COMMITTEE OF ADJUSTMENT



City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221 E-mail: <u>cofa@hamilton.ca</u>

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:269	SUBJECT PROPERTY:	1038 Garner Road West, Ancaster
ZONE:	M3, 376, 678 (Prestige	ZONING BY-	Zoning By-law No. 05-200 as
	Business Park)	LAW:	amended by By-law No. 22-062

APPLICANTS: Owner: 1000304051 Ontario Inc. Applicant: Jessie-Lynn Giancola Marissa A Gritter, 1000968423 Ontario Inc. Agent: Llloyd Ferguson

The following variances are requested:

1.The use of a Personal Service(s) shall be permitted, whereas the use of a Personal Service(s) use is not permitted in the current "M3,376, 678, 771" Zone.

PURPOSE & EFFECT: To permit the use of a Personal Service(s) (hair salon).

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, January 21, 2025
TIME:	3:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at
	www.hamilton.ca/committeeofadjustment

A-24:269

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon January 17, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received **no** later than noon January 20, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:269, you must submit a written request to <u>cofa@hamilton.ca</u> or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing <u>cofa@hamilton.ca</u> or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

Subject Lands

DATED: January 2, 2025

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

COMMITTEE OF ADJUSTMENT



City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221 E-mail: <u>cofa@hamilton.ca</u>

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing <u>cofa@hamilton.ca</u> or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing to** participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email <u>cofa@hamilton.ca</u>. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email <u>cofa@hamilton.ca</u>.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

LIST OF DRAWINGS

ARCHITECTURAL

- A-100 SITE PLAN
- A-101 A-102 OBC DATA MATRIX WALL TYPES & ARCHITECTURAL ABBREVIATIONS
- A-201 GROUND FLOOR PLAN
- A-202 2ND FLOOR PLAN
- A-203 ROOF PLAN & DETAILS
- A-301 A-400 ELEVATIONS BUILDING SECTIONS
- A-401 WALL SECTIONS
- A-50 STAIRS PLANS, SECTIONS AND DETAILS
- A-502 STAIRS PLANS, SECTIONS AND DETAILS
- ENLARGED ELEVATOR PLANS AND SECTION DOOR SCHEDULE & DETAILS A-503
- A-601 A-602 WINDOW SCHEDULE & DETAILS
- STRUCTURAL

- S1.18 GENERAL NOTES S1.28 TYPICAL DETAILS TYPICAL DETAILS
- \$1.38
- TYPICAL DETAILS STRUCTURAL SPECIFICATIONS S1.4B
- \$1.5B STRUCTURAL SPECIFICATIONS
- FOOTING LAYOUT PLAN \$2.1B 52.2B FOUNDATION PLAN
- \$3.1B
- 2ND FLOOR FRAMING PLAN ROOF FRAMING PLAN \$4.1B
- S4,1B SNOW PILING & WATER PONDING PLAKS
- \$4,38 WIND UPLIFT PLAN BUILDING ELEVATIONS
- \$5,1B
- \$6,1B \$6,2B CONCRETE PER PLAN DETAIL CONCRETE PER PLAN DETAIL
- \$6.3B FOUNDATION SECTION DETAILS
- 57.1B STEEL SECTION DETAILS.
- \$7.2B STEEL SECTION DETAILS
- \$7.3B STEEL SECTION DETAILS

MECHANICAL AND PLUMBING

- MECHANICAL COVER PAGE 11.0
- M2.0 FOUNDATION PLUMBING LAYOUT SECOND FLOOR SUBFLOOR PLUMBING LAYOUT 12.1
- MAIN FLOOR PLUMBING LAYOUT H3.0
- 143.1 SECOND FLOOR PLUMBING LAYOUT MAIN FLOOR WATER PLUMBING LAYOUT
- 143.2 SECOND FLOOR WATER PLUMBING LAYOUT
- 113.3 140 MAIN FLOOR HVAC LAYOUT
- 144.1 SECOND FLOOR HVAC LAYOUT
- M5.0
- ROOF MECHANICAL LAYOUT MECHANICAL SPECIFICATIONS AND SCHEDULES 1/6.0

ELECTRICAL

- E1.0 ELECTRICAL COVER PAGE
- ELECTRICAL SITE PLAN WAIN FLOOR ELECTRICAL PLAN E2.0 E3.0
- SECOND FLOOR ELECTRICAL PLAN
- E3.1 E3.2 ROOF POWER PLAN
- E4.0 EXTERIOR LIGHTING ELEVATION
- SINGLE LINE DIAGRAM, SCHEDULE & DETAILS E5 ()
- E6.0 LIGHTING SCHEDULE
- E7.0 ELECTRICAL SPECIFICATIONS

GARNER ROAD BUSINESS PARK

BLOCK B

1040 GARNER RD W ANCASTER, ON L9G 3K9



ISSUED FOR BUILDING PERMIT 01-JUN-2020

PROJECT CONTACTS

CLIENT GARNER INVESTMENTS INC. 1040 GARNER RD W ANCASTER, ON L9G 3K9

ARCHITECT SAPLYS ARCHITECTS INC. 610 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J7W4

DEVELOPMENT CONSULTANT

API DEVELOPMENT CONSULTANTS INC. 1464 UNIT #7 CORNWALL ROAD OAKVILLE, ON L6J 7W5 TEL: 905-337-7249 URL: APIDEVELOPMENTCONSULTANTS.COM

STRUCTURAL ENGINEER PROTOSTATIX ENGINEERING CONSULTANTS INC. 500, 10410 - 102 AVENUE NW EDMONTON, ALBERTA T5J 0E9

MEP ENGINEER **DESIGN WORKS ENGINEERING** 2345-1 ADELAIDE STREET EAST TORONTO, ON M5C 2V9

GARNER ROAD BUSINESS PARK BLOCK B

ROJECT NUMBER S20-021 ISSUED FOR BUILDING PERMIT

ISSUE DATE 01-JUN-2020

PROJECT NUMBER 1040 GARNER RD W ANCASTER, ON L9G 3K9

SYMBO	DLLEGEND	KEY NOTES
Ð	DOOR TAG	TROST SUAS (REFER TO STRUCT, DAGE)
0	KEY NOTE	AAN WATER LEADER, CW ACCESS MAKEL (REFER TO WCANUCAL)
A	REVISION	
۲	WARDOW TAD	
۰ ک	WALL TYPE	(CWEGOLIARDE AS PER GAS VETER (PPECS)
\sim		(5) EAVABLE CONVECTION

AUTOMATIC DOOR OFENER C/W PUSH EUTTONS ROOF HATCH ABOVE toof access lacoer

GENERAL NOTES	
1 HAT FY THE CONTROL OWNER FROM THE ALSO MINES	,

EXPERIENCE DEVICES TO BE LOCATED FOR LOCAL CODE FIRE EXTINUISHERS BIT ME PAULO SPACES SPALLEE CONTAINED IN FLLS METERSED CARACTES CARACTES TO BE INSTALLED STIT AT NO OFENALE FRATE & MEMORITIKA AS AFF.
2. FLOOR NUMBERING AND EXITETAR EXAFTINATES AND SHALL CONFORM WITH DEC ARTICLE 3.4.6.19
 ACCESSBUTY EXAL EVALL CONFORMINTH DEC ARTICLE 2.8.3.1
4 THE EVERACE PLANE SPREND RATING OF ALL INTERIOR PHISH WATERVLIS APPLIED TO WALLS, PARTITIONS & CELLINGS WATERVLIS APPLIED TO WALLS, PARTITIONS & CELLINGS WATERVLIS APPLIED TO WATER AND EWITH OCC ARTICLES B-3.1.3.1 & A AND & 10.17.1
\$ INTERIOR BUILD-OUT TO BE APPLIED FOR INCIDER & SEPARATE PERMAT
 WASHROOMS ARE REEPONSELITY OF TEMANTS (UNCER SEPARATE PERMIT)
7. ALL FLOOR FRASHES TO BE INSTALLED BY TEMANT
A TEXANTS TO PROVIDE DRAMMOS FOR UNDER-SLAB ROUGHINS
 BLAS ON-GRADE IN ALL UNITS TO BE POURED DURING TREAMT RELIE CONSTRUCTION PHASE. ALLOYANCE WILL BE REDUCED TO THE UNIT FURCHASER FOR THE BLOB.
12 FOUR BLASS THOUGH EXTERIOR DOOR OPENINGS
11 PROVIDE 4" OF LADER-SLAB RGED NEULATION AT ALL EXTERIOR DOORNANS
12 MNR-IS UNDER-SLAB INSULATION FOR 48" AT FULL BUILDING FERMETER.
13 DRAMING UNES IN GRAVECALE REPRESENT TELONIT WORK AND ARE NOT INCLIDED IN THE BASE BUILDING DRAMINGS, TELANT WORK IS 15-107M AS REPERENCE

DRAMASE TENANT WORK IS INCOMAS INTERPROLE DAY, PERSON CODE RELIGIESTIST FOR TENANT WORK ARE NOTED ON THE OSC WATER, AND WHERE RECARED ON THE EASE RULEND DRAWINGS. (18 RAM WATER LEADERS TO EXHINCE LAD SPACE AND DRUP DRECTLY AT THE STOPAL DERIVICE COMPETIDIA PORT (FEREN TO VECHNICK).

IS FRONDE FRE DAMPER AT ALL PEAETRATIONS OF RAN HATER LEADER THEM FRE RATED PARTITIONS AT CELLING LEVEL.

16 ENCLOSE RAW INATER LEADER IN FRE RATED PARTICOLINALL AT ALL VERTICAL RUNS FROM CELLING LEVEL TO GROUND FLOOR







	BUILDING ENVELOPE CUMATE ZONE 5- NONES- OPALELIDET	E INSULATION VALUES TABLE SB 5,5-5-2017, SIDENTIAL HSL ASULATION BYALLE	ONTARIO BUILDING CODE DATA PART 3 - FIRE PROTECTIO Name of Practice SARLYS ARD	MATRIX N, OCCUPANT SAFETY AND ACCESSBLITY HIBTS NC	OBC REFERENCE 1	
	NUM NUM STATEST NAUVER SEE	R-135 d R-135 d	Contact LAVA'S SAFLY	S DEVENEESS HARX - BLOCK B ROADWEST, AND/STER, CMMARD		
	VERTICAL FI LETA FRANKA PRO	ENESTRATION Max UValue U43.33 Um SHGC 042, Mn VTSHGC 118 Max UValue U4359	3.00 BUILDING CODE VERSION 3.01 FROJECT TYPE	OPes 332/2 LASTAMBORENT Ones 6 New Construction MVED (6	NT9 ECOLARENIAL BULDING (A) 1.1.2	
	BUILDING ENVE	ELOPE REQ'S 5	102 MAJOR OCCUPANCY CLASSFICATION	CCCURANCY USE E Nercartile D Offices	3121(1)	
	///// NANG 18. [7////////////////////////////////////		3.03 SUFFERPOSED MAJOR OCCUPANCIES 3.04 BUILDING ANEA (mf)	YES Officed (group D) on second face, over mercantile units (group E) DEXCRPT(D) DEXCRPT(D) New budging) on ground floor 3.2.2.7. <u>NEV</u> TOTAL [A] 14.12. 995.0 995.0	
		Buttenstern	3.05 GROSS AREA (m²)	ТОТАL DESCOVENTEM Council Recover Second Recover	655.0 655.0 NBW TOTAL (A)1412 555.00 555.0 556.00 655.0 1910.0 6910.0	
			3.05 MEZZANANEAREA (m²) 3.07 BURDINGHEGHT	DESTRATION DUSTING TOTAL 2 STOREY'S ABOVE GRADE	NEW 107AL 32.1.1. 8.00 (c) ABO/EGRADE [A] 14.1.2.6	
			3 09 HEHELIDNG 3 09 KUUSER OF STREETS 3 09 FREFERITER ACCESS 3 10 BUILDING CLASSIFICATION	0 STOREY'S BELOW GRADE No 2 STREET'S 322.82 GROUPE LIP TO 2 STOREY'S, SHRWINGED 322.85 GROUPD LIP TO 2 STOREY'S, SHRWINGED	32.11. 328 322 10 4325 32220 63	
	SPATIAL SEPARATION DIAGRAM - WEST	ELEVATION SCILE 120 (A-151)	3 11 SPRINLER SYSTEM 3 12 STANDINE SYSTEM 3 13 FREALARM SYSTEM 3 14 WATER SERVICE	Registed Edire Building Nati Registed You	3215 8 32217 329 3241	
			3.14 SUPPLY SADEDUATE 3.15 CONSTRUCTION TYPE 3.16 MPORTANCE CATEGORY 3.17 SESSIE (HAZARD NDEX (), F. S. ().1	100 RESTRECTIONS Conclusable Remnitesd ACTUAL Nencombustible HEAVY TMBER COD Information - HEAVY TMBER COD Information - 110 Information - 110	322230-83 STRUCTION NO 3214 4121(3), T412138 41818	
			3.18 OCCUPANTLOAD	ROOM COCLPANCY TYPE EASED OF LEXELAUREA COCLPANCY TYPE EASED OF Growthore (Units 1-61 TO 1-87) E mf par par Second face (Units 2-61 TO 2-87) D mf par par TOTAL UNIER SEGRATIVE TEXANT INSERTS Yes	COLLEWITIOND 11.17. Ion 212 Ion 84 236 3.0 3.12.8 2.31.2.8	1 # #EC171434566 (km/s)
			321 REDUKED FRE RESSTANCE RATINGS	INR2CHTAL ASSERTY RATNO(1) ELFORT ASSERT FLOORS 017 IEZUNACE 077 BOCE	33.1.10 NG NONCOLUBUSTRELET \$22.20-83, Y (Fig. LEU/OFRATH/G7 32.14 0.75 NO NA NA	NO. NUMBER NUMER NUMER NUMER
	BUILDING B SECOND FLOOR FIRE SEPAR	ATION PLAN BOLE 120 (A-101)	3.22 SHATAL BEPARATION	VALL APEA LD (m) (AHORINE REQUIRED CONSTRU (m) (AHORINE REQUIRED CONSTRU (m) .	CTION TYPE CLADDING TYPE 32.3.	ALCI GARGER MARSTNERTE SC. 1445 GARGER ND 9 MALSTER, ON LSG 302 ROOFIG MARVA ADVARTED TA MARK
FIRE SEP-MATCH LIGEND				OCCUPANCY D 2016 2010 Combunit S - - - OCCUPANCY E 62.5 19.00 Combunits	e Permitad Combustole Permited	AN EXPERIENCE SUITE THE CAPTURE SUITE AND CAPTURE SUITE SUIT
A CHARLOW A FIRE SECURE RANGE				ODDLRHACY D 35.3 19.00 Contextult W - - - CODURANCY E 68.1 18.00 Contextult ODDLRHACY D 68.5 19.00 Contextult	e Remitted Combustble Remitted e Remitted Combustble Remitted e Remitted Combustble Remitted	
F007-619 F007-619 E00505-1-9 E005020190105-629510020 MTKX E00505070005-6390 E00505070005-4390 E007050-9070-4050 E007050-9070-4050 E007050-9070-4050 E0090			323 FLUMENG FOLVER REDUREMENTS	E OCOLPHACY E 67.1 (1.0.0) Combudits OCOLPHACY E 67.1 (1.0.0) Combudits OCOLPHACY E 67.1 (1.0.0) Combudits FANDO LANLEPBALE=0.50 (SCEPT AS NOTED OTHERASE	e Perinted Contoutble Perinted e Perinted Contoutble Perinted 374763740	GARNER ROAD BUSINESS PARK PERFORMS DO SARRER RD N ESVERI
ALL FRE EATED FARTITIES TO HAVE FRE STOP CALLY EAT TOP 1 EDITOR OF GREAM BOARD				RLOOR COOLENNT COCC LEVELUNES LOAD SENTENCE FATURES I LANDER (EDURED FROMEE HROMDED	BUDGY B DBC DATA WATRIX
	BUILDING B GROUND FLOOR FIRE SEPAR	ATION PLAN BOLIE 1220 (A-101)			OBC DATA MATRIX	

