	ACCESSIBLE
ACM	ALUMINUM COMPOSITE MATERIAL
ADD	AUTOMATIC DOOR OPERATOR
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
ARCH	ARCHITECTURAL, ARCHITECT
ARGB	ABUSE-RESISTANT GYPSUM BOARD
AUTO	AUTOMATIC
BD	BOARD
BF	BARRIER FREE
BLDG	BUILDING
BSMT	BASEMENT
CACF	CENTRAL ALARM AND CONTROL FACILITY
C.B.	CONC. BL. CONCRETE BLOCK
CFS	COLD FORMED STEEL
CG	CORNER GUARD
CI	CONTINUOUS INSULATION
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLNG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
COORD	COORDINATE
CT	CERAMIC TILE
CU	CONDENSING UNIT
C/W	COMPLETE WITH
CWS	CURTAIN WALL SYSTEM
D	DRYER
DEG	DEGREE(S)
DEMO	DEMOLISH, DEMOLITION
DEPT	DEPARTMENT
DW	DISHWASHER
DWG	DRAWING
DWS	DETECTABLE WARNING SURFACE
EF	EXHAUST FAN
EIFS	EXTERIOR INSULATION FINISH SYSTEM
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
ETC	ET CETERA
EX	EXISTING
EXP JT	EXPANSION JOINT
EXT	EXTERIOR
F	FREEZER
F/A	FIRE ALARM
FHC	FIRE HOSE CABINET
FEC	FIRE EXTINGUISHER CABINET
FRP	FIBERGLASS REINFORCED PANEL
FRR	FIRE RESISTANCE RATING
G.B.	GYPSUM BOARD
GC	GENERAL CONTRACTOR
GG	GLASS GUARD
H	HIGH
HB	HOSE BIB
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HEAT PUMP
HPT	HIGH POINT
HSKPGH	HOUSEKEEPING
HT	HEIGHT
HVAC	HEATING, VENTILATION, AIR CONDITIONING
ID	INSIDE DIAMETER
I.D.	INTERIOR DESIGN
ICE	ICE MACHINE
IGU	INSULATED GLASS UNIT
INSUL	INSULATION
K.E.S.	KITCHEN EQUIPMENT SUPPLIER
L	LONG
LPT	LOW POINT
LT	LIGHT
LVR	LOUVER
M	METER
MAINT	MAINTENANCE

MANUF	MANUFACTURER
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MEP	MECHANICAL, ELECTRICAL, PLUMBING
MEZZ	MEZZANINE
MH	MANHOLE
MHO	MAGNETIC HOLD OPEN
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTL	METAL
M.U.A.	MAKE-UP AIR
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
O.C.	ON CENTER
OD	OUTSIDE DIAMETER
P	PANEL
PCT	PORCELAIN CERAMIC TILE
PDO	POWER DOOR OPERATOR
PLAM	PLASTIC LAMINATE
PLYNDPLY	PLYWOOD
PREFAB	PREFABRICATED
PROP	PROPERTY
PSH	PURSE SHELF
PTAC	PACKAGED TERMINAL AIR CONDITIONER
PTD	PAINTED
QT	QUARRY TILE
QTY	QUANTITY
RB	RUBBER
RD	ROOF DRAIN
REF	REFRIGERATOR, REFERENCE
REINF	REINFORCED
REQD	REQUIRED
REV	REVISION
RM	ROOM
RO	ROUGH OPENING
S	SINK
SACT	SUSPENDED ACOUSTICAL TILE
SFRM	SPRAY APPLIED CEMENTITIOUS FIRE RESISTIVE MATERIAL

SIM	SIMILAR
SOG	SLAB ON GRADE
SP	SUMP PUMP
SPEC	SPECIFICATION
SSG	STRUCTURAL SILICONE GLAZING
ST	STORAGE TANK
STC	SOUND TRANSMISSION CLASS
STL	STEEL
STOR	STORAGE
STRUC	STRUCTURAL
T	TRANSFORMER
Ti	T/O TOP OF
TEMP	TEMPORARY
THK	THICK
TPD	TOILET PAPER DISPENSER
TV	TELEVISION
TXT	TEXTURED
TYP	TYPICAL
UIS	UNDER SIDE
UL	UNDERWRITER'S LABORATORIES
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITE TILE
VEND.	VENDING MACHINE
VERIF	VERIFY IN FIELD
VRF	VARIABLE REFRIGERANT FLOW
VS	VISION STRIP
VTAC	VERTICAL TERMINAL AIR CONDITIONER
VVC	VINYL WALL COVERING
W	WITH
W	WASHER
WC	WATER CLOSET
WID	STACKED WASHER AND DRYER
WD	WOOD
WIC	WALK IN CLOSET
WR	WAREHOUSE
WMM	WELDED WIRE MESH
X: X	BY: TIMES

WALL & PARTITION TYPE NOTES

- GENERAL**
- CONFIRM & COORDINATE ALL STUD WALL VERTICAL SPAN / HEIGHT LIMITATIONS WITH MANUFACTURER.
 - COORDINATE W/ INTERIOR DESIGN DRAWINGS FOR LOCATIONS OF WALL BLOCKING & SHEET METAL OR PLYWOOD REINFORCING FOR WALL MOUNTED EQUIPMENT.
 - COMBUSTIBLE MATERIALS SHALL COMPLY WITH OBC 2012 ARTICLE 3.1.5.12
 - EXTEND GYPSUM BOARD 8" ABOVE CEILING ON GROUND FLOOR.
- FIRE RATED ASSEMBLIES**
- PROVIDE FIRE STOP CAULKING AT TOP, BOTTOM AND PERIMETER OF GYPSUM BOARD AT FIRE RATED PARTITIONS IN ACCORDANCE WITH UL DESIGN.
 - PROVIDE MOISTURE, MOLD & MILDEW RESISTANT GYPSUM BOARD AT ALL WASHROOM SHOWER ENCLOSURES. ENSURE GYPSUM BOARD TYPE IS COMPLIANT WITH UL ASSEMBLY WHERE APPLICABLE.
 - PROVIDE UL CERTIFIED FIRE STOPPING MATERIAL AT ALL WALL PENETRATIONS TO MAINTAIN CONTINUITY OF FIRE SEPARATION.
 - PROVIDE NON-SHRINK GROUT OR ULC RATED FIRE STOP CAULKING AT T/O OF RATED MASONRY WALLS AS REQUIRED TO MAINTAIN FIRE SEPARATION CONTINUITY.
 - EXTEND GYPSUM BOARD TO UIS OF SLAB C/W PERIMETER SMOKE SEAL CAULKING AT OHR / SMOKE SEAL LOCATIONS, TYPICAL.
- SOUND RATED ASSEMBLIES**
- EXTEND GYPSUM BOARD TO UIS OF SLAB C/W PERIMETER ACOUSTICAL SEALANT AT STC RATED PARTITIONS
 - PROVIDE CONTINUOUS STC RATED WALLS SEPARATING EITHER OFFICES, PUBLIC WASHROOMS, POOL, FOOD PREPARATION, OR MEETING/CONFERENCE ROOMS FROM PUBLIC AREAS.

1HR DOUBLE SIDED INTERIOR PARTITION

18mm 5/8" TYPE X GYPSUM BOARD
92mm 3-5/8" STEEL STUDS @ 16"/406mm O/C
18mm 5/8" TYPE X GYPSUM BOARD
75MM SAFB IN CAVITY AS PER TEST REF.

FRR	TEST REF.	STC	TEST REF.
1 HR	ULC W453	49	RAL-TL11-125

P21A
USE 203mm [8"] STUD INSTEAD OF 92mm

1HR SHAFT PARTITION

18mm 5/8" TYPE X GYPSUM BOARD PER ULC ASSEMBLY
64mm 2 1/2" C-H STEEL STUD (25Ga) @ 24"/610mm O/C
25mm 1" FIRE RATED GYPSUM LINER PANEL
NOTE: REFER TO MANUF. SPAN TABLES FOR HEIGHT LIMITATIONS

FRR	TEST REF.	STC	TEST REF.
1 HR	ULC W452 SYSTEM A	-	-

PARTITION TYPES 5
SCALE: 1:10 A-102

CONVENTIONAL ROOF W/ FULLY ADHERED EPDM ROOFING MEMBRANE

±2mm ±1/16" FULL ADHERED EPDM ROOFING MEMBRANE
13mm 1/2" PROTECTION BOARD
152mm 6" POLYISOCYANURATE RIGID INS. (MIN R35g)
VAPOUR RETARDER (OVER HEATED SPACES)
STRUCTURAL STEEL DECK, REFER TO STRUCTURAL DWG'S

NOTE: SLOPE MEMBRANE TOWARDS DRAIN MIN 1.5% VIA STRUCTURE.

R-VALUE	FRR	TEST REF.	STC & REF
MIN. R35	-	-	-

ROOF TYPES 2
SCALE: 1:10 A-102

FIELD APPLIED DRAINABLE EXTERIOR INSULATED FINISH SYSTEM (EIFS)

±2mm ±1/16" LAMINA FINISH: BASE COAT, REINFORCING MESH & FINISH COAT (REFER TO ELEVATIONS FOR COLOUR & TEXTURE)
75mm 3" EXPANDED POLYSTYRENE (EPS) RIGID INSULATION BD (MIN R12 c) ADHERED TO SUBSTRATE C/W DRAINAGE CHANNELS
13mm 1/2" DUAL WATER RESISTIVE BARRIER (WRB) & AIR BARRIER EXTERIOR GLASS FIBER MAT GYPSUM BOARD SHEATHING
152mm 6" ENGINEERED STEEL STUD FRAMING C/W
89mm 3-1/2" BATT INSULATION (MIN R13) TO FILL STUD CAVITY
13MM 1/2" 6 MIL POLYETHYLENE VAPOUR RETARDER
GYPSUM WALL BOARD

NOTE: PROVIDE TWO-STAGED DRAINED CAULKING & BACKER ROD BETWEEN PANELS ON ALL SIDES. PROVIDE IMPACT RESISTANT REINFORCING MESH AT GROUND FLOOR LOCATIONS <8'-0" AFF.

EW11A: SAME AS EW11, WITH ADDITIONAL LGS STUD BLOCKING TO ACHIEVE +125mm

R-VALUE	FRR	TEST REFERENCE	STC & REF
MIN. R30	-	-	-

FLOOR TYPES 4
SCALE: 1:10 A-102

PRECAST HOLLOW CORE CONCRETE SLAB

203mm 8" PRECAST HOLLOW CORE CONCRETE SLAB (REFER TO STRUCTURAL TO CONFIRM SIZING AND MPA)

R-VALUE	FRR	TEST REF.	STC & REF
-	1HR	OBC SB-2 TABLE 2.2.1.A	-
-	2HR	TESTED AS PER CAN/ULC-S101	-

CONCRETE SLAB ON GRADE

127mm 5" FLOOR FINISH (REFER TO INTERIOR DESIGN)
CONCRETE SLAB C/W 6X6 WELDED WIRE MESH REINFORCING (REFER TO STRUCTURAL TO CONFIRM DEPTH, REINFORCING & MPA)
~10mil POLYETHYLENE VAPOUR RETARDER
50mm 2" HIGH DENSITY EXTRUDED POLYSTYRENE (XPS) RIGID INSULATION (MIN R10 C)
127mm 5" COMPACTED GRANULAR (REFER TO STRUCTURAL)

CONCRETE TOPPING ON STEEL DECK

65mm 2.5" CONCRETE TOPPING (REFER TO STRUCTURAL DWG'S FOR DETAILS) ON REINFORCING (REFER TO STRUCTURAL TO CONFIRM DEPTH, REINFORCING & MPA)
38mm 1.5" STEEL FLOOR DECK (REFER TO STRUCTURAL DWG'S FOR DETAILS) ON STEEL STRUCTURE SUBSTRATE (REFER TO STRUCTURAL DWG'S FOR DETAILS)

FIRE RATED STEEL BEAM ENCLOSURE

1"x2" CONT GALV STEEL RUNNER ANGLES (25GA)
2x5/8" TYPE "X" GYPSUM BOARD PER ULC/cUL ASSEMBLY
GALV STEEL CHANNEL BRACKET (25GA) @ 24"/610 O/C
STRUCTURAL STEEL BEAM, REFER TO STRUCTURAL DRAWINGS
CORNER BEAD C/W JOINT COMPOUND

FRR	TEST REF.	STC	TEST REF.
2 HR	ULC DESIGN 0503	-	-

NOTE: REFER TO TEST REFERENCE FOR STEEL MINIMUM SIZES, TOTAL REQUIRED THICKNESS OF GYPSUM BOARD PANELS, AND MINIMUM CLEARANCE TO STEEL BEAM.

RATED BEAM ENCLOSURE 7
SCALE: 1:10 A-102

FIRE RATED STEEL COLUMN ENCLOSURE (TS 4x4)

2x13mm 2x1/2" TYPE C OR X GYPSUM BOARD PER cUL ASSEMBLY
42mm 1-5/8" STEEL STUDS (25 GA)
STRUCTURAL STEEL COLUMN, SEE STR. DWG'S
CORNER BEAD, PER TEST REFERENCE

FRR	TEST REF.	STC	TEST REF.
1 HR	cUL X528	-	-

NOTE: REFER TO TEST REFERENCE FOR STEEL COLUMN SHAPE & MINIMUM SIZES, TOTAL REQUIRED THICKNESS OF GYPSUM BOARD PANELS AND CORNER DETAILS.

RATED COLUMN ENCLOSURE 6
SCALE: 1:10 A-102

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CLIENT
GARNER INVESTMENTS INC.
1040 GARNER RD W
ANCASTER, ON L9G 3K9

ARCHITECT
SAPLYS ARCHITECTS INC.
610 FORD DRIVE, SUITE 338
OAKVILLE, ON L6J 7W4

CONSULTANT
API DEVELOPMENT CONSULTANTS INC.
1282 CORNWALL ROAD
OAKVILLE, ON L6J 7W5

PROJECT NAME
GARNER ROAD BUSINESS PARK

PROJECT ADDRESS
1040 GARNER RD W
ANCASTER, ON L9G 3K9

DRAWING TITLE
BLOCK B
WALL TYPES &
ARCHITECTURAL ABBREVIATIONS

BY NZ **CHECKED** - **SHEET No.** A-102 **SHEET REVISION**

SCALE: UNITS: MM AS NOTED

SYMBOL LEGEND

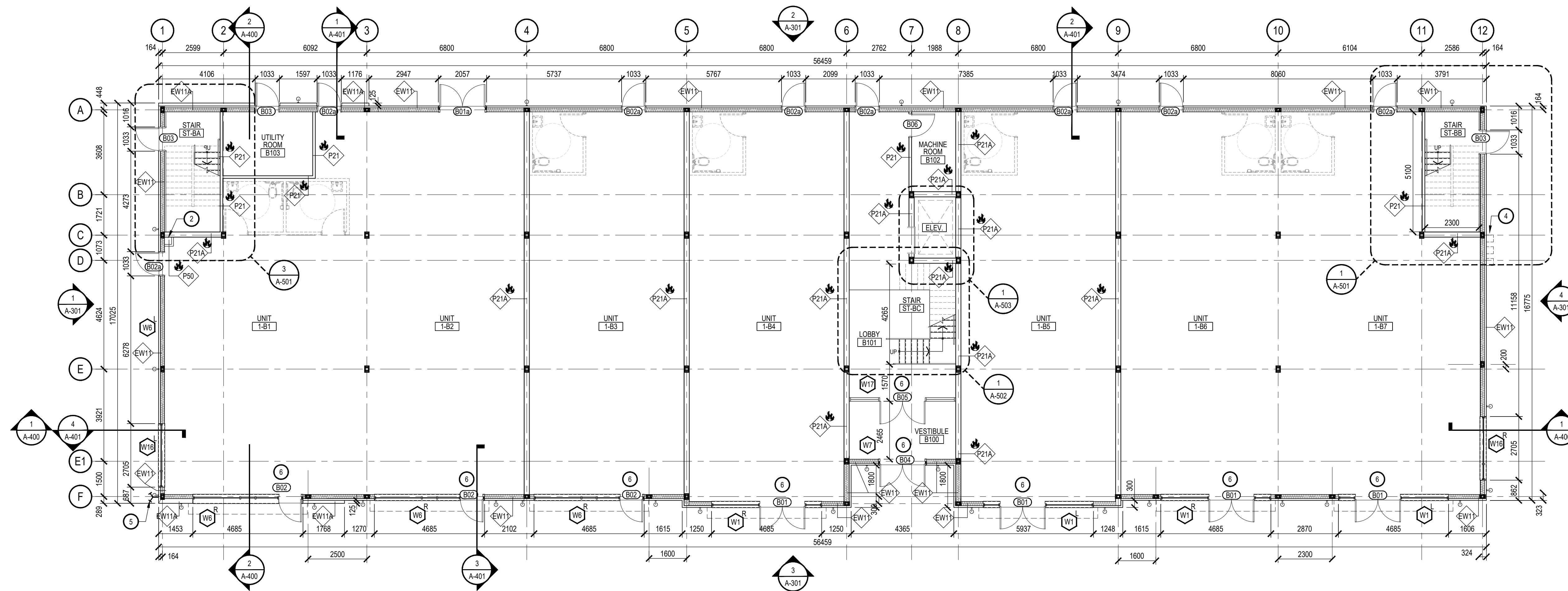
- DOOR TAG
- KEY NOTE
- REVISION
- WINDOW TAG
- WALL TYPE

KEY NOTES

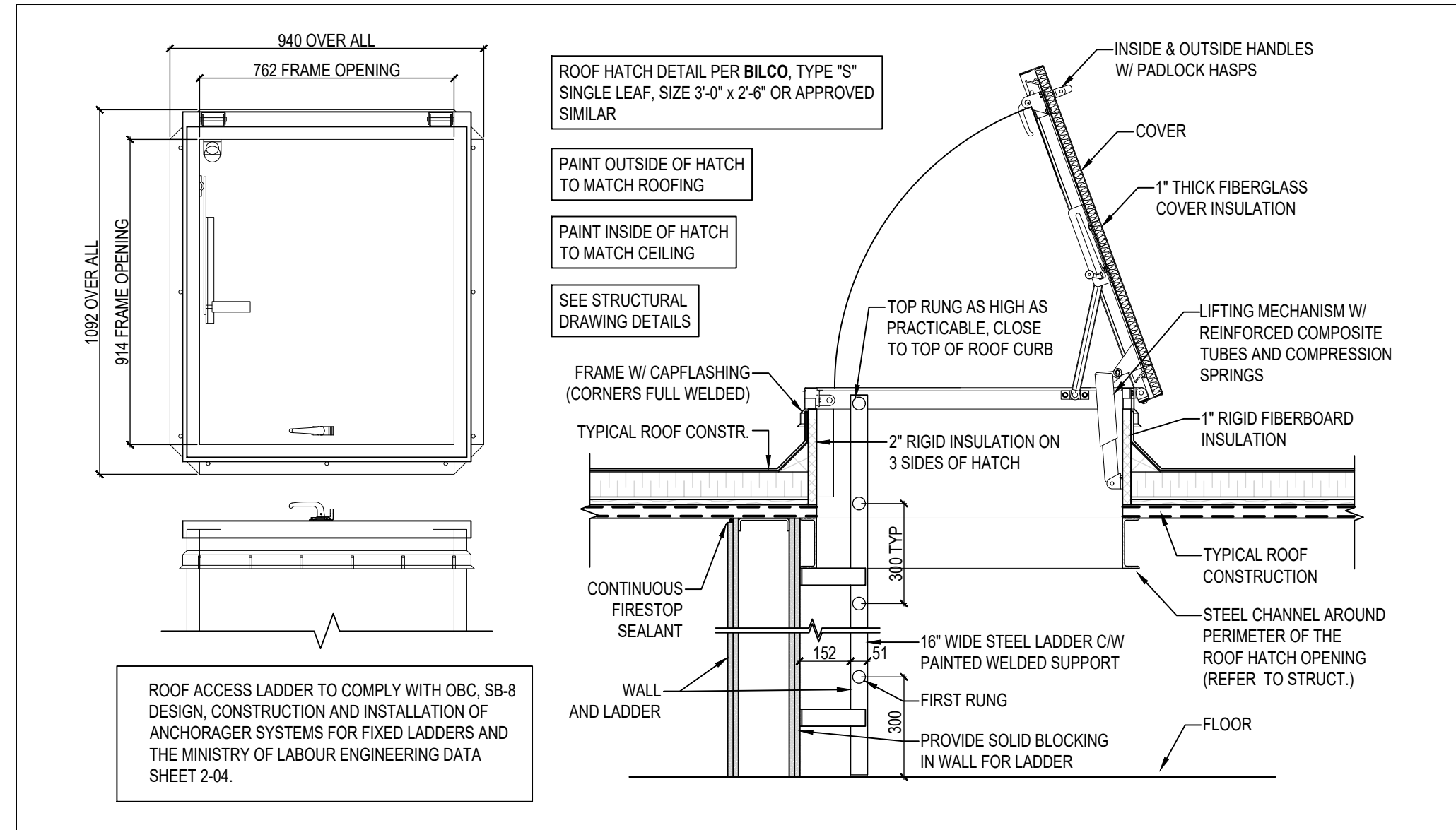
- 1 FROST SLAB (REFER TO STRUCT. DWGS)
- 2 RAIN WATER LEADER, C/W ACCESS PANEL (REFER TO MECHANICAL)
- 3 STRUCTURAL BRACING (REFER TO STRUC. DWGS)
- 4 GAS METERS LOCATION (C/W BOLLARDS AS PER GAS METER SPECS.)
- 5 SIAMESE CONNECTION
- 6 AUTOMATIC DOOR OPENER C/W PUSH BUTTONS
- 7 ROOF HATCH ABOVE
- 8 ROOF ACCESS LADDER

