

# 50 Markland St

## RENOVATION PROPOSAL

**Project Address:** 50 Markland St. Hamilton, ON

**Owner information:** Eric and Sarah Desrosiers

**Project Overview:** Demolish the back portion of the existing home and rebuild with salvaged or like materials (specified and outlined herein).

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Attached

Appendix A – Photos of Existing [Attached Herein]

Appendix B – Architectural Drawings / Blueprints

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### ***INTRODUCTION***

After years of searching and waiting, Sarah and I became the keepers of 50 Markland St., for years to come. After living in the Herkimer Apartments (looking into this very backyard every day) we were fortunate to make contact with Carl Turkstra, the previous owner of this home and a proud member of this community. Unfortunately, after 30 years of living there, he was no longer able to keep up with the maintenance of the home and it slowly fell into a weathered state. Sarah and I look forward to many years in this home, having just welcomed two children into this world since 2022, our vision is to raise our kids in this community and continue to thrive many years after.

Below, you will find our outlined proposal and vision to bring this home back into its glory and into a more liveable functional home so that it may remain our family home.

We look forward to discussions regarding our proposed renovations.

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Scope of Work Breakdown

### ***DEMOLITION***

Our proposal includes the full demolition of the back portion of the home, as outlined and displayed in the attached drawings. This demolition will include the full demolition of the foundation, exterior walls and windows, and roof.

### ***RECONSTRUCTION***

The reconstruction will expand the back portion of the home using like materials (outlined throughout this document). The plans call to extend the home back 4' and increase the liveable space on both the main floor and second floor. Currently the back portion of the home is deteriorating due to previous neglect and was laid out in a manor that did not connect the liveable space to the back yard – as was common design in years past. We hope to rebuild the back portion in a manor to increase access to the rear yard and bring in more natural light to the liveable space. The reconstruction will utilize as many like or salvaged materials as possible.

**BRICKS/MASONRY**

During the demolition our best effort will be made to salvage some brick and material, though we are being advised by restoration masons and the engineer that not much brick will be kept. Currently we are allowing for all new brick. We have sourced a brick that is identical to the existing and perfectly matches the aged / imperfect brick from this old home. This brick was also utilized on our Garage renovation (Heritage Permit: HP2023-018)

Existing vs Proposed



Withing the scope of the masonry brick work, we will be repointing all necessary areas, following the heritage standard.

**WINDOWS**

***The front façade of the house will be under a separate heritage application.***

For the remaining windows (all side windows and windows at back of building) we are proposing to install all new windows in a matching style. We are proposing to install windows with an identical mullion pattern and trim from the exterior.

We believe this maintains the heritage look of the home from all visible sightlines, while increasing functionality in our home. It is important for us to keep the same aesthetic, while equally important to be able to properly utilize these fixtures.

The non street facing windows we are proposing are Pella – Lifestyle windows (or similar). There of similar design and look, using wood construction, however they utilize some more modern technology and systems for modern day efficiency and functionality.