UST	OF ARCHITECTURAL ASEREVIATIONS	EF	EXHALIST FAN	1990L	FWAALFACTURER
		698	EXTERIOR INSULATION PRICH SYSTEM	PAIL	DATERUL
ACT	ACOUSTICAL CELING THE SYSTEM	ELEA	HEWION	MAX.	10000000
ACC	ACCERGBLE	ED	HUNT	12:13	MED-MARCAL
ACN	ALLARVAN COMPOSITE MATERIAL	EDUP	EQUIPMENT	NEP.	RECHARCAL ELECTRICAL PL
ADO	AUTOMATIC DOOR OPERATOR	ETC	ET CETERA	15222	VEZZANNE
٨F	ABOVE FINISHED FLODR	EX, E	2ST EUSTING	148	RAVAIDLE
AH2	ARHANDLING INIT	Eddl	I DOWNSION JOINT	17 O	MAGNETIC HOLD OPEN
ALLAM	ALLARMUM	ÐT	DUTEROR	ИN	MUNUM
ARCH	ARCHITECTURAL, ARCHITECT	F	FREEZER	HSC	DISCELLANEDUG
ARGB	ABUGE-RESISTANT GYFSLM EDARD	RA	FRE ALARM	193	WARDING OF DAVID
AUTO	AUTOMATIC	RHC	FRE HDSE CASINE?	MTL.	VETAL
ED	804PD	FEC	FREEXTINGUISHER CAEVET	MUA	MAKE-LP AR
EF	IARRER FREE	FRP	FREERCLASS RENFORCED PANEL	NC	NOT IN CONTRACT
LLDG	REDING	FRR	FIRE REDISTRACE BATHING	NTS	NOT TO SCALE
ESUT	EASENEXT	GYIA	GALVANZED	0.0:	OC INCENTER
CACT	CENTRAL ALARM AND CONTROL FACILITY	G.B.;	GYP, ED. GYPSUM BOAFD	GD	OUTSIDE DIAMETER
CR-	CONC. EL CONCRETE FLOCK	GC	GENERAL CONTRACTOR	P	PANEL
CEE	COLD FORMED STEEL	66	GLASS GURAD	PCT	PORCELAIN CERAMIC THE
03	FORVER FULLED	н	(IGH	PDD	POWER DOOR OFEFATOR
ñ	CONTRACTOR DUSING ATTON	HB	HOSEEB	FLAN	PLASTIC LAMINATE
õe.	CASTALPIACE	HDW	HARDAARE	FLYW	PLYNGOD
	CONTROL DIST	HM	HOLLOW METAL	PERM	B PREFASIVICATED
nine.	Charmenter	1087	HOR DIWITAL	PROP	PROPERTY
run	CENARA .	HP	HEAT PLAP	PEH	PLACE SHELF
110	CIER	HPT	HIGH POINT	PTAD	PACKAGED TERMAN AR COM
CAN .	CONCEPTE MARCARY I ART	HSORE	HOLEFATERNO	PTD	PANTED
min	CONCRETE	ыт	HE GHT	DΤ	CLASSY THE
CONT	CONTRACTOR CONTRACTOR	HAR	HEATING VENTRATION AR CONTROLING	OTC	DUBATITY
CODE	COCEDWITE	D	NETENINETER	ER.	Batta
~~~~		in .	ATERTATESTA	80	BOOF DRAIN
	CONTRACT INC.	ine .	FERICIPAL	SET	STRUCTRATUR FORMAT
C.	CONTRACTOR AND A	in a	AND A TEN CLARK LAUT	SEAF	STRATIGOTED
Cont .	COMPLEXE MIN	INC. IN	PERSONAL COLORING	65:00	REDUCERD
Cins	LUKIA-HALL STELER	VED	PROPERTY OF THE PROPERTY OF THE PROPERTY OF	201	120-SC CAL
200	LATER .	LEB.	Insig	100	PORT I
LICIS	ISO(E(S)	LOT.	1040	60	SOUGH OCCUPIES
DEMU	DEMOLISH, DEMULTION	5	LOW FORT		PAN AND AND AND AND AND AND AND AND AND A
DENT	DEPARTMENT	illen -	1011	SACT.	DEBLOCK LONGTON THE
DW.	DISHWASHER	118	LUG FOR	error	reply ice on concerne
0%21	DRAMMA	P1	VE FER	arion	CENTRAL PROVIDENCES AND LODGER AND LODG
086	LETECTARLE WARNING SUPPACE	A	MARTIENAMUE	Pical S	HALF RAVIES AL

INR DOUBLE SIDED INTERIOR PARTITION

16mm 519' 92mm 3-515'

.*

SU EULAS ED SALADORADE BARANA SEE SEFERATUR SEE wens DITIONER WH I WATL BALL COVERAG WF ITTH W AUSHER WO RATER LOSET WO RATER LOSET WO RATER LOSET WO RACOS WO RALES WO RALES WH RALEOSET WAY RELEGENT XX BY, THES SFRM SFRAY APPLIED CEVENTITIOLS FRE RESISTIVE MATERIAL

### WALL & PARTITION TYPE NOTES

GENERAL EDVARIAN & COORDXIATE ALL STUD WALL VERTICAL SPAN / HEIGHT LINITATIONS WITH VANUFACTURES, COORDARTE MINITERIOR DESIGN DRAWNOS FOR JOCATIONS OF HALL RECORNER & SHEET NETAL OR NY WOOD NEWHORCH'S FOR WALL MOLATED EDUPMENT.

ECONTREST. 2. CONTRESTREE WATERINGS BHALL DOWPLY MITH ORC 2012 ARTICLE 3.1.5.12 EXTEND OF TSUM BOARD IT ABOVE CELING ON GROUND FLOOR.

### FITE PATED ASSENCES

 FROMDE FIRE STOP CASUADES AT TEP, BOTTOW AND FERMINER OF GYPSUM BOARD AT FIRE RATED FARTTONS IN ACCORDANCE WITH UL DEE ON PARTICUS IN ACCOMPUNE WITH LL CELON IN PROVE LOSSINE VOLS IN USER RESTANT DIFENSI BONDO IN ALL MONPOOLIS DONE ENCLOSARIS BONING MARKANDO TITE I ENCLOSARIS BONING MARKANDO TITE I CUMUNUT INTO IN ASSINGLY INFORMATION CUMUNUT INTO IN ASSINGLY INFORMATION IN ALL INVLIDENCE INTO IN MARKAN CONTAULTY OF PRE ESTIMATION

PRESERVATION LE PROJECTAVISMENTAL GROUT DA ILLO RATED FREE ETCP DULLING ATTO OF RATED INCOMENTALIS & REDUISED TO MATTAN FRE SERVATION CONTINUTY. 11 DTIEDO DYFOLMEDANO TO US OF RUAS ON PROVETER RUDOL ESCA CULLING ATTO-RI / SUDJE BEAL LUCICIOL, THTOL.

# SOLAD RATED ASSEMBLIES HI EXTERD GYFELMIROARD TO US OF ELAR OW HERMETER ACOUSTICAL BRAILAST AT STC RATED FARITIONS NATUTONS (S. FRONZE CONTINUOUS STO FAITED WALLS EEFARATING ETHER OFFICER, PLELC RASHFOONER, POOL, FOOD FREEPARTIDIA, OR MEETALCONFERENCE ROOMS FREDATION, OR MEETALCONFERENCE ROOMS

SAL

AP

 $\wedge$ 

TYPE X GYPSUM EQARD STEEL STUDS & 167 406mm Q/C TYPE X GYPSUM BOARD SAFB IN CAVITY AS PER TEST REF. 16mm 53* 75359 FRR TEST REF. STC TEST REF. 1 m 1HR ULC 19453 49 RAL-TL11-125 P21A USE 223mm (ST) STUD (NSTEAD OF \$2mm ROOM SIDE UNR SHAFT PARTITION 16mm 58' TYPE X GYPSUM BOARD PER ULC ASSEMBLY ASSEMBLY 64mm 2 1/2°CH STEEL STUD (25Ge) @ 24%10mm 80 25mm 1' FIRE RATED GYPSUM LINER PANEL NOTE: REFER TO WANUF, SPAN TABLES FOR The ---HEIGHT LIMITATIONS FRR TEST REF. STC TEST REF. CONVENTIONAL ROOF W/ FULLY ADHERED EPDM ROOFING MEMERANE 4冊, 127tm 1116" FULL ADHERED EPOM ROORING MEVERANE 13mm 12" PROTECTION BOARD 152mm 6" FOLLYSOCYMURATE RIGD (MS. (MIN R35c)) 1 HR ULC W452 SYSTEMA - - FULL ADDREED BY DIA KOON TO MEMBIANE PROTECTION BEARD
 FOLYTSOCYAURATE RXD DIS. (MIN R35-)
 VAPOUR RETARDER (OVER HEATED BYACES)
 STRUCTURAL STEEL DECK, REFER TO STRUCTURAL DWGS FIRE RATED STEEL BEAM ENCLOSURE PARTITION TYPES 5 R1A 112"CONT GALV STEEL RUNNER ANGLES SCALE 110 A-102 (25GA) 2558* TYPE "X" GYPSLAM BOARD PER ULC/UR, ASSEMELY NOTE. SLOPE MEMERANE TOWARDS DRAW MW 1.5% WA Structure. 1 42 10000702910000070070 (14300000 0004 10 022009704 (2540) R-VALLE FRR TEST KEF. STC & REF GALV STEEL CHANNEL BRACKET (25GA) @ 247610 OC 100.4 Pr 102009124 PRECAST HOLLOW CORE CONCRETE SLAB M112 R35 1 . 1 . • DO AOT SCALE DRAWINGS, USE ONLY DRAWING MARKED DESUED FOR CONSTRUCTION", VERE STRUCTURAL STEEL BEAM, REFER TO FLOOR FINISH REFER TO INTERIOR DESIGN . STRUCTURAL DRAMANCA MARAED "IS SUED FOR CONSTRUCTION", VERB CONFIGURATIONS & DIMENSIONS ON BITE BEFOR Registring Rock, Kotty Architect Inarchatev Any Errors, Omissions or Discrepancie ROOF TYPES - CORNER READ CAN JOINT COMPDIAID 200-m 8* PRECAST HOLLOW CORE CONCRETE \$148 (REFER TO STREATE THAT TO CONFIRM SIZING AND MEAN FRR TEST REF. BOLE 113 A-102 -2 HR LLC DESIGN 0503 GARKER WHETHERTS INC. 1049 GARKER ROWER RD W MICHSTER, CALLES 340 R-VALUE FRR TEST REF. - IHR OED SB-2 TABLE 2.2.1.A STC & REF NOTE: REFER TO TEST REFERENCE FOR STEEL VINAVAN SIZES, TOTAL REQUERED THICKNESS OF GYPSUM SCARD PANELS, MOD WINAVAN CLEARANCE TO STEEL BEAM, -2HR TESTED AS PER CANVULE-S101 FIELD APPLIED DRAMABLE EXTERIOR INSULATED FRASH SYSTEM (EFFS) BARLYS ARCHITECTS INC. 619 FORD DRAF, SUITE 338 DAXVILLE, ON 16J 784 22mm ±1/16" LAUNA FINISH BASE COAT, REINFORCING MESH & FINISH CONCRETE SLAB ON GRADE COAT (REFER TO ELEVATIONS FOR COLOUR & TEXTURE) EXPANDED POLYSTYRENE (EPS) RIGED INSULATION SD RATED BEAM ENCLOSURE 75mm 5 API DEVELOPMENT CONSULTANTS INC. BEALE 118 A.162 FLOOR FANSH (REFER TO INTERIOR DESIGN) (MIN R12 p) ADHERED TO SUBSTRATE ON DRAWAGE CONVINUE ROAD 127mm 5 CONCRETE SLAR OW FYS WEIDED WRE WESH CHANNELS REINFORCING (REFER TO STRUCTURAL TO CONFERM DEPTH, REINFORCING & UPA) POLYETH/LENE VARGUE RETARDER DUAL WATER RESISTIVE BARRIER (WRB) & AR BARRIER 13mm 1/2* EXTERIOR GLASS FIBER WAT GYPSUM BOARD EHEATHING - 10mi 152mm 5" EXERPLEENED STEEL STUD FRAMPUS C/V Eltern 3-1/2" BATT RESULATION (MIN R I3) TO FILL STUD CAVITY ₩ Som 7 HIGH DENSITY EXTRUDED POLYSTYRENE (XPS) RIGID FIRE RATED STEEL COLUMN ENCLOSURE (TS 4x4) 2 20 PSULATION (VAN RIO CI) 127mm 5' COMPACTED GRANULAR (REFER TO STRUCTURAL) 6 ML POLYETHYLENE VAPOUR RETARDER GYPSUM WALL SOARD - 2x12mm 2x1/2" TYPE C OR X GYP5UM BOARD PER 13841 1/2* - ADMIN BARE INFECTION OF DEMONSTREE - ADMIN 45% STEEL STUDS (25 GA) - STRUCTURAL STEEL COLLARY, SEE STR. DAGS - CORNER SEAD, PER TEST REFERENCE NOTE PROVIDE TWO-STADED DRAINED CALIFICING & BACKER CONCRETE TOPPING ON STEEL DECK POD BETWEEN DAVELS ON ALL SIDES PROMOF REPACT 2-5-S5m 2.5 CONCRETE TOPPING (REFER TO STRUCTURAL DWG'S FOR DETIVISION REPORTING (REFER TO STRUCTURAL TO CONFIRM DETIVI FRAMARCING & WA) DETIVI FRAMARCING & WA) DETIVI FRAMARCING STRUCTURAL DWG'S FOR THE TRUCH DECK (REFER TO STRUCTURAL DWG'S FOR RESISTANT RENFORCING MESH AT GROUND FLOOR LOCATIONS (ICA' AFF GARNER ROAD FRR TEST REF, STG TEST REF. SAME AS EW11, WITH ADDITIONAL LGS STUD BLOCKING BUSINESS PARK EN11A: (F4) 1 HR tULX528 - -TO ACHIEVE +125mmt -----EMB GARNER RD W S23421 AMCASTER, ON LING 3KG NOTE: REFER TO TEST REFERENCE FOR STEEL COLLINA SHAPE & MIANAA BZES, TOTAL RECARED THOMESS OF GYPSIAN BOARD PAHELS AND CORNER DETAILS, DETALS) ON STEEL STRUCTURE SUBSTRATE (REFER TO STRUCTURAL DAGS FOR DETALS) R-VALUE FER TEST REFERENCE STC & REF . 14NL R30 . BLOCK 8 WALL TYPES & ARCHITECTURAL ABBREVIATIONS FLOOR TYPES WALL TYPES RATED COLUMN ENCLOSURE A-102 SCALE 110 A-102 SCALE 110 (A-102) 10 A-102

### **SYMBOLLEGEND** DOOR TAG O REY NOTE REVISION REVISION WINEON TO WINEON WINEON TO WINEO WINEDOW TAD

KEY NOTES T PROST SUAR (PERFER TO NAN MATER LEADER STRUCTURAL BRACAG 5 SAMESE CONNECTION 4./TOWATE DOOR OPEN

	SUCT. DAVIDS)	1. FIRE EXTINUITIES FOR SMOKE DEFECTIONS AND OTHER EXTENDED FOR EXCESS TO BE LOCATED FOR LOCAL FOR EAST FOR EXTINCT MEMORY OF LOCATED FOR LOCAL
	ACCESSIVAL.	EHALL ET CONTAINED IN FULLY RECESSED GARNETS. CARNETS TO BE INSTALLED SO THAT NO OFERABLE
() STRUCTURAL BRACKLIGHE	FER TO STRUC, DAVIDS)	FART IS HOHER THAN IS A F.F.
GAS HETERS LOCATION		<ol> <li>FLOOR MLAREERING AND DOT STAR SHAFT MARKENIE SHALL CONFORM WITH OLD ARTICLE 34.5 19</li> </ol>
S SAMESE CONVECTION	sverenormo)	1 ACCESSENTY BONG SHALL CONFORM WITH DEC ARTICLE 3 1 3 (
AUTOWATE DOOR OFFINER	I CAN PLISH BUTTONS	4 THE SURFACE FLARE SPREAD RATING OF ALL INTERIOR FINISH WATERIALS APPLED TO WALLS, PARTITIONS & CELINIS IA ST WIT FOREFUL TO WALLS, PARTITIONS &
ROOF HATCH ABOVE		CBC ANTICLES B 3 1121 8 2 AND \$ 1217.1
NOOF ACCESS LADOER		<ol> <li>INTERIOR BALD-OUT TO BE APPLIED FOR UNDER A BEFARATE FERMIT</li> </ol>
0		A INTERPORT OF STREET, AND NOT THE OT

AME SPREAD RATING OF ALL INTER DR. 18 APPLED TO WALLS, PARTITIONS & NOT EXCEED TSO IN ACCORDANCE WITH -2.1 12.1 & 2. AND \$ 13.17.1 INTEROR BALD-OUT TO BE APPLED FOR DADER A EEFAATE FERNIT WASHROOMS ARE RESPONSIBILITY OF TENANTS (UNDER SEPARATE PERMIT)

GENERAL NOTES

7. ALL FLOOR FINISHES TO BE INSTALLED BY TEMANT

L TENANTS TO PROVIDE DRAWINGS FOR UNDER-SLAB ROUGHINS NULSHINS 2 EAR-OLGEADE IN ALL IAITS TO BE POURED DURING THAN TRUE CONSTRUCTION PRIVE ALLORACE MULLER REMOVED TO THE IAIT PLACK SSR FOR THE & D.D.

TO POUR SLASS THOUGH EXTERIOR DOOR OPPOND 11 PROVICE 4" OF UNDER-SLAS FLOOINSLIATION AT ALL EXTERIOR DOORWAYS

12 MAY R-15 DADER-BLAB MELAATION FOR 40" AT FULL BUILDING FERMETER

BULDANG FERNETER 30 EANNAD LERE (REATURLE REPRESENT TRANT FORK KAD DER LATTALLERE RETURE BULDAN DANNAG, TRANT HYGELS GOMAN KEREBLOC DAN, FERREN LOCKE FEBLURGENT FAT TEAMT 100% KER ANTELED FEBLURG DER KEREBLOG DANNAG, TRANSLED FEBLURG DER KEREBLOG DANNAG TEAMT FEBLURG DIT HE BULS BULDA DEN BURD. DANN DELETIN AT HE STORE SERVICE CONSECTION FOR FEBLURGEN DEN ANGLE

FOUT FUTER TO INCOMEND. IS FRAME TREE DATERS AT ALL FEDERATIONS OF RAM IN THE LEADER THEM FOR AN TED FARTTIONS AT DELING LEVEL. DELING LEVEL. IS END DOE RAM WATER LEADER IN FREE RATED FARTTCA WALL AT ALL YETTICAL RUNS FROM CELINS LEVEL TO DEMODATION





### SYMBOLLEGEND D DOOR TAG AEYNOTE PEVISION PEVISION PRODUCT TA WINEDOW TAG

### **KEY NOTES** () FROST SUAB (PEFER TO STRUCT, CAVOS) AN MATER LEADER, OR ACCESS PAVEL O STRUCTURAL BRI

CTURAL BRUCKED (REFER TO STRUC. DAX
NETERS LOCATION BOLLARDS AS PER GAS NETER BREAS (
ESE CONVECTION
WATIC BOOR OPENER OW PLEA BUTTONS
FRATCH ABOVE
ADDESS LADOER

# JERRETAL AUTOES I HIE STALLAPPER LOCE EFETTIS AD OTHER LIVEGER FETTISS AD OTHER LIVEGR FETTISS AD OTHER LOCAT CITCE REETAINAGE AND AND ADDRESS LIVEGRAFT AND ADDRESS AD ADDRESS PARTIE BIORE HIN AND ATTAL ADDRESS PARTIE BIORE HIS ADDRESS AD A ADDRESS MATTER ADDRESS ADDRESS AD A ADDRESS ADDRESS ADDRESS ADDRESS AD ADDRESS AD ADDRESS ADDRESS ADDRESS AD ADDRESS AD ADDRESS AD ADDRESS ADDRESS ADDRESS AD ADDRESS AD ADDRESS AD ADDRESS AD ADDRESS ADDRESS ADDRESS AD ADDRESS AD ADDRESS AD ADDRESS AD ADDRESS ADDRESS ADDRESS AD ADDRESS AD ADDRESS AD ADDRESS AD ADDRESS ADDRESS AD ADDRESS AD ADDRESS AD ADDRESS AD AD ADDRESS ADDRESS AD ADDRESS AD ADDRESS AD ADDRESS AD AD ADDRESS AD AD ADDRESS ADDRESS AD ADDRESS AD ADDRESS AD AD ADDRESS AD AD ADDRESS AD AD ADDRESS ADDRESS AD ADDRESS AD ADDRESS AD AD ADDR ARTICLE 3.8.3.1 4. THE SUFFACE RAME BYREAD RATING OF ALL INTER OR FINISH WATERVILS APPLIED TO WALLS, FARTHERS & CELLINS IN STY NOT DELETED US IN ACCOMPANIE WITH OEC ARTICLES B.3.115.114.2, AND 8.13.17.1 S INTERIOR BUILD-OUT TO BE AFFLED FOR UNDER A SEFARATE FERVIT 6. WASHROOMS ARE RESPONSIBILITY OF TENANTS (LACKER SEPARATE PERMIT)

GENERAL NOTES

UNDER GEFANN IS HEAR () 7. ALL PLOOR THE SHES TO BE INSTALLED BY TENANT 8. TENANT THE PROVIDE DRAWINGS FOR UNDER-SLAB ROUGHING NUMERIAS 4. EURODUCERZOSIN ALL UNTE TO REPOLISED DURING TELANTI RTUP CONSTRUCTION PARSE ALLONANCE NULL ER ROMONED TO THE UNT PARCINGER FOR THE \$.0.0.

# 5.0.16 10. FOX SLASS THOUGH EXTERIOR DOOR OFENNESS 11. FROMOE, 4" OF LINDER-SLAS, RIGID INSULATION AT ALL EXTERIOR DOORNAYS

12 MAR-15 LADER-SLAB RESALTION FOR 45" AT FULL BUILDING FERMETER

EXEMUTE FRANCES. LI PRAVITO UNES IN GRAVICALE REFERENT THANT MORY NO ARE NOTACILER IN THE MARE BLUMAD DRAWING TRANSMITTARIA STATEMENT DRAW, SETZ, REC COCE FEDUREDRIT FOR THANT MORY ARE AND COLERED ON THE CALL BLUMAD BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUN BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANN ANTEL BLUDGET DR IN AN GRAUND BRAVINGS. IS ANTEL BLUDGET DR IN ANTEL BLUDGET DR

FORT REFER TO HEAVACLY. IF FONCE FOR ENAPORATIN LIFERETIANDOLS OF PAIN INTELLEDGE THEY FOR EATED FARTHOLS AT CELLING LEVE THEY FOR EATED FARTHOLS AT LEVEL TO CHARACTER LEADER IN FORE FAITED FARTHOLS MALL AT ALL VENTICAL RANGE FROM CELINS LEVEL TO CREAD AD ADDOR







### ROOF NOTES

1. ROOF COVERING BRALL CONFLY WITH CANALLO-B10744 FROM TENNI 154 SLOFE OF ROOF DOMERNO TOWARD ROOF DRAWS VA ROOF STRUCTURE (SEE STRUCTURAL DWGSI AND/OF TREFRED RELATION Decision and the second EXCLUSE ALL ROOF TOP PENETRATIONS ARE AR ASC MATER GEALED AS PER VRCA RECORDINATE (TVP) ANTE GELLED IS FER NECA ERECKEDENTE (TMP) A FROG TAUDISE ARE ERELEVED AS FER CEC, DEPLEST TO FEMALE ALL MARKET FUMPED SCIE DEVINUES CONFORMED TA ULL RESILTEDUAL AD CODE REDUBERENTI LOCATION OF AUCORADINOT SCIENTO JUNE SCIE FALS ASTER TO BOP DEVANING FOR AUCORT, LOCATION MO DEL 9. WHI R-35D ROOF INSULATION TO BE PROVIDED V KIN KADA DUN NESAMUN NE PROVINCI NO EN PROVINCI IN RECONSCIONALIZATO NO INVINCI DENCEMBA PARA OXALI NESAMUNLA UNI RECONCINES TO ESSURE FORTIN SE LOCTI TO ANO RECONCINENTIA US DO TO ESSURE THE INVINCI PERMIS DESCARE DO TO ANDREAM DESTINGT NO ASE NALIPARIO REA NAVINAN DESTINGT CONTROLLED INTER CF 15254

### ROOF KEY NOTES

- () ROOF DRAW (PEPER TO DETAIL)
- FOR EVER DETAIL REFER TO VETHANCAL DVISE
- 1 D TAPERED MAILLATION OF CASET TO ACHIEVE UNI DRAIN BLOPE OF LS%
- ROOF HATCH (REFER TO DETAIL)
- 6 ROOF SCUPTER PLETER TO DETAIL
- GAS LIVE OVER THE FARMET
- O CONTINUOUS CANTI STREP- TYPICAL AROUND
- O THE FRASHED ALLANDAN GUTTER AND DOMEROUT VARIOUS SCIENCE TO BRILLON SPASH PASION ROOF BELOW
- SUTE UNITS RTU (TYP), TEMANT'S RESPONSIEUTY, TO SERVISTULED DURND THE TEMANT HTELP, ADDITIONAL STRUCTURAL FRAMMS REGULARED AT FRAM, LOCATION





SAI

 $\wedge$ 









### ELEVATOR NOTES

EXAMPLE AND ADDRESS OF STANKER PROCESSION OF STANKER PROCESSI



.

# ABBREVIATION LEGEND ABBREVIATION LEGE A. RACCESALMENT L. ALCOLARDATION L. ALCOLARDATION L. ALCOLARDATION L. ALCOLARDATION M. ALCOLA

1. ALL EXTERIOR HOLLOW METAL DOORS SHALL BE DALVANZED & MOULATED.	9.1
<ol> <li>ALL DOORS ENALL BE PREFIXISHED (SHOP OR FACTORY), TOPS, BOTTOVS AND SDES OF ALL DOORS SHALL BE FAMILED OR STANED TO VATCH DOOR DUBLIC OR DOORS</li> </ol>	1
1 O ILSKAZNO EVIEROR DOODEN STUDIE COMPUTER	- 2
4. EXTERIOR DOORS ALLET HAVE WEATHER STREPPING WITH THE APPROPRIATE THRE OF THREE-OLD	1
<ol> <li>FRONCE CONSTRUCTION CYLINDERS DURING CONSTRUCTION FOR DOCARS REGISTED TO BE LOCKED REPLACE CONSTRUCTION CYLINDERS PRICE TO HOTEL OFFICIAR (COORDANCE WITH CREARED ALL CONTRACTOR);</li> </ol>	8. 5
<ol> <li>ALLOOCH CYLINDERS SHALL BE FORMAT TO MATCH PROPERTY STANDARDS, ALL LOCK SETS AND CYLINDERS ARE SLAFTLED WITH FMALLORES.</li> </ol>	
<ol> <li>ALL DOORS EVALL BE WASTER REVED, COOREWATE KEYING WITH DWIVER, FERMANENT KEYING BY DOOR SUBCONTRACTOR.</li> </ol>	E P
8. ALL FLALMALF VISION DOORS SHALL BE A REDUNISTILE (LIN O.)	8
<ol> <li>ALL NTER DR DOOR GRAZING KID SCHLIGHTS SHALL BE CLEAR TERMENED GLASS (U.K.O.). ALL DETECCR DOOR GRAZING AND SCHEHAVITS SHALL BE INSLATED TERMENED GRASS.</li> </ol>	18.A P
13. ALL RATED DOORS SHALL BE FREVIDED W/ VAN REDURIED DOOR HARDWARE	- "A
REGARDLEES IF NOT ENDING NO SCHEDULE. IF DRECTION INDICATED OR NOTED IS SPECIFICALLY IN CONTRADICTION TO WHAT IS REQUIRED IN RATED DODRS, CHIEF LED BY THE SCHEDULE OF DRECTION TO WHAT IS REQUIRED IN RATED DODRS,	20. A S
CONTRACT METHOD IN A CONTRACT OF	21.8
4. WOOD DOORS	22.A
12. FRONDE 1127 PAR BUTT KINGES FER DOOR LEAF UP TO 7-07. FROMDE 2 PAR INTET	23.F
HINGEE PER DOOR LEAF FOR BOLD CORE WOOD OR HALDOORS FROM 7-0" TO 12-0".	24.A
13. FROVIDE (1) SLENCERS IN SINGLE LEAF DOORS, (1) SLENCERS IN DOUBLE LEAF DOORS	75.11

DOOR

THESE

 B-20
 UVTIMANENTALICE
 Efform
 AL
 FF
 41
 D01
 D00
 FIG
 AL

 B-20
 UVTIMANENTALICE
 Efform
 255m
 AL
 FF
 48
 D01
 D00
 FIG
 AL

 B-20
 UVTIMANENTALICE
 Efform
 255m
 AL
 FF
 48
 D01
 D0
 FIG
 AL

 B-20
 UVTIMANENTALIZE
 Efform
 255m
 Ann
 FF
 41
 D02
 FG
 AL
 FF
 FIG
 D03
 FIG
 AL
 FF
 FF
 FIG
 D03
 FIG
 AL
 FF
 FF
 FIG
 D10
 FIG
 AL
 FF
 FIG
 D03
 T6
 KT
 AL
 FF
 FIG
 D03
 T6
 KT
 AL
 FF
 FIG
 D03
 T6
 KT
 AL
 FF
 FIG
 D03
 T6
 KT

жотн неснт

DOOR NOTES

94 LDCKSET SHALL OPERATE INVERSE TURINALIKEY UNLATCHES DOOR MHEN PUSHEUTTON IS ENCAGED & TURSED, JEY OPERATION WILL BE FEDUATED AT ALL TIMES, RELEASING PUSHEUTTON JULIEUTS DOOR. ALL EXTERIOR DOORS EVAIL HE PROVIDED WITH AN ALLARALM DRP EDGE ASCHORED TO LACENSISE OF WALL CONSTRUCTION (DOORS AS PART OF AN ALLARAM STOREPONT SYSTEM WITH A TRANSMIDES NOT REDARE DRP EDGE, NOR OD OLOGIN THAT AND PROTEIN LACEN GAMPES. MANUAL VACUES THAT ARE PROTECTED LALERE ALMOPES. MALE CONTEXPOSES SHALL HAVE THE TOP ET THE DOOR SLAS CONSTRUCTED AL SKA AL ANY TO SHED MAD THE RESOLVED PREMATING THE PROL CALEETANGETTAKE TOP OF DOOR SLAS. ANY CONSTRUCTION JOINTS EMALL RE FULLY REATHER TOP, OF DOOR SLAS. ANY CONSTRUCTION JOINTS EMALL RE FULLY REATHER TOP OF DOOR SLAS. ANY CONSTRUCTION JOINTS EMALL RE FULLY

THERE ALL AND A ACCESSENCE DOORS TO VEET ALL APPLICABLE ACCESSENTLY REPORTED TO A ACCESSENCE DOORS TO VEET ALL PRENE ACCESSENTLY REPORTED ACCESSENCE DOORS AND ENVIOLE ACCESSENTLY REPORTED AND ACCESSENCE DOORS AND ENVIOLE DOORS IN AT ARE INCOMED WITH A CLEAR FLOOR AREA. ALL DOOR HANDWARE DIVILL COMPLY WITH REDURTEMENTS FOR ACCESSION AS FER DOC REDVIDE FUSH EUTTONION BOTH EITER OF DOOR) W AUTOMATIC OPENER FOR ACCESSIBLE DOOR