GENERAL NOTES

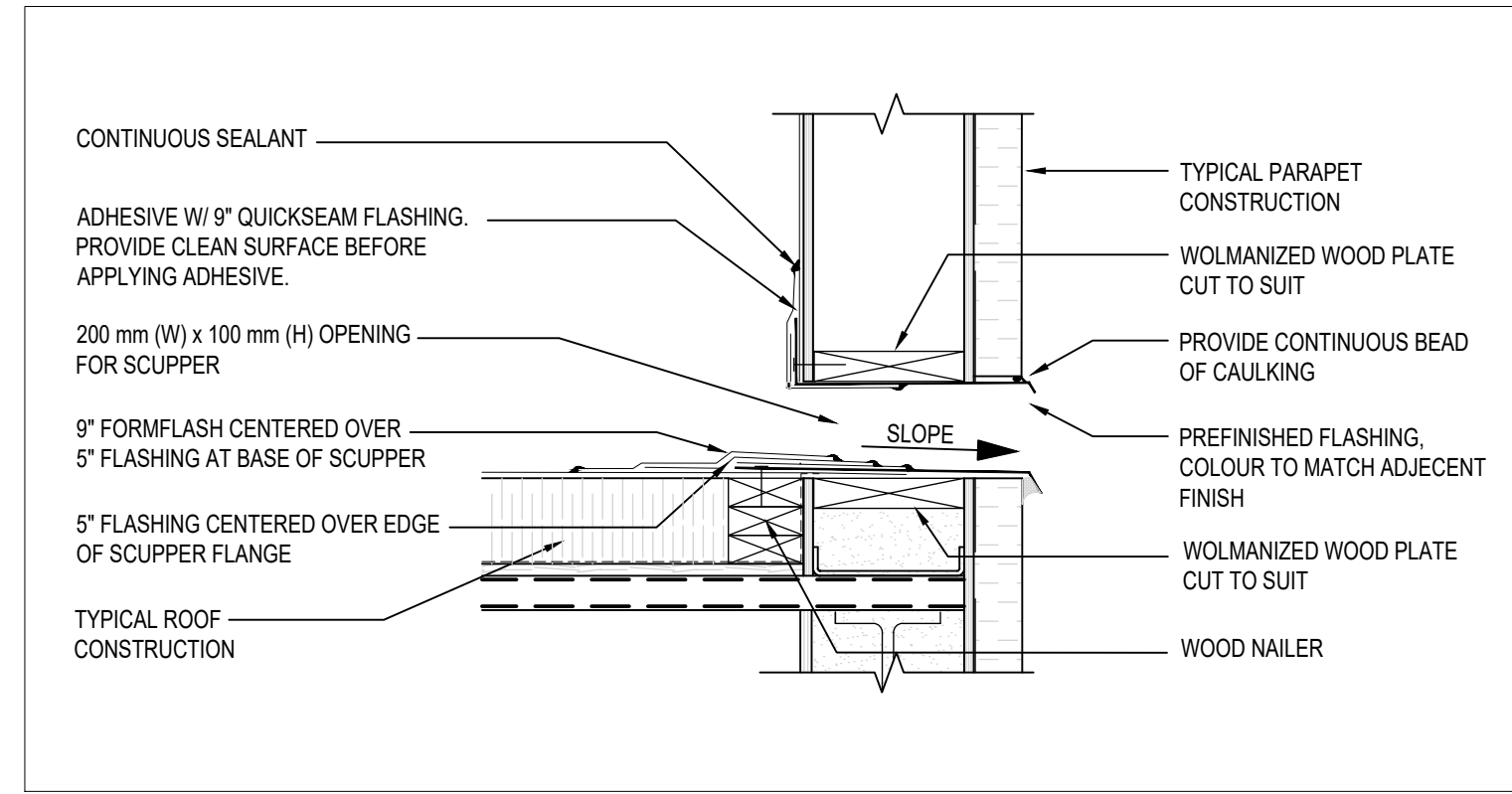
1. FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHERS WITHIN PUBLIC SPACES SHALL BE CONTAINED IN FULLY RECESSED CABINETS. CABINETS TO BE INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
2. FLOOR NUMBERING AND EXIT STAIR SHAFT NUMBERING SHALL CONFORM WITH OBC ARTICLE 3.4.6.19
3. ACCESSIBILITY SIGNS SHALL CONFORM WITH OBC ARTICLE 3.8.3.1
4. THE SURFACE FLAME SPREAD RATING OF ALL INTERIOR FINISH MATERIALS APPLIED TO WALLS, PARTITIONS & CEILINGS MUST NOT EXCEED 150 IN ACCORDANCE WITH OBC ARTICLES B-3.1.13.1 & 2, AND 9.10.17.1
5. INTERIOR BUILD-OUT TO BE APPLIED FOR UNDER A SEPARATE PERMIT
6. WASHROOMS ARE RESPONSIBILITY OF TENANTS (UNDER SEPARATE PERMIT)
7. ALL FLOOR FINISHES TO BE INSTALLED BY TENANT
8. TENANTS TO PROVIDE DRAWINGS FOR UNDER-SLAB ROUGH-INS
9. SLAB-ON-GRADE IN ALL UNITS TO BE POURED DURING TENANT FIT-UP CONSTRUCTION PHASE. ALLOWANCE WILL BE PROVIDED TO THE UNIT PURCHASER FOR THE S.O.G.
10. POUR SLABS THROUGH EXTERIOR DOOR OPENINGS
11. PROVIDE 4" OF UNDER-SLAB RIGID INSULATION AT ALL EXTERIOR DOORWAYS
12. MIN R-15 UNDER-SLAB INSULATION FOR 48" AT FULL BUILDING PERIMETER.
13. DRAWING LINES IN GRAYSCALE REPRESENT 'TENANT WORK' AND ARE NOT INCLUDED IN THE BASE BUILDING DRAWINGS. 'TENANT WORK' IS SHOWN AS REFERENCE ONLY. SPECIFIC CODE REQUIREMENTS FOR TENANT WORK ARE NOTED ON THE OBC MATRIX, AND WHERE REQUIRED ON THE BASE BUILDING DRAWINGS.
14. RAIN WATER LEADERS TO RUN IN CEILING SPACE AND DROP DIRECTLY AT THE STORM SERVICE CONNECTION POINT (REFER TO MECHANICAL).
15. PROVIDE FIRE DAMPER AT ALL PENETRATIONS OF RAIN WATER LEADER THRU FIRE RATED PARTITIONS AT CEILING LEVEL.
16. ENCLOSE RAIN WATER LEADER IN FIRE RATED PARTITION WALL AT ALL VERTICAL RUNS FROM CEILING LEVEL TO GROUND FLOOR



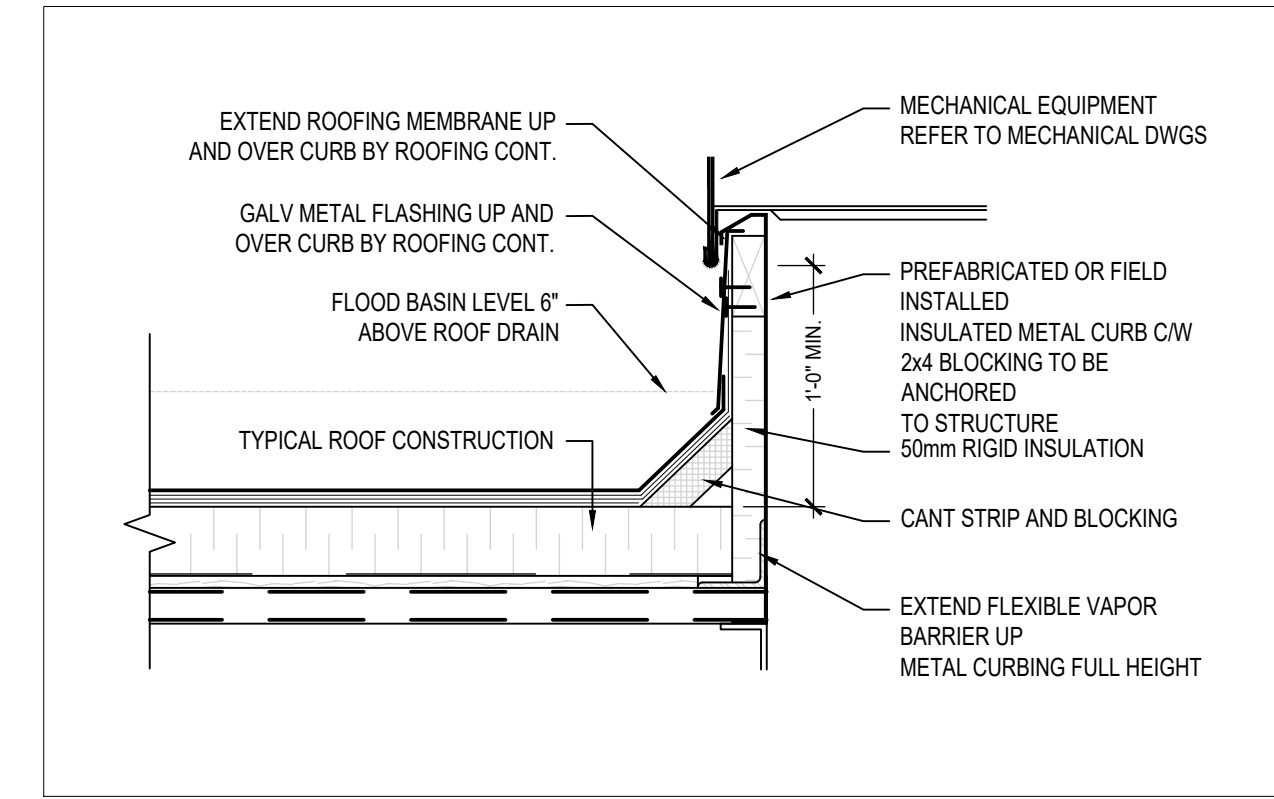
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<p>CLIENT</p> <p>GARNER INVESTMENTS INC. 1040 GARNER RD W ANCASTER, ON L9G 3K9</p>			
<p>ARCHITECT</p> <p>SAPLYS ARCHITECTS INC. 610 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J 7W4</p>			
<p>CONSULTANT</p> <p>API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE, ON L6J 7W5</p>			
NORTH		PROFESSIONAL CERTIFICATION	
<p>PROJECT NAME</p> <p>GARNER ROAD BUSINESS PARK</p>			
PROJECT ADDRESS		PROJECT No.	
1040 GARNER RD W ANCASTER, ON L9G 3K9		S20-021	
DRAWING TITLE			
BLOCK B GROUND FLOOR PLAN			
BY	CHECKED	SHEET No.	SHEET REVISION
NZ		A-201	1
SCALE	UNITS: MM		
1:100			



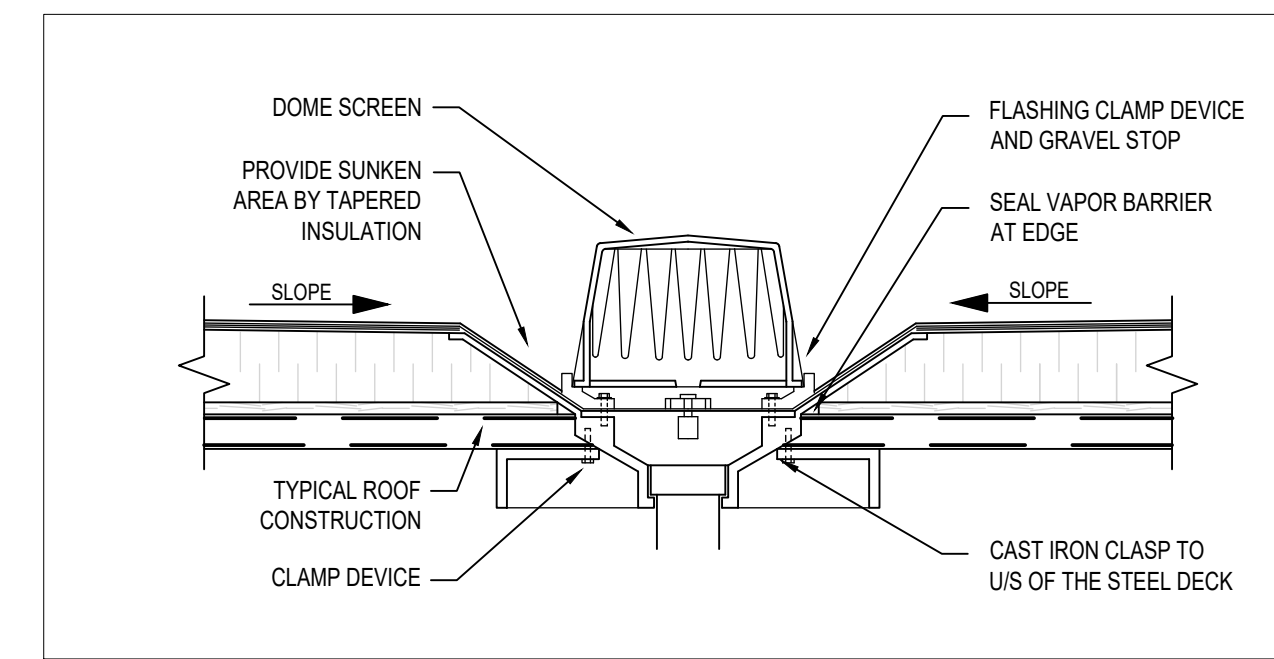
ROOF HATCH DETAIL 5
SCALE: 1:16 A-203



OVERFLOW SCUPPER DETAIL 4
SCALE: 1:10 A-203



MECHANICAL CURB DETAIL 3
SCALE: 1:10 A-203



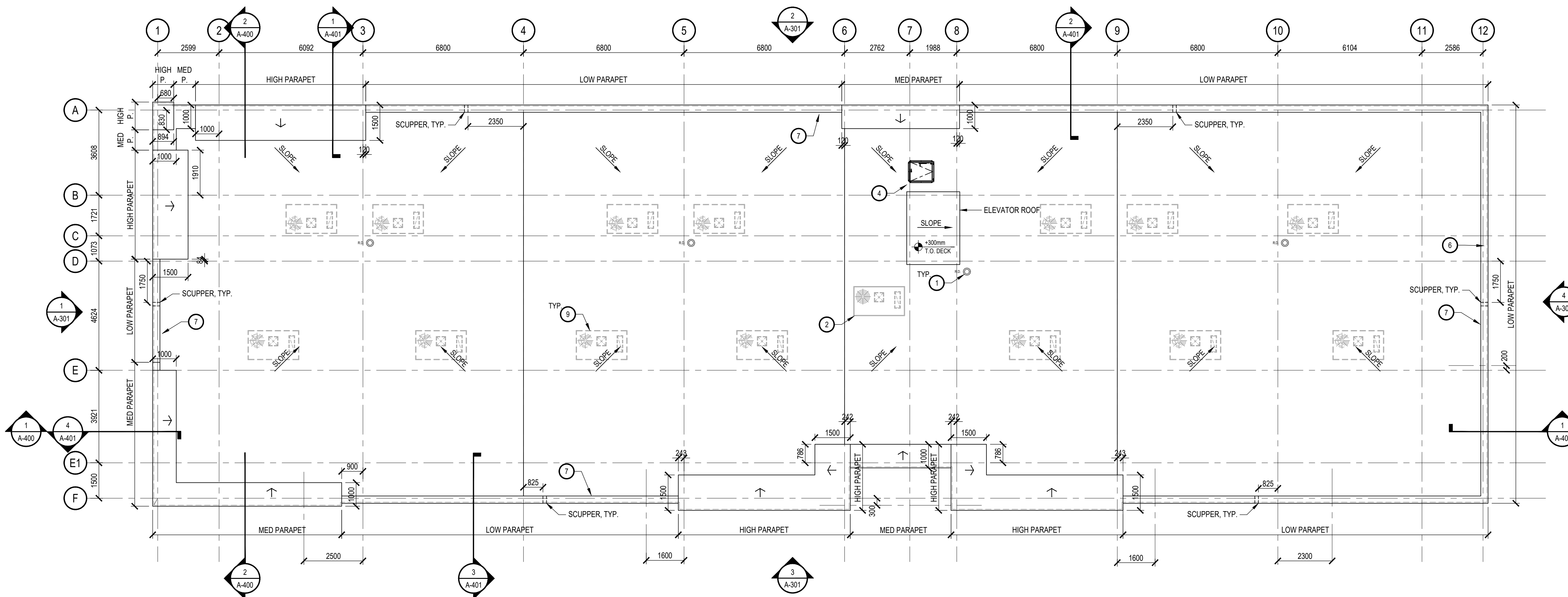
ROOF DRAIN DETAIL 2
SCALE: 1:10 A-203

ROOF NOTES

1. ROOF COVERING SHALL COMPLY WITH CANULC-S107-M
2. PROVIDE MIN 1.5% SLOPE OF ROOF COVERING TOWARD ROOF DRAINS VIA ROOF STRUCTURE (SEE STRUCTURAL DWGS) AND/OR TAPERED INSULATION.
3. PARAPETS TO SLOPE MIN. 2% TOWARDS ROOF TYP.
4. SEE WALL TYPES SHEET FOR ROOF TYPES DESCRIPTION
5. LOCATIONS OF ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, ROOF EXHAUSTS, BOILER FLUES, ROOF DRAINS ETC. ARE APPROXIMATE (SEE MECHANICAL DRAWINGS FOR EXACT SIZES AND LOCATIONS)
6. ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS OR MECHANICAL EQUIPMENT SCREENS. MECHANICAL EQUIPMENT SCREENS TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS
7. ENSURE ALL ROOF TOP PENETRATIONS ARE AIR AND WATER SEALED AS PER NRCA REQUIREMENTS (TYP.)
8. IF ROOF ANCHORS ARE REQUIRED AS PER OBC, SUPPLIER TO PROVIDE B.C.I.N NUMBER STAMPED SHOP DRAWINGS CONFORMING TO ALL JURISDICTIONAL AND CODE REQUIREMENTS. LOCATION OF ANCHORING NOT SHOWN ON THIS ROOF PLAN. REFER TO SHOP DRAWINGS FOR AMOUNT, LOCATION AND SIZE.
9. MIN. R-35C1 ROOF INSULATION TO BE PROVIDED
11. ROOFING CONTRACTOR TO PROVIDE CRICKETED AREAS ON ALL MECHANICAL UNIT ROOF CURBS TO ENSURE POSITIVE SLOPE TOWARD ROOF DRAINS
12. GC TO ENSURE THE PARAPET SCUPPERS ARE DESIGNED TO HANDLE AT LEAST 200% OF THE 15-MINUTE LOCAL RAINFALL INTENSITY AND ARE ALLOWING FOR A MAXIMUM DEPTH OF CONTROLLED WATER OF 150MM

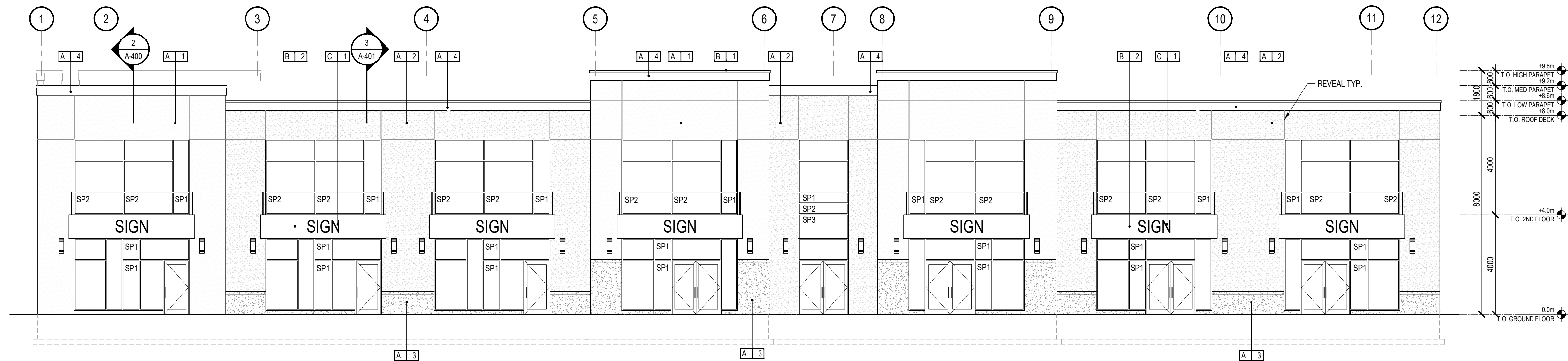
ROOF KEY NOTES

- 1 ROOF DRAIN (REFER TO DETAIL)
- 2 ROOF TOP UNIT - REFER TO MECHANICAL DWGS. (FOR CURB DETAIL REFER TO DETAIL)
- 3 TAPERED INSULATION CRICKET TO ACHIEVE MIN. DRAIN SLOPE OF 1.5%
- 4 ROOF HATCH (REFER TO DETAIL)
- 5 ROOF SCUPPER (REFER TO DETAIL)
- 6 GAS LINE OVER THE PARAPET
- 7 CONTINUOUS CANT STRIP - TYPICAL AROUND PARAPET PERIMETERS AND ALL CURBS
- 8 PRE FINISHED ALUMINUM GUTTER AND DOWNSPOUT VIA ROOF SCUPPER TO SPILL ON SPLASH PAD ON ROOF BELOW
- 9 SITE UNITS RTU (TYP.), TENANT'S RESPONSIBILITY. TO BE INSTALLED DURING THE TENANT FIT-UP. ADDITIONAL STRUCTURAL FRAMING REQUIRED AT FINAL LOCATION.