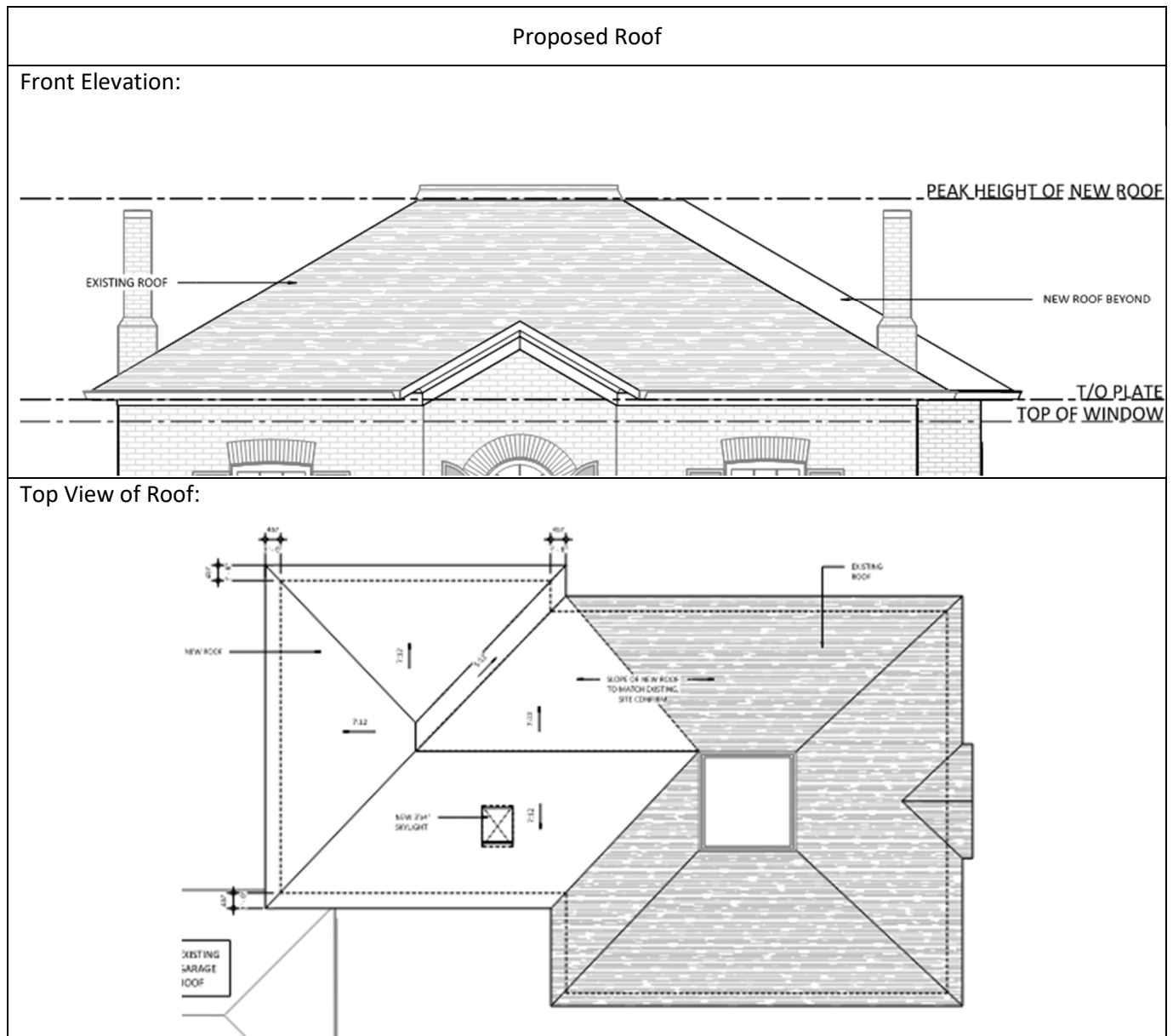


**DOORS**

The only door that will be visible from any sightline will be the front door (street facing). **The front door proposal shall be under a separate heritage permit.**

## ROOF

The new roof on the proposed addition will be set at the same level as the existing roof (as displayed in the Drawings – Appendix). The roofing will be of the same material, and all trim and gutters will match in colour and style.