ALL BOTH DOORS MUST BE OPERABLE FROM THE MEDIE WITHOUT THE USE OF A KEY, SEE ON NOTIFICIES OF REFORM. ALL WEIDED CONSTRUCTION AT HOLLOW METAL DOOR FRAMES

ALL FIRE NATED DOORS TO HAVE CLOSERS AND LATCHING HARDWARE.

FRAME

 WITEPA L
 RVADH
 HOAR
 TYPE
 GALOND
 RNE BAL
 TYPE
 UNITEPAL

 AL
 PF
 P1
 D03
 D06
 NU
 AL

 AL
 PF
 P2
 D03
 D06
 F2J
 AL

 AL
 PF
 P2
 D03
 D06
 F2J
 AL

 AL
 PF
 P1
 D01
 D06
 F65
 AL

REMARKS

DOOR SCHEDULE

A601

22 ALL THE WILL COURT OF WAY AND ALL CHARACTERS OF THE ANALYSING ASSAULT OF THE ANALYSING ASSAULT AND ALL CHARACTERS ASSAULT AN



Na.

B-09 STAR

LOCATION

B-01 UNIT MAN ENTRANCE 2555mm 2150mm B-01 UP I REALEMENT AND A 1250mm 2150mm B-02 UPT MAN BATRANCE ESSam 2150mm 2150mm

0.000			
GARGER BAVES 1549 GARDER F AMEASTER, ON	TNEW TO BAC. 10 W LING 2400		
AAPLYS ABOH EUFORD DRA D'AVILLE, ON	TEC 15 PAC, E, Suite 330 Lej 744		SAFL
AN DEVELOPE 1222 DORNALL DAXVELE, ON	ENT COMPLEX L READ LL 7195	TANTS INC.	AP
671		Action of	אזיכועיש
HULLET WAL			
	GARNEI BUSINES	R ROAD SS PARK	
PE20 1000	UND CAR	4ER 80 17 04 USB 349	S20421
DOC	BLO( R SCHEDL	CK B /LE & DET	ARS
000	R SCHEDL	AE & DET	AILS



# LIST OF DRAWINGS

# ARCHITECTURAL

- A-100 SITE PLAN
- A-101 OBC DATA MATRIX
- A-102 WALL TYPES & ARCHITECTURAL ABBREVIATIONS
- A-201 GROUND FLOOR PLANA-202 2ND FLOOR PLAN
- A-202 2ND FLOOR PLAN A-203 ROOF PLAN & DETAILS
- A-301 ELEVATIONS
- A-400 BUILDING SECTIONS
- A-401 WALL SECTIONS
- A-501 STAIRS PLANS, SECTIONS AND DETAILS
- A-502 STAIRS PLANS, SECTIONS AND DETAILS
- A-503 ENLARGED ELEVATOR PLANS AND SECTION
- A-601 DOOR SCHEDULE & DETAILS
- A-602 WINDOW SCHEDULE & DETAILS

# STRUCTURAL

- S1.1B GENERAL NOTES
- S1.2B TYPICAL DETAILS
- S1.3B TYPICAL DETAILS
- S1.4B STRUCTURAL SPECIFICATIONS
- S1.5B STRUCTURAL SPECIFICATIONS
- S2.1B FOOTING LAYOUT PLAN
- S2.2B FOUNDATION PLAN
- S3.1B 2ND FLOOR FRAMING PLAN
- S4.1B ROOF FRAMING PLAN
- S4.1B SNOW PILING & WATER PONDING PLANS
- S4.3B WIND UPLIFT PLAN
- S5.1B BUILDING ELEVATIONS
- S6.1B CONCRETE PER PLAN DETAIL
- S6.2B CONCRETE PER PLAN DETAIL
- S6.3B FOUNDATION SECTION DETAILS
- S7.1B STEEL SECTION DETAILS
- S7.2B STEEL SECTION DETAILS
- S7.3B STEEL SECTION DETAILS

# MECHANICAL AND PLUMBING

M1.0 MECHANICAL COVER PAGE

- M2.0 FOUNDATION PLUMBING LAYOUT
- M2.1 SECOND FLOOR SUBFLOOR PLUMBING LAYOUT
- M3.0 MAIN FLOOR PLUMBING LAYOUT
- M3.1 SECOND FLOOR PLUMBING LAYOUT
- M3.2 MAIN FLOOR WATER PLUMBING LAYOUT
- M3.3 SECOND FLOOR WATER PLUMBING LAYOUT
- M4.0 MAIN FLOOR HVAC LAYOUT
- M4.1 SECOND FLOOR HVAC LAYOUT
- M5.0 ROOF MECHANICAL LAYOUT
- M6.0 MECHANICAL SPECIFICATIONS AND SCHEDULES

# ELECTRICAL

- E1.0 ELECTRICAL COVER PAGE
- E2.0 ELECTRICAL SITE PLAN
- E3.0 MAIN FLOOR ELECTRICAL PLAN
- E3.1 SECOND FLOOR ELECTRICAL PLAN
- E3.2 ROOF POWER PLAN
- E4.0 EXTERIOR LIGHTING ELEVATION
- E5.0 SINGLE LINE DIAGRAM, SCHEDULE & DETAILS
- E6.0 LIGHTING SCHEDULE
- E7.0 ELECTRICAL SPECIFICATIONS

# GARNER ROAD BUSINESS PARK BLOCK B

1040 GARNER RD W ANCASTER, ON L9G 3K9



# ISSUED FOR BUILDING PERMIT 01-JUN-2020

# PROJECT CONTACTS

# 

GARNER INVESTMENTS INC. 1040 GARNER RD W ANCASTER, ON L9G 3K9

# ARCHITECT

**SAPLYS ARCHITECTS INC.** 610 FORD DRIVE, SUITE 338 OAKVILLE, ON L6J 7W4

# **DEVELOPMENT CONSULTANT**

API DEVELOPMENT CONSULTANTS INC. 1464 UNIT #7 CORNWALL ROAD OAKVILLE, ON L6J 7W5 TEL: 905-337-7249 URL: APIDEVELOPMENTCONSULTANTS.COM

# STRUCTURAL ENGINEER

**PROTOSTATIX ENGINEERING CONSULTANTS INC.** 500, 10410 - 102 AVENUE NW EDMONTON, ALBERTA T5J 0E9

# MEP ENGINEER

# **DESIGN WORKS ENGINEERING**

2345-1 ADELAIDE STREET EAST TORONTO, ON M5C 2V9 ROJECT NUMBER: S20-021 ISSUED FOR: ISSUED FOR: ISSUED FOR: ISSUE DATE: 01-JUN-2020

> GARNER ROAD BUSINESS PARK BLOCK B

PROJECT NUMBER: 1040 GARNER RD W ANCASTER, ON L9G 3K9



I	
3	
	-
	7
ions, the property has been	
10NS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED	
10NS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT ). IN THE EVENT THAT HUMAN ROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT J. IN THE EVENT THAT HUMAN ROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES SS AND CONSUMER SERVICES	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT J. IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES SSS AND CONSUMER SERVICES	
Ions, the property has been Although an Archaeological The proponent is cautioned Ried Archaeological materials Tourism, culture and sport ). In the event that human proponent should immediately Registrar of the cemeteries SS and consumer services Duction facility, motor F hamilton by Law.	
Ions, the property has been Although an Archaeological The proponent is cautioned Ried Archaeological materials Tourism, culture and sport ). In the event that human proponent should immediately Registrar of the cemeteries SS and consumer services Duction facility, motor F hamilton by Law.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT ). IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES ISS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW.	
Ions, the property has been Although an Archaeological The proponent is cautioned Ried Archaeological Materials Tourism, culture and sport ). In the event that human proponent should immediately registrar of the cemeteries iss and consumer services Duction facility, motor of hamilton by Law.	
Ions, the property has been Although an Archaeological The proponent is cautioned Ried Archaeological materials Tourism, culture and sport ). In the event that human proponent should immediately registrar of the cemeteries iss and consumer services Duction facility, motor F hamilton by Law. 1 Area or tasting room shall 1 the city of hamilton by Law.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT ). IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES ISS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR IF HAMILTON BY LAW. AREA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT ). IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES ISS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR IF HAMILTON BY LAW. AREA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT ). IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES ISS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR IF HAMILTON BY LAW. AREA OR TASTING ROOM SHALL I THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT ). IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES ISS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR IF HAMILTON BY LAW. AREA OR TASTING ROOM SHALL I THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT ). IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES ISS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR IF HAMILTON BY LAW. AREA OR TASTING ROOM SHALL I THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT . IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES SS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL I THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT D. IN THE EVENT THAT HUMAN ROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES ESS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL I THE CITY OF HAMILTON BY LAW. REA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT D. IN THE EVENT THAT HUMAN ROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES ESS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL I THE CITY OF HAMILTON BY LAW. REA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT D. IN THE EVENT THAT HUMAN ROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES ESS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL I THE CITY OF HAMILTON BY LAW. REA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT . IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES SS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT . IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES SS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL I THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT . IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES SS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL I THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT . IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES SS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW. AREA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT . IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES SS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW. AREA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW.	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT . IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY REGISTRAR OF THE CEMETERIES SS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW. RNER RD. W, ANCASTER of the land, hereby undertake and not to vary therefrom: Section 41(7)(a) of the Planning th the conditions of approval as ur) sole risk and expense, all of 7)(b) of the soid Act, shown in a access ramps and driveways, an dated <u>2020.01.28</u> , the owner required works, and further the ain compliance with this plan. umbers to each building and a cipal numbers or full addresses Department should the applicant sity Residential Driveway Access impacts the City's Right of Way Temporary Lane and Sidewalk neering of the City of Hamilton at that advises the prospective esignated Centralized Mail Box	
IONS, THE PROPERTY HAS BEEN ALTHOUGH AN ARCHAEOLOGICAL THE PROPONENT IS CAUTIONED RIED ARCHAEOLOGICAL MATERIALS TOURISM, CULTURE AND SPORT ). IN THE EVENT THAT HUMAN PROPONENT SHOULD IMMEDIATELY RECISTRAR OF THE CEMETERIES ESS AND CONSUMER SERVICES DUCTION FACILITY, MOTOR F HAMILTON BY LAW. AREA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW. AREA OR TASTING ROOM SHALL THE CITY OF HAMILTON BY LAW. RIER RD. W, ANCASTER of the land, hereby undertake and not to vary therefrom: Section 41(7)(a) of the Planning th the conditions of approval as ur) sole risk and expense, all of 7)(b) of the said Act, shown in a access ramps and driveways, an dated <u>2020.01.28</u> , the owner required works, and further the ain compliance with this plan. umbers to each building and a cipal numbers or full addresses Department should the applicant sity Residential Driveway Access impacts the City's Right of Way Temporary Lane and Sidewalk neering of the City of Hamilton at that advises the prospective esignated Centralized Mail Box notifying the purchasers of the notifying the purchasers of the purchasers of the real compliance with a point and the purchasers of the protect of the city of Hamilton	

SYMBOL         DESCRIPTION	SYMBOL         DESCRIPTION				
PROPERTY LINE           PROPERTY LINE           REQUIRED LANDSCAPED AREA SETBACK           REQUIRED LANDSCAPED AREA SETBACK           NEW BUILDING FOOTPRINT           V         MAIN BUILDING ENTRANCE / EXITS           V         SECONDARY BUILDING ENTRANCE / EXITS           V         SECONDARY BUILDING ENTRANCE / EXITS           V         SECONDARY BUILDING ENTRANCE / EXITS           V         DIRECTION OF TRAFFIC           LINE         ORECTION OF TRAFFIC           LINE         ORECTION OF TRAFFIC           LINE         ORECTION OF TRAFFIC           MO PARKING PAINT         ORECTION OF TRAFFIC           MEM LANDSCAPED AREA         MORE AREA           SURFACE COMPOSITION OF PARKING STALL (4.4m x 5.8m) c/w ACCESSIENT SITURY SOMACE           FDC<>         FIRE DEPARTMENT CONNECTION           SURFACE COMPOSITION OF PARKING AREA - ASHPALT           ©PENTICE BUSINESS TARK         PROPOSED           REQUIREMENTS         PROPOSED           REQUIREMENTS         PROPOSED           IDT FROMTACE (umi)         AMARE AREA           SUBLING DESTINATION         PROPOSED BULLING X-2011           BULDING INT (WAD) (MORTH)         SOME AREA         ASHPALT           BULDING DESTINATION (CONTEN)         SOME AREA         <	PROPERTY LINE           REQURED LANDSCAPED AREA SETBACK           REQURED VARD SETBACK           REQURED VARD SETBACK           NEW BULDING ENTRANCE / EXITS           V         SECONDARY BULDING ENTRANCE / EXITS           V         DIRECTION OF TRAFTIC           A         DIRECTION OF TRAFTIC           B         DIRECTION OF TRAFTIC           B         DIRECTION OF TRAFTIC           B         DIRECTION OF TRAFTIC           B         DIRECTION OF TRAFTIC           CONTROL         DIRECTION OF TRAFTIC	SYMBOL	DESCRIPTION		
REQUIRED         LANDSCAPED         AREA         SETBACK           Image: Set of the set	REQUIRED LANDSORPED AREA SETBICK           REQUIRED LANDSORPED AREA SETBICK           NEW BUILDING FOTOFRINT           V         MAIN BUILDING ENTRANCE / DXTS           V         MAIN BUILDING ENTRANCE / DXTS           V         SECONDARY BUILDING ENTRANCE / EXITS           V         DIRECTION OF TRAFFIC           A         DIRECTION OF TRAFFIC           B         DIRECTION OF TRAFFIC           B         DIRECTION OF PARKING STALL (4.4m x 5.8m) c/w           C         PREV DRAKING STALL (3.0m x 5.8m)           FDC >1         PRE DEPARTMENT CONNECTION           SIFE STATISTICS:         PROPOSED           ZONING DESIGNATION         PRESTIGE BUILTING STARL (3.0m x 5.8m)           DIDT FRONTACE (MAN) <th< th=""><th></th><th>PROPERTY LINE</th><th></th></th<>		PROPERTY LINE		
REQUIRED YARD SETBACK         Image: Secondary Bulloing Fortrance / Exts         Image: Secondary Bulloing Entrance	REQUIRED YARD SETBACK           NEW BULDING ENTRINCE / EXTS           V         MAIN BULDING ENTRINCE / EXTS           V         SECONDARY BULDING ENTRINCE / EXTS           V         SECONDARY BULDING ENTRINCE / EXTS           V         SECONDARY BULDING ENTRINCE / EXTS           V         DIRECTION OF TRAFFIC           Image: Second Construction Second Entrino Second		REQUIRED LANDSCAPED AREA	SETBACK	
NEW BUILDING FOOTPRINT           ▼         MININ BUILDING ENTRANCE / EXITS           ▼         SECONDARY BUILDING ENTRANCE / EXITS           ▼         DIRECTION OF TRAFFIC           ▲         CONTINUOUS CONCRETE CURB           ●         DRENER-FREE PARKING STALL (4.4m x 5.8m) o/v ACCESSIBULITY SURVACE           ●         DRENER-FREE PARKING STALL (4.4m x 5.8m)           ●         DRENER-FREE PARKING STALL (4.4m x 5.8m)           ●         DRENER-FREE PARKING STALL (3.0m x 5.8m)           FDC →         PREF DEPARTMENT CONNECTION           SURFACE COMPOSITION OF PARKING AREA - ASHPALT           ●         NEW FIRE HORANT           SITE STATISTICS:         PROPOSED           ZONING DESIGNATION         PRESTIC BUSINESS PARK         PRESTICE BUSINESS PARK 20 (M3-376)           IDT AREA (unin)         - (GRENER)         136.7 m           DIT AREA (unin)         - (GRENER)         BLO 'K = 23.3m (E = 100 m) (SOM MAR (cMN) (SORPER) PARKING (MN)         PROPOSED BUSINESS CONTRE (DIT COVERAGE (UNIN)         PROPOSED BUSINESS CONTRE (DIT COVERAGE (UNIN)         NOUSTR	NEW BUILDING FOOTPRINT           ▼         MAIN BUILDING ENTRANCE / EXITS           ▼         SECONDARY BUILDING ENTRANCE / EXITS           ▼         ORECTION OF TRAFFIC           ▲         NO PARKING PAINT           ▲         DEVENDER FRANKENT CONNECTION           FDC         PRE DEPARTMENT CONNECTION           SURFACE COMPOSITION OF PARKING AREA – ASHPALT           ♦         NEW FRE HYDRANT           SITE STATISTICS:         PRESTORE BUSINESS PARK           COT OVERVAE (MM)         / (CARDER)         136.7 m           LDT REAL (MM)         4.000 m ⁻¹ 13817.44 m ⁻¹ LDT REAL (MM)         / (CARDER)         PRESTORE BUSINESS PARK           BUILDING ENTRAFIC         PRESTORE BUSINESS PARK         PRESTORE BUSINESS PARK           BUILDING IT (MAC)         N/A         2.3         STARE		REQUIRED YARD SETBACK		
▼         NAIN BUILDING ENTRANCE / EXTS           ▼         SECONDARY BUILDING ENTRANCE / EXTS           ↓         DRECTION OF TRAFFIC           ▲         DRECTION OF TRAFFIC           ▲         CURB CUT C/W DEPRESSED CURB           ▲         CONTINUOUS CONCRETE CURB           ▲         DARREER-FREE PARKING STALL (4.4m x 5.8m) c/w           ▲         BARREER-FREE PARKING STALL (4.4m x 5.8m) c/w           ▲         BARREER-FREE PARKING STALL (3.0m x 5.8m)           FDC >→         FREE DEPARTMENT CONNECTION           SURFACE COMPOSITION OF PARKING AREA - ASHPALT           ▲         REQUIREMENTS         PROPOSED           SITE STATISTICS:         PRECUDER MUSINESS PARK         PRESTICE BUSINESS PARK 20 (M3-376)           LOT AREA (MM)         4.000 m²         136.7 m         DIOT CONERAGE (MAQ)           LOT OWERAGE (MAQ)         N/A         23%         RECURPTION OF DARKING STALL (3.0m x 5.8m)           BUILDING HT (MAQ)         N/A         23%         RECURPTION OF PARKING AREA - ASHPALT           IDT CONERAGE (MAQ)         PRESTICE BUSINESS PARK (2005)         PRESTICE BUSINESS PARK (2005)         PRESTICE BUSINESS PARK (2014)           LOT OWERAGE (MAQ)         N/A         23%         RECURPTION ON OWER (2017)         RECURPTION OWER (2017)           LOT OWERAGE	▼         MAN BUILDING DITRINCE / EXITS           ▼         SECONDARY BUILDING DITRINCE / EXITS           ▼         DIRECTION OF TRAFFIC           ▲         DIRECTION OF TRAFFIC           ▲         DURE CUT C/W DEPRESSED CURB           ●         OURB CUT C/W DEPRESSED CURB           ●         OWER LANDSCAFED AREA           ●         DARKER-FREE PARONG STALL (4.4m x 5.8m) c/w ACCESSENLTY SOWAGE           ●         DARKER-FREE PARONG STALL (3.0m x 5.8m)           FDC >         PRE DEPARTMENT CONNECTION           SUFFACE COMPOSITION OF PARKING AREA - ASHPALT           ●         NOP FRE HYDRANT           SUFFACE COMPOSITION OF PARKING AREA - ASHPALT           ●         NEW FRE HYDRANT           SITE STATISTICS:         PROPOSED           ZONING DESIGNITION         PRESTICE DUSTICS PARK           PROFILE         PROPOSED           IDT RONTIGE (MUN)         0.000 m²         13.6.7 m           IDT CONERNE (MUN)         V/A         237           BULLING H (MAX)         V/A         237           BULLING H (MAX)         V/A         237           BULKING (MUN)         MAX         237           BULKING LANDON (MUN)         MAX         237           BULKING LANDON (MUN)		NEW BUILDING FOOTPRINT		