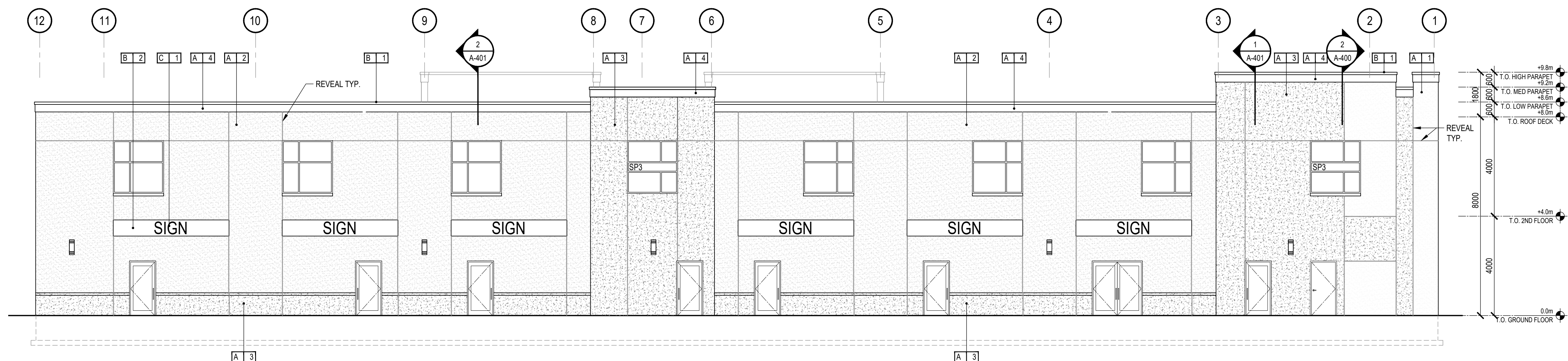


ROOF PLAN 1
SCALE: 1:100 A-203

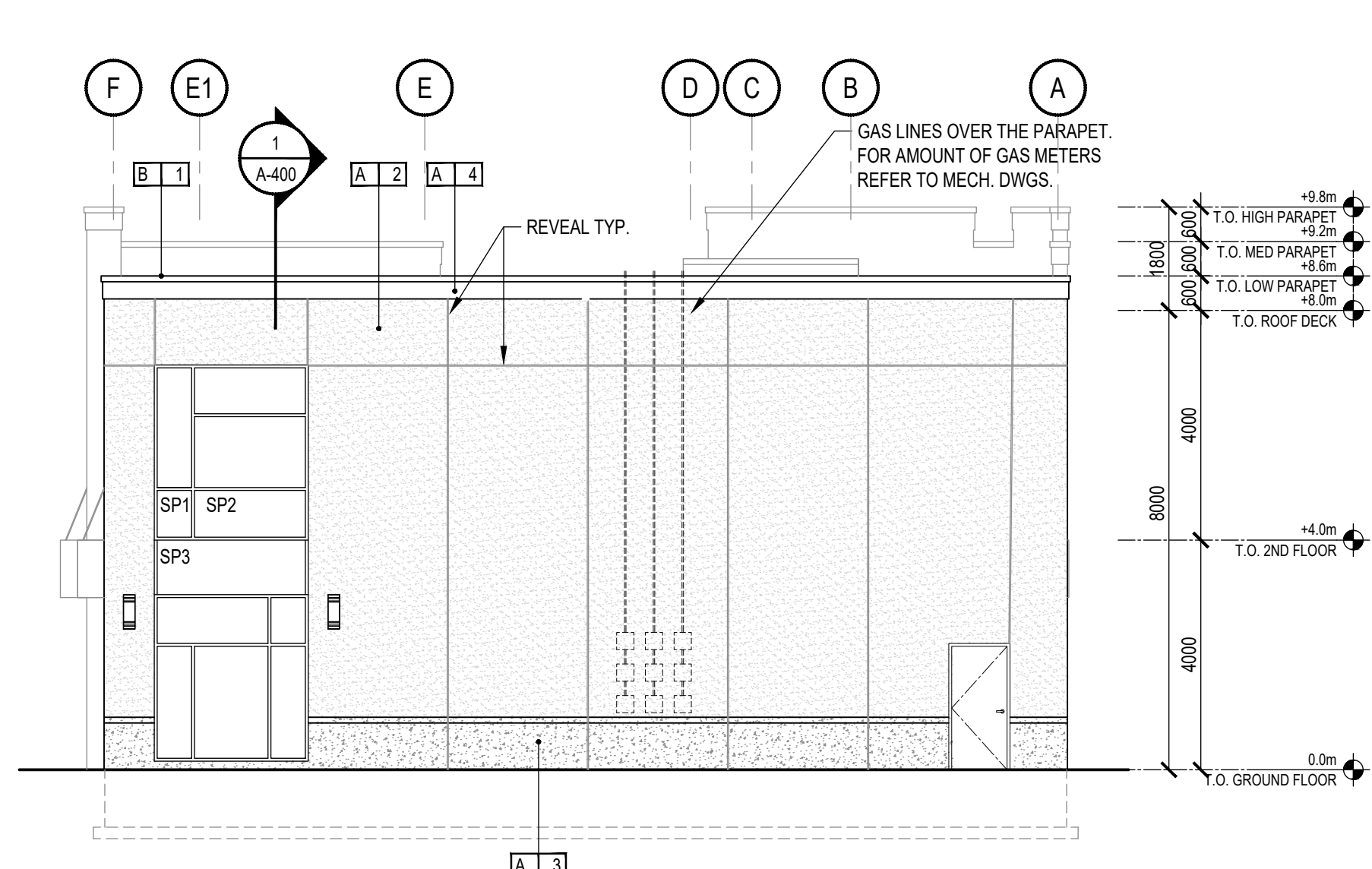
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ARCHITECT SAPLYS ARCHITECTS INC. 610 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J 7W4			
CONSULTANT API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE, ON L6J 7W5			
NORTH			
PROJECT NAME GARNER ROAD BUSINESS PARK			
PROJECT ADDRESS 1040 GARNER RD W ANCASTER, ON L9G 3K9		PROJECT No. S20-021	
DRAWING TITLE BLOCK B ROOF PLAN & DETAILS			
BY	CHECKED	SHEET No.	SHEET REVISION
NZ		A-203	1
SCALE	UNITS/MM		
1:100			



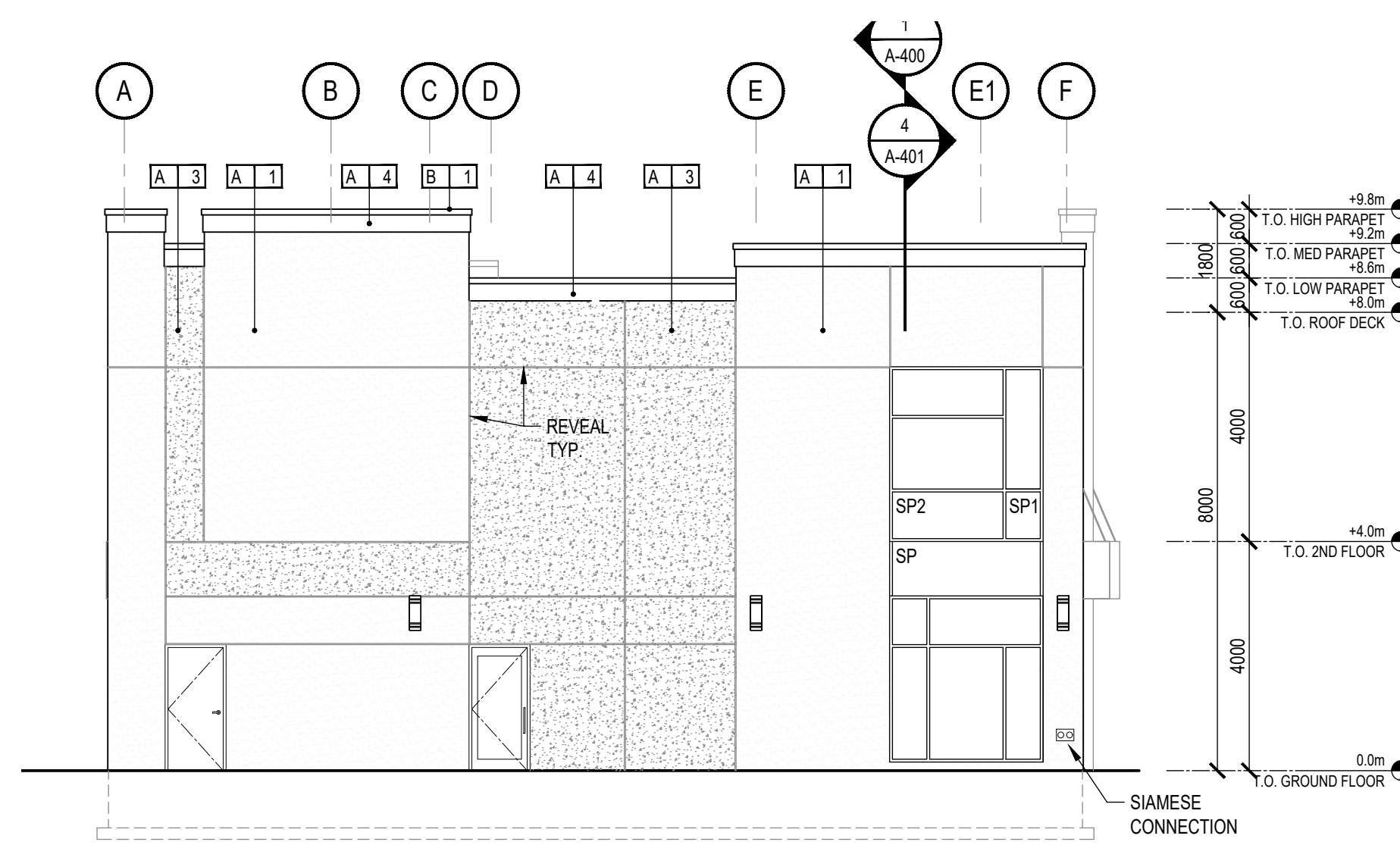
BUILDING B SOUTH ELEVATION 3
SCALE: 1:100 A-301



BUILDING B NORTH ELEVATION 2
SCALE: 1:100 A-301



BUILDING B EAST ELEVATION 4
SCALE: 1:100 A-301



BUILDING B WEST ELEVATION 1
SCALE: 1:100 A-301

GENERAL NOTES

- ALL GLAZED WINDOWS AND DOORS TO BE CLEAR ANODIZED ALUMINUM DOUBLE GLAZED, LOW E
- ALL OPAQUE DOORS TO BE PAINTED, COLOR TO MATCH ADJACENT FINISH

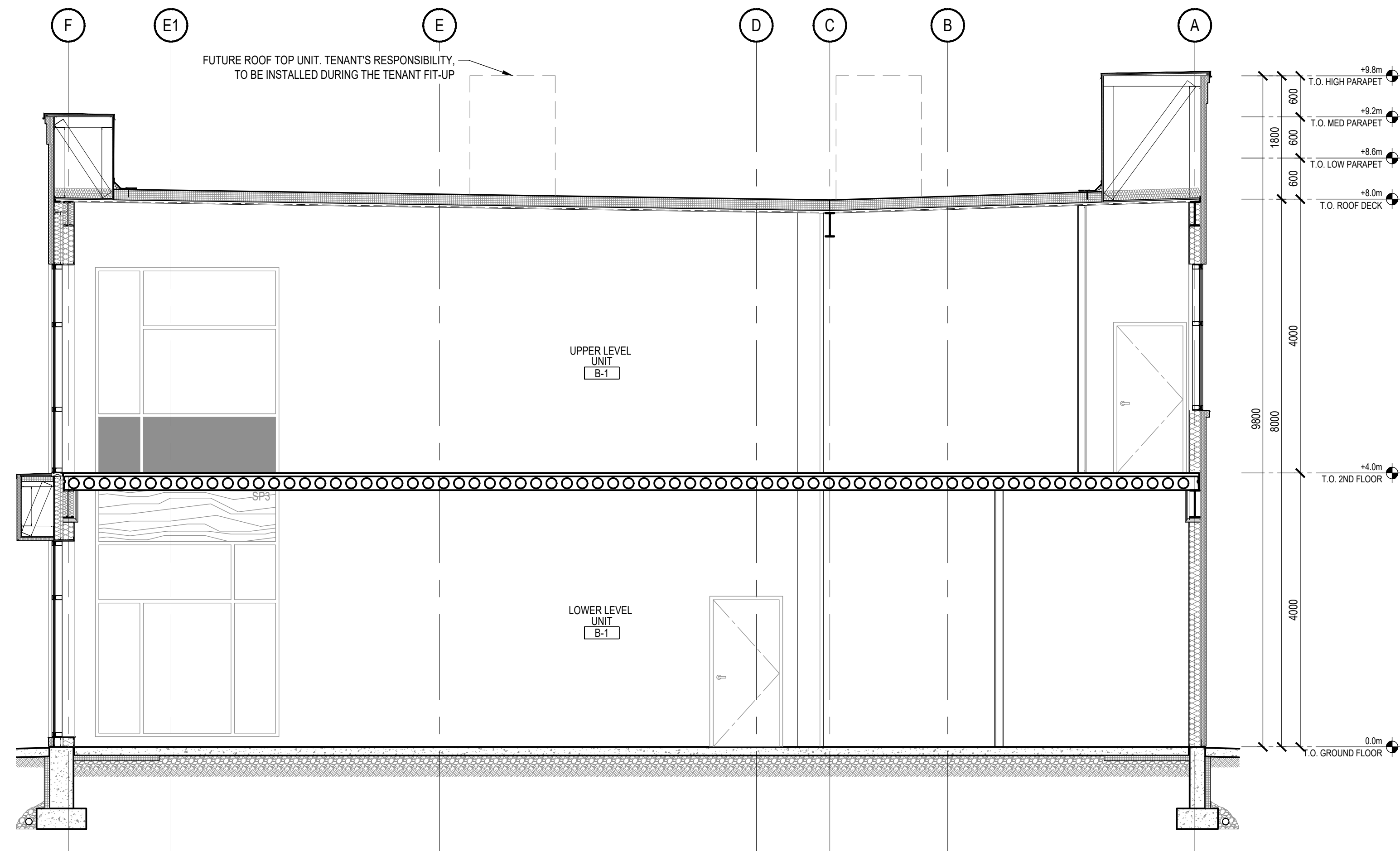
DRAWING LEGEND

- [X B] EXTERIOR MATERIAL TYPE DESIGNATION SYMBOL
- ⊕ FLOOR LEVEL DESIGNATION SYMBOL
- ☐ EXTERIOR SCENCE
- ☐ EXTERIOR LIGHT FIXTURE
- ☐ SCUPPER

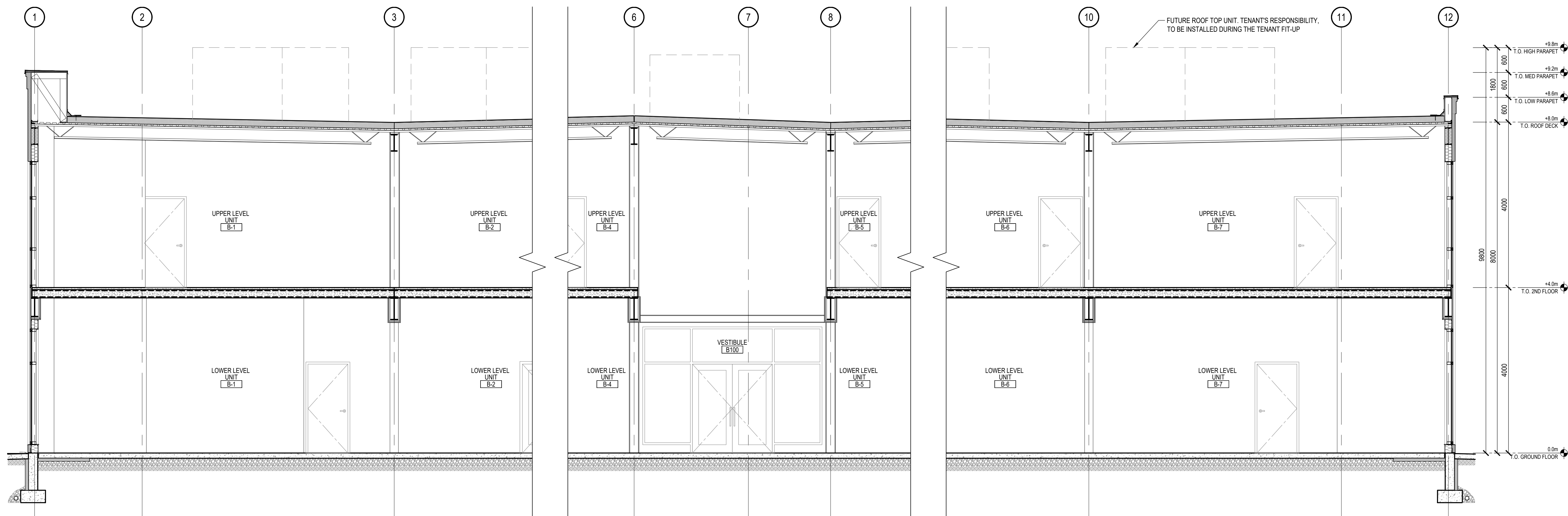
FACADE FINISH LEGEND

- [A 1] FIELD APPLIED DRAINABLE EIFS BY DURABOND | SMOOTH FINISH | LIGHT GRAY
- [A 2] FIELD APPLIED DRAINABLE EIFS BY DURABOND | SMOOTH FINISH | MEDIUM GRAY
- [A 3] FIELD APPLIED DRAINABLE EIFS BY DURABOND | SMOOTH FINISH | DARK GRAY
- [A 4] FIELD APPLIED DRAINABLE EIFS BY DURABOND | SMOOTH FINISH | IVORY (T&D)
- [B 1] PRE-FINISHED METAL CAP FLASHING | MATTE FINISH | IVORY
- [B 2] COMPOSITE ALUMINUM METAL PANEL | MATTE | WOOD PATTERN, SOFFIT TO MATCH
- [C 1] SIGNAGE | BY TENANT
- SP1 SPANDREL PANEL | LIGHT GRAY
- SP2 SPANDREL PANEL | MEDIUM GRAY
- SP3 ALUMINUM SPANDREL PANEL | WOOD PATTERN

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SAPLYS ARCHITECTS INC. 610 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J 7W4			
CONSULTANT			
API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE, ON L6J 7W5			
PROJECT NAME			
GARNER ROAD BUSINESS PARK			
PROJECT ADDRESS			
1040 GARNER RD W ANCASTER, ON L9G 3K9			
PROJECT No.			
S20-021			
DRAWING TITLE			
BLOCK B ELEVATIONS			
BY	CHECKED	SHEET No.	SHEET REVISION
NZ	-	A-301	1
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1:100			