Existing and proposed materials will be the same – GAF Black Architectural Shingles.

The visible downspouts are not being changed and will remain as is. The new downspouts will be a perfect match of same material and colour (black aluminum downspouts and off-white gutters).

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**Appendix A – Photos**

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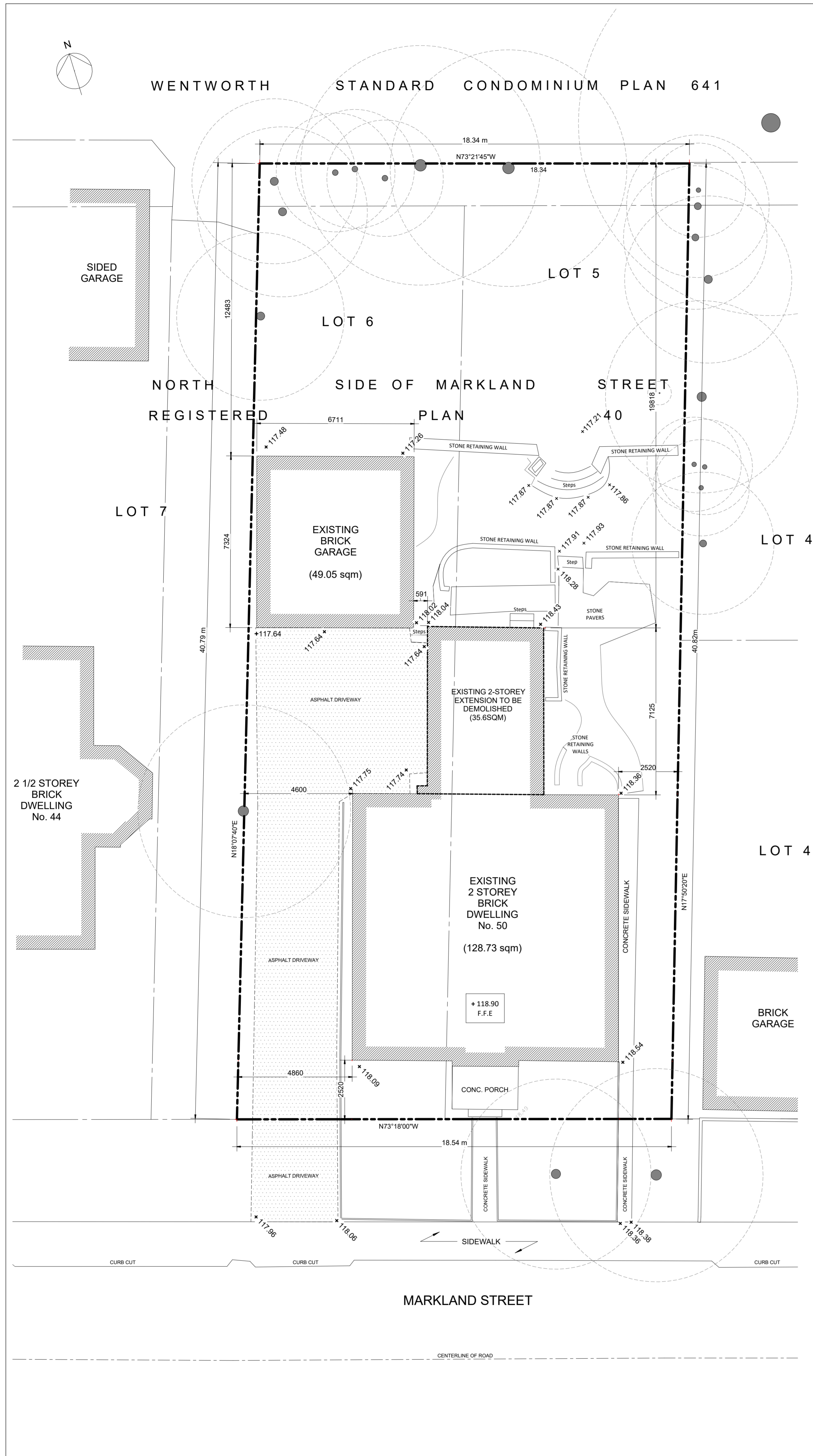
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## Appendix B - Drawings