▼         SECONDARY BUILDING ENTRANCE / EXITS           →         DIRECTION OF TRAFFIC           ▲         CURB CUT C/W DEPRESSED CURB           CONTINUOUS CONCRETE CURB         CONTINUOUS CONCRETE CURB           ●         CONTINUOUS CONCRETE CURB           ●         NO PARKING PAINT           ●         BARRER-FREE PRIXING STALL (4.4m x 5.8m)           ●         TYPICAL PARKING STALL (3.0m x 5.8m)           FDC →         RRE DEPARTMENT CONNECTION           SURFACE COMPOSITION OF PARKING AREA - ASHPALT           ●         NEW FIRE HYDRANT           SITE STATISTICS:           TOT AREA (UNI)           CONT WADD (MORTH)           CONT WADD (MORTH)           000 m²           13.517.41 m²           CONTOR DENSINGER UNINESS PARK 20NE (MA)           DIT AREA (UNIN)           101 AREA (UNIN)           1020 m²           13.517.41 m²           COT COVERVAGE (UNIN)           000 m²           13.517.41 m²           DIT ORDER (UNIN)           NARE REAR YARD (UNIN) 0m           101 AREA (UNIN)           N/A           2 STOREY C_10m           NEW XYARD           PARKING (UNIN)           CONT WADD (U	▼         SECONDARY BUILDING ENTRANCE / EXITS           →         DIRECTION OF TRAFFIC           ▲         CURB CUT C/W DEPRESSED CURB           CONTINUOUS CONCRETE CURB         CONTINUOUS CONCRETE CURB           ●         CONTINUOUS CONCRETE CURB           ●         DRACING PART           ●         DRACING PART           ●         DRACING PART           ●         DRACESSBUTY SCHACE           ●         DARRER-REE PARKING STALL (4.4m x 5.8m) c/w ACCESSBUTY SCHACE           ●         DEVENTE ENTRY SCHACE         PROPOSED           FDC >         FIRE DEPARTMENT CONNECTION         PRESIDE EUSINESS PARK (3.6m x 5.8m)           SITE STATISTICS:         PROPOSED         PRESIDE EUSINESS PARK (3.6m x 7.6m x 7.6	▼	MAIN BUILDING ENTRANCE /	exits	
→         DRECTION OF TRAFFIC	>         DRECTION OF TRAFFIC	V	SECONDARY BUILDING ENTRAN	ice / exits	
▲       CURB CUT C/W DEPRESSED CURB         CONTINUOUS CONCRETE CURB         CONTINUOUS CONCRETE CURB         ■       NO PARKING PAINT         ■       BARRER-FREE PARKING STALL (4.4m x 5.8m) c/w         ▲       DARRER-FREE PARKING STALL (3.0m x 5.8m)         FDC →       FIRE DEPARTMENT CONNECTION         SURFACE COMPOSITION OF PARKING AREA - ASHPALT         ♦       NEW FIRE HYDRANT         SITE STATISTICS:       PROPOSED         ZONING DESIGNATION       PRESTICE BUSINESS PARK 20 (MC-376)         IDT FRONTAGE (MM)       - (GARRER)         IDT AREA (MM)       4.000 m²         IDT GOVERAGE (MAX)       N/A         BUILDING HT (MAX)       N/A         BUILDING HT (MAX)       N/A         EXET YARD (MN)       3m KAR         BUILDING HT (MAX)       PROPOSED BUILLING: C-1.91         IDT COVERAGE (MAX)       -         BUILDING HT (MAX)       N/A         STOREY (CORE)       13.817.44 m²         IDT COVERAGE (MAX)       N/A         STOREY (CORE)       13.817.44 m²         IDT COVERAGE (MAX)       N/A         EAST YARD (MN)       BIG 'S' N = 25 m (E = 138 m)         BUILDING 'S' YARD (MN)       BIG 'S' N = 25 m (E = 138 m)	CURB CUT C/W DEPRESSED CURB           CONTINUOUS CONCRETE CURB           CONTINUOUS CONCRETE CURB           CONTINUOUS CONCRETE CURB           MEW LANDSCAPED AREA           MO PARKING PANT           Image: Concentration of the co	÷	DIRECTION OF TRAFFIC		
CONTINUOUS CONCRETE CURB         Image: Contract of the second	CONTINUOUS CONCRETE CURB           Image: Continuous concrete curb		CURB CUT C/W DEPRESSED	CURB	
Image: Second State State         No PARKING PAINT           Image: Second State State         MO PARKING PAINT           Image: Second State State         State State State           Image: Second State State         State State State           Image: State State State State State         State State State           Image: State State State State State State State         State State State State           Image: State Stat	Image: Interpretation of the state		CONTINUOUS CONCRETE CURE	3	
Image: State of the state	Image: Problem in the image: Protenthe image: Protent in the image: Protent in the ima	* + * * * * * * *	NEW LANDSCAPED AREA		
→         DARRER-FREE PARKING STALL (4.4m x 5.8m) c/w ACCESSIBILIT'S SIGNAGE           Image: Signal Constraint of the second state of the second s	●         BARRER-FREE PARKING STALL (4.4m x 5.8m) c/w           ACCESSBULT'SIGNAGE           Image: Status (3.0m x 5.8m)           FDC /→           FIRE DEPARTMENT CONNECTION           SURFACE COMPOSITION OF PARKING AREA - ASHPALT           Image: Surface		NO PARKING PAINT		
Image: Status (3.0m x 5.8m)         FDC >→       FIRE DEPARTMENT CONNECTION         SURFACE COMPOSITION OF PARKING AREA - ASHPALT         Image: Surface composition of a - gate - gat	Image: Typical parking stall (3.0m x 5.8m)           FDC >>         FRE DEPARTMENT CONNECTION           SURFACE COMPOSITION OF PARKING AREA - ASHPALT           Image: Surface composition of parea - ashpalt           Im	৵	BARRIER-FREE PARKING STAL ACCESSIBILITY SIGNAGE	L (4.4m x 5.8m) c/w	
FDC →       FRE DEPARTMENT CONNECTION         SURFACE COMPOSITION OF PARKING AREA - ASHPALT	FDC →       FIRE DEPARTMENT CONNECTION         SURFACE COMPOSITION OF PARKING AREA – ASHPALT         Image: Compark area – ashpalt		TYPICAL PARKING STALL (3.0)	m x 5.8m)	
SURFACE COMPOSITION OF PARKING AREA – ASHPALT           Image: Surface Composition of parking area – ashpalt           Image: Surface Composition of parking area – ashpalt           SITE STATISTICS:           REQUIREMENTS         PROPOSED           Joint of parking designation         Prestige Business Park ZONE (M3–376)         Prestige Business Park ZONE (M3–376)           Joint frontage (MIN)         - (GARNER)         136.7 m           Lot area (MIN)         4,000 m²         13,817.44 m²           Lot area (MIN)         4,000 m²         13,817.44 m²           Lot area (MIN)         4,000 m²         13,817.44 m²           MIN tarea (MIN)         N/A         23%           Building HT (MAX)         N/A         23%           MIN tarea (MIN)         MIN (CARNER)         BDG 'A': N= 23,3 m,E = 100 m S = 66,70 m, MIN (CARNER)           Date 'S': N= 75 m, E = 13.8 m S = 66,336 m² / 50 = 126,72         BDG 'S': N = 75 m, E = 13.8 m S = 66,336 sqm           PARKING (MIN)         PLANNED BUSINESS CENTRE WITHIN AN INDUSTRUL ZONE: 1         BDG 'S': N = 75 m, E = 13.9 m S = 66,336 sqm           PARKING (MIN)         PLANNED BUSINESS CENTRE WITHIN AN INDUSTRUL ZONE: 1         THEREFORE, 127 PARKING SPACES ARE REQUIRED.         Proposed Building 'S': Sade desertion mode and streed desertion mode and streed desertion mode and streed desertion mode and streed des bard required.         Gen COMBINED LANDSCA	SURFACE COMPOSITION OF PARKING AREA – ASHPALT           Image: Surface composition of parking area – ashpalt           Image: Surface composition of parking area – ashpalt           Image: Surface surface public provided and provided area – ashpalt           SITE STATISTICS:           REQUIREMENTS         PROPOSED           Image: Surface public	FDC 🖯	FIRE DEPARTMENT CONNECTIO	N	
Image: New Fire Hydrawt           SITE STATISTICS:           REQUIREMENTS         PROPOSED           ZONING DESIGNATION         PRESTICE BUSINESS PARK ZONE (M3-376)         PRESTICE BUSINESS PARK ZO (M3-376)           LDT FRONTAGE (MIN)         - (GARNER)         136.7 m           LDT AREA (MIN)         4,000 m²         13,817.44 m²           LDT COVERAGE (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         237           BUILDING HT (MAX)         N/A         237           BUR YARD         FRONT YARD (NORTH) 60m MIN (GARNER) 25m MAX         BLO 'S': N = 25 m, E = 138 m S = 66 m, W = 661 m US = 187 m, W = 93 r S = 66 m, W = 661 m BLO 'S': N = 75 m, E = 138 m S = 66 m, W = 661 m BLO 'S': N = 75 m, E = 138 m S = 66 m, W = 661 m US = 101 m, W = 687           GFA (MAX)         -         PROPOSED BUILDING 'A'=2.51 PROPOSED BUILDING 'A'=	Previous         NEW FRE HYDRANT           SITE STATISTICS:         REQUIREMENTS         PROPOSED           ZONING DESIGNATION         PRESTICE BUSINESS PARK         (M-3-376)           LOT FRONTAGE (MIN)         - (GARNER)         136.7 m           LOT AREA (MIN)         4.000 m²         13,817.44 m²           LOT OVERAGE (MIN)         - (GARNER)         136.7 m           LOT COVERAGE (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         25 TOREY (		SURFACE COMPOSITION OF P	arking area — Ashpalt	
SITE STATISTICS:       REQUIREMENTS     PROPOSED       ZONING DESIGNATION     PRESTIGE BUSINESS PARK ZONE (M3-376)     PRESTIGE BUSINESS PARK ZO (M3-376)       LOT FRONTAGE (MIN)     - (GARNER)     136.7 m       LOT AREA (MIN)     - (GARNER)     136.7 m       LOT COVERAGE (MAX)     N/A     23%       BUILDING HT (MAX)     N/A     2 STOREY (_10m)       BUILDING HT (MAX)     N/A     2 STOREY (_10m)       BUILDING HT (MAX)       N/A     2 STOREY (_10m)       BUILDING HT (MAX)       N/A     2 STOREY (_10m)       BUILDING HT (MAX)       N/A       PRONT YARD (NORTH)       6.00 MIN (GARNER)       BUILDING 'N' = 2,33 m E = 100 r (S = 187 m) W = 93 r       BLD 'N' YARD (MIN) O'M       BLD 'N' XARD (MIN) O'M       PARKING (MIN)       PLANTING STIR PARD (MIN) O'M       EAST YARD (MIN) O'M <td c<="" td=""><td>SITE STATISTICS:       REQUIREMENTS     PROPOSED       ZONING DESKNATION     PRESTIGE BUSINESS PARK ZONE (M3-376)     PRESTIGE BUSINESS PARK ZO (M3-376)       LOT FRONTAGE (MIN)     - (GARNER)     136.7 m       LOT AREA (MIN)     4,000 m²     13,817.44 m²       LOT COVERAGE (MAX)     N/A     23%       BUILDING HT (MAX)     N/A     23%       BUILDING HT (MAX)     N/A     2 STOREY (</td><th> Ģ</th><td>NEW FIRE HYDRANT</td><td></td></td>	<td>SITE STATISTICS:       REQUIREMENTS     PROPOSED       ZONING DESKNATION     PRESTIGE BUSINESS PARK ZONE (M3-376)     PRESTIGE BUSINESS PARK ZO (M3-376)       LOT FRONTAGE (MIN)     - (GARNER)     136.7 m       LOT AREA (MIN)     4,000 m²     13,817.44 m²       LOT COVERAGE (MAX)     N/A     23%       BUILDING HT (MAX)     N/A     23%       BUILDING HT (MAX)     N/A     2 STOREY (</td> <th> Ģ</th> <td>NEW FIRE HYDRANT</td> <td></td>	SITE STATISTICS:       REQUIREMENTS     PROPOSED       ZONING DESKNATION     PRESTIGE BUSINESS PARK ZONE (M3-376)     PRESTIGE BUSINESS PARK ZO (M3-376)       LOT FRONTAGE (MIN)     - (GARNER)     136.7 m       LOT AREA (MIN)     4,000 m²     13,817.44 m²       LOT COVERAGE (MAX)     N/A     23%       BUILDING HT (MAX)     N/A     23%       BUILDING HT (MAX)     N/A     2 STOREY (	 Ģ	NEW FIRE HYDRANT	
REQUIREMENTS         PROPOSED           ZONING DESIGNATION         PRESTIGE BUSINESS PARK         PRESTIGE BUSINESS PARK         ZO           LOT FRONTAGE (MIN)         - (GARNER)         136.7 m         Iddecode           LOT AREA (MIN)         4,000 m²         13,817.44 m²         Iddecode           LOT COVERAGE (MAX)         N/A         23%         BUILDING HT (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         2 STOREY (	REQUIREMENTS         PROPOSED           ZONING DESIGNATION         PRESTICE BUSINESS PARK ZONE (M3-376)         PRESTICE BUSINESS PARK (M3-376)         PRESTICE BUSINESS PARK (M3-376)           LOT FRONTAGE (MIN)         - (GARNER)         136.7 m           LOT AREA (MIN)         4.000 m²         13,817.44 m²           LOT CORFAGE (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         2 STOREY (-10m)           MIN YARD         FRONT YARD (MORTH) Som MAX         BUG 'X: M=233 m E = 109 r (S=182 m)' = 9.3 r S= 66 m' = 66.11 (S=182 m)' = 9.3 r S= 66 m' = 66.11 (S=101 m)' = 68.7           GFA (MAX)         -         -         PROPOSED BUILDING 'A=2.51 (S=101 m)'' = 68.7           GFA (MAX)         -         -         PROPOSED BUILDING 'A=2.51 (S=101 m)'' = 68.7           FREAR YARD (MIN) Om EAST YARD (MIN)         -           BF PARKING (MIN)         PLANINED BUSINESS CENTRE WTHIN AN INDUSTRAL ZONE: 1         128 Regular Sized B Barrier Free E(1)+(117x32)=4.51         -           LOADING SPACE (MIN) N/A         0	SITE STATI	STICS:		
ZONING DESIGNATION         PRESTICE BUSINESS PARK ZONE (M3-376)         PRESTICE BUSINESS PARK ZO (M3-376)           LOT FRONTAGE (MIN)         - (GARNER)         136.7 m           LOT AREA (MIN)         4,000 m²         13,817.44 m²           LOT COVERAGE (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         2 STOREY [-10m]           MIN YARD         FRONT YARD (NORTH) 6.0m MIN (GRANER) 25m MAX         BLDG 'A': N = 23.3 m E = 109 r (S = 18.7 m) W = 93.7           BLDC 'B': N = 75 m E = 138 n S = 66 m, W = 66.1 m         BLDC 'B': N = 75 m E = 138 n S = 66.1 m           WEST YARD (MIN) 0m         BLDC 'C': N = 638 m E = 11.2 S = 10.1 m W = 68.7           GFA (MAX)         -         -           PROPOSED BUILDING 'L' = 1,91 PROPOSED	ZONING DESIGNATION         PRESTIGE BUSINESS PARK ZONE (M3-376)         PRESTIGE BUSINESS PARK ZO (M3-376)           LOT FRONTAGE (MIN)         - (GARNER)         136.7 m           LOT AREA (MIN)         4,000 m²         13,817.44 m²           LOT COVERAGE (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         23%           BUILDING HT (MAX)         N/A         23%           BUR GRAFER         25m MAX         BLO 'A': N=2,33 m, E = 109 f (S=18,7 m)'' = 93 f S=66 m, W = 66,1 n           BLO 'S': N=7,5 m, E = 138 n S = 66 m, W = 66,1 n         BLO 'S': N=7,5 m, E = 138 n S = 66 m, W = 66,1 n           BLO 'S': N=7,5 m, E = 138 n S = 66 m, W = 66,1 n         BLO 'S': N=63,8 m, E = 132 C'S=10,1 m, W = 63,7 n           GFA (MAX)         -         -         PROPOSED BUILDING 'A'=2,51 PROPOSED BUILDING 'A'=2,51 PROPOSED BUILDING 'A'=2,51 PROPOSED BUILDING 'B'=1,91 PROPOSED BUILDING 'C'=1,91 TOTAL GFA = 6,336 arg           FARKING (MIN)         PLANINED BUSINESS CENTRE WTHIN ANDUSTRIAL ZONE:         128 Regular Sized           FRERVING (MIN)         PLANINED BUSINESS CENTRE UTHER RAT INDUSTRIAL ZONE:         128 Regular Sized           FRERVING (MIN)         I SPACE S REP REQUIRED SPACES =(1)+(117,33) = 4,51         14 REREFORE, 134 PARKING SPA ARE PROVIDED           BF PARKING (MIN)         I SPACE S ARE REQUIRED. <th></th> <td>REQUIREMENTS</td> <td>PROPOSED</td>		REQUIREMENTS	PROPOSED	
LOT FRONTAGE (MIN)       - (GARNER)       136.7 m         LOT AREA (MIN)       4,000 m²       13,817.44 m²         LOT COVERAGE (MAX)       N/A       23%         BUILDING HT (MAX)       N/A       23%         BUILDING HT (MAX)       N/A       2 STOREY (10m)         MIN YARD       FRONT YARD (NORTH) 6.0m MIN (GARNER) 25m MAX       BLG 'A': N = 23.3 m E = 109 r (S = 18.7 m)W = 93.7         MIN YARD       FRONT YARD (MIN) 0m EAST YARD (MIN) 0m EAST YARD (MIN) 0m       BLG 'B': N = 7.5 m E = 13.8 m S = 66 m, W = 66.1 m         GFA (MAX)       -       PROPOSED BUILDING 'A': 2.511 PROPOSED BUILDING 'C' = 1.911 PROPOSED BUILDING 'A': 2.511 TOTAL GFA = 6,336 sqm         PARKING (MIN)       PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m' GFA = 6,336 m' / 50 = 126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       128 Regular Sized 6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(1)T7x3%)=4.51 THEREFORE, 5 BF PARKING SPACES ARE REQUIRED.       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES ARE REQUIRED.       6 PROVIDED         LANDSCAPE AREA (MIN)       6 m COMBINED LANDSCAPE AND PLANTING STRIP BAUTING A STREET. WITHIN 6 m LANDSCAPED AREA, 3m PLANTING STRIP BAUTING A STREET. WITHIN 6 m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, ASLES OR DRIVEWAYS AND A	LOT FRONTAGE (MIN)       - (GARNER)       136.7 m         LOT AREA (MIN)       4,000 m ² 13,817.44 m ² LOT COVERAGE (MAX)       N/A       23%         BUILDING HT (MAX)       N/A       2 STOREY (10m)         MIN YARD       FRONT YARD (NORTH) 6.0m MIN (GARNER) 25m MAX       BLG 'S: N = 233 m, E = 100 r (S = 187 m) W = 93 r S = 66 m, W = 66.1 m         MIN YARD       FRONT YARD (MIN) 0m EAST YARD (MIN) 0m       BLG 'S: N = 7.5 m E = 138 m S = 66 m, W = 66.1 m         BLG 'S: N = 7.5 m E = 138 m, W = 93.7 m       S = 63.3 m, E = 11.2 S = 101 m, W = 68.7         GFA (MAX)       -       PROPOSED BUILDING 'A'=2,51 PROPOSED BUILDING 'A'=2,51 PROPOSED BUILDING 'C'=1,91 PROPOSED BUILDING 'C'=1,91 TOTAL GFA = 6,336 sqm         PARKING (MIN)       PLANIND STRIAL ZONE: 1 FOR EACH 50m ² GFA = 6,336 m ² / 50 = 12.6.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       128 Regular Sized B Barrier Free         BF PARKING (MIN)       1 SPACE + 38 OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES = (1)+(117x38)=4.51       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE ARE REQUIRED.       6 PROVIDED         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, ASLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE ANE, 3m PLANTING STRIP BETWEEN PARKING SPACES, A	ZONING DESIGNATION	PRESTIGE BUSINESS PARK ZONE (M3–376)	PRESTIGE BUSINESS PARK ZON (M3–376)	
LOT COVERAGE (MAX) BUILDING HT (MAX) BUILDING HT (MAX) N/A FRONT YARD (NORTH) 6.0m MIN (GARNER) 25m MAX REAR YARD (MIN) 0m EAST YARD (MIN) 0m EAST YARD (MIN) 0m EAST YARD (MIN) 0m EAST YARD (MIN) 0m FRONT YARD (MIN) 0m EAST YARD (MIN) 0m EAST YARD (MIN) 0m FRONT YARD (MIN) 0m EAST YARD (MIN) 0m FRONT YARD (MIN) 0m EAST YARD (MIN) 0m EAST YARD (MIN) 0m BLG 'C: N = 638 m E = 112 S = 0.01 m W = 68.7 BLG 'C: N = 638 m E = 112 S = 0.01 m W = 68.7 BLG 'C: N = 638 m E = 112 S = 0.01 m W = 68.7 THEREFORE, 127 PARKING 2011 TOTAL GFA = 6,336 sqm PARKING (MIN) PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m' GFA = 6,336 m² / 50 = 126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED. BF PARKING (MIN) 1 SPACE + 3% 0P TOTAL REQUIRED SPACES FROM 101-200 REQUIRED. SPACES = (1)+(117x3%)=4.51 THEREFORE, 5 BF PARKING SPACES ARE REQUIRED. BF PARKING SPACE (MIN) 1 SPACE + 3% 0P TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES = (1)+(117x3%)=4.51 THEREFORE, 5 BF PARKING SPACES ARE REQUIRED. LOADING SPACE (MIN) N/A 0 GENERAL NOTES: 1. AL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAR OF MUNICI	LDT COVERAGE (MAX)       N/A       23%         BUILDING HT (MAX)       N/A       2 STOREY (10m)         MIN YARD       FRONT YARD (NORTH) 6.0m MIN (CARNER) 25m MAX       BLG 'A: N = 23.m E = 109 r (S = 18.7 m) = 93 r         BUILDING HT (MAX)       REAR YARD (MIN) 0m EAST YARD (MIN) 0m       BLG 'E: N = 75 m E = 138 n S = 66 m, W = 66.1 n         BLG 'E: N = 75 m E = 138 n S = 66 m, W = 66.1 n       BLG 'E: N = 75 m E = 138 n S = 66 m, W = 66.1 n         GFA (MAX)       -       PROPOSED BUILDING 'A'=2.51 PROPOSED BUILDING 'A'=2.51 PROPOSED BUILDING 'C'=1.91 TOTAL GFA = 6.336 sqm         PARKING (MIN)       PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m' / 50 = 126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       128 Regular Sized 6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES = (1)+(117x3%)=4.51 THEREFORE, 5 BF PARKING SPACES ARE REQUIRED.       6 PROVIDED         LIADDING SPACE (MIN)       N/A       0       0         LIADDING SPACE (MIN)       N/A       0       0         LIADDING SPACE (MIN)       N/A       0       0         GEN LIADDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTING A STREET. WITHIN 6 m LANDSCAPE AREA, 3m PLANTING STRIP ABUTING A STREET. WITHIN 6 m LANDSCAPE AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       0         GEN LERAL NOTES:       1 All WORK INVOLVED IN THE CONSTR	LOT FRONTAGE (MIN)	– (GARNER) 4,000 m²	136.7 m 13,817.44 m ²	