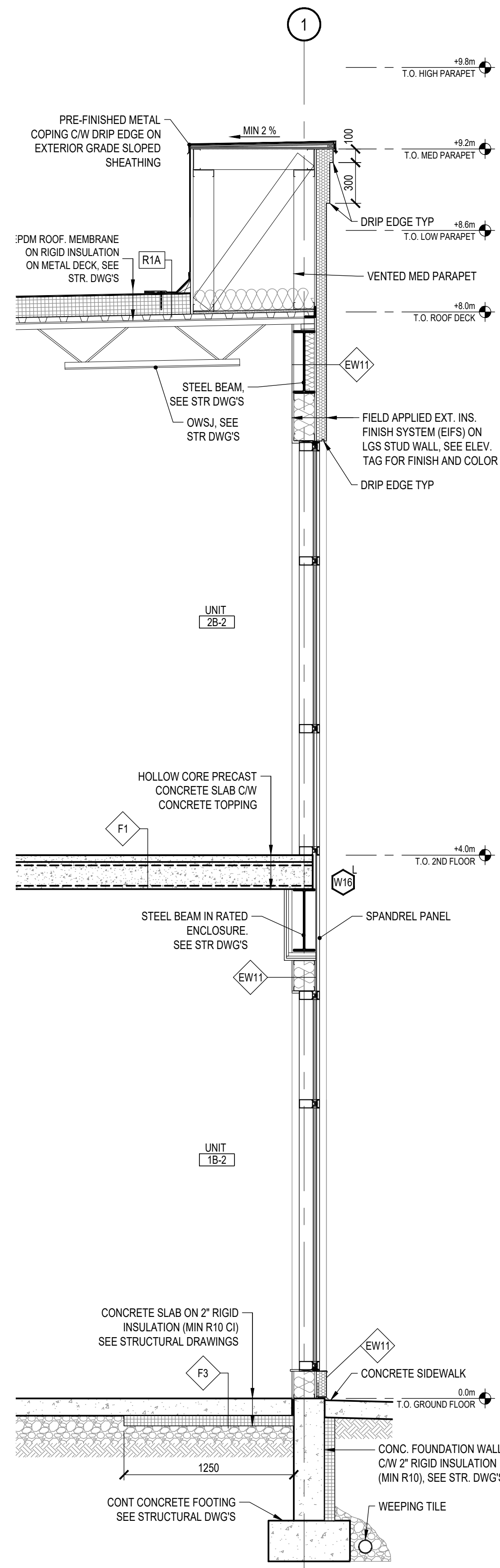


BUILDING SECTION 2
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A-400

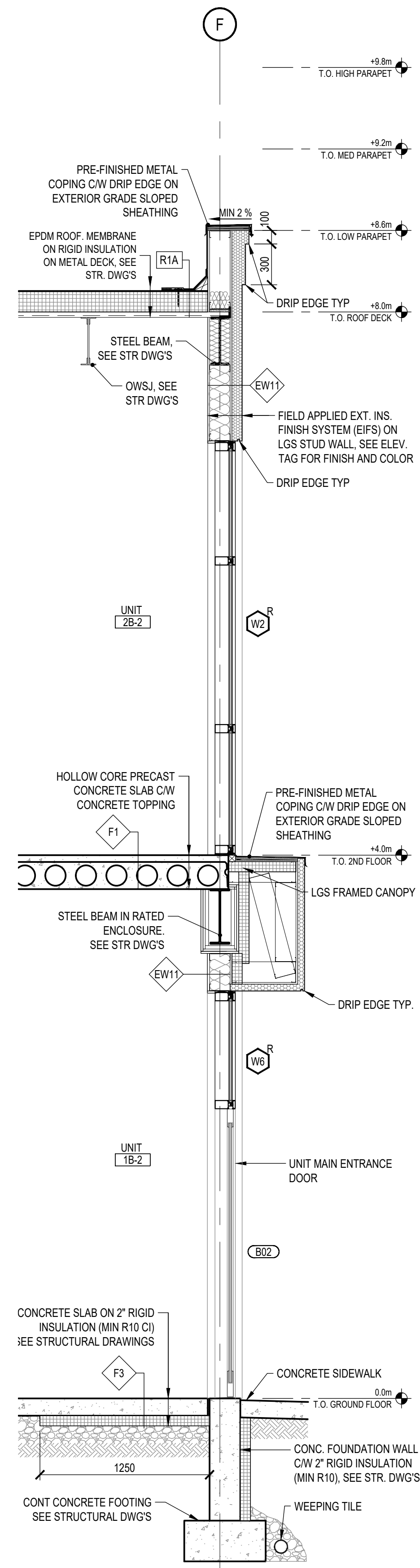


BUILDING SECTION 1
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A-400

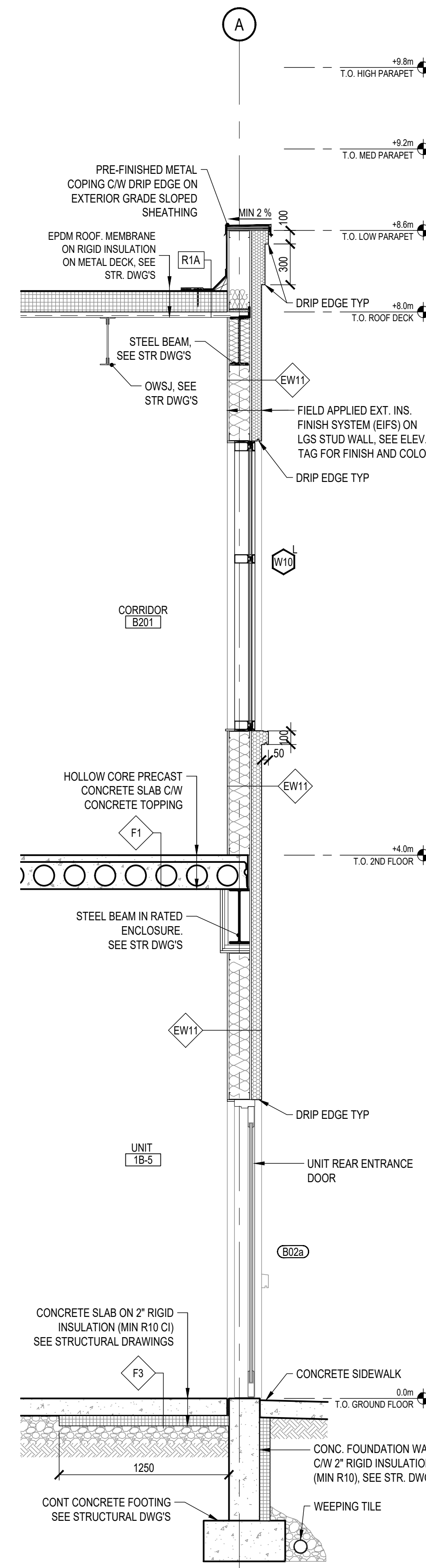
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ISSUE	BY	DESCRIPTION	DATE (DD-MMM-YYYY)
<p>GENERAL NOTES</p> <p>DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.</p>			
<p>CLIENT</p> <p>GARNER INVESTMENTS INC. 1040 GARNER RD W ANCASTER, ON L9G 3K9</p>			
<p>ARCHITECT</p> <p>SAPLYS ARCHITECTS INC. 610 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J 7W4</p>			
<p>CONSULTANT</p> <p>API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE, ON L6J 7W5</p>			
NORTH		PROFESSIONAL CERTIFICATION	
<p>PROJECT NAME</p> <p>GARNER ROAD BUSINESS PARK</p>			
PROJECT ADDRESS		PROJECT No.	
1040 GARNER RD W ANCASTER, ON L9G 3K9		S20-021	
<p>DRAWING TITLE</p> <p>BLOCK B BUILDING SECTIONS</p>			
BY	CHECKED	SHEET No.	SHEET REVISION
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SCALE	UNITS: MM	A-400	
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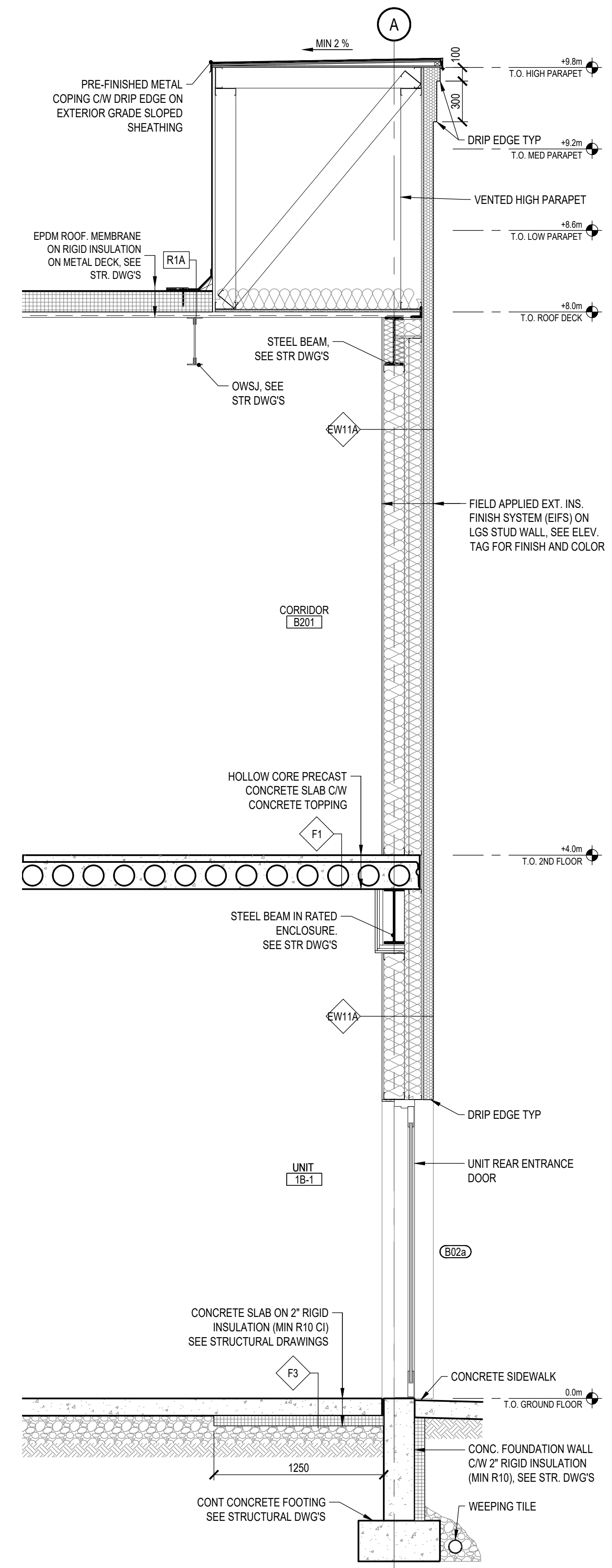
WALL SECTION @ MID PARAPET 4
SCALE: 1:25 A-401



WALL SECTION @ MAIN ENTR. 3
SCALE: 1:25 A-401

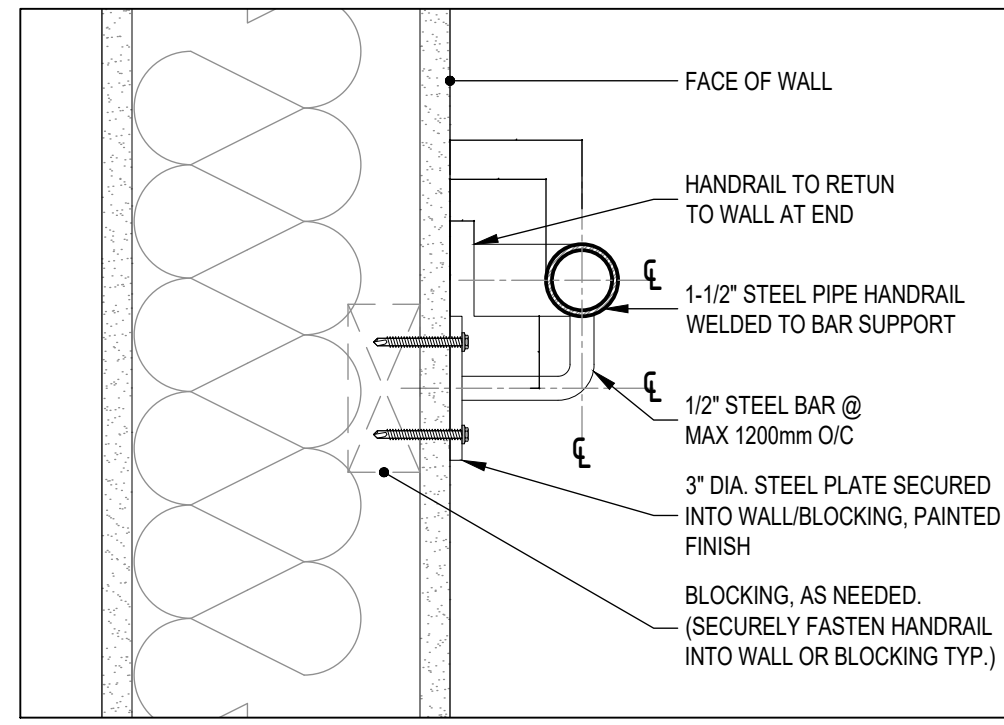


WALL SECTION @ REAR DOOR 2
SCALE: 1:25 A-401

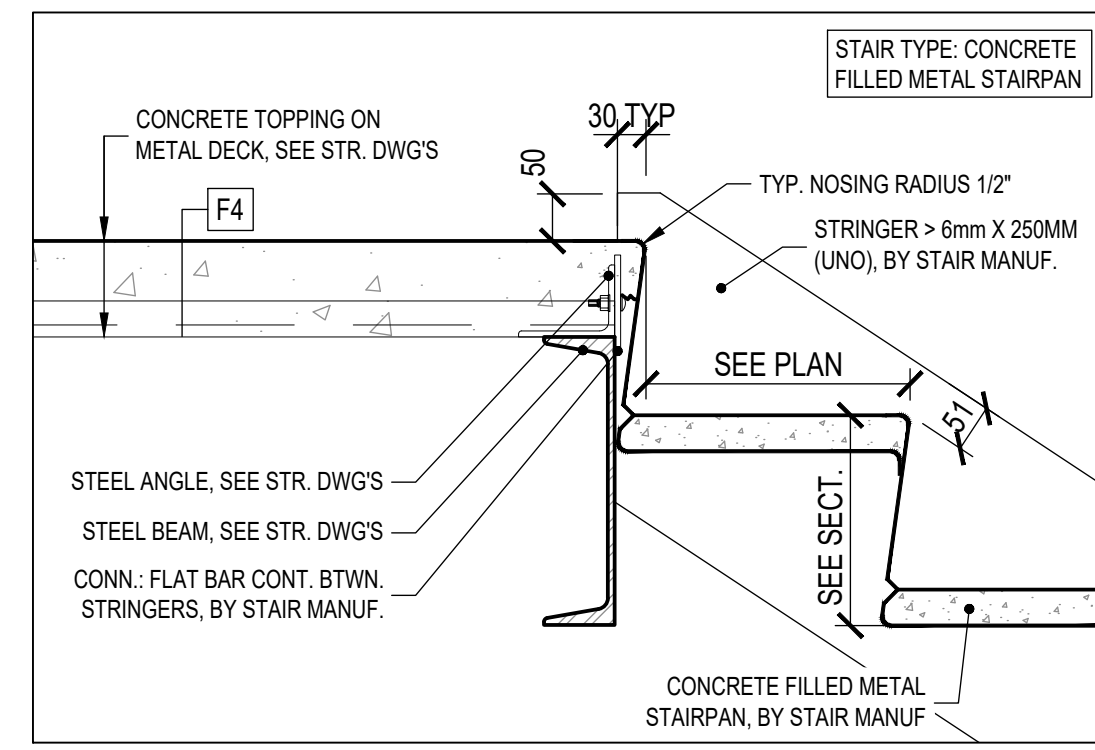


WALL SECTION @ HIGH PARAPET 1
SCALE: 1:25 A-401

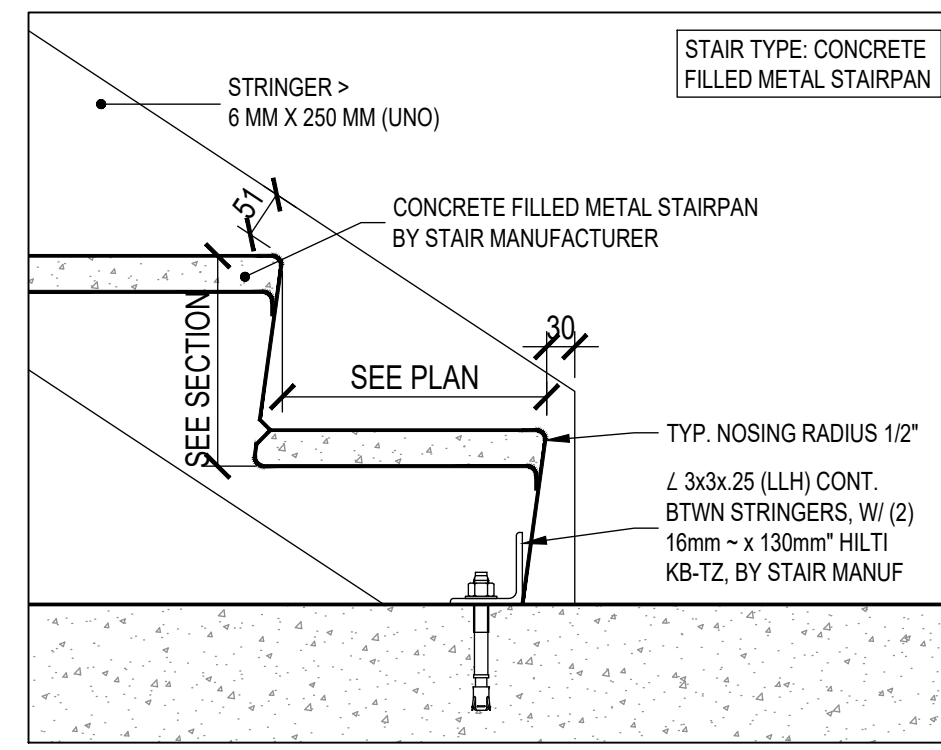
1	NZ	ISSUED FOR BUILDING PERMIT	27 MAY 2020
ISSUE	BY	DESCRIPTION	DATE (DD-MMM-YYYY)
GENERAL NOTES			
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CLIENT			
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ARCHITECT			
SAPLYS ARCHITECTS INC. 610 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J 7W4			
CONSULTANT			
API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE, ON L6J 7W5			
PROJECT NAME		PROJECT No.	
GARNER ROAD BUSINESS PARK		S20-021	
PROJECT ADDRESS		DRAWING TITLE	
1040 GARNER RD W ANCASTER, ON L9G 3K9		BLOCK B WALL SECTIONS	
BY	CHECKED	SHEET No.	SHEET REVISION
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1:100			



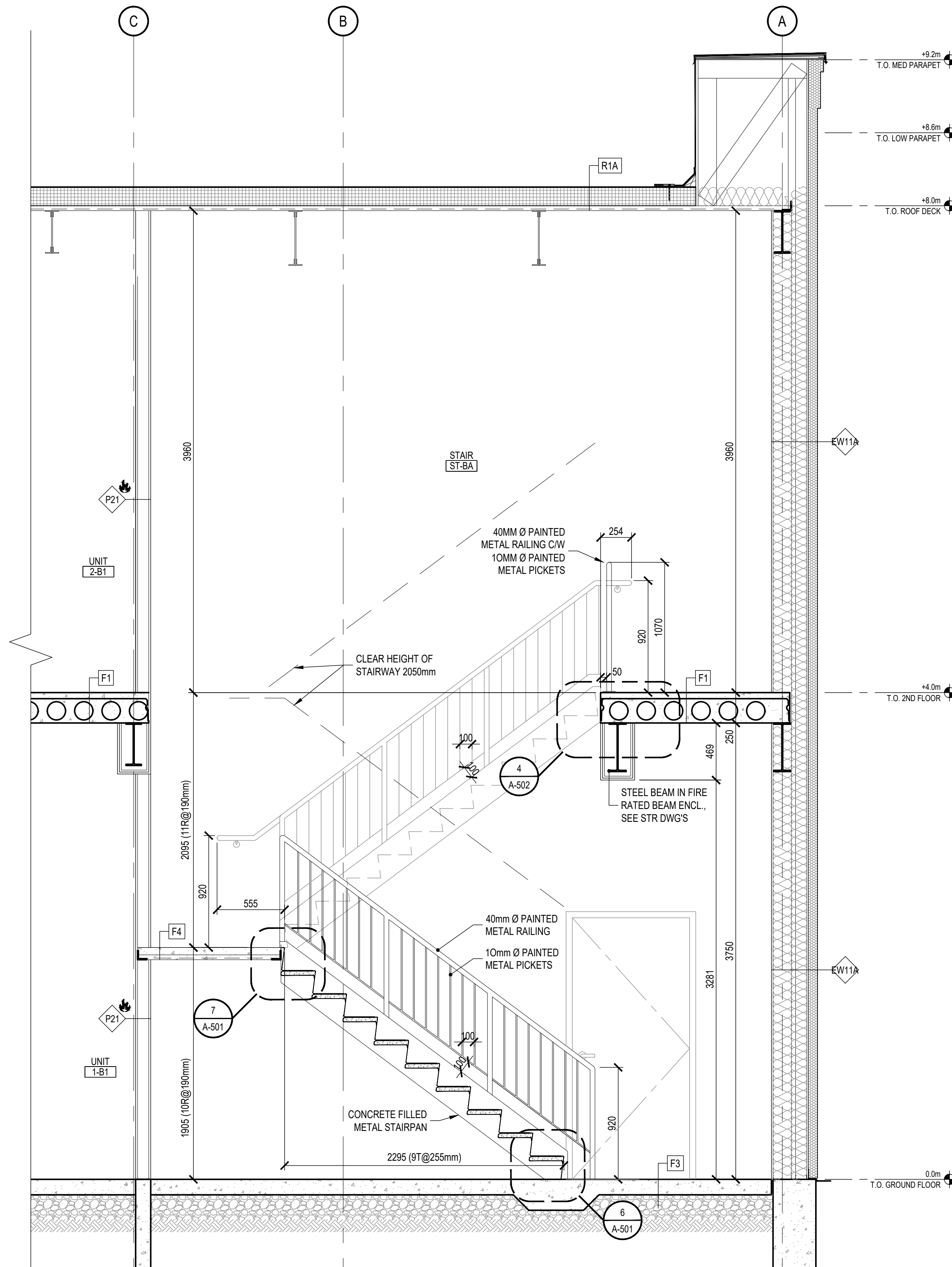
DETAIL @ HANDRAIL 8
SCALE: 1:4 A-501



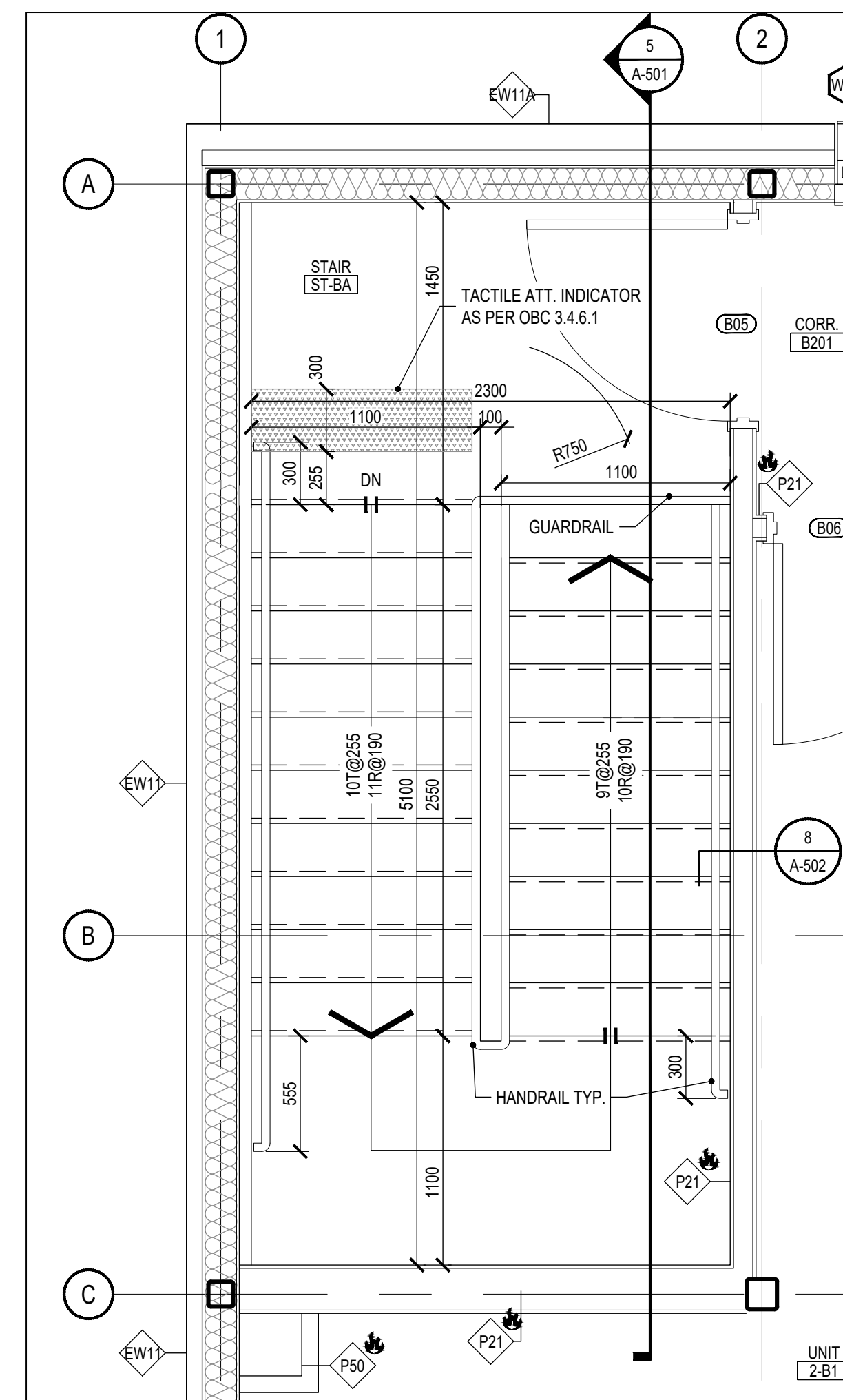
DETAIL @ TOP OF STAIR 7
SCALE: 1:8 A-501