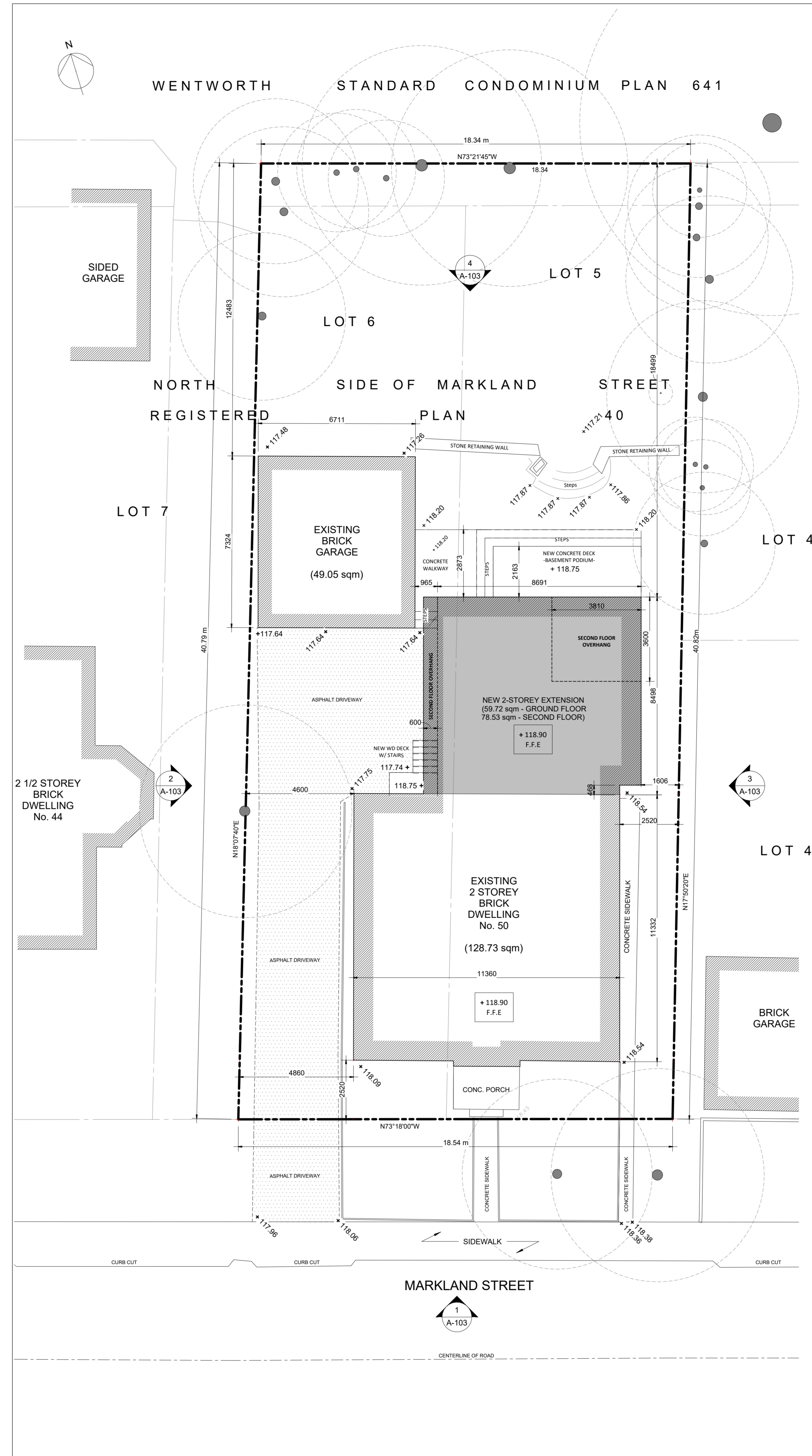
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*Provided on Following pages.*

30" x 42" ARCHITECT SHEET SIZE  
PLOT DATE: 2025-02-05 10:33:30 PM



1 SITE PLAN - EXISTING  
1 : 100



2 SITE PLAN - PROPOSED  
1 : 100

| GROSS FLOOR AREAS - 50 MARKLAND ST |                                |                                       |                 |             |
|------------------------------------|--------------------------------|---------------------------------------|-----------------|-------------|
| LEVEL                              | GFA - EXISTING TO REMAIN (SQM) | GFA - EXISTING TO BE DEMOLISHED (SQM) | GFA - NEW (SQM) | TOTAL (SQM) |
| BASEMENT                           | 70.13                          | 35.61                                 | 84.14           | 118.66      |
| GROUND FLOOR                       | 164.34                         | 35.61                                 | 59.72           | 188.45      |
| SECOND FLOOR                       | 164.34                         | 35.61                                 | 78.53           | 207.26      |
| ATTIC                              | 24.81                          |                                       | 0.00            | 24.81       |
| TOTAL AREA                         |                                |                                       |                 | 539.18      |
| TOTAL GFA ABOVE GRADE              |                                |                                       |                 | 420.53      |

| SITE STATISTICS                    |                     |          |                          |              |
|------------------------------------|---------------------|----------|--------------------------|--------------|
|                                    | SQM                 | REQUIRED | BY-LAW 05-200            | BY-LAW 6893  |
| LOT AREA - EXISTING PER SURVEY     | 751.87              | 360 sqm  | 360.00                   | 360.00       |
| BUILDING AREA PROPOSED (FOOTPRINT) | 188.45              |          |                          |              |
| EXISTING GARAGE (FOOTPRINT)        | 49.05               |          |                          |              |
| ASPHALT DRIVEWAY AREA - EXISTING   | 99.466              |          |                          |              |
| TOTAL LANDSCAPED AREA              | 414.89 sqm (55.18%) | 30% min. | SECTION 15.1.2.(h) : 30% | NOT PROVIDED |

