



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-25:007</b>	<b>SUBJECT PROPERTY:</b>	754 Cannon Street East, Hamilton
<b>ZONE:</b>	Low Density Residential - Small Lot (R1a) Zone	<b>ZONING BY-LAW:</b>	Hamilton Zoning By-law 05-200, as Amended by By-law 22-197

**APPLICANTS:** Owner: Michael Sifontes  
Agent: King Homes Inc. - Ken Bekendam

The following variances are requested:

1. A porch, including steps, at the front of the dwelling shall be permitted to encroach a maximum distance of 2.72 metres into the minimum required 4.0 metre front yard setback instead of the maximum permitted encroachment of 1.5 metres into a required yard.
2. An exterior staircase shall be permitted to encroach 2.82 metres into the minimum required 4.0 metre front yard setback whereas an exterior staircase is not permitted to encroach into a minimum required front yard.

**PURPOSE & EFFECT:** To permit the construction of a porch and an exterior staircase in the front yard of a dwelling

**Notes: N/A**

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, February 13, 2025</b>
<b>TIME:</b>	<b>1:15 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>

	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>
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For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

**PUBLIC INPUT**

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon February 11, 2025

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon February 12, 2025

**FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:007, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: January 27, 2025

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

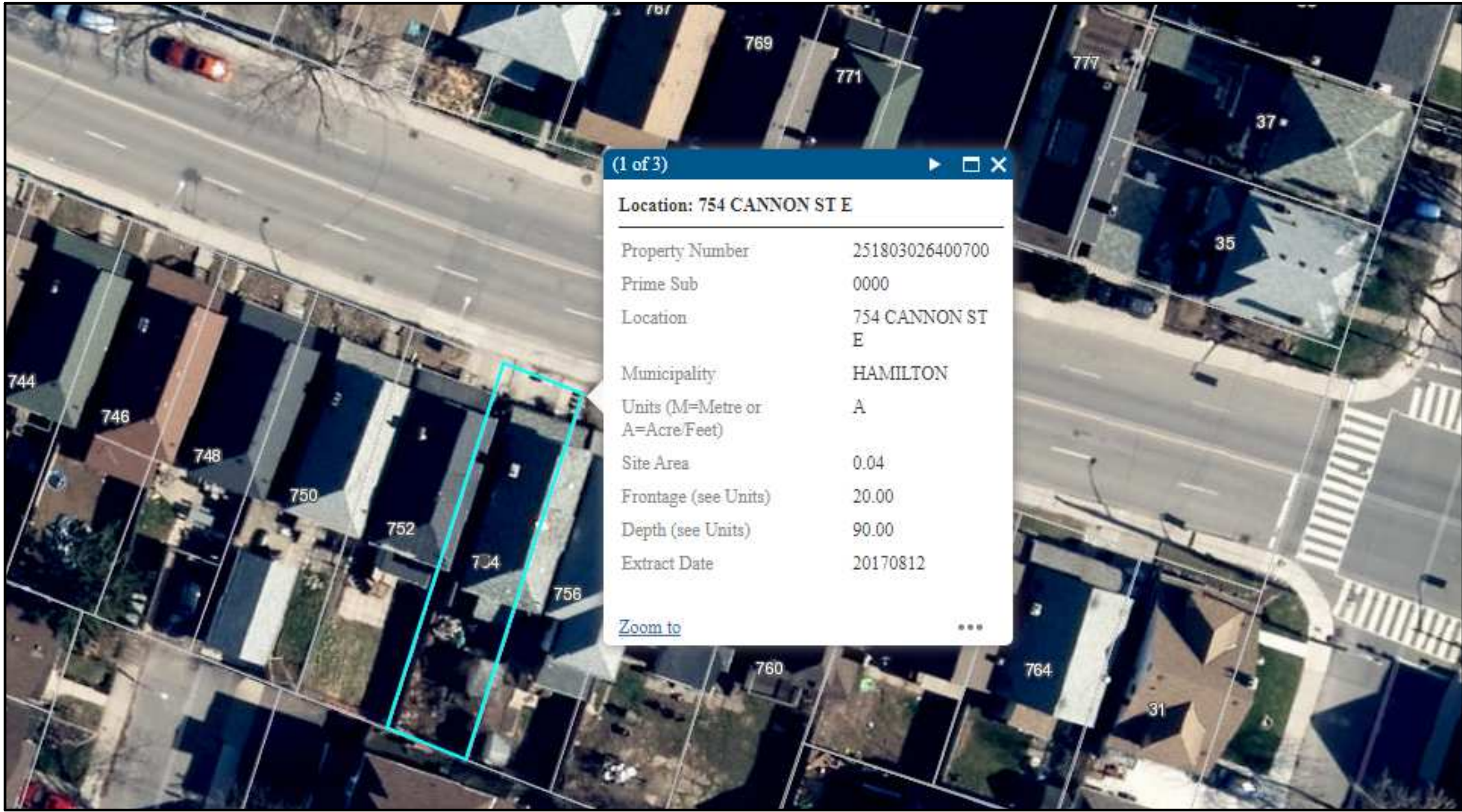
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