BUILDING HT (MAX)       N/A       2 STOREY (101)         MIN YARD       FRONT YARD (NORTH) 6.0m MIN (GARNER) 25m MAX       BLG 'A: N = 233, m, E = 109 m (S = 187, m) W = 93 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m WEST YARD (MIN) 0m       BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m S = 66 m, W = 661 m         BLG 'B: N = 7,5 m, E = 138 m         PARKING (MIN)         PLANNED BUSINESS CENTRE WITHIN AN INDUSTRAL ZONE: 1         FOR EACH SOM ² GFA = 6,336 m ² / 50 = 126.72         THEREFORE, 127 PARKING SPACES ARE REQUIRED.         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES = (1)+(117,x3%)=4.51         THEREFORE, 5 BF PARKING MIN)       6 PROVIDED	BUILDING HT (MAX)       N/A       2 STOREY (	LOT COVERAGE (MAX)	N/A	23%	
BIT TAKU       6.0m MIN (GARNER) 25m MAX       am 25m MAX         REAR YARD (MIN) WEST YARD (MIN) 0m       BLG 'E': N = 7.5 m, E = 13.8 m S = 66 m, W = 661 m         BLG 'E': N = 7.5 m, E = 13.8 m S = 66 m, W = 661 m         BLG 'C': N = 63.8 m, E = 11.2 S = 101 m, W = 687         GFA (MAX)       -         PARKING (MIN)       PROPOSED BUILDING 'A'=2,511 PROPOSED BUILDING 'C'=1,91         TOTAL GFA = 6,336 sqm         PARKING (MIN)       PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m² GFA = 6,336 m² / 50 =126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       128 Regular Sized 6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED.       6 PROVIDED         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED.       6 PROVIDED         LOADING SPACE (MIN)       N/A       0         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPE AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       1.         1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAR OF MUNICICION	B. Com MIN (GARVER) 25m MAX       6.0m MIN (GARVER) 25m MAX       3m (OSPREY)         REAR YARD (MIN) WEST YARD (MIN) 0m EAST YARD (MIN) 0m       3m (SERVER)       BLG 'E': N = 7.5 m, E = 13.8 m S = 66 m, W = 66.1 m S = 66 m, W = 66.1 m S = 66.1 m         GFA (MAX)       -       -       PROPOSED BUILDING 'A'=2,51 (PROPOSED BUILDING 'A'=2,51 (PROPOSED BUILDING 'A'=2,51 (SERVER)         PARKING (MIN)       PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m ² GFA = 6,336 m ² / 50 = 126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       128 Regular Sized 6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 10-200 REQUIRED.       6 PROVIDED         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 10-200 REQUIRED.       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES ARE REQUIRED.       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 10-200 REQUIRED.       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES ARE REQUIRED.       6 PROVIDED         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SFROES ARE REQUIRED.       6 PROVIDED         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SFACES, ASLES OR DRIVEWAYS AND A STREET.       6 MUNICS STRIP ABUTTING A STREET. WITHIN 6 m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SFACES, MASLES OR DRIVEWAYS AND A STREET.       0<	BUILDING HT (MAX)	N/A Front Yard (North)	2 STOREY $-10m$ BLDG 'A': N = 233 m F - 100 ~	
REAR YARD (MIN)       (OSPREY)         WEST YARD (MIN)       0m         EAST YARD (MIN)       0m         BLG 'C':       N=638 m, E = 112; S = 10.1 m, W = 687         (GFA (MAX)       -         PARKING (MIN)       -         PARKING (MIN)       PLANNED BUSINESS CENTRE WITHIN AN INDUSTRAL ZONE: 1         FOR EACH 500 ²⁷ GFA = 6,336 m ² / 50 = 126.72         THEREFORE, 127 PARKING SPACE (MIN)         PARKING (MIN)         1       SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES FROM 101-200 REQUIRED SPACES = (1)+(117x3%)=4.51         THEREFORE, 5 BF PARKING SPACES ARE REQUIRED.         IANDSCAPE AREA (MIN)         MCADING SPACE (MIN)         PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPE ARE AREQUIRED.         PARKING SPACE (MIN)         N/A         0         CADDING SPACE (MIN)         N/A         0         CANDSCAPE AREA (MIN)         PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         PARKING SPACE, DISPLAY         N/A       0         GENERAL NOTES:         1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAR OF MUNICIDAL STRIP ABUR OF MUNICIDA	REAR YARD (MIN)       (OSPREY)         WEST YARD (MIN) 0m       EAST YARD (MIN) 0m         EAST YARD (MIN) 0m       BLG 'C: N = 638 m, E = 11.2         GFA (MAX)       -         PROPOSED BUILDING 'A'=2,51'         PROPOSED BUILDING 'C'=1,91         TOTAL GFA = 6,336 sqm         PARKING (MIN)         PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1         FOR EACH 50m ² GFA = 6,336 m ² / 50 =126.72         THEREFORE, 127 PARKING SPACES ARE REQUIRED.         BF PARKING (MIN)         1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117,x3%)=4.51         THEREFORE, 5 BF PARKING SPACES ARE REQUIRED.         LOADING SPACE (MIN)         AFREFORE, 5 BF PARKING SPACES ARE REQUIRED.         LOADING SPACE (MIN)         N/A         O         GEN COMBINED LANDSCAPE AND PLANTING STRIP BAUTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, ASLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A         Q         GENERAL NOTES:         1. All WORK INVOLYED IN THE CONSTRUCTION, RELOCATION, REPAR OF MUNIC SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.         2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF O	MIN YARD	6.0m MIN (GARNER) 25m MAX	S = 18.7  m W = 9.3 m BIDG 'B': N = 75 m F = 138 m	
GFA (MAX)       -       PROPOSED BUILDING 'A'=2,51'         PROPOSED BUILDING 'C'=1,91       PROPOSED BUILDING 'C'=1,91         PROPOSED BUILDING 'C'=1,91       TOTAL GFA = 6,336 sqm         PARKING (MIN)       PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m ² GFA = 6,336 m ² / 50 =126.72       128 Regular Sized 6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         ILANDSCAPE AREA (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LANDSCAPE AREA (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES ARE REQUIRED.       6 PROVIDED         LANDSCAPE AREA (MIN)       0       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       0         1. AIL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAR OF MUNICI	EAST YARD (NIN) Om       Image: Construction of the property of the pr		REAR YARD (MIN)       (OSPREY)         WEST YARD (MIN)       0m	S = 66  m, W = 66.1  m BLDG 'C': $N = 63.8 \text{ m}, E = 11.2 \text{ r}$	
GFA (MAX)       PROPOSED BUILDING 'B'=1,91 PROPOSED BUILDING 'C'=1,91 TOTAL GFA = 6,336 sqm         PARKING (MIN)       PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m² GFA = 6,336 m² / 50 =126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       128 Regular Sized 6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         ILANDSCAPE AREA (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         ILANDSCAPE AREA (MIN)       0       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPE AREA, 3m PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       0	GFA (MAX)       PROPOSED BUILDING 'E'=1,91         PROPOSED BUILDING 'C'=1,91         TOTAL GFA = 6,336 sqm         PARKING (MIN)       PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m² GFA = 6,336 m² / 50 =126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       128 Regular Sized 6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       N/A       0         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       1       All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.         2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.         3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS		EAST YARD (MIN) Om	$\underbrace{S = 10.1 \text{ m}}_{\text{PROPOSED BUILDING 'A'} = 2,516}$	
PARKING (MIN)       PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m ² GFA = 6,336 m ² / 50 =126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       128 Regular Sized 6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES ARE REQUIRED.       6 PROVIDED         LOADING SPACE (MIN)       N/A       0         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTING A STREET. WITHIN 6m LANDSCAPE AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       0         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI	PARKING (MIN)       PLANNED BUSINESS CENTRE WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m² GFA = 6,336 m² / 50 =126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       128 Regular Sized 6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51 THEREFORE, 5 BF PARKING SPACES ARE REQUIRED.       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51 THEREFORE, 5 BF PARKING SPACES ARE REQUIRED.       6 PROVIDED         LOADING SPACE (MIN)       N/A       0         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPE AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       0         1. AIL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.         2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.         3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS	GFA (MAX)		PROPOSED BUILDING 'B'=1,910 PROPOSED BUILDING 'C'=1,910	
WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m² GFA = 6,336 m² / 50 =126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       N/A       0         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       0         1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI	WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH 50m² GFA = 6,336 m² / 50 =126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.       6 Barrier Free         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         IDADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         IDADING SPACE (MIN)       N/A       0         ILANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       0         1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNIC SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.         2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.         3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS	PARKING (MIN)	PLANNED BUSINESS CENTRE	TOTAL GFA = 6,336 sqm 128 Regular Sized	
=126.72       THEREFORE, 127 PARKING       THEREFORE, 134 PARKING SP/ARE PROVIDED         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES ARE REQUIRED.       6 PROVIDED         LOADING SPACE (MIN)       N/A       0         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI	=126.72       THEREFORE, 127 PARKING       THEREFORE, 134 PARKING SP, ARE PROVIDED         BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       N/A       0         LOADING SPACE (MIN)       N/A       0         MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       1. AIL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNIC SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.         2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.         3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS		WITHIN AN INDUSTRIAL ZONE: 1 FOR EACH $50m^2$ GFA = 6,336 m ² / 50	6 Barrier Free	
BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       N/A       0         LOADING SPACE (MIN)       N/A       0         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI	BF PARKING (MIN)       1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM 101-200 REQUIRED SPACES =(1)+(117x3%)=4.51       6 PROVIDED         LOADING SPACE (MIN)       N/A       0         LOADING SPACE (MIN)       N/A       0         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPE AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       0         1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.         2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.         3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS		=126.72 THEREFORE, 127 PARKING SPACES ARE REQUIRED.	THEREFORE, 134 PARKING SPA ARE PROVIDED	
101-200 REQUIRED SPACES         =(1)+(117x3%)=4.51         THEREFORE, 5 BF PARKING         SPACES ARE REQUIRED.         LOADING SPACE (MIN)         N/A       0         Gm COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       0	101-200 REQUIRED SPACES         =(1)+(117x3%)=4.51         THEREFORE, 5 BF PARKING         SPACES ARE REQUIRED.         LOADING SPACE (MIN)         N/A       0         LANDSCAPE AREA       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY         N/A       0         GENERAL NOTES:         1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECT OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.         2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.         3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m LINI ESS OTHERMINES STATED	BF PARKING (MIN)	1 SPACE + 3% OF TOTAL REQUIRED SPACES FROM	6 PROVIDED	
INTEREFORE, 5 BF PARKING         SPACES ARE REQUIRED.         LOADING SPACE (MIN)       N/A         O         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       0	Interference, S BF Parking SPACES ARE REQUIRED.         LOADING SPACE (MIN)       N/A       0         LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       0         1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.         2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.         3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 57 6 m UNISTING STATED		101-200 REQUIRED SPACES =(1)+(117x3%)=4.51		
LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         I. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI	LANDSCAPE AREA (MIN)       6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.       6m COMBINED LANDSCAPE AND PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.         EXT.STORAGE/DISPLAY       N/A       0         GENERAL NOTES:       0         1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.         2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.         3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 cm LINJESS OTHERMISE STATED	LOADING SPACE (MIN)	SPACES ARE REQUIRED.	0	
STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET. EXT.STORAGE/DISPLAY N/A GENERAL NOTES: 1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI	STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET. STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET. EXT.STORAGE/DISPLAY N/A 0 GENERAL NOTES: 1. AIL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT. 2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER. 3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS	LANDSCAPE AREA	6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A	6m COMBINED LANDSCAPE AND PLANTING STRIP ABUTTING A	
PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET. EXT.STORAGE/DISPLAY N/A 0 GENERAL NOTES: 1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI	PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET. EXT.STORAGE/DISPLAY N/A GENERAL NOTES: 1. AII WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT. 2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER. 3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS	(muz)	STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN	STREET. WITHIN 6m LANDSCAPED AREA, 3m PLANTING STRIP BETWEEN	
GENERAL NOTES: 1. All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI	CENTIFICITION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.  MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS		PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.	PARKING SPACES, AISLES OR DRIVEWAYS AND A STREET.	
1. All work involved in the construction, relocation, repair of munici	<ol> <li>All WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICI SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.</li> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MUNICE 7.5 cm LINESS OTHER MUSICS STATED</li> </ol>		I ^{N/A}	U	
	<ol> <li>SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIREC OF PLANNING, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.</li> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MUNICE 7.5 cm UNICES OTHERMISE STATED</li> </ol>	1. AI WORK INVO	LVED IN THE CONSTRUCTION, R	ELOCATION, REPAIR OF MUNICI	
	3. MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS	2. FIRE ROUTE SI SATISFACTION OWNER.	gns and 3—way fire hydrant; of the city fire department	S SHALL BE ESTABLISHED TO AND AT THE EXPENSE OF	
2. FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.	MINUA 7.0 III UNITAA UIREKWAR AMARINI	3. MAIN DRIVEWAY	' DIMENSIONS AT THE PROPERTY UNLESS OTHERWISE STATED	' LINE BOUNDARIES ARE PLUS	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM CRAPE THEREASTER ALL DEPARTMENT OF WITHIN 10%</li> </ol>	WIMIN 37 MAIMIN LUCAIN INCOLATING ALL COMPANY CONTRACTOR	MAXIMUM GRAD	ES.		