| FRONT YARD LANDSCAPING                    |                    |              |                        |              |
|---|--------------------|--------------|------------------------|--------------|
|   | SQM                | REQUIRED (%) |                        |              |
| FRONT YARD AREA (FYA)                     | 45.535             |              |                        |              |
| ASPHALT DRIVEWAY AREA (WITHIN FRONT YARD) | 9.093              |              |                        |              |
| FRONT YARD LANDSCAPING (FYL)              | 36.442sqm (80.03%) | 50.00%       | SECTION 4.3.6(a) : 50% | NOT PROVIDED |

| SETBACKS/ BUILDING DIMENSIONS |                            |              |           |           |
|-------------------------------|----------------------------|--------------|-----------|-----------|
|                               | PROPOSED (m)               | REQUIRED (m) |           |           |
| BUILDING HEIGHT LIMIT         | 9.78m New (10.3m existing) | 10.50        | 10.5m     | 11m       |
| LOT WIDTH                     | 18.54m - EXISTING          | 12.00        | 12m       | 12m       |
| <b>SETBACKS</b>               |                            |              |           |           |
| FRONT YARD SETBACK            | 2.4 to 2.5m - EXISTING     | 4m MIN       | 4m MIN    | 6m MIN.   |
| SIDE YARD SETBACK             | 2.3 to 4.86m - EXISTING    | 1.2m MIN.    | 1.2m MIN. | 1.2m MIN. |
| REAR YARD SETBACK             |                            | 7.5m MIN.    | 7.5m MIN. | 7.5m MIN. |

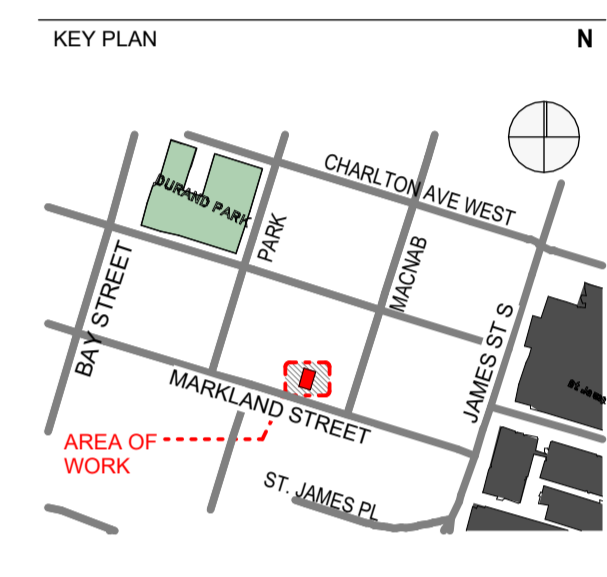
PROJECT  
50 MARKLAND STREET  
2-STORY EXTENSION  
50 MARKLAND ST, HAMILTON, ON, L8P 2J7

CLIENT  
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ARCHITECT'S SEAL  
ENGINEER'S SEAL

PROJECT NORTH  
TRUE NORTH

REVISIONS

| No. | Date | Description |
|-----|------|-------------|
|     |      |             |

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No. Date Description

ISSUED:

DRAWN BY: Author REVIEWED BY: Checker

DATE: Issue Date SCALE: 1 : 100

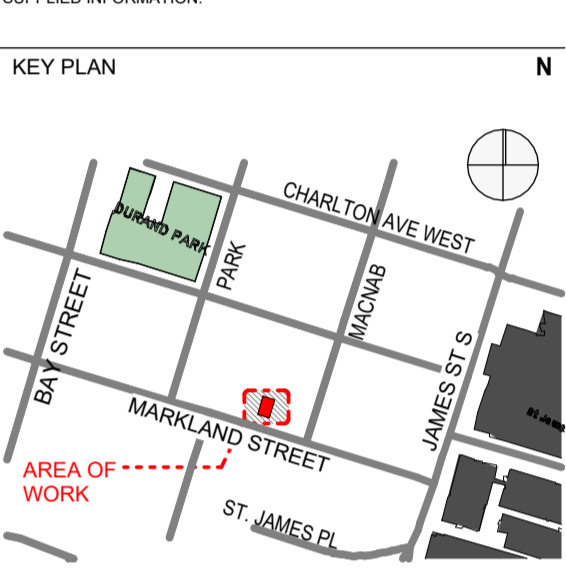
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SHEET TITLE  
SITE PLAN AND STATISTICS

SHEET NUMBER: **A-001** REVISION NO.