# 754 CANNON ST. EAST, HAMILTON

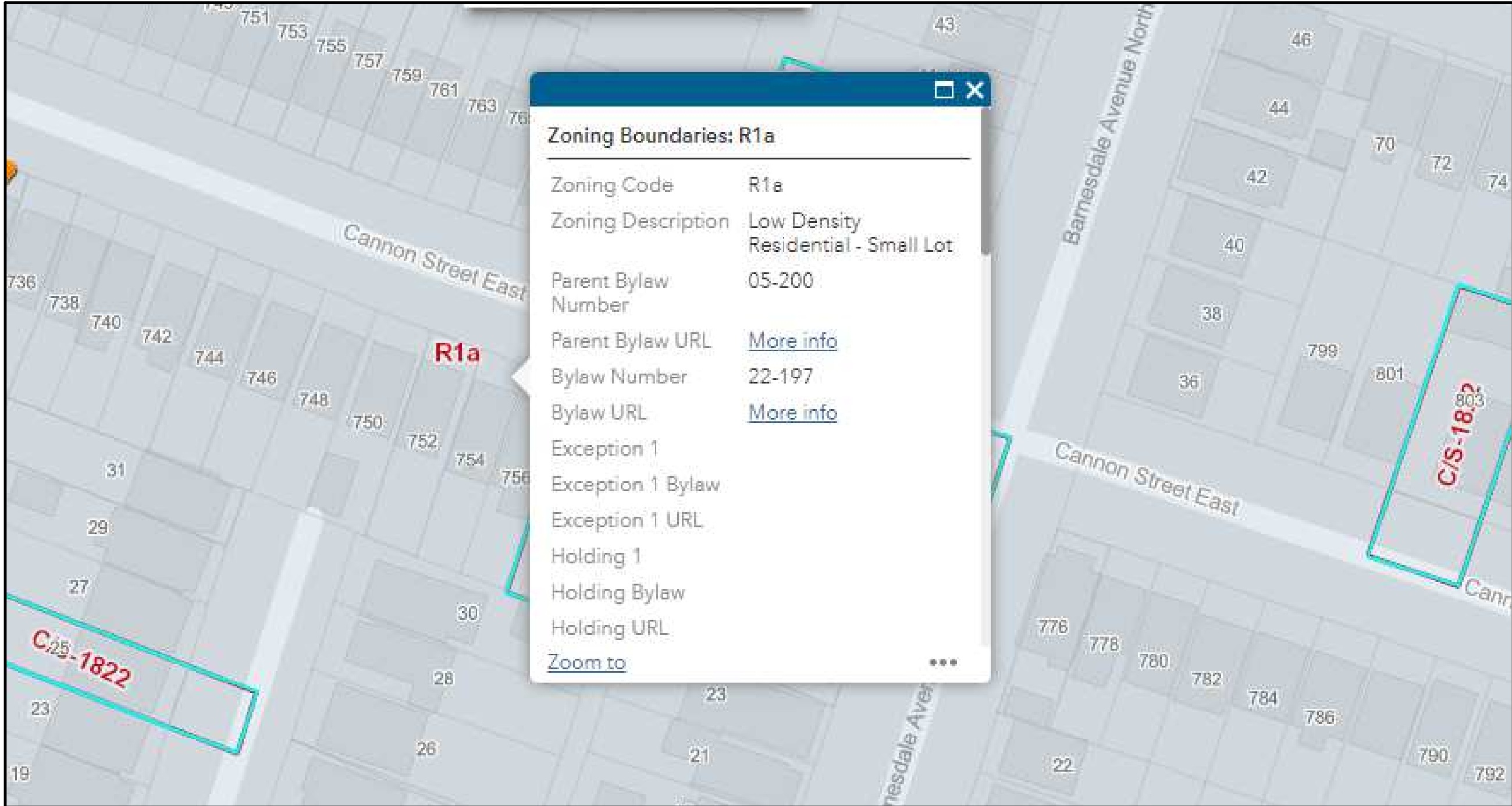
## CONVERTED DWELLING UNIT



**PROPOSED BUILDING PERSPECTIVE**



**AERIAL MAP**



**ZONING MAP**

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

**LEAD DESIGNER & CONSULTANT:**  
KEN BEKENDAM, B.A BUSCOM, LT.  
kenbekendam@gmail.com

**CELL PHONE:**  
905-961-0647

**OFFICE ADDRESS:**  
979 MAIN ST. E. HAMILTON, ON

**OFFICE PHONE:**  
905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ BCIN: \_\_\_\_\_

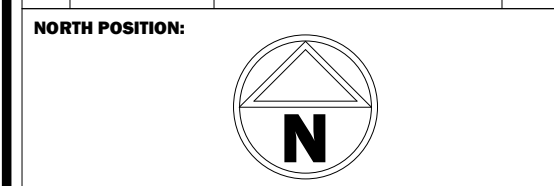
**REGISTRATION INFORMATION**  
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KING HOMES INC. 121307  
Name: \_\_\_\_\_ BCIN: \_\_\_\_\_