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> </ol>	WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.	D. THE APPROVAL CONTRACTOR PERMITS/APPR	L UF IHIS PLAN DOES NOT FROM THE REQUIREMENTS OVALS NORMALLY REQUIRED 1	EXEMPT THE OWNER'S BON TO OBTAIN THE VARI TO COMPLETE A CONSTRUCT	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT</li> </ol>	<ul> <li>WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT DISCUSSION OF A CONSTRUCT ON COMPLETE A CONSTRUCT</li> </ul>	PROJECT, SU SEWER AND W APPROACH AP	um as, but not limited to t (Ater Permits, road cut per Proval Permits, encroachme	HE FULLOWING: BUILDING PER RMITS, RELOCATION OF SERVIC INT AGREEMENTS (IF REQUIR)	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIRE CONTRACTOR ADDITION OF DETAILS OF DATA AND ADDITION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIRED</li> </ol>	<ul> <li>WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIRED IN THE PERMITS).</li> </ul>	COMMITTEE OF 6. ABANDONED A	ADJUSTMENT. CCESSES MUST BE REMOVED /	AND THE CURB AND BOULEV	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV</li> </ol>	<ul> <li>WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARY PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV</li> </ul>	RESTORED WITH TRAFFIC AND E	H SOD AT THE OWNER'S EXPEN- Engineering section section, f	SE TO THE SATISFACTION OF PUBLIC WORKS DEPARTMENT.	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> </ol>	<ul> <li>WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> </ul>	7. FOR VISIBILITY NOTE TO BE F THE MAXIMUM EXCEED A	TRIANGLES AT THE VEHICULAR PROVIDED: "5 METRE BY 5 METR HEIGHT OF ANY OBJECTS OR HEIGHT OF 0.70 METRES	ACCESS POINTS, THE FOLLOW RE VISIBILITY TRIANGLES IN WH MATURE VEGETATION IS NOT ABOVE THE CORRESPOND AD MACENT STREET "	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPONE DEDUCTION ADDITION AND AND AND AND AND AND AND AND AND AN</li></ol>	<ul> <li>WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>7. FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPONDED.</li> </ul>	PERPENDICULA	x centerline elevation of the NLL comply to sign by-law n	l alvacent street." 0. 10—197	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT , SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIX APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10–197</li> </ol>	<ul> <li>WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUC PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>7. FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>8. ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10–197</li> </ul>	8. ALL SIGNS SH		IPAI WASTE COLLECTION SERV	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUC PROJECT , SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OF MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF ANY OBJECTS OR MATURE ADJACENT STREET."</li> </ol>	<ul> <li>WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VAR PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PERMITS, AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>7. FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WITHE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>8. ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10–197</li> <li>9. THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVITHE COLLECTION OF WASTE MATERIAL IS REQUIRED THROUGH A PRIVATE WASTE MATERIAL IS REQUIRED THROUGH A PRIVATE WASTE MATERIAL IS REQUIRED THROUGH A PRIVATE WASTE</li> </ul>	<ol> <li>ALL SIGNS SH/</li> <li>THIS DEVELOPI THE COLLECTION</li> </ol>	MENT IS INELIGIBLE FOR MUNICI ON OF WASTE MATERIAL IS REQU	JIRED THROUGH A PRIVATE WA	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VAR PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT , SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WI THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10–197</li> <li>THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVI THE COLLECTION OF WASTE MATERIAL IS REQUIRED THROUGH A PRIVATE WA HAULER.</li> <li>BOTH BUILDING A AND B SHALL BE CONSTRUCTED FIRST, BUILDING C SHALL</li> </ol>	<ul> <li>WITHIN 3% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUC PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIC APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>7. FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WITHE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>8. ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10–197</li> <li>9. THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVIC HAULER.</li> <li>10. BOTH BUILDING A AND B SHALL BE CONSTRUCTED FIRST, BUILDING C SHALL</li> </ul>	<ol> <li>ALL SIGNS SHI</li> <li>THIS DEVELOPI THE COLLECTION HAULER.</li> <li>BOTH BUILDING</li> </ol>	MENT IS INELIGIBLE FOR MUNICI In of Waste Material is requ if a and b shall be construct	THROUGH A PRIVATE WA	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIN APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN W THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF O.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10-197</li> <li>THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERV HAULER.</li> <li>BOTH BUILDING A AND B SHALL BE CONSTRUCTED FIRST, BUILDING C SHALL CONSTRUCTED SECOND. EARTHBINS AND TRELISES WILL BE CONSTRUCTED TANDEM W THE CONSTRUCTION OF BUILDINGS A AND B.</li> </ol>	<ul> <li>WITHIN 3% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>5. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PERSEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIN APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>6. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>7. FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>8. ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10–197</li> <li>9. THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVITHE COLLECTION OF WASTE MATERIAL IS REQUIRED THROUGH A PRIVATE WA HAULER.</li> <li>10. BOTH BUILDING A AND B SHALL BE CONSTRUCTED FIRST, BUILDING C SHALL CONSTRUCTED SECOND. EARTHBINS AND TRELLISES WILL BE CONSTRUCTED TANDEM W THE CONSTRUCTION OF BUILDINGS A AND B.</li> </ul>	<ol> <li>ALL SIGNS SH</li> <li>THIS DEVELOPI THE COLLECTION HAULER.</li> <li>BOTH BUILDING CONSTRUCTED TANDEM W THE</li> </ol>	MENT IS INELIGIBLE FOR MUNICI ON OF WASTE MATERIAL IS REQU A AND B SHALL BE CONSTRUC SECOND. EARTHBINS AND TREL E CONSTRUCTION OF BUILDINGS A	TED FIRST, BUILDING C SHALL LISES WILL BE CONSTRUCTED A AND B.	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT , SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVI APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WE THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF O.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10–197</li> <li>THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERV HAULER.</li> <li>BOTH BUILDING A AND B SHALL BE CONSTRUCTED FIRST, BUILDING C SHALL CONSTRUCTED SECOND. EARTHBINS AND TRELISES WILL BE CONSTRUCTED TANDEM W THE CONSTRUCTION OF BUILDINGS A AND B.</li> <li>FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON FENCE LAW NO. 10–142.</li> </ol>	<ul> <li>WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWATS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS,/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PERSEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIN APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WH THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF O.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>ALL SIGNS SHALL COMPLY TO SIGN BY-LAW No. 10–197</li> <li>THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVITHE COLLECTION OF WASTE MATERIAL IS REQUIRED THROUGH A PRIVATE WA HAULER.</li> <li>BOTH BUILDING A AND B SHALL BE CONSTRUCTED FIRST, BUILDING C SHALL CONSTRUCTED SECOND. EARTHBINS AND TRELLISES WILL BE CONSTRUCTED TANDEM W THE CONSTRUCTION OF BUILDINGS A AND B.</li> <li>FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON FENCE LAW NO. 10–142.</li> </ul>	<ol> <li>ALL SIGNS SHU</li> <li>THIS DEVELOPI THE COLLECTION HAULER.</li> <li>BOTH BUILDING CONSTRUCTED TANDEM W THE</li> <li>FENCING SHALL LAW NO. 10-1</li> </ol>	MENT IS INELIGIBLE FOR MUNICI ON OF WASTE MATERIAL IS REQU SECOND. EARTHBINS AND TREL E CONSTRUCTION OF BUILDINGS / L BE IN ACCORDANCE WITH TH 42.	TED THROUGH A PRIVATE WA TED FIRST, BUILDING C SHALL LISES WILL BE CONSTRUCTED A AND B. IE CITY OF HAMILTON FENCE	
<ol> <li>FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF OWNER.</li> <li>MAIN DRIVEWAY DIMENSIONS AT THE PROPERTY LINE BOUNDARIES ARE PLUS MINUS 7.5 m UNLESS OTHERWISE STATED.</li> <li>ALL DRIVEWAYS FROM THE PROPERTY LINES FOR THE FIRST 7.5 m SHALL WITHIN 5% MAXIMUM GRADE, THEREAFTER, ALL DRIVEWAYS SHALL BE WITHIN MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARI PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PER SEMER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVI APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTRED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WI THE MAXIMUM HEIGHT OF ANY OBJECTS OR MATURE VEGETATION IS NOT EXCEED A HEIGHT OF O.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10–197</li> <li>THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVI THE COLLECTION OF WASTE MATERIAL IS REQUIRED THROUGH A PRIVATE WA HAULER.</li> <li>BOTH BUILDING A AND B SHALL BE CONSTRUCTED FIRST, BUILDING C SHALL CONSTRUCTED SECOND. EARTHBINS AND TRELISES WILL BE CONSTRUCTED TANDEM W THE CONSTRUCTION OF BUILDINGS A AND B.</li>     FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON FENCE LAW NO. 10–142. <li>A MINIMUM OF 1.2m SEPARATION MUST BE PROVIDED WITHIN THE CITY'S R ALLOWANCE AREA BETWEEN DRIVEWAYS, A FENCE AND ANY POLE, UTLITY, I MUNIMART THE CONSTRUCTION OF MANY POLE, UTLITY, I MUNIMART T</li></ol>	<ul> <li>WITHIN 5X MAXIMUM GRADES.</li> <li>THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BON CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VAR PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCT PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING: BUILDING PERSEWER AND WATER PERMITS, ROAD CUT PERMITS, RELOCATION OF SERVIL APPROACH APPROVAL PERMITS, ENCROACHMENT AGREEMENTS (IF REQUIR COMMITTEE OF ADJUSTMENT.</li> <li>ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEV RESTORED WITH SOD AT THE OWNER'S EXPENSE TO THE SATISFACTION OF TRAFFIC AND ENGINEERING SECTION SECTION, PUBLIC WORKS DEPARTMENT.</li> <li>FOR VISIBILITY TRIANGLES AT THE VEHICULAR ACCESS POINTS, THE FOLLOW NOTE TO BE PROVIDED: "5 METRE BY 5 METRE VISIBILITY TRIANGLES IN WITHE MAXIMUM HEIGHT OF 0.70 METRES ABOVE THE CORRESPOND EXCEED A HEIGHT OF 0.70 METRES ABOVE THE CORRESPOND PERPENDICULAR CENTERLINE ELEVATION OF THE ADJACENT STREET."</li> <li>ALL SIGNS SHALL COMPLY TO SIGN BY-LAW NO. 10-197</li> <li>THIS DEVELOPMENT IS INELIGIBLE FOR MUNICIPAL WASTE COLLECTION SERVI HAULER.</li> <li>BOTH BUILDING A AND B SHALL BE CONSTRUCTED FIRST, BUILDING C SHALL CONSTRUCTED SECOND. EARTHBINS AND TRELLISES WILL BE CONSTRUCTED SCOND. EARTHBINS AND TRELLISES WILL BE CONSTRUCTED TANDEM W THE CONSTRUCTION OF BUILDINGS A AND B.</li> <li>FENCING SHALL BE IN ACCORDANCE WITH THE CITY OF HAMILTON FENCE LAW NO. 10-142.</li> </ul>	<ol> <li>ALL SIGNS SHU</li> <li>THIS DEVELOPI THE COLLECTION HAULER.</li> <li>BOTH BUILDING CONSTRUCTED TANDEM W THE</li> <li>FENCING SHALL LAW NO. 10-1</li> <li>A MINIMUM OF ALLOWANCE AR</li> </ol>	MENT IS INELIGIBLE FOR MUNICI ON OF WASTE MATERIAL IS REQU A AND B SHALL BE CONSTRUCT SECOND. EARTHBINS AND TREL CONSTRUCTION OF BUILDINGS A L BE IN ACCORDANCE WITH TH 42. 1.2m SEPARATION MUST BE P REA BETWEEN DRIVEWAYS, A FEN	TED THROUGH A PRIVATE WA TED FIRST, BUILDING C SHALL LISES WILL BE CONSTRUCTED A AND B. IE CITY OF HAMILTON FENCE ROVIDED WITHIN THE CITY'S R ICE AND ANY POLE, UTILITY, I	

	MA UN	RCH 24, DER FIL	202 E: <b>C</b>	20 <b>)A-18-(</b>	)27	
1	NZ	ISSUED FO	OR BUIL	DING PERMIT		01-JUN-2020
ISSUE	BY	D	ESCRIP	TION		DATE [DD-MMM-YYYY]
GENERAL NO DO NO MARK CONFI BEGINI ANY E	DTES DT SO ED " GUR NING ERRO	CALE DRAW ISSUED FO ATIONS & D WORK. NOTII DRS, OMISS	INGS R CC IMEN FY AR SION	S. USE ON DNSTRUC ISIONS OI RCHITECT I S OR DIS	ILY I TION N SIT MME CRE	DRAWINGS N". VERIFY IE BEFORE DIATELY OF EPANCIES.
CLIENT GARNE 1040 G/ ANCAS	<b>R INV</b> Arne Ter,	<b>/ESTMENTS II</b> R RD W ON L9G 3K9	NC.			
ARCHITECT SAPLY 610 FO OAKVIL	<b>s ar</b> ( RD DF .LE, C	CHITECTS INC RIVE, SUITE 3 N L6J 7W4	; <b>.</b> 38			SAPLYS ARCHITECTS
API DE 1282 CC OAKVIL	IT VELO DRNW .LE, C	<b>PMENT CONS</b> /All Road N L6J 7W5	SULTA	NTS INC.		
NORTH		TRUE NORTH	F	KOFESSIONAL (	ERTIFI	CATION
PROJECT NA	ME					
		GARI BUSIN	NER NESS	ROAD S PARK		
PROJECT AD	DRESS	1040 G ANCAST	Garne Er, o	ER RD W N L9G 3K9		PROJECT No. S20-021
drawing ti	ΤLΕ	SI	TE P	LAN		
BY C NZ SCALE: UI 1:30	HECKED - NITS: MM		-1	00		SHEET REVISION

NOTE:

SITE PLAN CONDITIONS

AND APPROVAL CLEARED

# > AREA OF











ONTARIO BUILDING CODE DATA MATRIX PART 3 - FIRE PROTECTION, OCCUPANT SAFETY AND ACCESSIBILITY Name of Practice SAPLYS ARCHITECTS INC. Address 1 610 FORD DRI, OAKVILLE ON, L6J 7W5 LINAS SAPLYS Contact Name of Project GARNER ROAD BUSINESS PARK - BLOCK B Location/Address 1040 GARNER ROAD WEST, ANCASTER, ONTARIO 3.00 BUILDING CODE VERSION O.Reg. 332/12 3.01 PROJECT TY PE New Construction MAJOR OCCUPANCY 3.02 CLASSIFICATION OCCUPANCY Mercantile D Offices SUPERIMPOSED MAJOR 3.03 OCCUPANCIES YES Officed (gro 3.04 BUILDING AREA (m²) DESCRIPTION New building TOTAL 3.05 GROSS AREA (m²) DESCRIPTION Ground Floor Seconf Floor TOTAL 3.06 MEZZANINE AREA (m²) DESCRIPTION -----TOTAL 3.07 BUILDING HEIGHT STOREY'S A 2 0 STOREY'S B 3.08 HIGH BUILDING No NUMBER OF STREETS/ 3.09 FIREFIGHTER ACCESS 2 STREETS 3.10 BUILDING CLASSIFICATION 3.2.2.62. GROUP E, UI 3.2.2.56. GROUP D, U 3.11 SPRINKLER SYSTEM Required 3.12 STANDPIPE SYSTEM Not Required 3.13 FIRE ALARM SYSTEM Not Required WATER SERVICE/ 3.14 SUPPLY IS ADEQUATE Yes 3.15 CONSTRUCTION TYPE RESTRICTIONS Combustible ACTUAL Noncombus 3.16 IMPORTANCE CATEGORY Normal 3.17 SEISMIC HAZARD INDEX  $(I_F F_a S_a (0.2)) =$ 0.35 Seismic Des FLOOR 3.18 OCCUPANT LOAD LEVEL/AREA Ground floor (Units 1-B1 TO 1-E Second floor (Units 2-B1 TO 2-E TOTAL 3.19 BARRIER-FREE DESIGN Yes 3.20 HAZARDOUS SUBSTANCES No REQUIRED FIRE RESISTANCE 3.21 HORIZONTAL ASSEMBLY RATINGS FLOORS MEZZANINE ROOF EBF 3.22 SPATIAL SEPARATION WALL AREA (m²) N OCCUPANCY E 51.9 OCCUPANCY D 204.6 OCCUPANCY E 62.5 OCCUPANCY D 35.3 W OCCUPANCY E 68.1 OCCUPANCY D 68.1 OCCUPANCY E 67.1 67.1 OCCUPANCY E

3.23 PLUMBING FIXTURE REQUIREMENTS RATIO:

SCALE: 1:200 A-101

FLOOR LEVEL/AREA

OBC REFERENCE^[1]

			MIXED USE COMMERCI	AL BUILDING	[A] 1.1.2.
					-
			USE		3.1.2.1.(1)
					-
un D) on se		er mercantile unit	s (aroup F) on around fl	loor	3227
		FXISTING	NEW	ΤΟΤΑΙ	[A] 1 4 1 2
		-	955.0	955.0	-
			955.0	955.0	-
		EXISTING	NEW	TOTAL	[A] 1.4.1.2.
		-	955.00	955.0	-
		-	955.00	955.0	-
		FYISTING	1,910.0	1,910.0 TOTAL	3211
		-	-	-	- -
BOVE GRA	DE		- 8.00	- (m) ABOVE GRADE	[A] 1.4.1.2. &
LOW GRA	DE				3.2.1.1.
					3.2.6
					3.2.2.10. & 3.2.5
PTO 2 STO	REYS, SPRINK	ERED			3.2.2.20-83.
° TO 2 STO	REYS, SPRINK	ERED			
		Entire Building			3.2.1.5. &
					3.2.2.17.
		דע מב מסט אוריביי	Ν/Α		3.2.9.
					5.2.4.1
Pormitted					3 2 2 2 2 0 83
ble		HEAVY T	IMBER CONSTRUCTION	NO	3.2.2.2.2003. - 3.2.1.4
					4.1.2.1.(3),
ian la Dam	irod for T-b	-	to 21		T4.1.2.1.B.
iyii is rtequ		+. i.o. io. ilems 6° 		OCCUPANT LOAD	4. 1.0. 10.
7\		· · · · `L		(PERSONS)	J. 1. 17.
() 7)			m ² per person	212	-
')	UNDER SEF	PARATE TENANT	PERMITS	296	-
					3.8.
					3.3.1.2. &
			SUPPORTING	NONCOMBUSTIBLE IN	3.3.1.19. 3.2.2.2083.
		KA HNG (H)	ASSEMBLY (H)	LIEU OF RATING?	3.2.1.4.
		0.75	0.75	NO	-
		-		Ν/Α Ν/Δ	-
		-			
L.D. (m)	L/H OR H/L	FRR (H)	CONSTRUCTION TYPE	CLADDING TYPE	3.2.3.
			-	-	-
26.00			Combustible Permitted	Combustible Permitted	
26.00			Combustible Permitted	Combustible Permitted	
			-	-	-
19.00			Combustible Permitted	Combustible Permitted	
19.00			Combustible Permitted	Combustible Permitted	_
40.00			- -	- -	
19.00			Compustible Permitted		
19.00			Combustible Permitted	Combustible Permitted	-
13 00			Combustible Permitted	Combustible Permitted	
12.00			Combustible Demitted	Combustible Demetite	
					0747007
ιΕ:FEMAL	LE = 50:50 EXC	OBC	JIHERWISE		3.7.4.7 & 3.7.4.8 -
			FIXTURES REQUIRED	FIXTURES PROVIDED	
	LOAD	SENTENCE			-

OBC DATA MATRIX 1

A-101

![](_page_22_Figure_15.jpeg)

LIST (	OF ARCHITECTURAL ABBREVIATIONS	EF	EXHAUST FAN
		EIFS	EXTERIOR INSULATION FINISH SYSTEM
ACT	ACOUSTICAL CEILING TILE SYSTEM	ELEV	ELEVATOR
ACC	ACCESSIBLE	EQ	EQUAL
ACM	ALUMINUM COMPOSITE MATERIAL	EQUIP	EQUIPMENT
	AUTOMATIC DOOR OPERATOR	ETC	ET CETERA
AFF	ABOVE FINISHED FLOOR	EX; EX	IST EXISTING
		EXP JT	EXPANSION JOINT
ALUM	ALLIMINUM	EXT	EXTERIOR
ARCH		F	FREEZER
ARGR	ABUSE-RESISTANT GYPSUM BOARD	F/A	FIRE ALARM
		FHC	FIRE HOSE CABINET
RD	BOARD	FEC	FIRE EXTINGUISHER CABINET
RE	BARRIER EREE	FRP	FIBERGLASS REINFORCED PANEL
	BUILDING	FRR	FIRE RESISTANCE RATING
BSMT	BASEMENT	GALV	GALVANIZED
CACE		G.B.:	GYP. BD. GYPSUM BOARD
CB		GC	GENERAL CONTRACTOR
CES		GG	GLASS GUARD
		H	HIGH
CL		HB	HOSE BIB
		HDW	HARDWARE
		HM	HOLLOW METAL
	CENTER LINE	HORIZ	HORIZONTAL
		HP	HEAT PUMP
	CLEAR	HPT	HIGH POINT
		HSKPC	GHOUSEKEEPING
CONC	CONCRETE	HT	HEIGHT
CONT	CONTINUOUS	HVAC	HEATING, VENTILATION, AIR CONDITIONING
COORI		ID	INSIDE DIAMETER
CT		I.D.	INTERIOR DESIGN
CU		ICE	ICE MACHINE
C/W	COMPLETE WITH	IGU	INSULATED GLASS UNIT
CWS	CURTAIN WALL SYSTEM	INSUL	INSULATION
D	DRYER	K.E.S.	KITCHEN EQUIPMENT SUPPLIER
DEG	DEGREE(S)	L	LONG
DEMO	DEMOLISH DEMOLITION	LPT	LOW POINT
DEPT	DEPARTMENT	LT	LIGHT
DW	DISHWASHER	LVR	LOUVER
DWG	DRAWING	М	METER
DWS	DETECTABLE WARNING SURFACE	MAINT	MAINTENANCE

![](_page_23_Picture_2.jpeg)

![](_page_23_Picture_3.jpeg)

SCALE: 1:10 A-102

FIRE RATED STEEL BEAM ENCLOSURE

![](_page_23_Picture_4.jpeg)

-

-

MANUF	MANUFACTURER	S
MATI	MATERIAI	S
MAX	MAXIMUM	S
MECH	MECHANICAL	S
MED		ŝ
		e.
		0 0
		0 0
		3
MISC		3
MO		о т
		1/
MI.U.A.		11
		11
NIS O.C.		11
0.0.;		1
UD D		
POT		
		U
		U
		U
		V
PREFA		V
PROP	PROPERTY	V
PSH	PURSE SHELF	V
PTAC	PACKAGED TERMINAL AIR CONDITIONER	V
		V
QI	QUARRY TILE	V
QIY	QUANTITY	N
KB	RUBBER	W
RD		W
KEF	REFRIGERATOR, REFERENCE	W
REINF	REINFORCED	W
REQD	REQUIRED	W
REV	REVISION	W
RM	ROOM	W
RO	ROUGH OPENING	Х
S	SINK	
SACT	SUSPENDED ACOUSTICAL TILE	
SFRM	SPRAY APPLIED CEMENTITIOUS FIRE	
RESIS	LIVE MATERIAL	

SIM SIMILAR SOG SLAB ON GRADE SP SUMP PUMP SPEC SPECIFICATION SSG STRUCTURAL SILICONE GLAZING ST STORAGE TANK STC SOUND TRANSMISSION CLASS STL STEEL STOR STORAGE STRUC STRUCTURAL TRANSFORMER T/; T/O TOP OF TEMP TEMPORARY THK THICK TPD TOILET PAPER DISPENSER TV TELEVISION TXT TEXTURED TYP TYPICAL U/S UNDER SIDE UL UNDERWRITER'S LABORATORIES UNO UNLESS NOTED OTHERWISE VCT VINYL COMPOSITE TILE VEND. VENDING MACHINE VIF VERIFY IN FIELD VRF VARIABLE REFIGERANT FLOW VS VISION STRIP VTAC VERTICAL TERMINAL AIR CONDITIONER VWC VINYL WALL COVERING W/ WITH WASHER WC WATER CLOSET W/D STACKED WASHER AND DRYER WD WOOD WIC WALK IN CLOSET WR WAHROOM WWM WELDED WIRE MESH X; X BY; TIMES

# WALL & PARTITION TYPE NOTES <u>GENERAL</u>

- 1. CONFIRM & COORDINATE ALL STUD WALL VERTICAL SPAN / HEIGHT LIMITATIONS WITH MANUFACTURER.
- 2. COORDINATE W/ INTERIOR DESIGN DRAWINGS FOR LOCATIONS OF WALL BLOCKING & SHEET METAL OR PLYWOOD REINFORCING FOR WALL MOUNTED EQUIPMENT.
- 3. COMBUSTIBLE MATERIALS SHALL COMPLY WITH OBC 2012 ARTICLE 3.1.5.12
- 4. EXTEND GYPSUM BOARD 8" ABOVE CEILING ON GROUND FLOOR.
- FIRE RATED ASSEMBLIES
- 9. PROVIDE FIRE STOP CAULKING AT TOP, BOTTOM AND PERIMETER OF GYPSUM BOARD AT FIRE RATED PARTITIONS IN ACCORDANCE WITH UL DESIGN.
- 10. PROVIDE MOISTURE, MOLD & MILDEW RESISTANT GYPSUM BOARD AT ALL WASHROOM SHOWER ENCLOSURES. ENSURE GYPSUM BOARD TYPE IS COMPLIANT WITH UL ASSEMBLY WHERE APPLICABLE.
- 11. PROVIDE UL CERTIFIED FIRE STOPPING MATERIAL AT ALL WALL PENETRATIONS TO MAINTAIN CONTINUITY OF FIRE SEPARATION.
- 12. PROVIDE NON-SHRINK GROUT OR ULC RATED FIRE STOP CAULKING AT T/O OF RATED MASONRY WALLS AS REQUIRED TO MAINTAIN FIRE SEPARATION CONTINUITY.
- 13. EXTEND GYPSUM BOARD TO U/S OF SLAB C/W PERIMETER SMOKE SEAL CAULKING AT 0HR / SMOKE SEAL LOCATIONS, TYPICAL.