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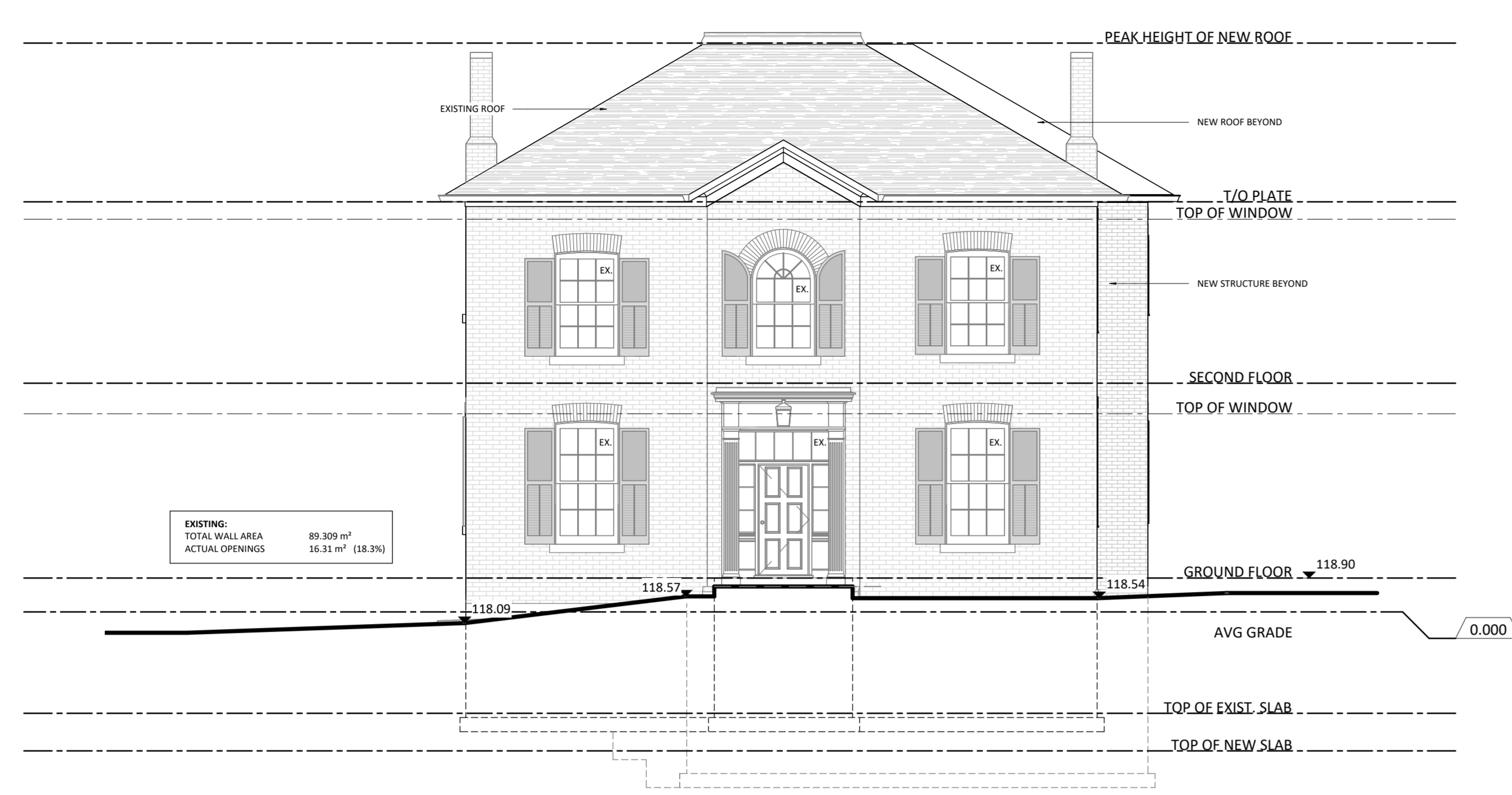


| ARCHITECT'S SEAL |  | ENGINEER'S SEAL |  |
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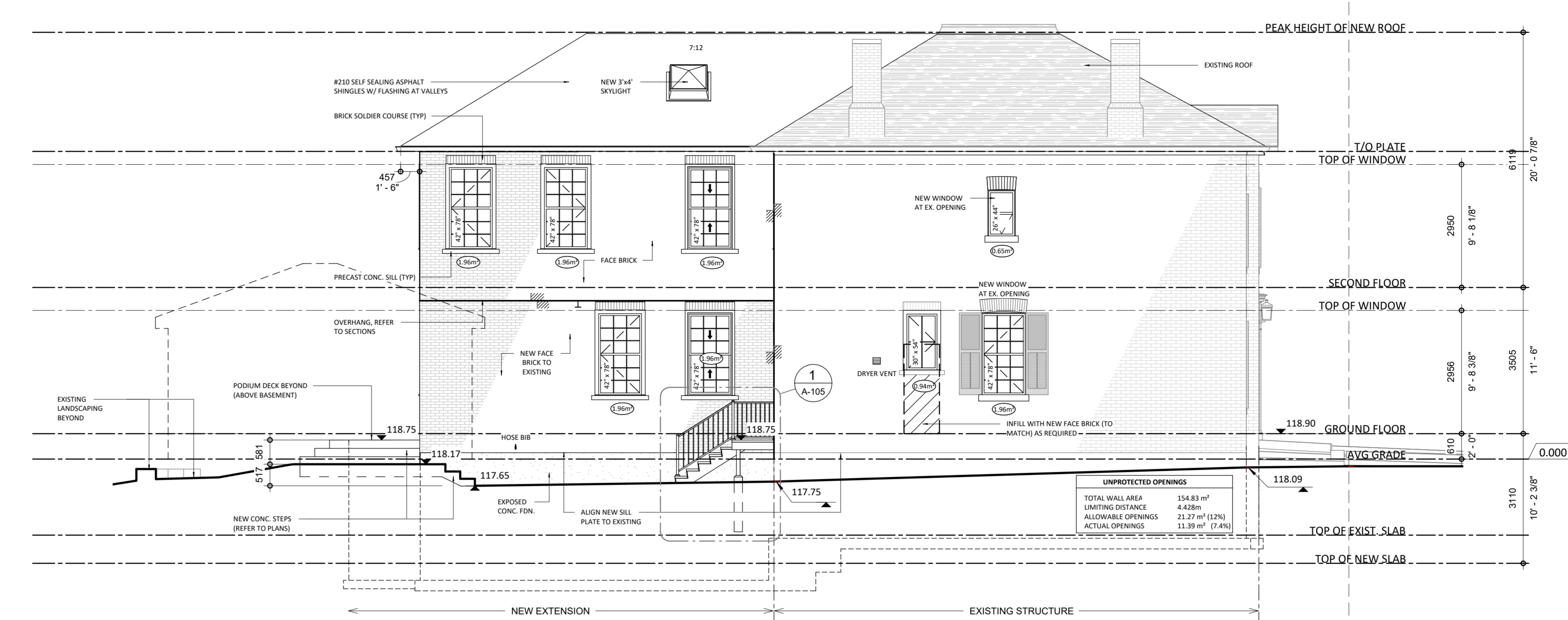
  