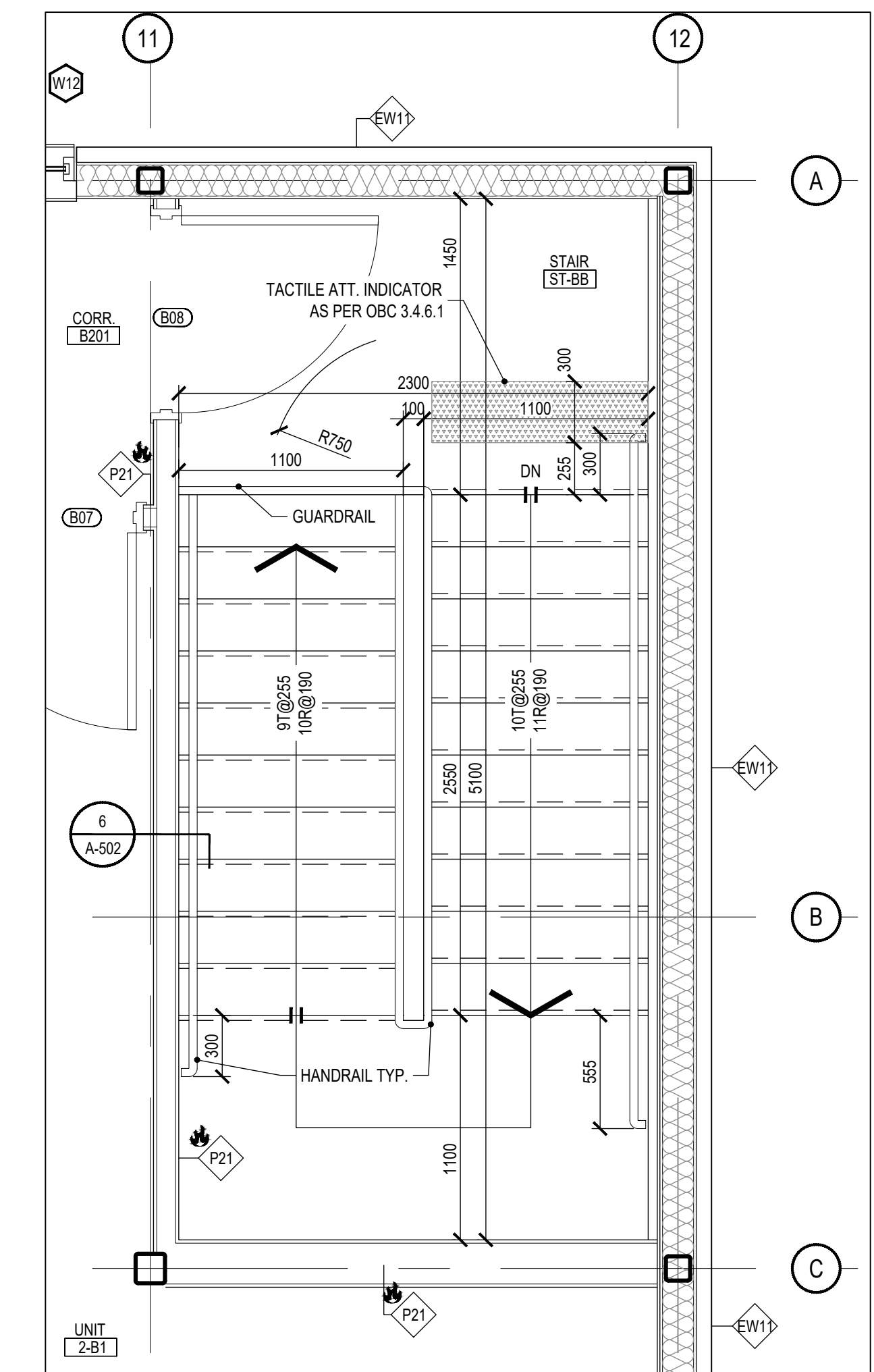
DETAIL @ BOTTOM OF STAIR 6
SCALE: 1:8 A-501



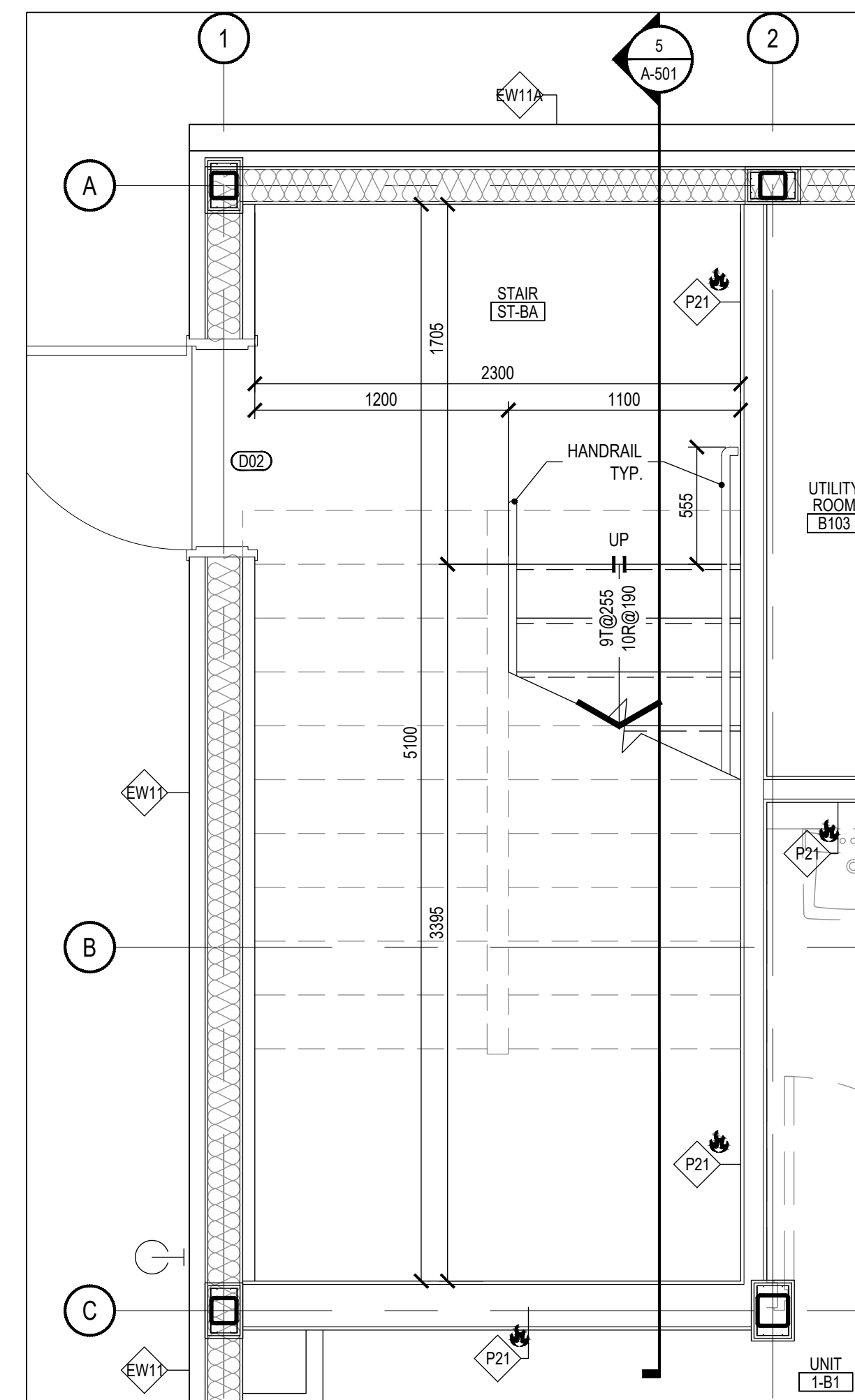
STAIR ST-BA TYPICAL SECTION 5
SCALE: 1:25 A-501



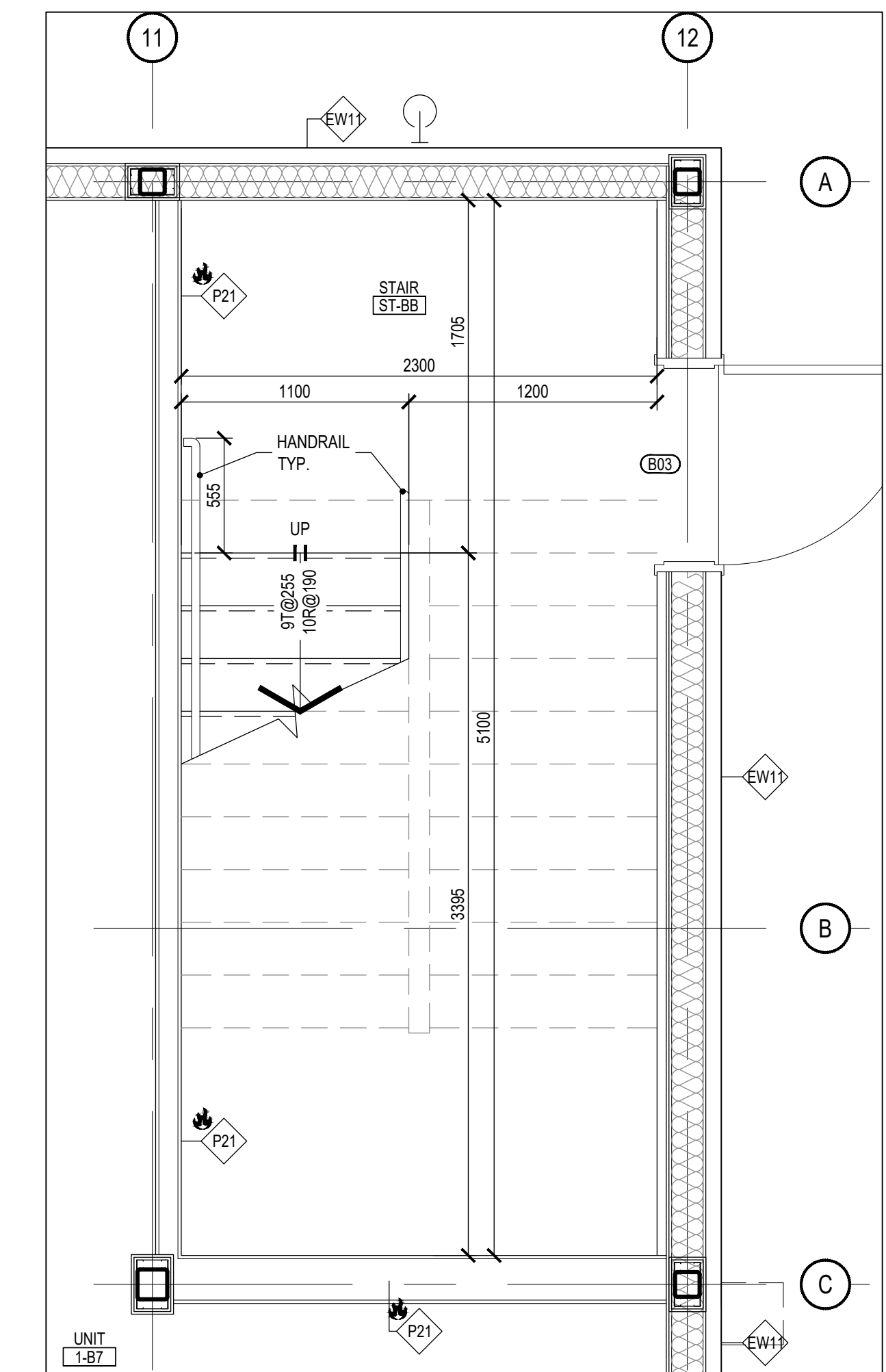
STAIR ST-BA 2ND FLOOR PLAN 4
SCALE: 1:25 A-501



STAIR ST-BB 2ND FLOOR PLAN 2
SCALE: 1:25 A-501

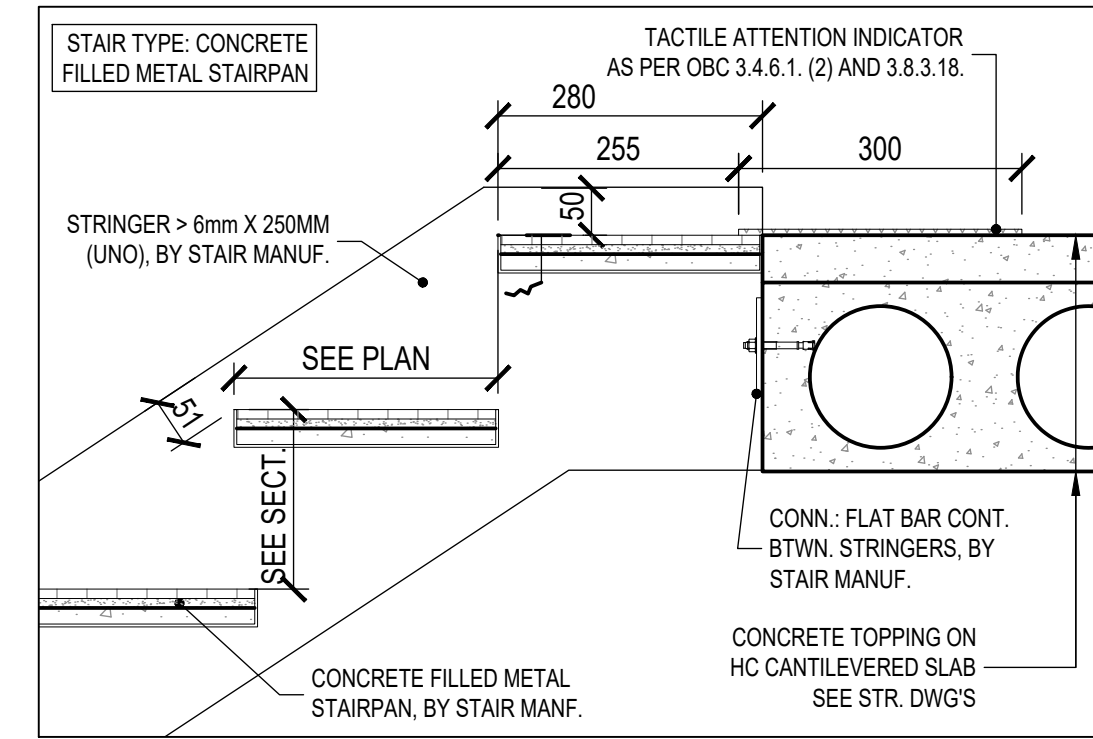


STAIR ST-BA 2ND FLOOR PLAN 3
SCALE: 1:25 A-501

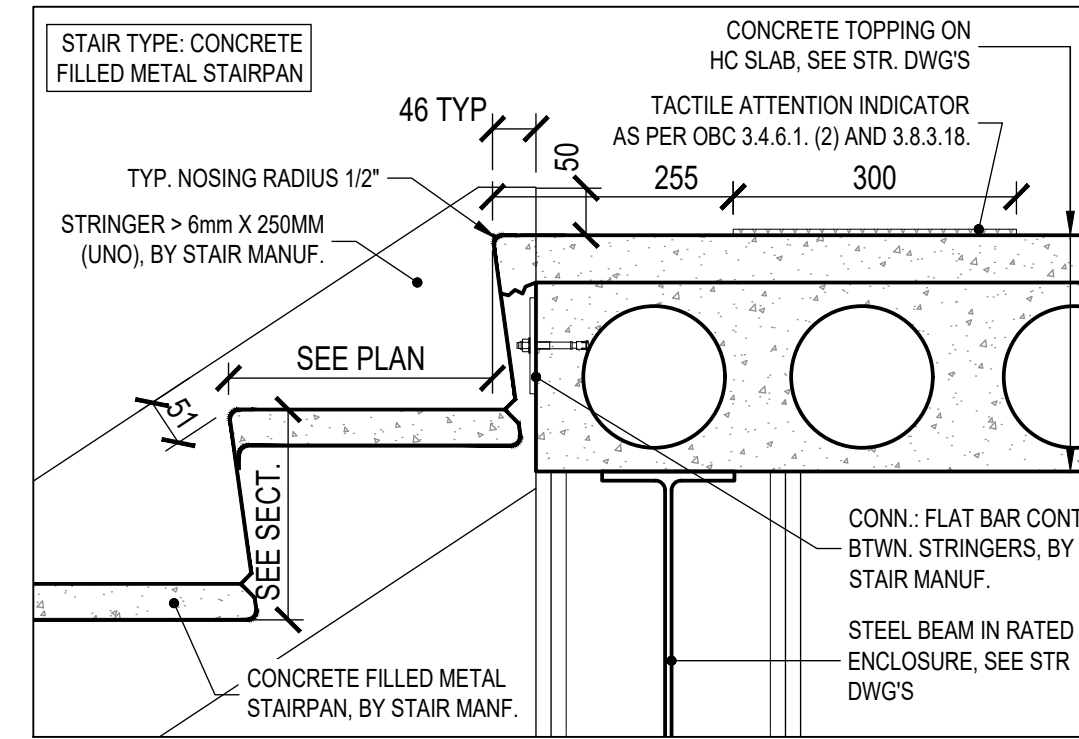


STAIR ST-BB GROUND FLOOR PLAN 1
SCALE: 1:25 A-501

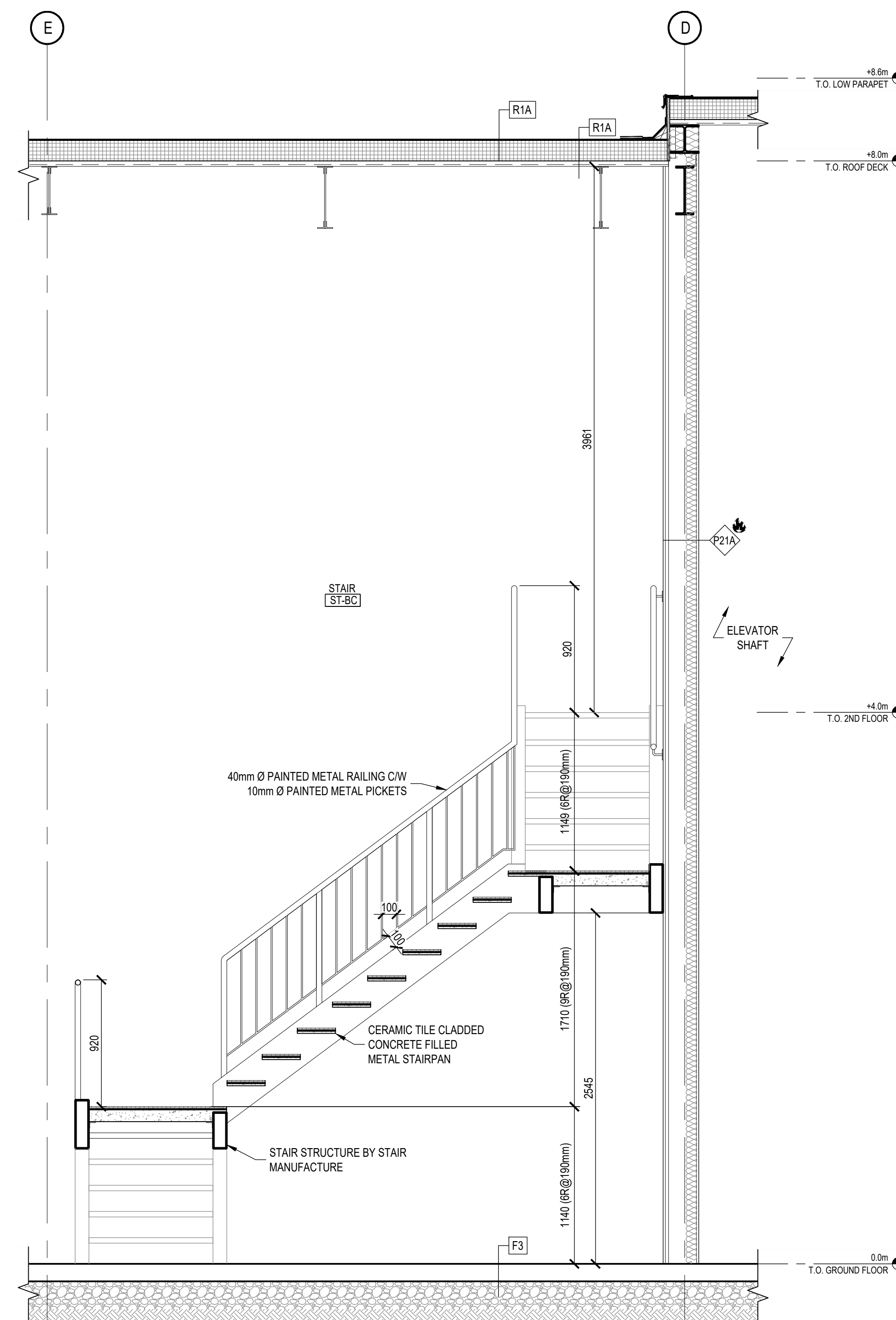
1	NZ	ISSUED FOR BUILDING PERMIT	27 MAY 2020
ISSUE	BY	DESCRIPTION	DATE (DD/MM/YYYY)
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CLIENT GARNER INVESTMENTS INC. 1040 GARNER RD W ANCASTER, ON L9G 3K9			
ARCHITECT SAPLYS ARCHITECTS INC. 610 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J 7W4			
CONSULTANT API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE, ON L6J 7W5			
PROJECT NAME GARNER ROAD BUSINESS PARK			
PROJECT ADDRESS 1040 GARNER RD W ANCASTER, ON L9G 3K9		PROJECT No. S20-021	
DRAWING TITLE BLOCK B STAIR ST-BA & ST-BB PLANS, SECTIONS AND DETAILS			
BY	CHECKED	SHEET No.	SHEET REVISION
NZ	-	-	-
SCALE	UNITS:MM	AS NOTED	
A-501			1