# SOUND RATED ASSEMBLIES

- 14. EXTEND GYPSUM BOARD TO U/S OF SLAB C/W PERIMETER ACOUSTICAL SEALANT AT STC RATED PARTITIONS
- 15. PROVIDE CONTINUOUS STC RATED WALLS SEPARATING EITHER OFFICES, PUBLIC WASHROOMS, POOL, FOOD PREPARATION, OR MEETING/CONFERENCE ROOMS FROM PUBLIC AREAS.

![](_page_23_Figure_21.jpeg)

75

253

EW11-EW11A-

CONVENTION	NAL ROO	of W/ Fully A	DHERED EPDM RO	OOF	ING MEMBRANE
±2mm ±1/16" 13mm 1/2" 152mm 6" •	FULL / PROT POLYI VAPO STRU	ADHERED EPD ECTION BOAR SOCYANURAT UR RETARDEF CTURAL STEE	DM ROOFING MEM D E RIGID INS. (MIN R (OVER HEATED S L DECK, REFER TO	BRA R35 SPA( D ST	NE ci) CES) RUCTURAL DWG'S
NOTE:	SLOPI STRU	E MEMBRANE [*] CTURE.	TOWARDS DRAIN	MIN	1.5% VIA
R-VALUE MIN. R35		FRR -	TEST REF.		STC & REF
			ROOF	Τ\	<b>′PES</b> 2
					SCALE: 1:10 A-102
 FIELD APPLIE	D DRAII		IOR INSULATED F	INIS	H SYSTEM (EIFS)
±2mm ±1/16" 75mm 3" - 13mm 1/2" 152mm 6" 89mm 3-1/2" - 13MM 1/2"	LAMI COA EXPA (MIN CHAN DUAL EXTE ENGI BATT 6 MIL GYPS	NA FINISH: BA: (REFER TO E (NDED POLYS R12 ci) ADHER NELS WATER RESI RIOR GLASS F NEERED STEE INSULATION ( POLYETHYLE SUM WALL BO)	SE COAT, REINFO ELEVATIONS FOR ( TYRENE (EPS) RIG ED TO SUBSTRAT STIVE BARRIER (V FIBER MAT GYPSU EL STUD FRAMING (MIN R13) TO FILL INE VAPOUR RETA ARD	RCIN Col Gid II Te C/ VRB) IM B ( C/W STU ARDE	NG MESH & FINISH OUR & TEXTURE) NSULATION BD W DRAINAGE & AIR BARRIER OARD SHEATHING / D CAVITY ER
NOTE: EW11A:	PROV ROD RESI LOCA	/IDE TWO-STA BETWEEN PAI STANT REINFC ATIONS <8'-0" A E AS EW11, WI	GED DRAINED CA NELS ON ALL SIDE DRCING MESH AT AFF. TH ADDITIONAL L	ULK S. P GRC	ING & BACKER Rovide Impact Dund Floor Stud Blocking
		TEQT			STC & DEE
MIN R30	-	IESI			
	-		-		-

WALL TYPES 1

SCALE: 1:10 A-102

1	NZ	ISSUED FOR BU	JILDING PERMIT	01-JUN-2020
ISSUE	BY	DESCF	RIPTION	DATE [DD-MMM-YYYY]
GENERAL NO DO NO MARKI CONFI BEGINN ANY E	DTES ED "I GUR NING ' RRO	CALE DRAWING SSUED FOR C ATIONS & DIME WORK. NOTIFY / RS, OMISSIO	GS. USE ONLY CONSTRUCTIC ENSIONS ON S ARCHITECT IMM NS OR DISCF	DRAWINGS DN". VERIFY ITE BEFORE EDIATELY OF REPANCIES.
CLIENT GARNE 1040 GA ANCAS ARCHITECT SAPLYS 610 FOI OAKVIL CONSULTAN API DE	R INV ARNEI TER, ( S ARC RD DF LE, O T VELO	ESTMENTS INC. R RD W ON L9G 3K9 CHITECTS INC. RIVE, SUITE 338 N L6J 7W4 PMENT CONSUL	TANTS INC.	SAI SAPLUS ARCHUTECTS
1282 CC OAKVIL NORTH		ALL ROAD N L6J 7W5	PROFESSIONAL CERT	FICATION
PROJECT NA	ME	GARNE BUSINES	R ROAD SS PARK	
PROJECT AD	DRESS	1040 GAR ANCASTER,	NER RD W ON L9G 3K9	PROJECT No. S20-021
DRAWING TI BY CI NZ SCALE: UN		BLO WALL T HITECTURAL SHEET NO.	CK B YPES & . ABBREVIAT	IONS SHEET REVISION

![](_page_24_Figure_0.jpeg)

# SYMBOL LEGEND

![](_page_24_Picture_2.jpeg)

# DOOR TAG KEY NOTE REVISION WINDOW TAG WT WALL TYPE

# KEY NOTES

1 FROST SLAB (REFER TO STRUCT. DWGS)

- 2 RAIN WATER LEADER, C/W ACCESS PANEL (REFER TO MECHANICAL)
- 3 STRUCTURAL BRACING (REFER TO STRUC. DWGS)
- GAS METERS LOCATION (C/W BOLLARDS AS PER GAS METER SPECS.)
- 5 SIAMESE CONNECTION
- 6 AUTOMATIC DOOR OPENER C/W PUSH BUTTONS
- 7 ROOF HATCH ABOVE
- 8 ROOF ACCESS LADDER

# GENERAL NOTES

- 1. FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHERS WITHIN PUBLIC SPACES SHALL BE CONTAINED IN FULLY RECESSED CABINETS. CABINETS TO BE INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
- 2. FLOOR NUMBERING AND EXIT STAIR SHAFT NUMBERING SHALL CONFORM WITH OBC ARTICLE 3.4.6.19
- 3. ACCESSIBILITY SIGNS SHALL CONFORM WITH OBC
- ARTICLE 3.8.3.1 4. THE SURFACE FLAME SPREAD RATING OF ALL INTERIOR FINISH MATERIALS APPLIED TO WALLS, PARTITIONS & CEILINGS MUST NOT EXCEED 150 IN ACCORDANCE WITH
- OBC ARTICLES B-3.1.13.1 & 2. AND 9.10.17.1 5. INTERIOR BUILD-OUT TO BE APPLIED FOR UNDER A
- SEPARATE PERMIT 6. WASHROOMS ARE RESPONSIBILITY OF TENANTS (UNDER SEPARATE PERMIT)
- 7. ALL FLOOR FINISHES TO BE INSTALLED BY TENANT
- 8. TENANTS TO PROVIDE DRAWINGS FOR UNDER-SLAB
- ROUGH-INS 9. SLAB-ON-GRADE IN ALL UNITS TO BE POURED DURING TENANT FIT-UP CONSTRUCTION PHASE. ALLOWANCE WILL BE PROVIDED TO THE UNIT PURCHASER FOR THE S.O.G.
- 10. POUR SLABS THOUGH EXTERIOR DOOR OPENINGS 11. PROVIDE 4" OF UNDER-SLAB RIGID INSULATION AT ALL
- EXTERIOR DOORWAYS 12. MIN R-15 UNDER-SLAB INSULATION FOR 48" AT FULL
- BUILDING PERIMETER. 13. DRAWING LINES IN GRAYSCALE REPRESENT 'TENANT WORK' AND ARE NOT INCLUDED IN THE BASE BUILDING DRAWINGS. TENANT WORK IS SHOWN AS REFERENCE ONLY. SPECIFIC CODE REQUIREMENTS FOR TENANT
- WORK ARE NOTED ON THE OBC MATRIX, AND WHERE REQUIRED ON THE BASE BUILDING DRAWINGS. 14. RAIN WATER LEADERS TO RUN IN CEILING SPACE AND
- DROP DIRECTLY AT THE STORM SERVICE CONNECTION POINT (REFER TO MECHANICAL). 15. PROVIDE FIRE DAMPER AT ALL PENETRATIONS OF RAIN
- WATER LEADER THRU FIRE RATED PARTITIONS AT CEILING LEVEL.
- 16. ENCLOSE RAIN WATER LEADER IN FIRE RATED PARTITION WALL AT ALL VERTICAL RUNS FROM CEILING LEVEL TO GROUND FLOOR

![](_page_24_Figure_35.jpeg)

![](_page_25_Figure_0.jpeg)

# SYMBOL LEGEND

![](_page_25_Picture_2.jpeg)

# DOOR TAG KEY NOTE REVISION WINDOW TAG WT WALL TYPE

# KEY NOTES

1 FROST SLAB (REFER TO STRUCT. DWGS)

- 2 RAIN WATER LEADER, C/W ACCESS PANEL (REFER TO MECHANICAL)
- 3 STRUCTURAL BRACING (REFER TO STRUC. DWGS)
- GAS METERS LOCATION (C/W BOLLARDS AS PER GAS METER SPECS.)
- 5 SIAMESE CONNECTION
- 6 AUTOMATIC DOOR OPENER C/W PUSH BUTTONS
- 7 ROOF HATCH ABOVE
- 8 ROOF ACCESS LADDER

# GENERAL NOTES

- 1. FIRE EXTINGUISHERS, SMOKE DETECTORS AND OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHERS WITHIN PUBLIC SPACES SHALL BE CONTAINED IN FULLY RECESSED CABINETS. CABINETS TO BE INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
- 2. FLOOR NUMBERING AND EXIT STAIR SHAFT NUMBERING SHALL CONFORM WITH OBC ARTICLE 3.4.6.19
- 3. ACCESSIBILITY SIGNS SHALL CONFORM WITH OBC
- ARTICLE 3.8.3.1 4. THE SURFACE FLAME SPREAD RATING OF ALL INTERIOR FINISH MATERIALS APPLIED TO WALLS, PARTITIONS & CEILINGS MUST NOT EXCEED 150 IN ACCORDANCE WITH
- OBC ARTICLES B-3.1.13.1 & 2. AND 9.10.17.1 5. INTERIOR BUILD-OUT TO BE APPLIED FOR UNDER A SEPARATE PERMIT
- 6. WASHROOMS ARE RESPONSIBILITY OF TENANTS (UNDER SEPARATE PERMIT)
- 7. ALL FLOOR FINISHES TO BE INSTALLED BY TENANT
- 8. TENANTS TO PROVIDE DRAWINGS FOR UNDER-SLAB ROUGH-INS
- 9. SLAB-ON-GRADE IN ALL UNITS TO BE POURED DURING TENANT FIT-UP CONSTRUCTION PHASE. ALLOWANCE WILL BE PROVIDED TO THE UNIT PURCHASER FOR THE S.O.G.
- 10. POUR SLABS THOUGH EXTERIOR DOOR OPENINGS 11. PROVIDE 4" OF UNDER-SLAB RIGID INSULATION AT ALL
- EXTERIOR DOORWAYS 12. MIN R-15 UNDER-SLAB INSULATION FOR 48" AT FULL
- BUILDING PERIMETER. 13. DRAWING LINES IN GRAYSCALE REPRESENT 'TENANT WORK' AND ARE NOT INCLUDED IN THE BASE BUILDING DRAWINGS. TENANT WORK IS SHOWN AS REFERENCE ONLY. SPECIFIC CODE REQUIREMENTS FOR TENANT
- WORK ARE NOTED ON THE OBC MATRIX, AND WHERE REQUIRED ON THE BASE BUILDING DRAWINGS. 14. RAIN WATER LEADERS TO RUN IN CEILING SPACE AND
- DROP DIRECTLY AT THE STORM SERVICE CONNECTION POINT (REFER TO MECHANICAL). 15. PROVIDE FIRE DAMPER AT ALL PENETRATIONS OF RAIN
- WATER LEADER THRU FIRE RATED PARTITIONS AT CEILING LEVEL.
- 16. ENCLOSE RAIN WATER LEADER IN FIRE RATED PARTITION WALL AT ALL VERTICAL RUNS FROM CEILING LEVEL TO GROUND FLOOR

![](_page_25_Figure_35.jpeg)

![](_page_26_Figure_0.jpeg)

![](_page_26_Figure_1.jpeg)

![](_page_26_Figure_2.jpeg)

![](_page_26_Figure_3.jpeg)

![](_page_26_Figure_4.jpeg)

![](_page_26_Figure_5.jpeg)

- 1. ROOF COVERING SHALL COMPLY WITH CAN/ULC-S107-M
- 2. PROVIDE MIN 1.5% SLOPE OF ROOF COVERING TOWARD ROOF DRAINS VIA ROOF STRUCTURE (SEE STRUCTURAL DWG'S) AND/OR TAPERED INSULATION.
- 3. PARAPETS TO SLOPE MIN. 2% TOWARDS ROOF TYP.
- 4. SEE WALL TYPES SHEET FOR ROOF TYPES DESCRIPTION 5. LOCATIONS OF ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, ROOF EXHAUSTS, BOILER FLUES, ROOF DRAINS ETC. ARE APPROXIMATE (SEE MECHANICAL DRAWINGS FOR EXACT SIZES AND LOCATIONS)
- 6. ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS OR MECHANICAL EQUIPMENT SCREENS, MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY HIDE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS
- 7. ENSURE ALL ROOF TOP PENETRATIONS ARE AIR AND WATER SEALED AS PER NRCA REQUIREMENTS (TYP.)
- 8. IF ROOF ANCHORS ARE REQUIRED AS PER OBC, SUPPLIER TO PROVIDE B.C.I.N NUMBER STAMPED SHOP DRAWINGS CONFORMING TO ALL JURISDICTIONAL AND CODE REQUIREMENTS. LOCATION OF ANCHORING NOT SHOWN ON THIS ROOF PLAN. REFER TO SHOP DRAWINGS FOR AMOUNT, LOCATION AND SIZE.
- 9. MIN. R-35CI ROOF INSULATION TO BE PROVIDED 11. ROOFING CONTRACTOR TO PROVIDE CRICKETED AREAS ON ALL MECHANICAL UNIT ROOF CURBS TO ENSURE POSITIVE SLOPE TOWARD ROOF DRAINS
- 12. GC TO ENSURE THE PARAPET SCUPPERS ARE DESIGNED TO HANDLE AT LEAST 200% OF THE 15-MINUTE LOCAL RAINFALL INTENSITY AND ARE ALLOWING FOR A MAXIMUM DEPTH OF CONTROLLED WATER OF 150MM

# ROOF KEY NOTES

- (FOR CURB DETAIL REFER TO MECHANICAL DWGS. (FOR CURB DETAIL REFER TO DETAIL)
- 3 TAPERED INSULATION CRICKET TO ACHIEVE MIN. DRAIN SLOPE OF 1.5%
- (4) ROOF HATCH (REFER TO DETAIL)
- 5 ROOF SCUPPER (REFER TO DETAIL)
- (6) GAS LINE OVER THE PARAPET
- CONTINUOUS CANT STRIP TYPICAL AROUND
- 8 PRE FINISHED ALUMINUM GUTTER AND DOWNSPOUT VIA ROOF SCUPPER TO SPILL ON SPLASH PAD ON ROOF BELOW
- SUTE UNITS RTU (TYP.), TENANT'S RESPONSIBILITY. (9) TO BE INSTALLED DURING THE TENANT FIT-UP. ADDITIONAL STRUCTURAL FRAMING REQUIRED AT FINAL LOCATION.

![](_page_26_Figure_24.jpeg)

![](_page_26_Figure_25.jpeg)

ROOF PLAN 1 SCALE: 1:100 A-203

- 1 ROOF DRAIN (REFER TO DETAIL)

- D PARAPET PERIMETERS AND ALL CURBS

![](_page_27_Figure_0.jpeg)

![](_page_27_Figure_1.jpeg)

![](_page_27_Figure_2.jpeg)

BUILDING B EAST ELEVATION 4

# BUILDING B NORTH ELEVATION 2 SCALE: 1:100 A-301

![](_page_27_Figure_6.jpeg)

![](_page_27_Picture_7.jpeg)

BUILDING B WEST ELEVATION 1 SCALE: 1:100 A-301

# BUILDING B SOUTH ELEVATION 3 SCALE: 1:100 A-301

# GENERAL NOTES

1.	ALL GLAZED WINDOWS AND DOORS TO BE CLEAR ANODIZED ALUMINUM DOUBLE GLAZED, LOW E
2.	ALL OPAQUE DOORS TO BE PAINTED, COLOR TO MATCH ADJACENT FINISH

# DRAWING LEGEND

X #	EXTERIOR MATERIAL TYPE DESIGNATION SYMBOL
<b>\$</b>	FLOOR LEVEL DESIGNATION SYMBOL
	EXTERIOR SCONCE
$\square$	EXTERIOR LIGHT FIXTURE
	SCUPPER

- FIELD APPLIED DRAINABLE EIFS BY DURABOND | SMOOTH FINISH | LIGHT GRAY A 1
- FIELD APPLIED DRAINABLE EIFS BY DURABOND | A 2 SMOOTH FINISH | MEDIUM GRAY
- A 3
  - FIELD APPLIED DRAINABLE EIFS BY DURABOND | SMOOTH FINISH | DARK GRAY
- FIELD APPLIED DRAINABLE EIFS BY DURABOND | A 4 SMOOTH FINISH | IVORY (TBD)
- PRE-FINISHED METAL CAP FLASHING | MATTE FINISH | IVORY B 1
- COMPOSITE ALUMINUM METAL PANEL | MATTE | WOOD PATTERN, SOFFIT TO MATCH B 2
- C 1 SIGNAGE | BY TENANT
- SP1 SPANDREL PANEL | LIGHT GRAY
- SPANDREL PANEL | MEDIUM GRAY SP2
- SP3 ALUMINUM SPANDREL PANEL | WOOD PATTERN

![](_page_27_Figure_32.jpeg)

![](_page_28_Figure_0.jpeg)

![](_page_28_Figure_1.jpeg)

![](_page_28_Figure_2.jpeg)

![](_page_29_Figure_0.jpeg)

![](_page_29_Figure_1.jpeg)

![](_page_29_Figure_4.jpeg)

![](_page_30_Figure_0.jpeg)

![](_page_31_Figure_0.jpeg)

![](_page_31_Figure_1.jpeg)

![](_page_32_Figure_1.jpeg)

ELEVATOR SECTION 3 SCALE: 1:25 A-503 ELEVATOR NOTES

1. ELEVATOR HOISTWAY DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION PURPOSES ONLY. DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO BE CONSTRUCTED UNTIL VERIFIED BY THE OWNER AND/OR CONTRACTOR. CONSTRUCTION IS TO BE BASED ON REVIEWED AND APPROVED ELEVATOR SHOP DRAWINGS. ANY RESULTING COSTS DUE TO CONSTRUCTION WITHOUT REVIEWED AND APPROVED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.

1753 (P21A) ELEVATOR LOBBY B200 UNIT 2-B5 ELEVATOR 106 3 A-503 19/ P21A P21A STAIR ST-BC

ENL. ELEVATOR PLAN 2ND FLOOR 2 SCALE: 1:25 A-503

![](_page_32_Figure_8.jpeg)

![](_page_32_Figure_9.jpeg)

# SET # 1 ALLUMINUM GLASS EXTERIOR DOOR C/W BF OPERATOR

# HINGES

- LOCK SET
- DOOR SWEEP
- CONCEALED DOOR CLOSER PULL /PUSH BARS
- PANIC HARDWARE
- THRESHOLD
- WEATHERSTRIP BARRIER FREE OPERATION AS INDICATED IN

# THE DOOR NOTES

- SET # 2 ALLUMINUM GLASS EXIT DOOR
- HINGES LOCK SET
- DOOR SWEEP
- CONCEALED DOOR CLOSER
- PULL /PUSH BARS
- PANIC HARDWARE
- THRESHOLD
- WEATHERSTRIP

AFF___

# ABBREVIATION LEGEND

- AL ANODIZED ALUMINUM
- CL CLEAR
- DG DOUBLE GLASS
- EXIST EXISTING
- GLAZED GL
- HM HOLLOW METAL
- IHM INSULATED HOLLOW METAL IST INSULATED STEEL
- PF PRE-FINISHED
- PH PANIC HARDWARE PS PRESSED STEEL
- PT PAINT

WS

- SCD SELF CLOSING DEVICE TB THERMALLY BROKEN
- TG TEMPERED GLASS

WEATHER STRIPPING

# DOOR NOTES

- 1. ALL EXTERIOR HOLLOW METAL DOORS SHALL BE GALVANIZED & INSULATED. 2. ALL DOORS SHALL BE PRE-FINISHED (SHOP OR FACTORY). TOPS, BOTTOMS AND SIDES OF ALL DOORS SHALL BE PAINTED OR STAINED TO MATCH DOOR FINISH/COLOR.
- 3. OUT-SWINGING EXTERIOR DOORS MUST HAVE CLOSED TOPS 4. EXTERIOR DOORS MUST HAVE WEATHER STRIPPING WITH THE APPROPRIATE TYPE OF THRESHOLD.
- 5. PROVIDE CONSTRUCTION CYLINDERS DURING CONSTRUCTION. FOR DOORS REQUIRED TO BE LOCKED REPLACE CONSTRUCTION CYLINDERS PRIOR TO HOTEL OPENING (COORDINATE WITH GENERAL CONTRACTOR).
- 6. ALL DOOR CYLINDERS SHALL BE FORMAT TO MATCH PROPERTY STANDARDS. ALL LOCK SETS AND CYLINDERS ARE SUPPLIED WITH FINAL CORES. 7. ALL DOORS SHALL BE MASTER KEYED. COORDINATE KEYING WITH OWNER.
- PERMANENT KEYING BY DOOR SUBCONTRACTOR. 8. ALL FULL/HALF VISION DOORS SHALL BE A MEDIUM STILE (U.N.O.) 9. ALL INTERIOR DOOR GLAZING AND SIDELIGHTS SHALL BE CLEAR TEMPERED GLASS
- (U.N.O.). ALL EXTERIOR DOOR GLAZING AND SIDELIGHTS SHALL BE INSULATED TEMPERED GLASS.
- 10. ALL RATED DOORS SHALL BE PROVIDED W/ MIN. REQUIRED DOOR HARDWARE REGARDLESS IF NOT SHOWN ON SCHEDULE. IF DIRECTION INDICATED OR NOTED IS SPECIFICALLY IN CONTRADICTION TO WHAT IS REQUIRED IN RATED DOORS, CONTACT ARCHITECT. 11. WHERE UNDERCUT NOT SPECIFIED, PROVIDE STANDARD UNDERCUT OF 3/4" FOR HM
- & WOOD DOORS 12. PROVIDE 1 1/2" PAIR BUTT HINGES PER DOOR LEAF UP TO 7'-0". PROVIDE 2 PAIR BUTT
- HINGES PER DOOR LEAF FOR SOLID CORE WOOD OR HM DOORS FROM 7'-0" TO 10'-0".
- 13. PROVIDE (3) SILENCERS IN SINGLE LEAF DOORS, (2) SILENCERS IN DOUBLE LEAF DOORS

# SET # 3 HM SERVICE ROOMS EXTERIOR

• 3 HINGES LOCK SET KICKPLATE DOOR SWEEP

DOOR

# DOOR CLOSER THRESHOLD FLOOR STOP WEATHERSTRIP

- SET # 4 HM SERVICE ROOMS 3 HINGES LOCK SET KICKPLATE DOOR CLOSER FLOOR STOP
- SET # 5 HM UNIT INTERIOR HINGES LOCK SET
- CONCEALED DOOR CLOSER
- PULL /PUSH BARS

### SET # 6 STAIR HINGES

- FIRE EXIT HARDWARE DOOR CLOSER
- KICK PLATE

![](_page_33_Figure_53.jpeg)

![](_page_33_Figure_54.jpeg)

DETAIL @ INTERIOR DOOR HEAD 5 _____ SCALE: 1:5 A-601 EXTERIOR DOOR TYPES

------ TYPICAL EXTERIOR WALL

FIBER BLANKET

FRAME 5/8" MIN.

INSULATION

000000

-STL.STUD TRACK

EXTEND GYP. BD. INTO

-STL. FRAME WITH ACOUS.

0.0m T.O. GROUND FLOOR

(D01) THERMALLY BROKEN ALUMINUM DOOR | CLEAR ANODIZED ALUMINUM FINISH

![](_page_33_Figure_58.jpeg)

![](_page_33_Figure_59.jpeg)

					DOOF	RAND	FRAM	E SCH	EDUL	E		
				DOOR							FR/	AME
No.	LOCATION	WIDTH	HEIGHT	THICK.	MATERIA L	FINISH	HDWR	TYPE	GLAZING	FIRE RAT.	TYPE	MATERIAL
B-01	UNIT MAIN ENTRANCE	2x965mm	2150mm		AL	PF	#1	D03	DG	-	W1	AL
B-01a	UNIT REAR ENTRANCE	2x965mm	2150mm		AL	PF	#2	D03	DG	-	F02	AL
B-02	UNIT MAIN ENTRANCE	965mm	2150mm		AL	PF	#1	D01	DG	-	W6	AL
B-02a	UNIT REAR ENTRANCE	965mm	2150mm		AL	PF	#2	D01	DG	-	F01	AL
B-03	UTILITY ROOM EXTERIOR	965mm	2150mm	45mm	IHM	PT	#3	D02	-	-	F01	HM
B-04	VESTIBULE EXTERIOR	2x965mm	2150mm		AL	PF	#1	D03	DG / TG	-	W7	AL
B-05	VESTIBULE INTERIOR	2x965mm	2150mm		AL	PF	#2	D03	TG	-	W17	AL
B-06	MACHINE ROOM / HSKG	965mm	2150mm	45mm	HM	PT	#4	D06	-	45MIN	F01	HM
B-07	INTERIOR UNIT	965mm	2150mm	45mm	HM	PT	#5	D06	-	45MIN	F01	HM
B-08	STAIR	965mm	2150mm	45mm	HM	PT	#6	D06	-	45MIN	F01	HM

- 14. LOCKSET SHALL OPERATE WHERE TURNING KEY UNLATCHES DOOR WHEN PUSHBUTTON IS ENGAGED & TURNED, KEY OPERATION WILL BE REQUIRED AT ALL TIMES. RELEASING PUSHBUTTON UNLOCKS DOOR.
- 15. ALL EXTERIOR DOORS SHALL BE PROVIDED WITH AN ALUMINUM DRIP EDGE ANCHORED TO UNDERSIDE OF WALL CONSTRUCTION (DOORS AS PART OF AN ALUMINUM STOREFRONT SYSTEM WITH A TRANSOM DOES NOT REQUIRE DRIP EDGE,
- NOR DO DOORS THAT ARE PROTECTED UNDER CANOPIES. 16. ALL EXTERIOR DOORS SHALL HAVE THE TOP OF THE DOOR SLAB CONSTRUCTED IN
- SUCH A WAY TO SHED AND THEREFORE PREVENT WATER FROM COLLECTING/SITTING WITHIN THE TOP OF THE DOOR SLAB. JOINTS SHALL BE MINIMIZED AT THE TOP OF DOOR SLAB. ANY CONSTRUCTION JOINTS SHALL BE FULLY WEATHER TIGHT.
- 17. THRESHOLDS AT ACCESSIBLE DOORS TO MEET ALL APPLICABLE ACCESSIBILITY REQUIREMENTS. ACCESSIBLE DOORS INCLUDE ALL PUBLIC ACCESS SPACES, ALL PUBLIC EXTERIOR DOORS, ALL EGRESS DOORS, AND EMPLOYEE DOORS THAT ARE INDICATED WITH A CLEAR FLOOR AREA.
- 18. ALL DOOR HARDWARE SHALL COMPLY WITH REQUIREMENTS FOR ACCESSIBILITY AS PER OBC
- 19. PROVIDE PUSH BUTTON (ON BOTH SIDES OF DOOR) W/ AUTOMATIC OPENER FOR ACCESSIBLE DOOR
- 20. ALL 'EXIT' DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
- 21. ALL WELDED CONSTRUCTION AT HOLLOW METAL DOOR FRAMES. 22. ALL FIRE RATED DOORS TO HAVE CLOSERS AND LATCHING HARDWARE.
- 23. PANIC EXIT HARDWARE REQUIRED.
- 24. ALL GLAZING TO BE 12mm TEMPERED GLASS, UNLESS OTHERWISE NOTED 25. ENSURE CONFORMITY WITH THE OBC DATA MATRIX, SB-10 TABLE, WINDOW
- SCHEDULE AND OTHER DRAWINGS

![](_page_33_Figure_75.jpeg)

![](_page_33_Figure_76.jpeg)

DOOR TYPES 2 SCALE: 1:50 A-601

REMARKS

DOOR SCHEDULE	1
	<b>A-601</b>

1	NZ	ISSUED FOR BUILDING PERMIT	27-MAY-2020			
ISSUE	BY	DESCRIPTION DATE [DD-MMM-YYYY]				
GENERAL NOTES DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.						
CLIENT GARNE 1040 GA ANCAS ARCHITECT	<b>r in\</b> Arne Ter,	<b>/ESTMENTS INC.</b> R RD W ON L9G 3K9		CHEDULES_S20-021   PL		
SAPLYS 610 FOF OAKVIL	<b>s ar(</b> RD DI Le, C	CHITECTS INC. RIVE, SUITE 338 DN L6J 7W4	SAPLUS ARCHITECTS	E: A-601 DOOR S		
CONSULTANT API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE, ON L6J 7W5						
				AL 13.0 - DRAWINGS13.3 - WORKING DRAWING		
PROJECT NA	ME	GARNER ROAD BUSINESS PARK		ARNER RD COMMERCIA		
PROJECT AD	DRESS	1040 GARNER RD W ANCASTER, ON L9G 3K9	PROJECT No. S20-021	ANCASTER - G		
BLOCK B DOOR SCHEDULE & DETAILS						
BY CH NZ SCALE: UN AS NOT	HECKED - NITS: MM	A-601	SHEET REVISION	RAWING LOCATION:		

- ARCHITECT. THE WINDOW AND SCREEN DRAWINGS SHOW NOT INTENDED FOR FABRICATION.
- ONLY. FINAL DETAILING MAY VARY BASED ON MANUFACTURER AND/OR TRADE'S SPECS AND STANDARDS.

- LOW-E, DOUBLE GLAZED HERMETICALLY SEALED, ARGON

![](_page_34_Figure_15.jpeg)

![](_page_34_Figure_16.jpeg)

1	NZ	ISSUED FOR BL	JILDING PERMIT	27-MAY-2020		
ISSUE	BY	DATE DESCRIPTION [DD-MMM-YYYY]				
GENERAL NOTES DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.						