| REVISIONS |      |             |
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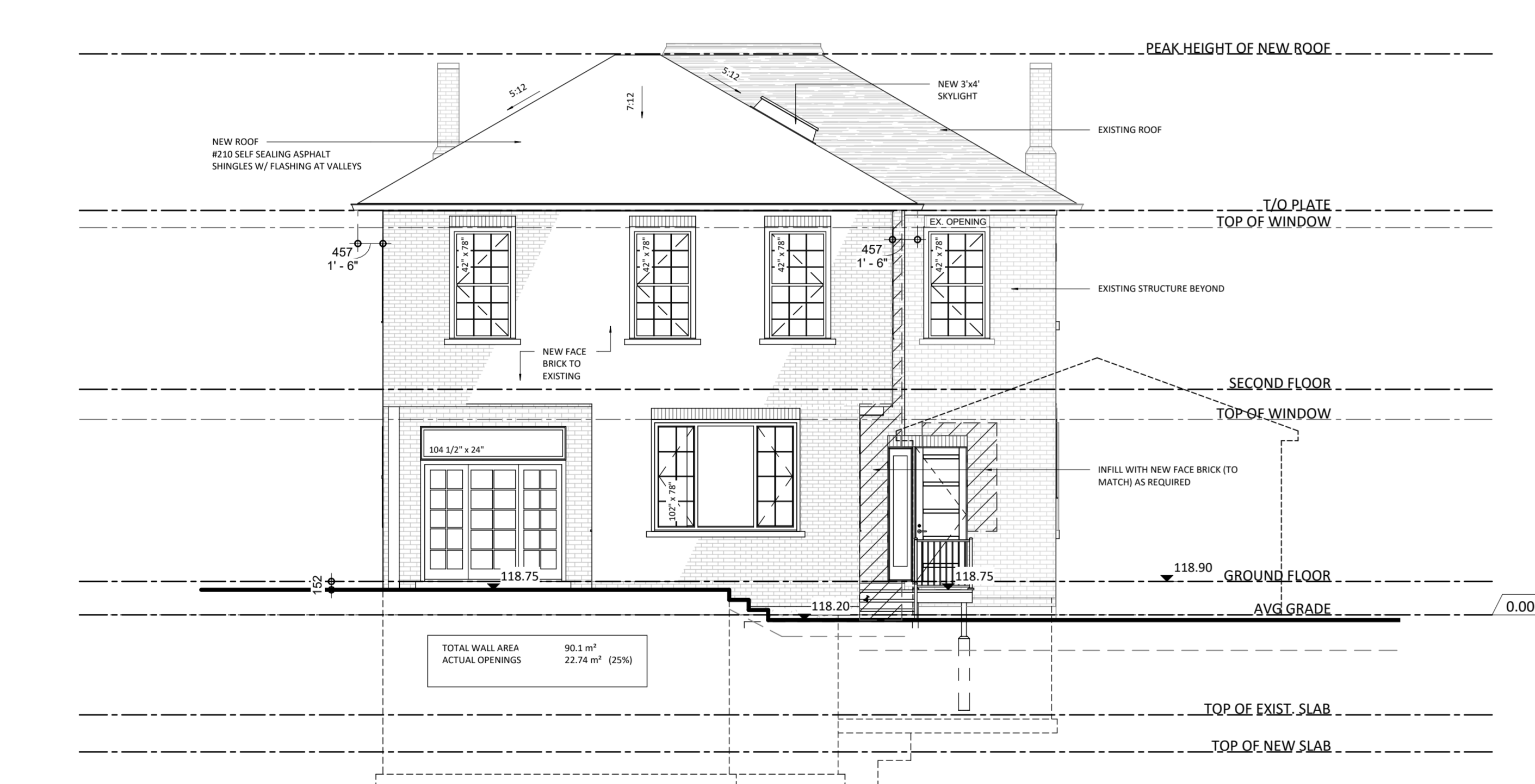
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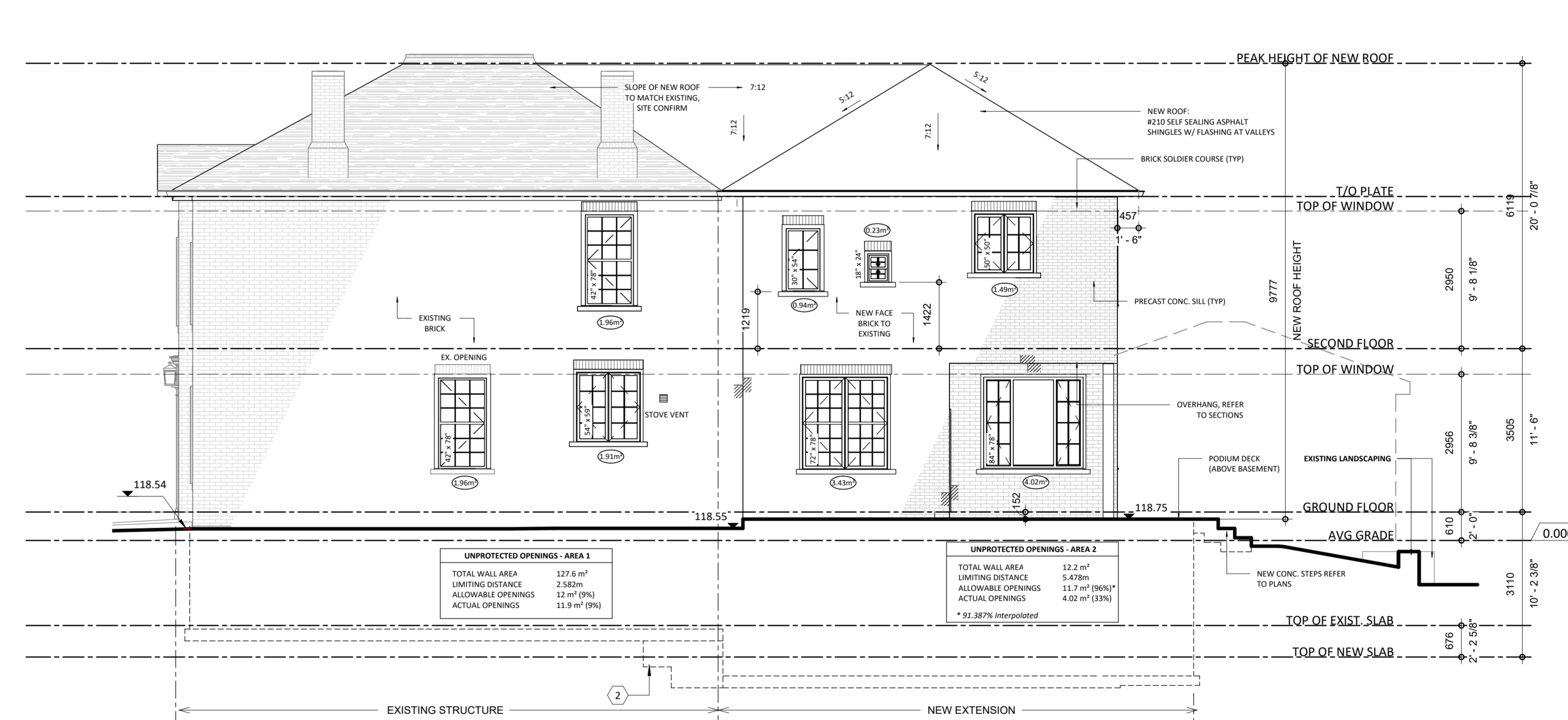
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1:75