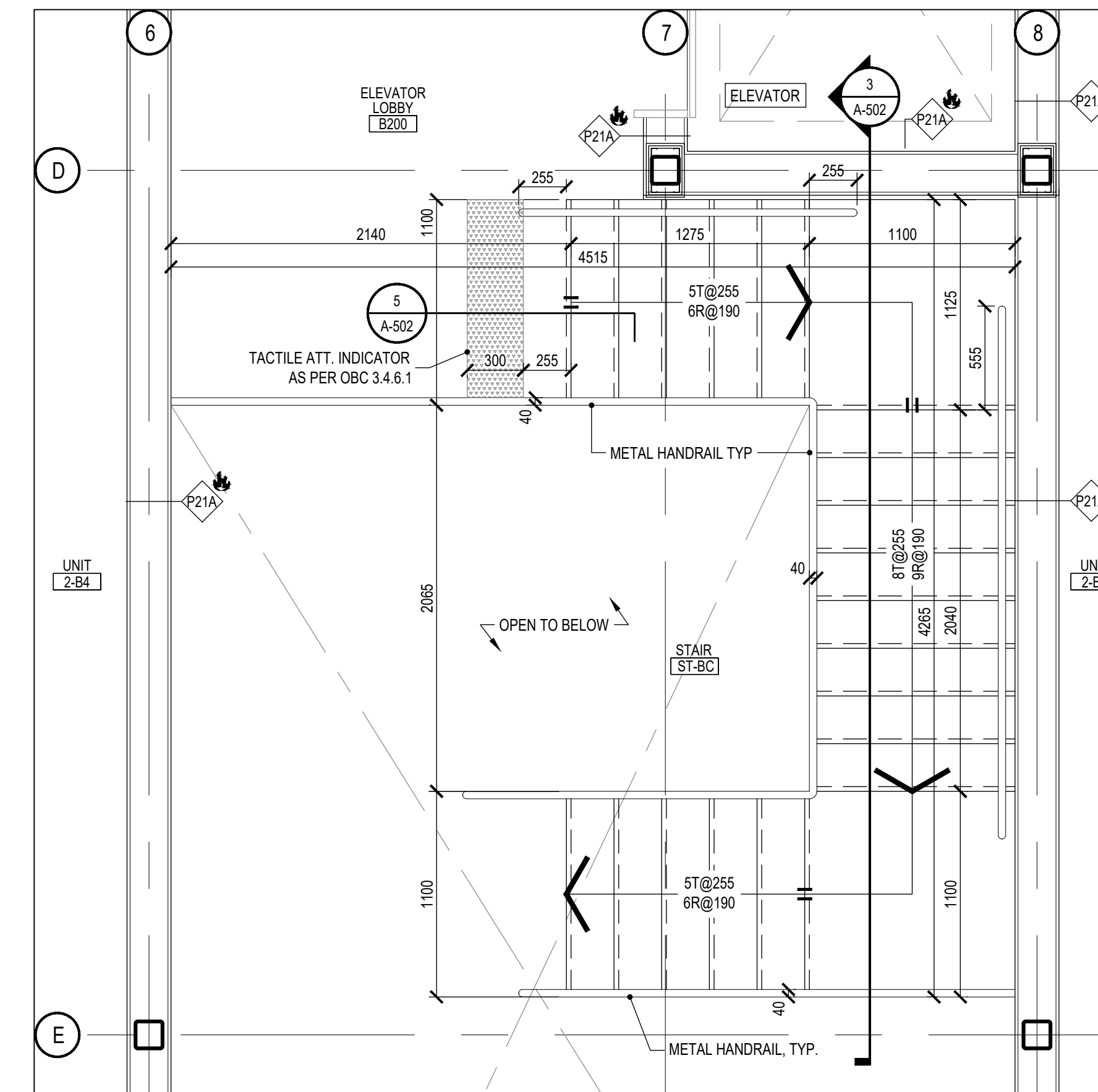
DETAIL @ TOP OF STAIR 5
SCALE: 1:8 A-502



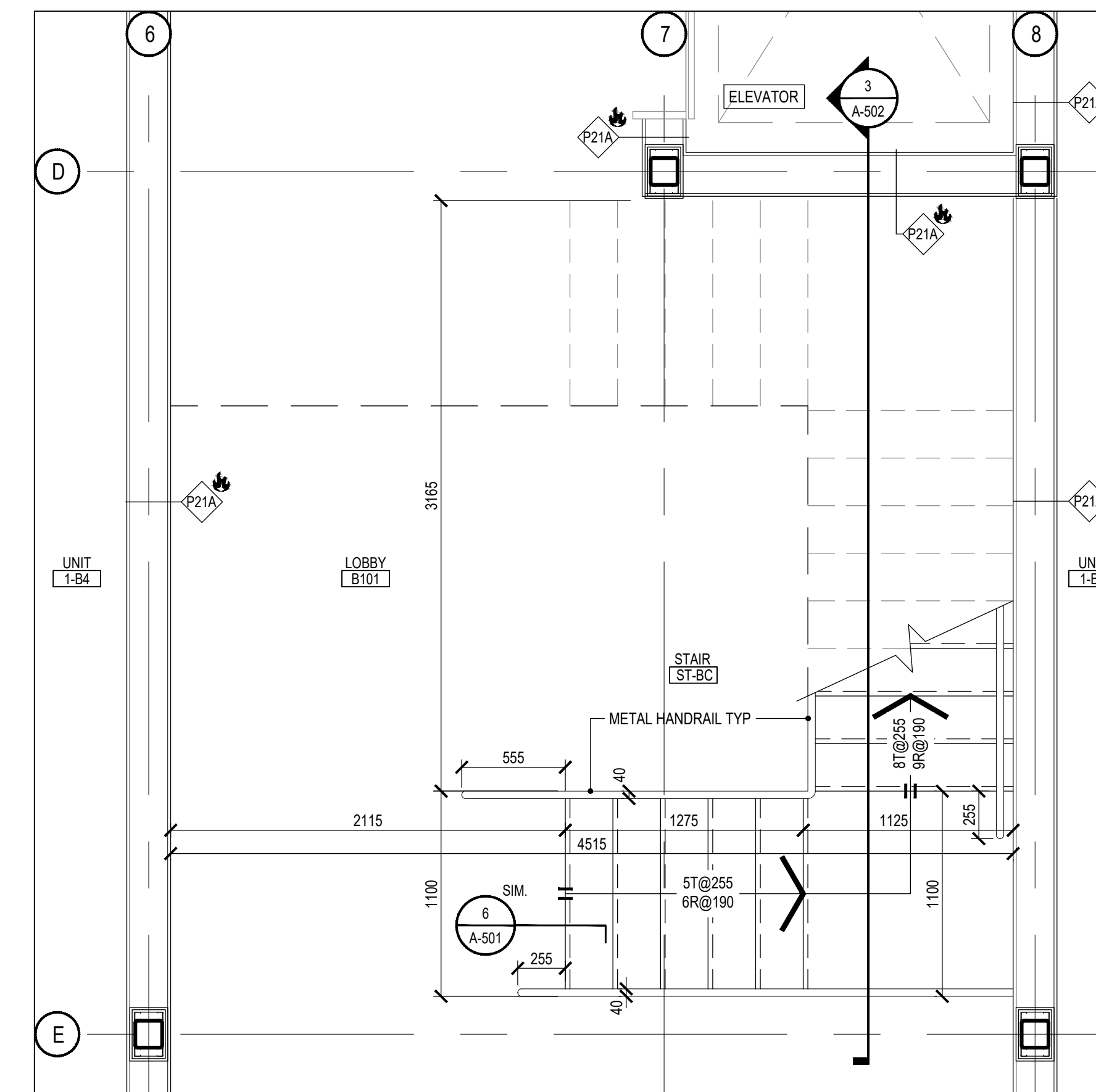
DETAIL @ TOP OF STAIR 4
SCALE: 1:8 A-502



STAIR ST-BC SECTION 3
SCALE: 1:25 A-502



STAIR ST-BC GROUND FLOOR PLAN 2
SCALE: 1:25 A-502



STAIR ST-BC GROUND FLOOR PLAN 1
SCALE: 1:25 A-502

1	NZ	ISSUED FOR BUILDING PERMIT	27 MAY 2020
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PROJECT No.			
S20-021			
DRAWING TITLE			
BLOCK B STAIR ST-BC PLANS, SECTIONS AND DETAILS			
BY	CHECKED	SHEET No.	SHEET REVISION
NZ	-	-	-
SCALE	UNITS:MM	AS NOTED	A-502
			1

ABBREVIATION LEGEND

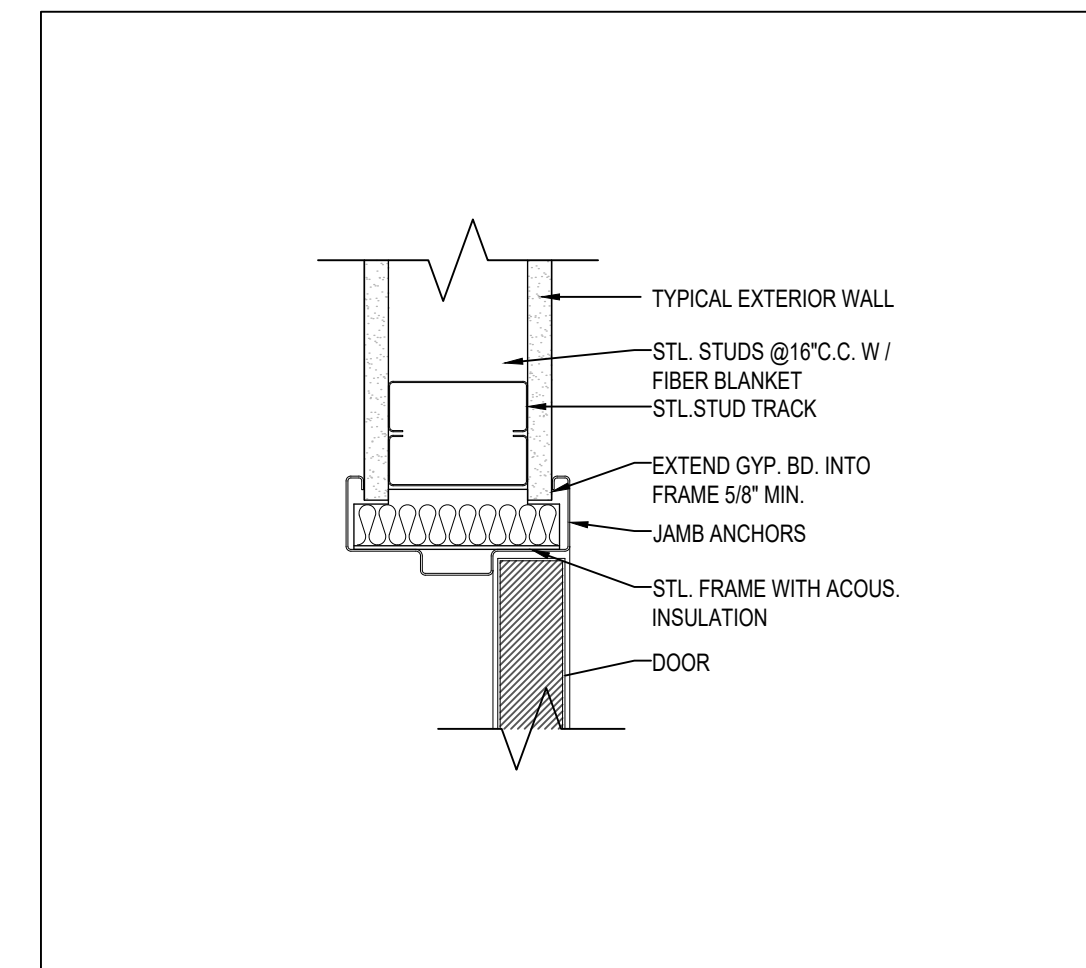
- AL ANODIZED ALUMINUM
- CL CLEAR
- DG DOUBLE GLASS
- EXIST EXISTING
- GL GLAZED
- HM HOLLOW METAL
- IHM INSULATED HOLLOW METAL
- IST INSULATED STEEL
- PF PRE-FINISHED
- PH PANIC HARDWARE
- PS PRESSED STEEL
- PT PAINT
- SCD SELF CLOSING DEVICE
- TB THERMALLY BROKEN
- TG TEMPERED GLASS
- WS WEATHER STRIPPING

DOOR NOTES

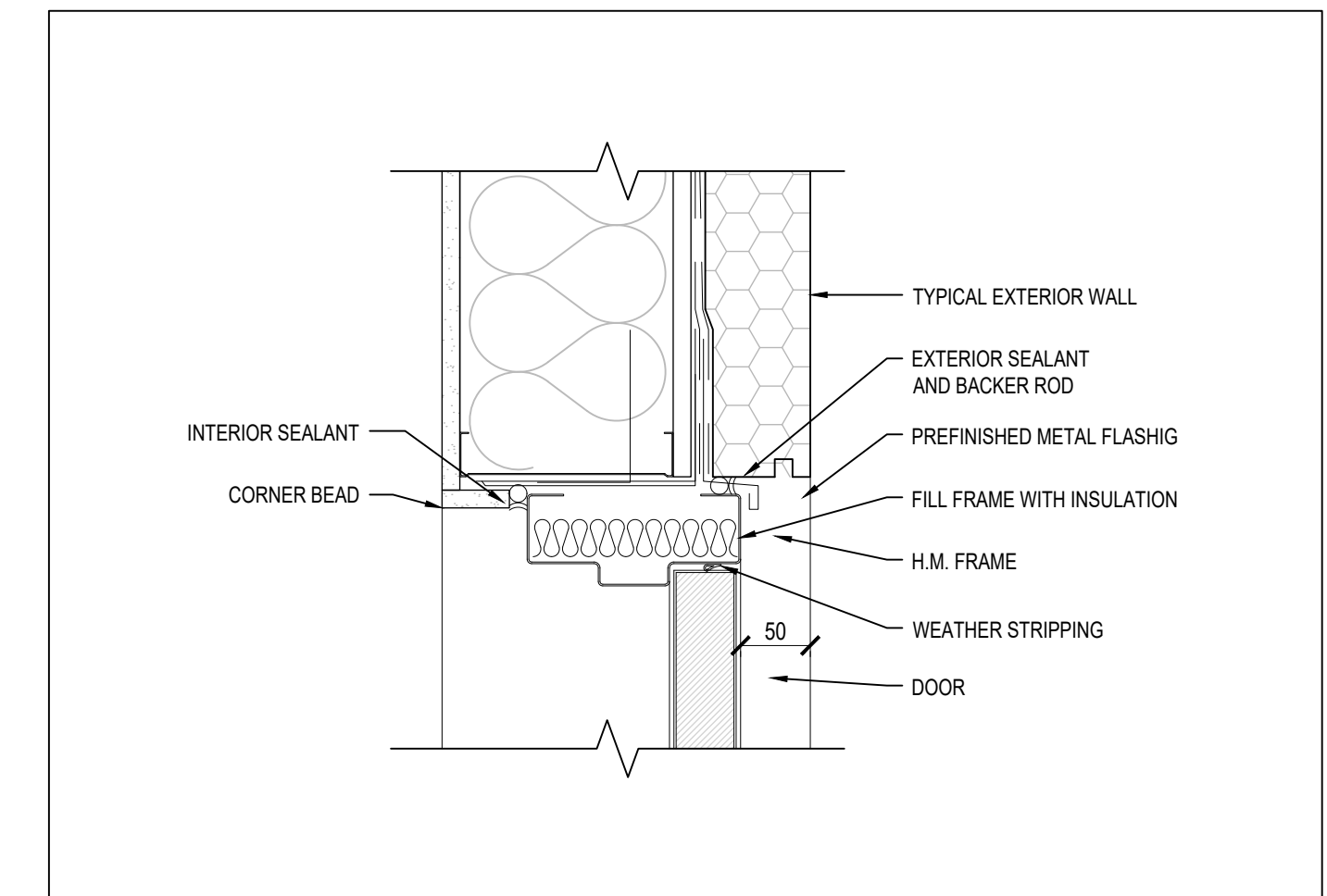
1. ALL EXTERIOR HOLLOW METAL DOORS SHALL BE GALVANIZED & INSULATED.
2. ALL DOORS SHALL BE PRE-FINISHED (SHOP OR FACTORY). TOPS, BOTTOMS AND SIDES OF ALL DOORS SHALL BE PAINTED OR STAINED TO MATCH DOOR FINISH/COLOR.
3. OUT-SWINGING EXTERIOR DOORS MUST HAVE CLOSED TOPS
4. EXTERIOR DOORS MUST HAVE WEATHER STRIPPING WITH THE APPROPRIATE TYPE OF THRESHOLD.
5. PROVIDE CONSTRUCTION CYLINDERS DURING CONSTRUCTION. FOR DOORS REQUIRED TO BE LOCKED REPLACE CONSTRUCTION CYLINDERS PRIOR TO HOTEL OPENING (COORDINATE WITH GENERAL CONTRACTOR).
6. ALL DOOR CYLINDERS SHALL BE FORMAT TO MATCH PROPERTY STANDARDS. ALL LOCK SETS AND CYLINDERS ARE SUPPLIED WITH FINAL CORES.
7. ALL DOORS SHALL BE MASTER KEYED. COORDINATE KEYING WITH OWNER. PERMANENT KEYING BY DOOR SUBCONTRACTOR.
8. ALL FULL/HALF VISION DOORS SHALL BE A MEDIUM STYLE (U.N.O.)
9. ALL INTERIOR DOOR GLAZING AND SIDELIGHTS SHALL BE CLEAR TEMPERED GLASS (U.N.O.). ALL EXTERIOR DOOR GLAZING AND SIDELIGHTS SHALL BE INSULATED TEMPERED GLASS.
10. ALL RATED DOORS SHALL BE PROVIDED W/ MIN. REQUIRED DOOR HARDWARE REGARDLESS IF NOT SHOWN ON SCHEDULE. IF DIRECTION INDICATED OR NOTED IS SPECIFICALLY IN CONTRADICTION TO WHAT IS REQUIRED IN RATED DOORS, CONTACT ARCHITECT.
11. WHERE UNDERCUT NOT SPECIFIED, PROVIDE STANDARD UNDERCUT OF 3/4" FOR HM & WOOD DOORS
12. PROVIDE 1 1/2" PAIR BUTT HINGES PER DOOR LEAF UP TO 7'-0". PROVIDE 2 PAIR BUTT HINGES PER DOOR LEAF FOR SOLID CORE WOOD OR HM DOORS FROM 7'-0" TO 10'-0".
13. PROVIDE (3) SILENCERS IN SINGLE LEAF DOORS, (2) SILENCERS IN DOUBLE LEAF DOORS
14. LOCKSET SHALL OPERATE WHERE TURNING KEY UNLATCHES DOOR WHEN PUSHBUTTON IS ENGAGED & TURNED. KEY OPERATION WILL BE REQUIRED AT ALL TIMES. RELEASING PUSHBUTTON UNLOCKS DOOR.
15. ALL EXTERIOR DOORS SHALL BE PROVIDED WITH AN ALUMINUM DRIP EDGE ANCHORED TO UNDERSIDE OF WALL CONSTRUCTION (DOORS AS PART OF AN ALUMINUM STOREFRONT SYSTEM WITH A TRANSOM DOES NOT REQUIRE DRIP EDGE, NOR DO DOORS THAT ARE PROTECTED UNDER CANOPIES).
16. ALL EXTERIOR DOORS SHALL HAVE THE TOP OF THE DOOR SLAB CONSTRUCTED IN SUCH A WAY TO SHED AND THEREFORE PREVENT WATER FROM COLLECTING/SITTING WITHIN THE TOP OF THE DOOR SLAB. JOINTS SHALL BE MINIMIZED AT THE TOP OF DOOR SLAB. ANY CONSTRUCTION JOINTS SHALL BE FULLY WEATHER TIGHT.
17. THRESHOLDS AT ACCESSIBLE DOORS TO MEET ALL APPLICABLE ACCESSIBILITY REQUIREMENTS. ACCESSIBLE DOORS INCLUDE ALL PUBLIC ACCESS SPACES. ALL PUBLIC EXTERIOR DOORS, ALL EGRESS DOORS, AND EMPLOYEE DOORS THAT ARE INDICATED WITH A CLEAR FLOOR AREA.
18. ALL DOOR HARDWARE SHALL COMPLY WITH REQUIREMENTS FOR ACCESSIBILITY AS PER OBC
19. PROVIDE PUSH BUTTON (ON BOTH SIDES OF DOOR) W/ AUTOMATIC OPENER FOR ACCESSIBLE DOOR
20. ALL 'EXIT' DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
21. ALL WELDED CONSTRUCTION AT HOLLOW METAL DOOR FRAMES.
22. ALL FIRE RATED DOORS TO HAVE CLOSERS AND LATCHING HARDWARE.
23. PANIC EXIT HARDWARE REQUIRED.
24. ALL GLAZING TO BE 12mm TEMPERED GLASS, UNLESS OTHERWISE NOTED
25. ENSURE CONFORMITY WITH THE OBC DATA MATRIX, SB-10 TABLE, WINDOW SCHEDULE AND OTHER DRAWINGS