CLIENT GARNER INVESTMENTS INC. 1040 GARNER RD W ANCASTER, ON L9G 3K9 ARCHITECT SAPLYS ARCHITECTS INC.						
OAKVIL	LE, C	N L6J 7W4		ARCHITECTS		
CONSULTANT API DEVELOPMENT CONSULTANTS INC. 1282 CORNWALL ROAD OAKVILLE ON 1617W5						
3.0 - DRAWINGS(3.3 - WORKING DRAWIN						
PROJECT NAME GARNER ROAD BUSINESS PARK						
PROJECT AD	DRESS	1040 GAR ANCASTER,	NER RD W ON L9G 3K9	PROJECT No. S20-021		
DRAWING TITLE BLOCK B WINDOW SCHEDULE & DETAILS						
BY CI NZ SCALE: UN AS NOT	HECKED - NITS: MM	SHEET NO.	502	SHEET REVISION		

![](_page_35_Picture_0.jpeg)

November 5, 2024 Via Email Only

### RE: 1038 Garner Road West, Ancaster Planning Rationale

Landwise has been retained by 1000968243 Ontario Inc, Owner, to prepare the following Planning Rationale to support a Minor Variance Application for the purpose of establishing a Personal Service (hair salon) at 1038 Garner Road West, Ancaster. This Planning Rationale contains a description of the property, an overview of applicable planning policies, and a planning opinion on the requested Minor Variances.

### Subject Lands Description

The subject lands are located at 1038 Garner Road West, Ancaster, west of the intersection at Shaver Road. The lands are on the periphery of the Ancaster Business Park and adjacent to a large commercial plaza to the north. The property is currently occupied by three condominium buildings with individual units and surface vehicular parking.

Figure 1 - Aerial Map

# Planning Status

### Planning Act

Bill 97 - Helping Homebuyers, Protecting Tenants Act, 2023 introduced proposed amendments to the "Area of Employment" definition in the *Planning Act* which came into effect on October 20, 2024. The revised definition has the effect of limiting permitted uses within an "Area of Employment" to only include manufacturing, warehousing, goods and services movement, research and development and limits ancillary office and retail only in association with a primary manufacturing or warehouse use. The narrowing of the definition eliminates the permission for office, commercial or institutional uses that were previously permitted as supportive uses within Areas of Employment. The legislative changes creates issues with the City's policy framework for Employment and Industrial Areas and with the implementing zoning regulations.

As a result of the City's Report PED24303, it is anticipated that properties that have been approved with supportive ancillary uses will be reviewed to determine if a more suitable Commercial designation and zoning should be applied.

6-310 Limeridge Road West Hamilton, ON L9C 2V2 www.landwise.ca

![](_page_36_Picture_1.jpeg)

### Provincial Planning Statement, 2024

The Provincial Planning Statement, 2024 came into effect on October 20, 2024. The new Provincial Planning Statement replaces both the previous Provincial Policy Statement and the A Place to Grow: Growth Plan for the Greater Golden Horseshoe and has implemented a change in the direction on Employment Areas policies.

A new definition of "Employment Area" has been updated to reflect the changes to the definition of "Area of Employment" in the *Planning Act.* 

"Employment Area: those areas designated in an official plan for clusters of business and economic activities including manufacturing, research, and development in connection with manufacturing, warehousing, goods movement, associated retail and office, and ancillary facilities. An employment area also includes areas of land described by subsection 1(1.1) of the *Planning Act*. Uses that are excluded from employment areas are institutional and commercial, including retail and office not associated with the primary employment use listed above."

The City of Hamilton has acknowledged that the changes to both the *Planning Act* and the Provincial Planning Statement to the definition of Employment Areas will require a review and revision to the existing Employment Designation policies to reflect the strict permissions and exemptions. Report PED24203 acknowledges that Official Plan Amendments will be required to respond to the legislative changes and proposes a two phase approach to first to confirm that all existing employment areas meet the new definitions and second to proceed with any policy or mapping changes that are required to maintain consistency with the PPS, 2024.

### Urban Hamilton Official Plan

The Subject Lands are designated "Employment Area - Business Park" on Schedule "E" - Urban Land Use Designations of the Urban Hamilton Official Plan. The Employment Area - Business Park designation permits a range of industrial uses and manufacturing uses, motor vehicle related uses, and uses that support the industrial related uses. The following policies, among others, apply:

### "5.4.3

c) ancillary uses which primarily support businesses and employees within business parks, including hotels, health and recreational facilities, financial establishments, restaurants, personal services, motor vehicle service stations and washing, retail establishments, and commercial parking facilities;"

Page 2 of 5

![](_page_37_Picture_1.jpeg)

The proposed Personal Service (hair salon) is considered an ancillary use and is permitted within the Employment Area - Business Park policies.

## Zoning By-law No. 05-200

The Subject Lands are zoned Prestige Business Park (M3, 376, 678, 771) Zone which permits a range of industrial, motor vehicle related, service commercial and office uses. The Special Exceptions 376, 678, 771 recognize Garner Road West as the front lot line, allows Children's Play-gym and Gymnastic Studio, and Restaurant as additional permitted uses respectively. Personal Service uses are not currently permitted in the Prestige Business Park (M3) Zone.

## Nature and extent of relief applied for:

One Minor Variance is being requested from Zoning By-law No. 05-200 to allow a Personal Service use in addition to the uses permitted by the Prestige Business Park (M3, 376, 678, 771) Zone. The following modifications are required:

Section	Regulation	Modification
1. 9.3.1	Permitted Uses	In addition to Section 9.3.1 a Personal Service shall also be permitted in accordance with Section 9.3.3.

### Planning Rationale to Support the Variances

### Urban Hamilton Official Plan

The proposed Personal Service (hair salon) is permitted as an ancillary use to the employment area. The property is currently developed as a small scale industrial/commercial condominium with individual units and surface parking area. The addition of a hair salon will provide a service to the employees of the existing units and surrounding employment lands.

As a result of the changes to the *Planning Act* and Provincial Planning Statement the subject lands and surrounding employment areas will be further assessed to determine if the existing land uses and permissions fit the definition of Employment Area.

### Zoning By-law No. 05-200

The intent of the Prestige Business Park (M3) Zone is to accommodate a mixture of employment and ancillary uses and is applied on the boundary and internally to the City of Hamilton's Business Parks. The proposed Personal Service (hair salon) use is permitted in the Employment Area - Business Park designation as an ancillary use which is meant to support the employees of the Business Park. The subject lands are developed

Page 3 of 5

![](_page_38_Picture_1.jpeg)

as a Planned Business Centre, where a group of business establishments have been developed with more than four separate spaces for lease or occupancy. With the existing format, a unit provided as a Personal Service provides an ancillary service that would benefit the employees not only of the other units on site, but for the greater employment area. The ancillary uses provide convenient services in proximity to where people are working.

Additionally, the changes to the *Planning Act* and Provincial Planning Statement will require the review of Employment Area to determine how supportive and ancillary uses that are no longer permitted are provided for to continue to provide convenient and proximate services for employees. In advance of this work being completed, the proposed Minor Variance would accommodate a Personal Service on lands that will be reviewed to determine if the lands should remain as employment or would be more appropriately recognized as a Commercial Designation and Commercial Zoning given the existing uses and location on the periphery of the existing Employment Area - Business Park designation.

# Variance 1: To permit a Personal Service in accordance with Section 9.3.3.

# 1. Conformity to the intent of the Zoning By-law

The intent of the Prestige Business Park (M3) Zone is to accommodate employment and ancillary uses within the City's Business Parks. The proposed modification will establish an ancillary Personal Service (hair salon) use that would provide a service to employees within the surrounding employment area.

# 2. Is the variance minor in nature?

The proposed modification allows for an ancillary use that is contemplated by the Employment Area - Business Park designation policies. The existing Planned Business Centre provides the opportunity for a supportive and compatible use to be integrated into the existing built form which will provide a service for employees within the existing units and to the larger employment area.

It is also recognized that this location will be reviewed in order to potentially establish additional commercial uses such as that proposed, and, therefore, while adding uses is not typically considered minor, can in this instance, be considered appropriate. Therefore, the proposed modification is minor in nature.

### 3. Is the variance desirable?

The existing Planned Business Centre is in part occupied by employment uses. The addition of a Personal Service will provide a convenient service that will benefit the employees of the surrounding employment area and is desirable for the subject lands.

Page 4 of 5

![](_page_39_Picture_1.jpeg)

## **Conclusion**

Considering the changes to the definition of Employment Uses in the Provincial Planning Statement, the City of Hamilton will be reviewing the permissions and locations for uses no longer permitted within Employment Lands (including ancillary commercial uses). Staff have acknowledged in their recent Report PED24203 that ancillary uses provide an important service to the employment areas, and that those lands that are on the periphery of Employment Areas may be reassessed as commercial property to provide continued services for employees in areas where office, commercial and institutional uses are no longer permitted.

Respectfully Submitted,

LANDWISE

Edward John, MRTPI Partner / Principal Planner

Page 5 of 5

# REALTOR.ca*

![](_page_40_Picture_3.jpeg)

# \$659,444

1038 GARNER Road W Unit# B5 Ancaster, Ontario L9G0J2 MLS® Number: XH4199787

![](_page_40_Picture_6.jpeg)

Square Feet

https://www.realtor.ca/real-estate/27428639/1038-garner-road-w-unit-b5-ancaster

# **Listing Description**

LOCATION! LOCATION! LOCATION! FANTASTIC COMMERCIAL UNIT. GREAT EXPOSURE. BRAND NEW BUILDING! UNIT BACKS ONTO GARNER RD. WITH EXCELLENT VISIBILITY. START YOUR NEW BUSINESS HERE! APPROXIMATELY 1260 SQ FT. PLENTY OF OAKING. CLOSE TO HIGHWAY ACCESS. CALL FOR MORE INFO. (31628426)

# **Location Description**

NEAR SHAVER ROAD

# **Property Summary**

Property Type Office	Building Type Offices	Square Footage 🕕 1265 sqft
<b>Subdivision Name</b> 423 - Meadowlands	Land Size under 1/2 acre	Annual Property Taxes \$8,510

Time on REALTOR.ca 69 days

<b>Building</b> Bathrooms <b>Total</b> 0		
Building Featu	ires	
<b>Features</b> Elevator, Passenger elevator, No Driveway	<b>Present Use</b> Other	<b>Total Units</b> 7
Heating & Coo	oling	
Heating Type Forced air		
Utilities		
Utility Sewer Sanitary sewer	<b>Water</b> Municipal water	
Business		
Business Type Other		

# **Measurements**

Square FootageExterior1265 sqftBuilding Size1265 sqft

# Land

# Lot Features

FrontageLand Depth25 ft51 ft

**Other Property Information** 

Zoning Description M3

Data provided by: <u>Cornerstone - Hamilton-Burlington</u> 505 York Boulevard, Hamilton, Ontario L8R 3K4

![](_page_43_Picture_8.jpeg)

Joseph Rosati Broker of Record

▶ 905-730-2934▶ 905-574-7301

Homelife Professionals Realty Inc.

1632 Upper James Street Hamilton, Ontario L9B1K4

▶ 905-574-6400▶ 905-574-7301

MLS Tru

Trusted listings from REALTOR® Agents.

The MLS® mark and associated logos identify professional services rendered by REALTOR® members of CREA to effect the purchase, sale and lease of real estate as part of a cooperative selling system.

![](_page_43_Picture_18.jpeg)

©2024 The Canadian Real Estate Association. All rights reserved. The trademarks REALTOR®, REALTORS® and the REALTOR® logo are controlled by CREA and identify real estate professionals who are members of CREA.

https://www.realtor.ca/real-estate/27428639/1038-garner-road-w-unit-b5-ancaster

![](_page_44_Picture_0.jpeg)

Committee of Adjustment City Hall, 5th Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221 Email: cofa@hamilton.ca

# APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

	NAME			
Registered Owners(s)	1000304051 Ontario Inc.			
Applicant(s)	Jessie-Lynn Giancola Marissa A Gritter			
	1000968423 Ontario Inc			
Agent or	Lloyd Ferguson			
Solicitor				
L				
1.2 Primary contact	t .	년 Applica	nt	LJ Owner ☑ Agent/Solicitor
1.3 Sign should be	sent to	☑ Applica	nt	☐ Owner ☑ AgentSolicitor
1.4 Request for digi	tal copy of sign	✓ Yes*	🗆 No	
If YES, provide	email address where sig	in is to be se	ent	
.5 All correspondence may be sent by email		ul	☑ Yes*	□ No
lf Yes, a valid ei (if applicable). C This request do	mail must be included fo Dnly one email address s es not guarantee all corr	or the registe submitted wi respondence	red owner(s) A Il result in the v will sent by er	ND the Applicant/Agent roiding of this service. nail.
.6 Payment type		☐ In perso ☐ Cheque	on e	☑ Credit over phone*

1. APPLICANT INFORMATION

*Must provide number above

APPLICATION FOR A MINOR VARIANCE/PERMISSION (January 1, 2024)

Page 1 of 8

### 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1038 Garner Road West 35 9R.H.	
Assessment Roll Number	po	
Former Municipality	Ancaster	
Lot	Concession	
Registered Plan Number	Lot(s)	
Reference Plan Number (s)	Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

□ Yes ☑ No

If YES, describe the easement or covenant and its effect:

# 3. PURPOSE OF THE APPLICATION

# Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

A Minor Variance to allow a Personal Service (Hair dresser) use to be added.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law? Personal Service (Hair Dresser) is not a permitted use under the By-law.

3.3 Is this an application 45(2) of the Planning Act. □ Yes ☑ No If yes, please provide an explanation:

# 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
137 metres	125 metres	13, 769 square metres	+/- 28 metres
ADDI ICATION FOR A MINOR			

APPLICATION FOR A MINOR VARIANCE/PERMISSION (January 1, 2024)

Page 2 of 8

4.2 Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)

### Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Commercial/Industrial Condo	6 metres	10 metres	• <del>9 metres</del>	
		1	14 meters	JA1
			•	

### Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
None				
	······································			

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

### Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storevs	Height
N/A - not touching the outside	WELGET	12/23 ST		Toght
	Unit BS	, \$85h5t2	1	
	385,572 M	eter ARS		
1	- 50 JI 5 ta M	eter Just		

### Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
				·····

4.4 Type of water supply: (check appropriate box)
 ☑ publicly owned and operated piped water system
 ☑ privately owned and operated individual well

□ lake or other water body □ other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)
 ☑ publicly owned and operated storm sewers
 ☐ swales

☐ ditches ☐ other means (specify)

APPLICATION FOR A	MINOR VARIANCE/PERMIS	SION (January 1, 202	4)

Page 3 of 8

4.6	Type of sewage disposal proposed: (check appropriate box)
	☑ publicly owned and operated sanitary sewage ☐ system privately owned and operated individual ☐ septic system other means (specify)
4.7	Type of access: (check appropriate box)         provincial highway       I right of way         municipal road, seasonally maintained       I other public road         municipal road, maintained all year       I other public road
4.8	Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.): Commercial/Industrial Condominium buildings
4.9	Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.): Vacant, Commercial, Industrial
7	HISTORY OF THE SUBJECT LAND
7.1	Date of acquisition of subject lands: Conditional offer based on minor variance - closing January 31, 2025
7.2	Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc) Vacant, new and never been used
7.3	Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc) None
7.4	Length of time the existing uses of the subject property have continued: N/A
7.5	What is the existing official plan designation of the subject land?
	Rural Hamilton Official Plan designation (if applicable):
	Rural Settlement Area:
	Urban Hamilton Official Plan designation (if applicable) Employment Area - Business Parl
	Please provide an explanation of how the application conforms with the Official Plan. See attached rationale.
7 <i>.</i> 6	What is the existing zoning of the subject land?- <u>Unknown M3 Exception</u>
7.8	Has the owner previously applied for relief in respect of the subject property? (Zoning By-lawAmendment or Minor Variance)
	If yes, please provide the file number: Unknown

APPLICATION FOR A MINOR VARIANCE/PERMISSION (January 1, 2024)

Page 4 of 8

7.9	Is the subject property the subject of a current a		nt application for consent under Section 53 o	f the
	r anning riot :	☐ Yes	☑ No	

If yes, please provide the file number:

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

# 11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

11.4

Application Fee		
Site Sketch		
Complete Application form		
Signatures Sheet		
Other Information Deemed Necessary		
Cover Letter/Planning Justification Report		
Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance		
Minimum Distance Separation Formulae (data sheet available upon request)		
Hydrogeological Assessment		
Septic Assessment		
Archeological Assessment		
☐ Noise Study		
Parking Study		

APPLICATION FOR A MINOR VARIANCE/PERMISSION (January 1, 2024)