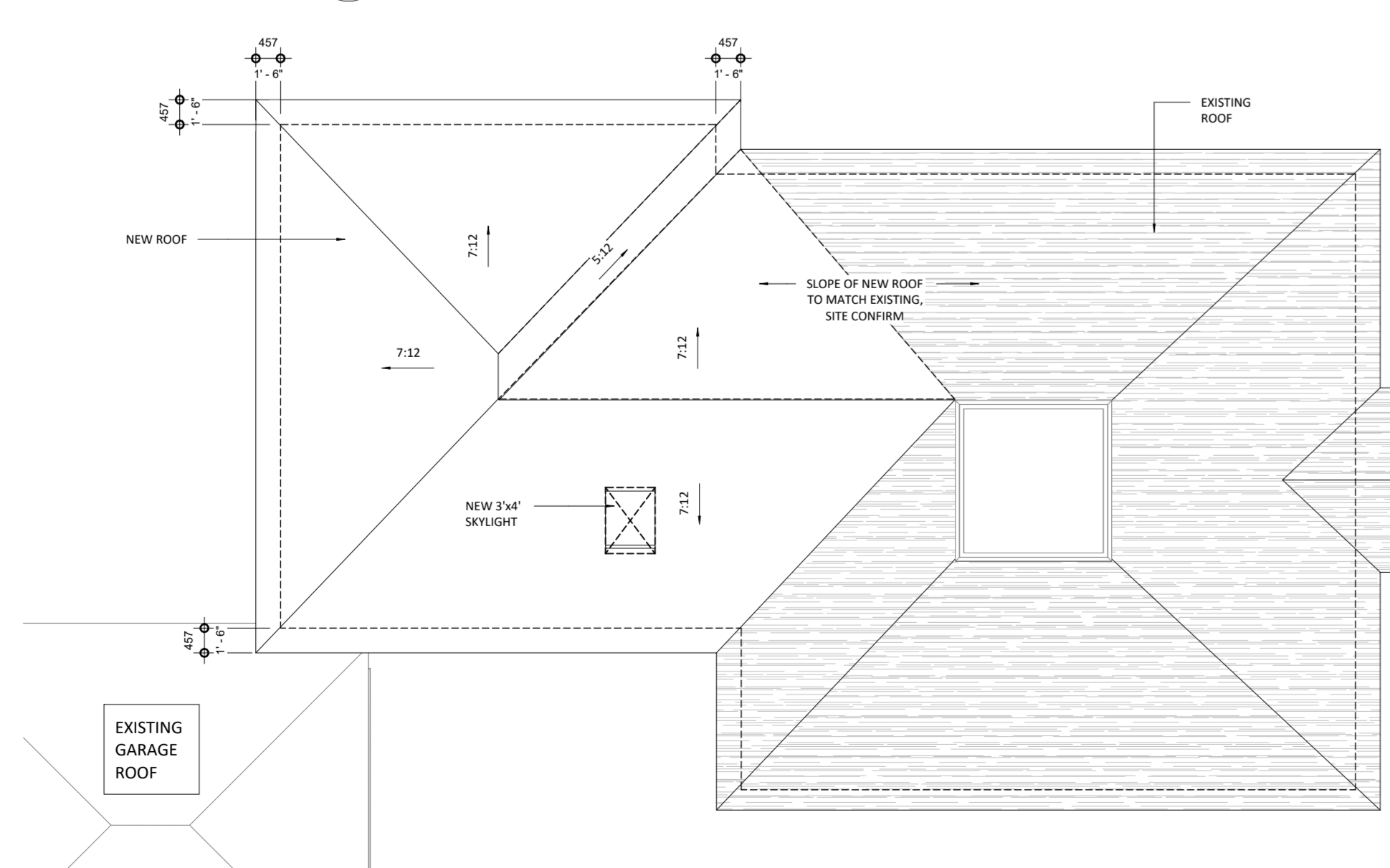
**2 EAST ELEVATION**  
1:75



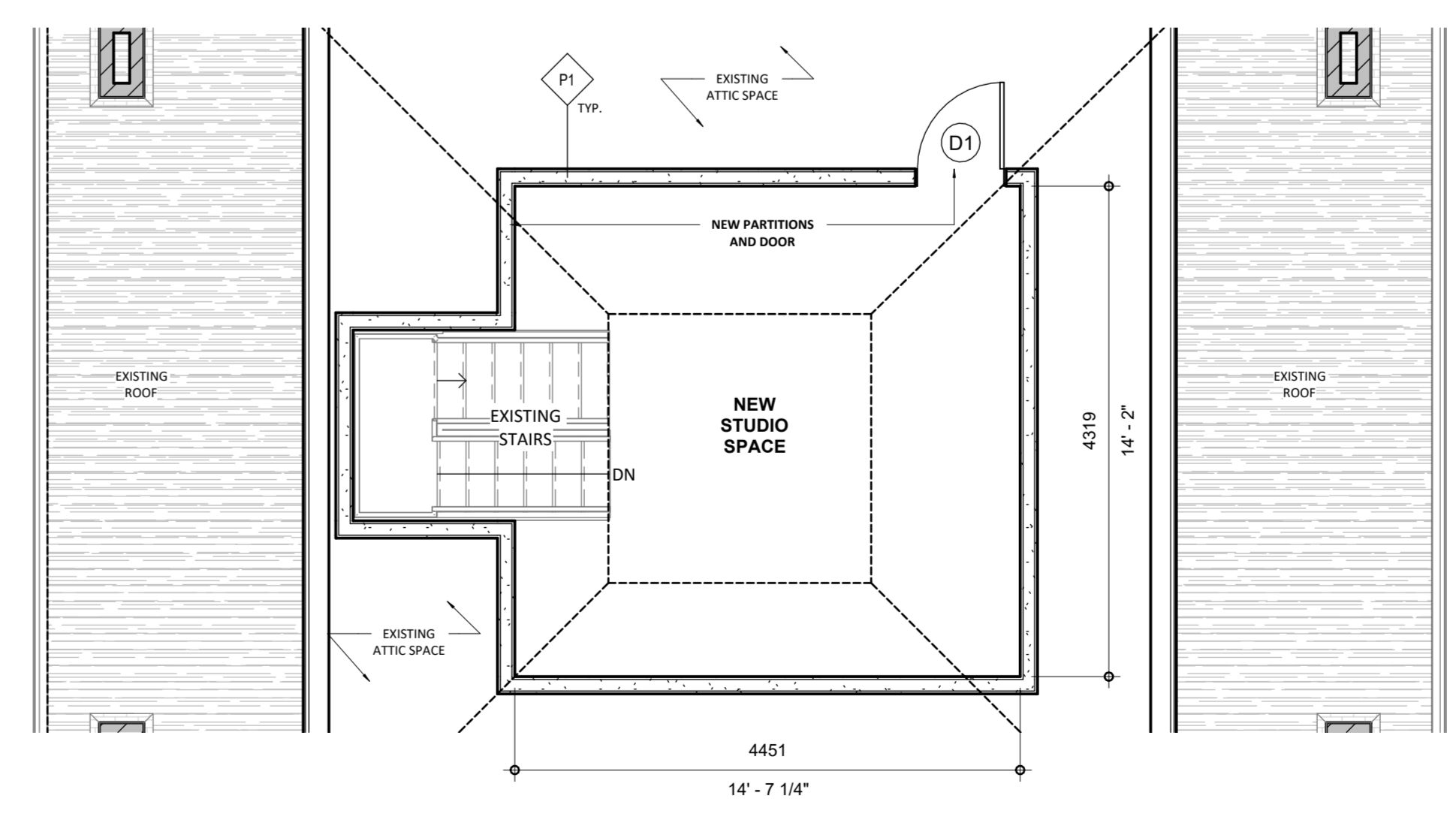
**4 NORTH ELEVATION**  
1:75



**3 WEST ELEVATION**  
1:75



**5 ROOF PLAN**  
1:100



**6 EXISTING ATTIC SPACE**  
1:50

| No. | Date | Description |
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|     |      |             |

ISSUED:

DRAWN BY: Author      REVIEWED BY: Checker

DATE: Issue Date      SCALE: As Indicated

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SHEET TITLE  
**ELEVATIONS & PLANS**

SHEET NUMBER:      REVISION NO.

**A-103**

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