<p>SET # 1 ALUMINUM GLASS EXTERIOR DOOR C/W BF OPERATOR</p> <ul style="list-style-type: none"> • HINGES • LOCK SET • DOOR SWEEP • CONCEALED DOOR CLOSER • PULL / PUSH BARS • PANIC HARDWARE • THRESHOLD • WEATHERSTRIP • BARRIER FREE OPERATION AS INDICATED IN THE DOOR NOTES <p>SET # 2 ALUMINUM GLASS EXIT DOOR</p> <ul style="list-style-type: none"> • HINGES • LOCK SET • DOOR SWEEP • CONCEALED DOOR CLOSER • PULL / PUSH BARS • PANIC HARDWARE • THRESHOLD • WEATHERSTRIP 	<p>SET # 3 HM SERVICE ROOMS EXTERIOR DOOR</p> <ul style="list-style-type: none"> • 3 HINGES • LOCK SET • KICKPLATE • DOOR SWEEP • DOOR CLOSER • THRESHOLD • FLOOR STOP • WEATHERSTRIP <p>SET # 4 HM SERVICE ROOMS</p> <ul style="list-style-type: none"> • 3 HINGES • LOCK SET • KICKPLATE • DOOR CLOSER • FLOOR STOP 	<p>SET # 5 HM UNIT INTERIOR</p> <ul style="list-style-type: none"> • HINGES • LOCK SET • CONCEALED DOOR CLOSER • PULL / PUSH BARS <p>SET # 6 STAIR</p> <ul style="list-style-type: none"> • HINGES • FIRE EXIT HARDWARE • DOOR CLOSER • KICK PLATE
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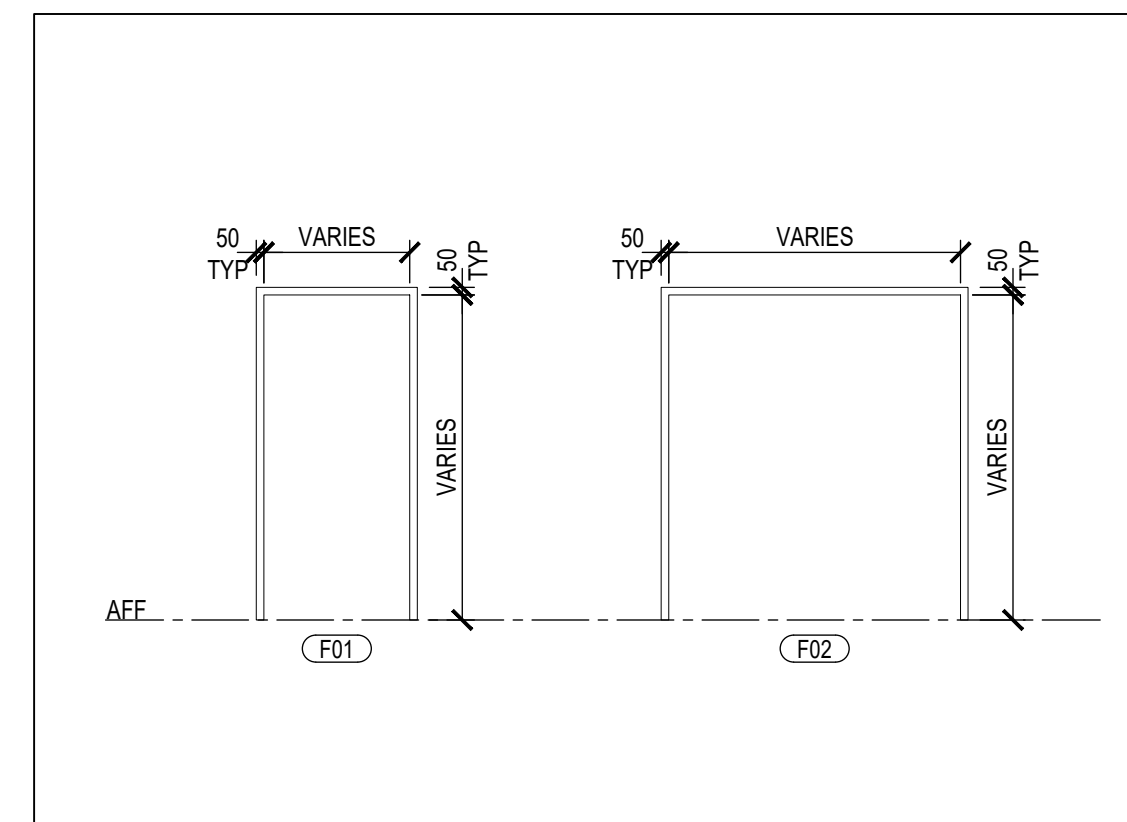
HARDWARE SCHEDULE 6
SCALE: 1:5 A-601



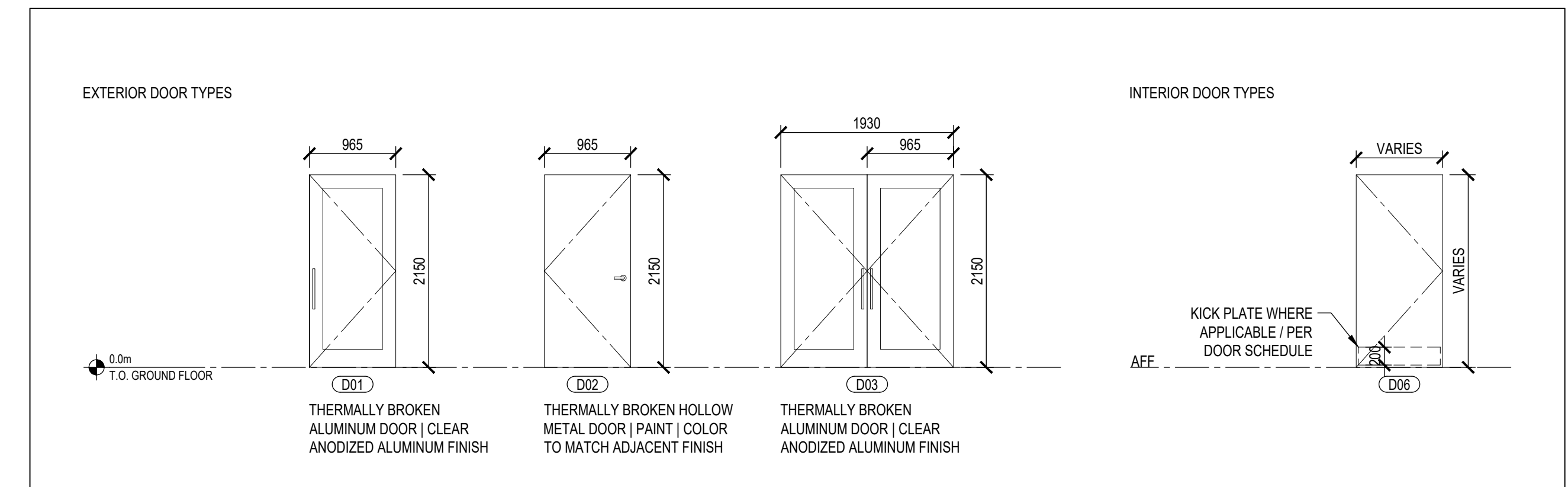
DETAIL @ INTERIOR DOOR HEAD 5
SCALE: 1:5 A-601



DETAIL @ EXTERIOR DOOR HEAD 4
SCALE: 1:5 A-601



FRAME TYPES 3
SCALE: 1:50 A-601



DOOR TYPES 2
SCALE: 1:50 A-601

DOOR AND FRAME SCHEDULE												
DOOR										FRAME		REMARKS
No.	LOCATION	WIDTH	HEIGHT	THICK.	MATERIAL	FINISH	HDWR	TYPE	GLAZING	FIRE RAT.	TYPE	
B-01	UNIT MAIN ENTRANCE	2x965mm	2150mm		AL	PF	#1	D03	DG	-	W1	AL
B-01a	UNIT REAR ENTRANCE	2x965mm	2150mm		AL	PF	#2	D03	DG	-	F02	AL
B-02	UNIT MAIN ENTRANCE	965mm	2150mm		AL	PF	#1	D01	DG	-	W6	AL
B-02a	UNIT REAR ENTRANCE	965mm	2150mm		AL	PF	#2	D01	DG	-	F01	AL
B-03	UTILITY ROOM EXTERIOR	965mm	2150mm	45mm	IHM	PT	#3	D02	-	-	F01	HM
B-04	VESTIBULE EXTERIOR	2x965mm	2150mm		AL	PF	#1	D03	DG / TG	-	W7	AL
B-05	VESTIBULE INTERIOR	2x965mm	2150mm		AL	PF	#2	D03	TG	-	W17	AL
B-06	MACHINE ROOM / HSKG	965mm	2150mm	45mm	HM	PT	#4	D06	-	45MIN	F01	HM
B-07	INTERIOR UNIT	965mm	2150mm	45mm	HM	PT	#5	D06	-	45MIN	F01	HM
B-08	STAIR	965mm	2150mm	45mm	HM	PT	#6	D06	-	45MIN	F01	HM

DOOR SCHEDULE 1
SCALE: 1:50 A-601

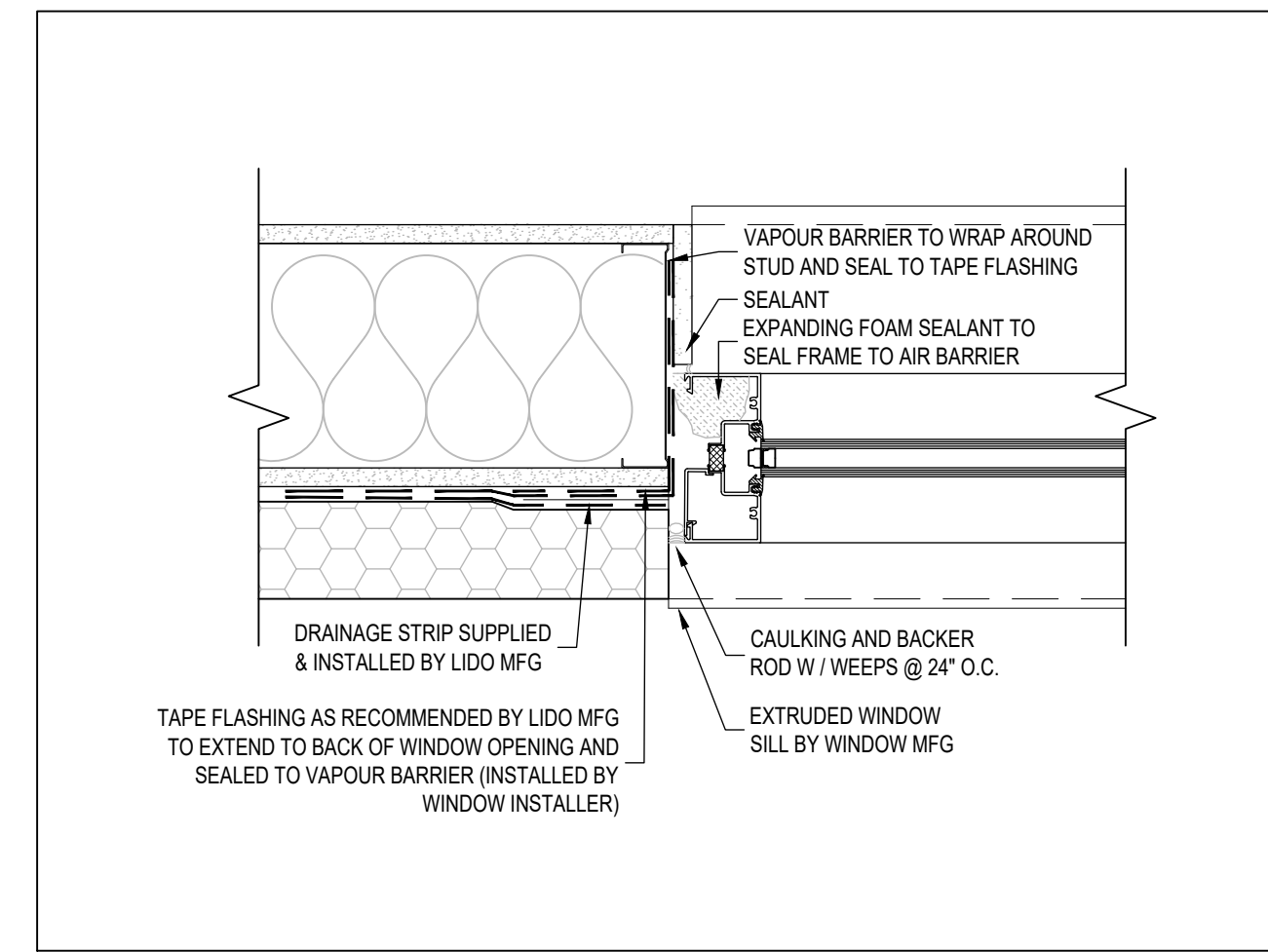
1	NZ	ISSUED FOR BUILDING PERMIT	27 MAY 2020
ISSUE	BY	DESCRIPTION	DATE (DD-MMM-YYYY)
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<p>CLIENT</p> <p>GARNER INVESTMENTS INC. 1040 GARNER RD W ANCASTER, ON L9G 3K9</p>			
<p>ARCHITECT</p> <p>SAPLYS ARCHITECTS INC. 610 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J 7W4</p>			
<p>CONSULTANT</p> <p>API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE, ON L6J 7W5</p>			
NORTH		PROFESSIONAL CERTIFICATION	
<p>PROJECT NAME</p> <p>GARNER ROAD BUSINESS PARK</p>			
PROJECT ADDRESS		PROJECT No.	
1040 GARNER RD W ANCASTER, ON L9G 3K9		S20-021	
<p>DRAWING TITLE</p> <p>BLOCK B DOOR SCHEDULE & DETAILS</p>			
BY	CHECKED	SHEET No.	SHEET REVISION
NZ	-	A-601	1
SCALE	UNITS: MM	AS NOTED	

SPANDREL PANELS

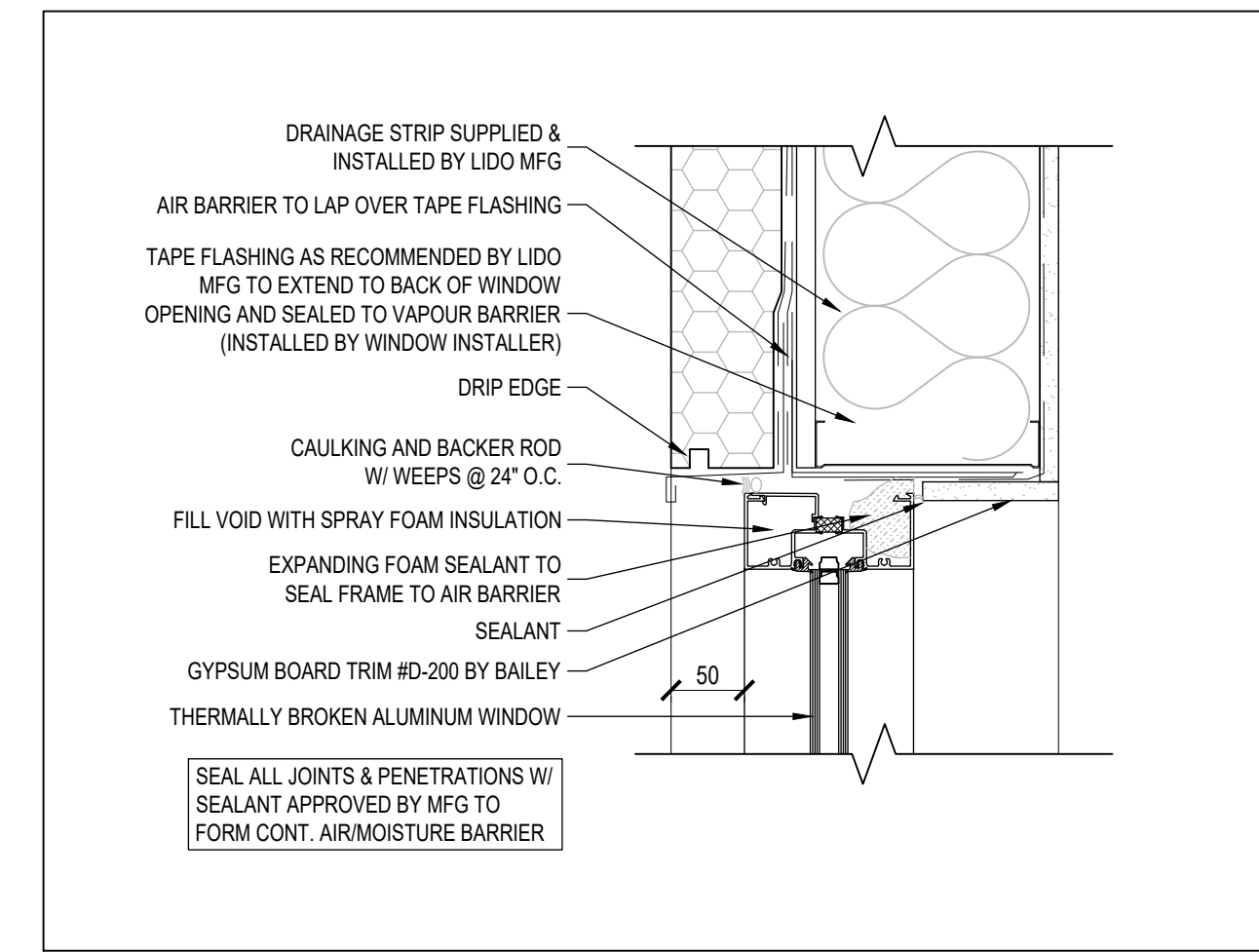
- SP1 CLEAR TEMPERED GLASS SPANDREL PANEL | LIGHT GRAY
- SP2 CLEAR TEMPERED GLASS SPANDREL PANEL | MEDIUM GRAY
- SP3 ALUMINUM SPANDREL PANEL | WOOD PATTERN

GENERAL WINDOW NOTES

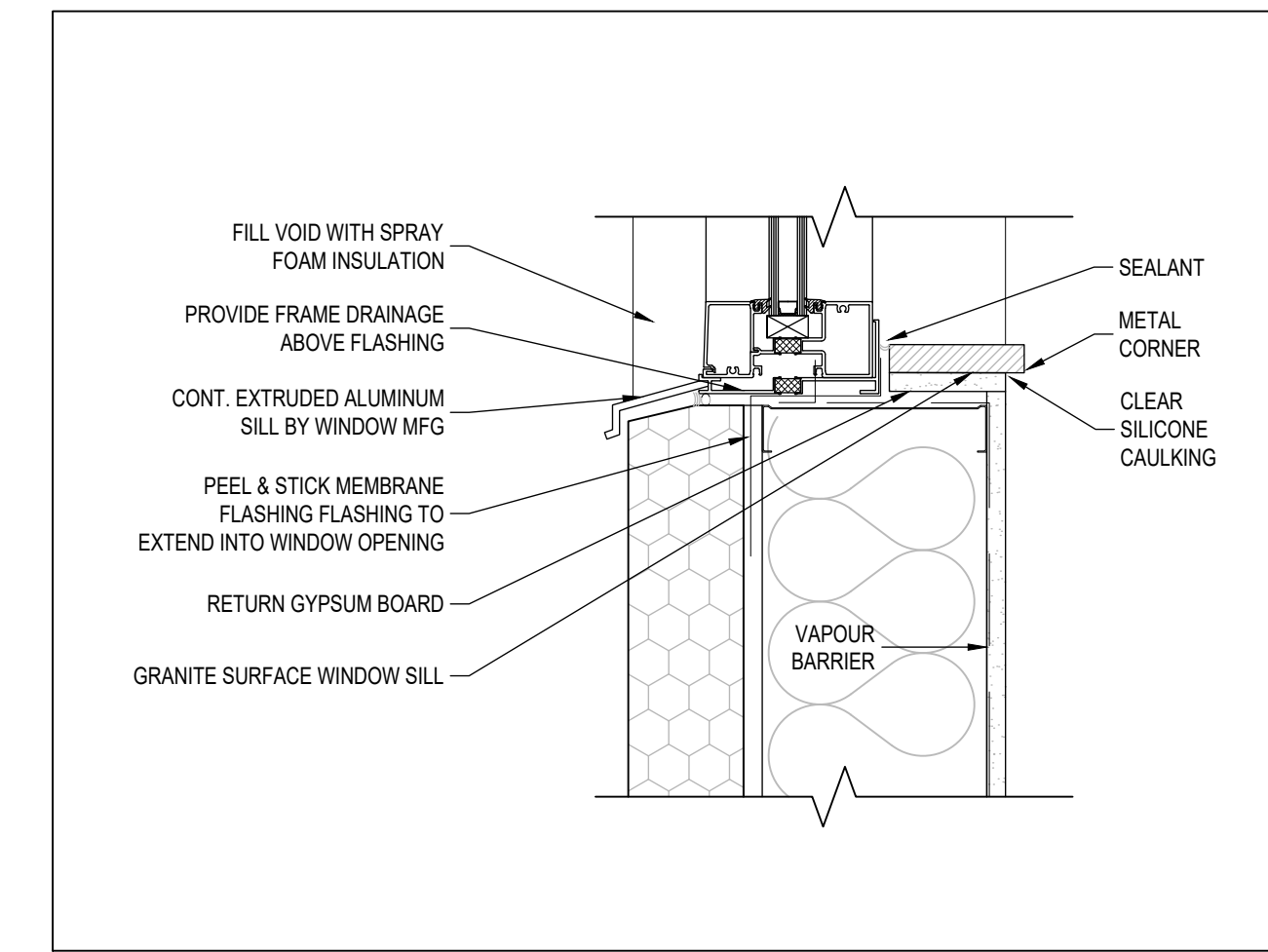
1. OWNER/CONTRACTOR TO ENSURE SHOP DRAWING SUBMITTALS ARE PREPARED BY THE WINDOW SYSTEMS DESIGNER AND SUBMITTED FOR ARCHITECT'S REVIEW
2. CONTRACTOR TO REVIEW AND APPROVE THE ABOVE MENTIONED SHOP DRAWINGS PRIOR TO SUBMISSION TO THE ARCHITECT. THE WINDOW AND SCREEN DRAWINGS SHOW HERE ARE FOR REFERENCE AND DESIGN INTENT ONLY, AND NOT INTENDED FOR FABRICATION.
3. STANDARD WINDOW DETAILS ARE PROPOSED FOR INTENT ONLY. FINAL DETAILING MAY VARY BASED ON MANUFACTURER AND/OR TRADE'S SPECS AND STANDARDS.
4. ENSURE CONFORMITY WITH THE OBC DATA MATRIX, SB-10 TABLE, DOOR SCHEDULE AND OTHER DRAWINGS
5. DIMENSIONS SHOWN ARE PROPOSED WINDOW FRAME. WINDOW SUPPLIER AND FRAMER TO COORDINATE SIZE OF ROUGH OPENING
7. WINDOW SUPPLIER TO CONFIRM SIZE OF OPENING ON SITE BEFORE MFG
8. ALL EXTERIOR WINDOWS TO BE THERMALLY BROKEN WITH LOW-E, DOUBLE GLAZED HERMETICALLY SEALED, ARGON FILLED INSULATING GLASS
9. THERMALLY BROKEN EXTERIOR FRAMES: COLOUR: CLEAR ANODIZED ALUMINUM
10. EXTERIOR LITE TO BE HEAT STRENGTHENED, TEMPERED GLASS
11. INTERIOR LITE TO BE CLEAR TEMPERED GLASS



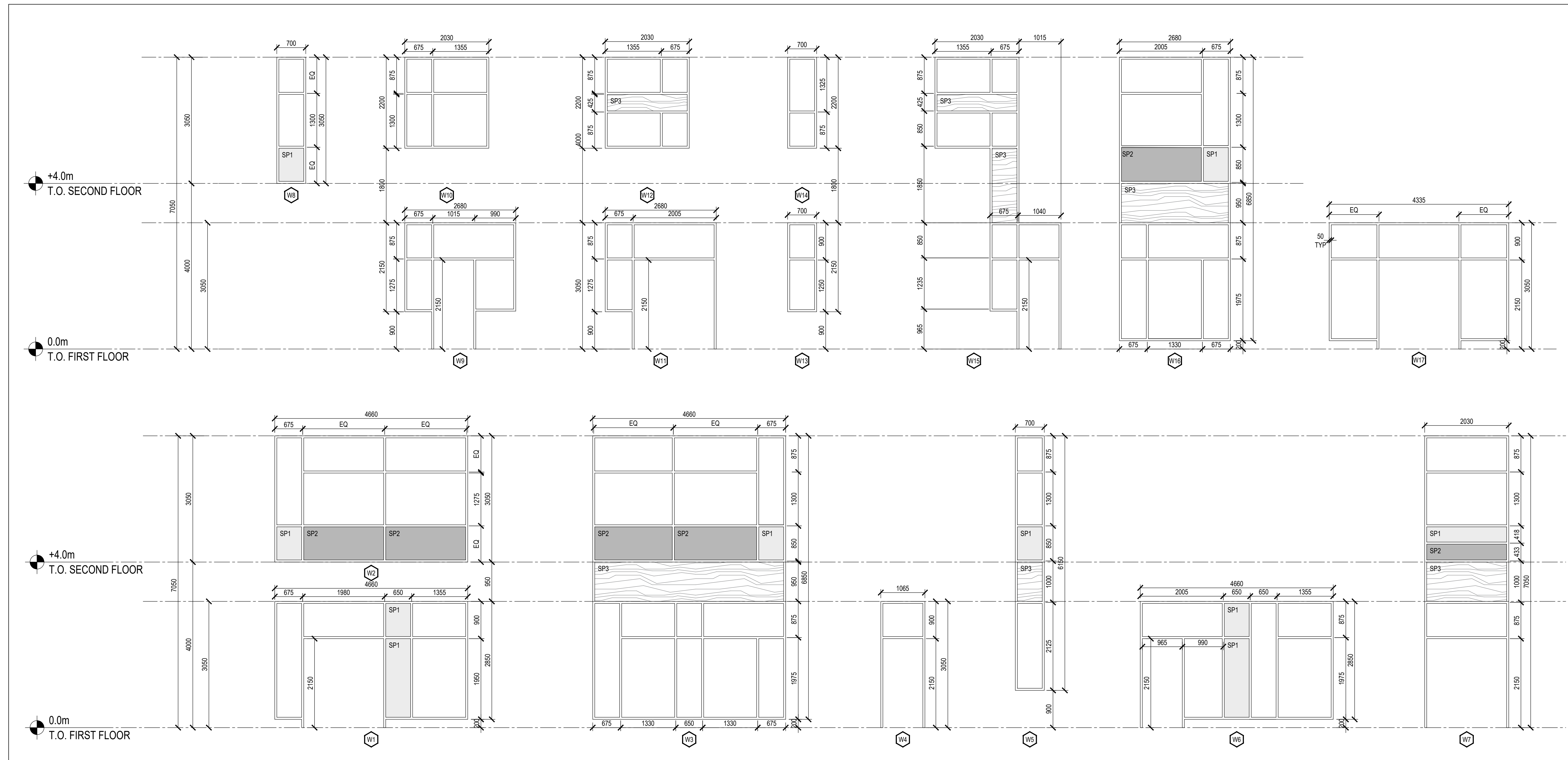
DETAIL @ WINDOW JAMB 3
SCALE: 1:5 A-602



DETAIL @ WINDOW HEAD 3
SCALE: 1:5 A-602



DETAIL @ WINDOW SILL 2
SCALE: 1:5 A-602



WINDOW SCHEDULE 1
SCALE: 1:50 A-602

1	NZ	ISSUED FOR BUILDING PERMIT	27 MAY 2020
ISSUE	BY	DESCRIPTION	DATE (DD-MMM-YYYY)

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CLIENT
GARNER INVESTMENTS INC.
1040 GARNER RD W
ANCASTER, ON L9G 3K9

ARCHITECT
SAPLYS ARCHITECTS INC.
610 FORD DRIVE, SUITE 338
OAKVILLE, ON L6J 7W4

CONSULTANT
API DEVELOPMENT CONSULTANTS INC.
1282 CORNWALL ROAD
OAKVILLE, ON L6J 7W5

PROJECT NAME
GARNER ROAD BUSINESS PARK

PROJECT ADDRESS
1040 GARNER RD W
ANCASTER, ON L9G 3K9

PROJECT No.
S20-021

DRAWING TITLE
BLOCK B
WINDOW SCHEDULE & DETAILS

BY NZ
CHECKED -
SCALE -
UNITS MM
AS NOTED

SHEET No.
A-602

SHEET REVISION
1

November 5, 2024

Via Email Only

**RE: 1038 Garner Road West, Ancaster
Planning Rationale**

Landwise has been retained by 1000968243 Ontario Inc, Owner, to prepare the following Planning Rationale to support a Minor Variance Application for the purpose of establishing a Personal Service (hair salon) at 1038 Garner Road West, Ancaster. This Planning Rationale contains a description of the property, an overview of applicable planning policies, and a planning opinion on the requested Minor Variances.

Subject Lands Description

The subject lands are located at 1038 Garner Road West, Ancaster, west of the intersection at Shaver Road. The lands are on the periphery of the Ancaster Business Park and adjacent to a large commercial plaza to the north. The property is currently occupied by three condominium buildings with individual units and surface vehicular parking.

Figure 1 - Aerial Map

Planning Status

Planning Act

Bill 97 - Helping Homebuyers, Protecting Tenants Act, 2023 introduced proposed amendments to the "Area of Employment" definition in the *Planning Act* which came into effect on October 20, 2024. The revised definition has the effect of limiting permitted uses within an "Area of Employment" to only include manufacturing, warehousing, goods and services movement, research and development and limits ancillary office and retail only in association with a primary manufacturing or warehouse use. The narrowing of the definition eliminates the permission for office, commercial or institutional uses that were previously permitted as supportive uses within Areas of Employment. The legislative changes creates issues with the City's policy framework for Employment and Industrial Areas and with the implementing zoning regulations.

As a result of the City's Report PED24303, it is anticipated that properties that have been approved with supportive ancillary uses will be reviewed to determine if a more suitable Commercial designation and zoning should be applied.

Provincial Planning Statement, 2024

The Provincial Planning Statement, 2024 came into effect on October 20, 2024. The new Provincial Planning Statement replaces both the previous Provincial Policy Statement and the A Place to Grow: Growth Plan for the Greater Golden Horseshoe and has implemented a change in the direction on Employment Areas policies.

A new definition of "Employment Area" has been updated to reflect the changes to the definition of "Area of Employment" in the *Planning Act*.

"Employment Area: those areas designated in an official plan for clusters of business and economic activities including manufacturing, research, and development in connection with manufacturing, warehousing, goods movement, associated retail and office, and ancillary facilities. An employment area also includes areas of land described by subsection 1(1.1) of the *Planning Act*. Uses that are excluded from employment areas are institutional and commercial, including retail and office not associated with the primary employment use listed above."

The City of Hamilton has acknowledged that the changes to both the *Planning Act* and the Provincial Planning Statement to the definition of Employment Areas will require a review and revision to the existing Employment Designation policies to reflect the strict permissions and exemptions. Report PED24203 acknowledges that Official Plan Amendments will be required to respond to the legislative changes and proposes a two phase approach to first to confirm that all existing employment areas meet the new definitions and second to proceed with any policy or mapping changes that are required to maintain consistency with the PPS, 2024.

Urban Hamilton Official Plan

The Subject Lands are designated "Employment Area - Business Park" on Schedule "E" - Urban Land Use Designations of the Urban Hamilton Official Plan. The Employment Area - Business Park designation permits a range of industrial uses and manufacturing uses, motor vehicle related uses, and uses that support the industrial related uses. The following policies, among others, apply:

"5.4.3

- c) *ancillary* uses which primarily support businesses and employees within business parks, including hotels, health and recreational facilities, financial establishments, restaurants, personal services, motor vehicle service stations and washing, retail establishments, and commercial parking facilities;"

The proposed Personal Service (hair salon) is considered an ancillary use and is permitted within the Employment Area - Business Park policies.

Zoning By-law No. 05-200

The Subject Lands are zoned Prestige Business Park (M3, 376, 678, 771) Zone which permits a range of industrial, motor vehicle related, service commercial and office uses. The Special Exceptions 376, 678, 771 recognize Garner Road West as the front lot line, allows Children's Play-gym and Gymnastic Studio, and Restaurant as additional permitted uses respectively. Personal Service uses are not currently permitted in the Prestige Business Park (M3) Zone.

Nature and extent of relief applied for:

One Minor Variance is being requested from Zoning By-law No. 05-200 to allow a Personal Service use in addition to the uses permitted by the Prestige Business Park (M3, 376, 678, 771) Zone. The following modifications are required:

	Section	Regulation	Modification
1.	9.3.1	Permitted Uses	In addition to Section 9.3.1 a Personal Service shall also be permitted in accordance with Section 9.3.3.

Planning Rationale to Support the Variances

Urban Hamilton Official Plan

The proposed Personal Service (hair salon) is permitted as an ancillary use to the employment area. The property is currently developed as a small scale industrial/commercial condominium with individual units and surface parking area. The addition of a hair salon will provide a service to the employees of the existing units and surrounding employment lands.

As a result of the changes to the *Planning Act* and Provincial Planning Statement the subject lands and surrounding employment areas will be further assessed to determine if the existing land uses and permissions fit the definition of Employment Area.

Zoning By-law No. 05-200

The intent of the Prestige Business Park (M3) Zone is to accommodate a mixture of employment and ancillary uses and is applied on the boundary and internally to the City of Hamilton's Business Parks. The proposed Personal Service (hair salon) use is permitted in the Employment Area - Business Park designation as an ancillary use which is meant to support the employees of the Business Park. The subject lands are developed

as a Planned Business Centre, where a group of business establishments have been developed with more than four separate spaces for lease or occupancy. With the existing format, a unit provided as a Personal Service provides an ancillary service that would benefit the employees not only of the other units on site, but for the greater employment area. The ancillary uses provide convenient services in proximity to where people are working.

Additionally, the changes to the *Planning Act* and Provincial Planning Statement will require the review of Employment Area to determine how supportive and ancillary uses that are no longer permitted are provided for to continue to provide convenient and proximate services for employees. In advance of this work being completed, the proposed Minor Variance would accommodate a Personal Service on lands that will be reviewed to determine if the lands should remain as employment or would be more appropriately recognized as a Commercial Designation and Commercial Zoning given the existing uses and location on the periphery of the existing Employment Area - Business Park designation.

Variance 1: To permit a Personal Service in accordance with Section 9.3.3.

1. Conformity to the intent of the Zoning By-law

The intent of the Prestige Business Park (M3) Zone is to accommodate employment and ancillary uses within the City's Business Parks. The proposed modification will establish an ancillary Personal Service (hair salon) use that would provide a service to employees within the surrounding employment area.

2. Is the variance minor in nature?

The proposed modification allows for an ancillary use that is contemplated by the Employment Area - Business Park designation policies. The existing Planned Business Centre provides the opportunity for a supportive and compatible use to be integrated into the existing built form which will provide a service for employees within the existing units and to the larger employment area.

It is also recognized that this location will be reviewed in order to potentially establish additional commercial uses such as that proposed, and, therefore, while adding uses is not typically considered minor, can in this instance, be considered appropriate. Therefore, the proposed modification is minor in nature.

3. Is the variance desirable?

The existing Planned Business Centre is in part occupied by employment uses. The addition of a Personal Service will provide a convenient service that will benefit the employees of the surrounding employment area and is desirable for the subject lands.

Conclusion

Considering the changes to the definition of Employment Uses in the Provincial Planning Statement, the City of Hamilton will be reviewing the permissions and locations for uses no longer permitted within Employment Lands (including ancillary commercial uses). Staff have acknowledged in their recent Report PED24203 that ancillary uses provide an important service to the employment areas, and that those lands that are on the periphery of Employment Areas may be reassessed as commercial property to provide continued services for employees in areas where office, commercial and institutional uses are no longer permitted.

Respectfully Submitted,

LANDWISE



Edward John, MRTPI
Partner / Principal Planner



\$659,444

**1038 GARNER Road
W Unit# B5
Ancaster, Ontario
L9G0J2**

MLS® Number:
XH4199787

 0
Bathrooms

 1265
Square Feet

Listing Description

LOCATION! LOCATION! LOCATION! FANTASTIC COMMERCIAL UNIT. GREAT EXPOSURE. BRAND NEW BUILDING! UNIT BACKS ONTO GARNER RD. WITH EXCELLENT VISIBILITY. START YOUR NEW BUSINESS HERE! APPROXIMATELY 1260 SQ FT. PLENTY OF PARKING. CLOSE TO HIGHWAY ACCESS. CALL FOR MORE INFO. (31628426)

Location Description

NEAR SHAVER ROAD

Property Summary

Property Type Office	Building Type Offices	Square Footage ⓘ 1265 sqft
Subdivision Name 423 - Meadowlands	Land Size under 1/2 acre	Annual Property Taxes \$8,510

Time on REALTOR.ca
69 days

Building

Bathrooms

Total
0

Building Features

Features	Present Use	Total Units
Elevator, Passenger elevator, No Driveway	Other	7

Heating & Cooling

Heating Type
Forced air

Utilities

Utility Sewer	Water
Sanitary sewer	Municipal water

Business

Business Type
Other

Measurements

Square Footage	Exterior Building Size
1265 sqft	1265 sqft

Land

Lot Features

Frontage	Land Depth
25 ft	51 ft

Other Property Information

Zoning Description
M3

Data provided by: [Cornerstone - Hamilton-Burlington](#) 505 York Boulevard, Hamilton, Ontario L8R 3K4



Joseph Rosati
Broker of Record

📞 905-730-2934
📠 905-574-7301



Homelife Professionals Realty Inc.

1632 Upper James Street
Hamilton, Ontario L9B1K4

📞 905-574-6400
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Hamilton

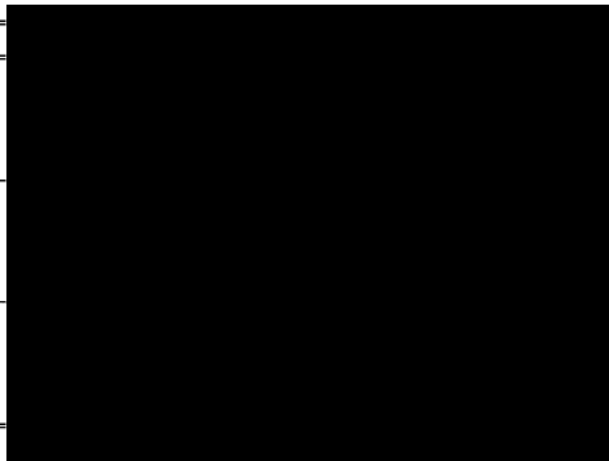
Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	1000304051 Ontario Inc.
Applicant(s)	Jessie-Lynn Giancola Marissa A Gritter 1000968423 Ontario Inc
Agent or Solicitor	Lloyd Ferguson



1.2 Primary contact

- Owner
 Applicant
 Agent/Solicitor

1.3 Sign should be sent to

- Owner
 Applicant
 Agent/Solicitor

1.4 Request for digital copy of sign

- Yes* No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

- Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

- In person Credit over phone*
 Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1038 Garner Road West <i>B5 2R-4</i>		
Assessment Roll Number			
Former Municipality	Ancaster		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

A Minor Variance to allow a Personal Service (Hair dresser) use to be added.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Personal Service (Hair Dresser) is not a permitted use under the By-law.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
137 metres	125 metres	13, 769 square metres	+/- 28 metres

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Commercial/Industrial Condo	6 metres	10 metres	9 metres 14 metres	JM

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
None				

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
N/A - not touching the outside	1263 sq ft	1263 sq ft		
	Unit B5	385.572		
	385.572 meter sq			

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
 - system privately owned and operated individual
 - septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- provincial highway
 - municipal road, seasonally maintained
 - municipal road, maintained all year
- right of way
 other public road
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Commercial/Industrial Condominium buildings
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Vacant, Commercial, Industrial

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
Conditional offer based on minor variance - closing January 31, 2025
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Vacant, new and never been used
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
None
- 7.4 Length of time the existing uses of the subject property have continued:
N/A
- 7.5 What is the existing official plan designation of the subject land?
- Rural Hamilton Official Plan designation (if applicable): _____
- Rural Settlement Area: _____
- Urban Hamilton Official Plan designation (if applicable) Employment Area - Business Parl

Please provide an explanation of how the application conforms with the Official Plan.
See attached rationale.

- 7.6 What is the existing zoning of the subject land? Unknown M3 Exception
- 7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance) 376 zoning
- Yes No
- If yes, please provide the file number: Unknown

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