**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
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- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			



**ENGINEER'S STAMP:**



PROJECT NAME/ADDRESS:

**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

SHEET NAME:

**TITLE PAGE**

PROJECT NO. 23-46	DATE: 12/19/24
SCALE: 1/2" = 1'-0"	REVISION:
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

**A0.01**



SITE INFORMATION & STATISTICS	
ADDRESS:	754 CANNON ST E,   HAMILTON, ON
ZONING TYPE:	R1a
LOT AREA:	1800.00 SQ FT (167.22 m <sup>2</sup> )
LOT FRONTAGE:	20' - 00" (6.10 m)

**GENERAL NOTES:**

1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
6. ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.
7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION, AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR
12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

**EXISTING STRUCTURE NOTE:**

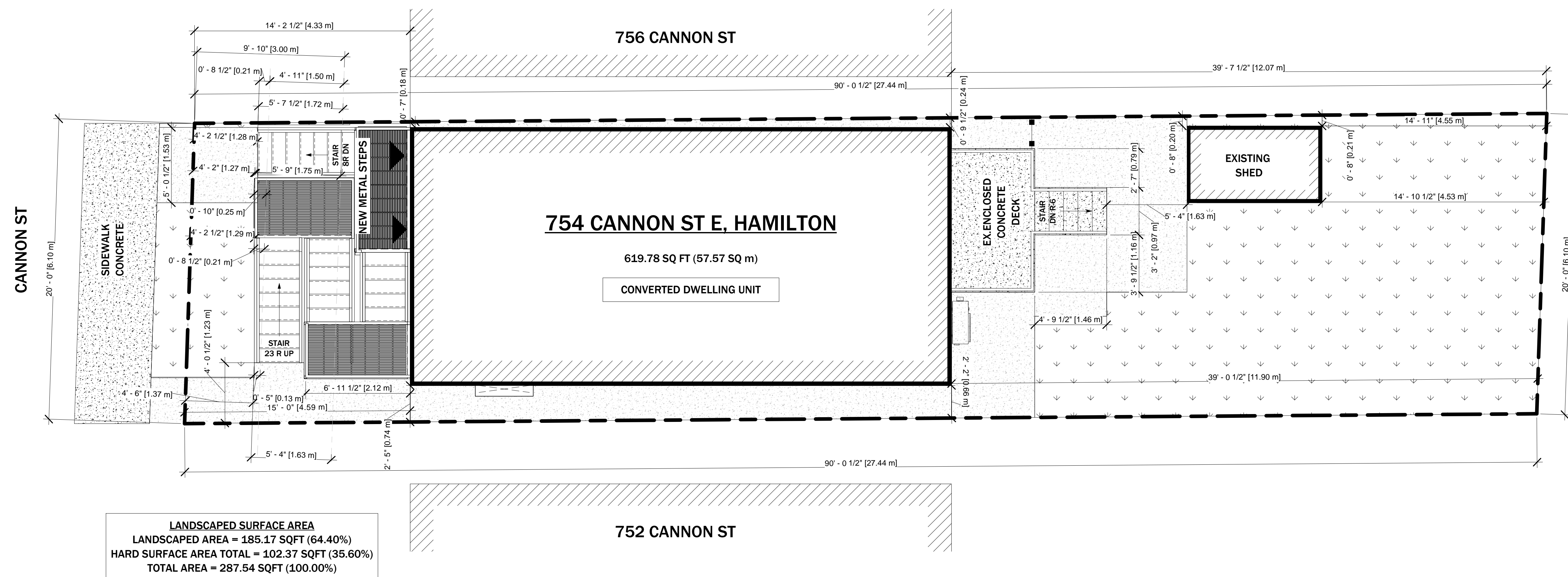
OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK, OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

**BUILDING CODE COMPLIANCE NOTE:**

THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

**SITE PLAN:**

BASED ON HAMILTON SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES.



1 PROPOSED SITE PLAN  
1/4" = 1'-0"

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.  
**LEAD DESIGNER & CONSULTANT:** KEN BEKENDAM, B.A BUSCOM, L.T.  
 979 MAIN ST. E. HAMILTON, ON  
 905-961-0647  
 kenbekendam@gmail.com

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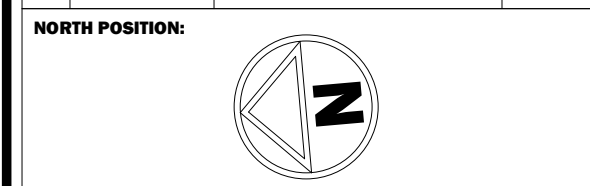
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Name: Signature: BCIN:  
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 KING HOMES INC. 121307  
 Name: BCIN:

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8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
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**ENGINEER'S STAMP:**



PROJECT NAME/ADDRESS:

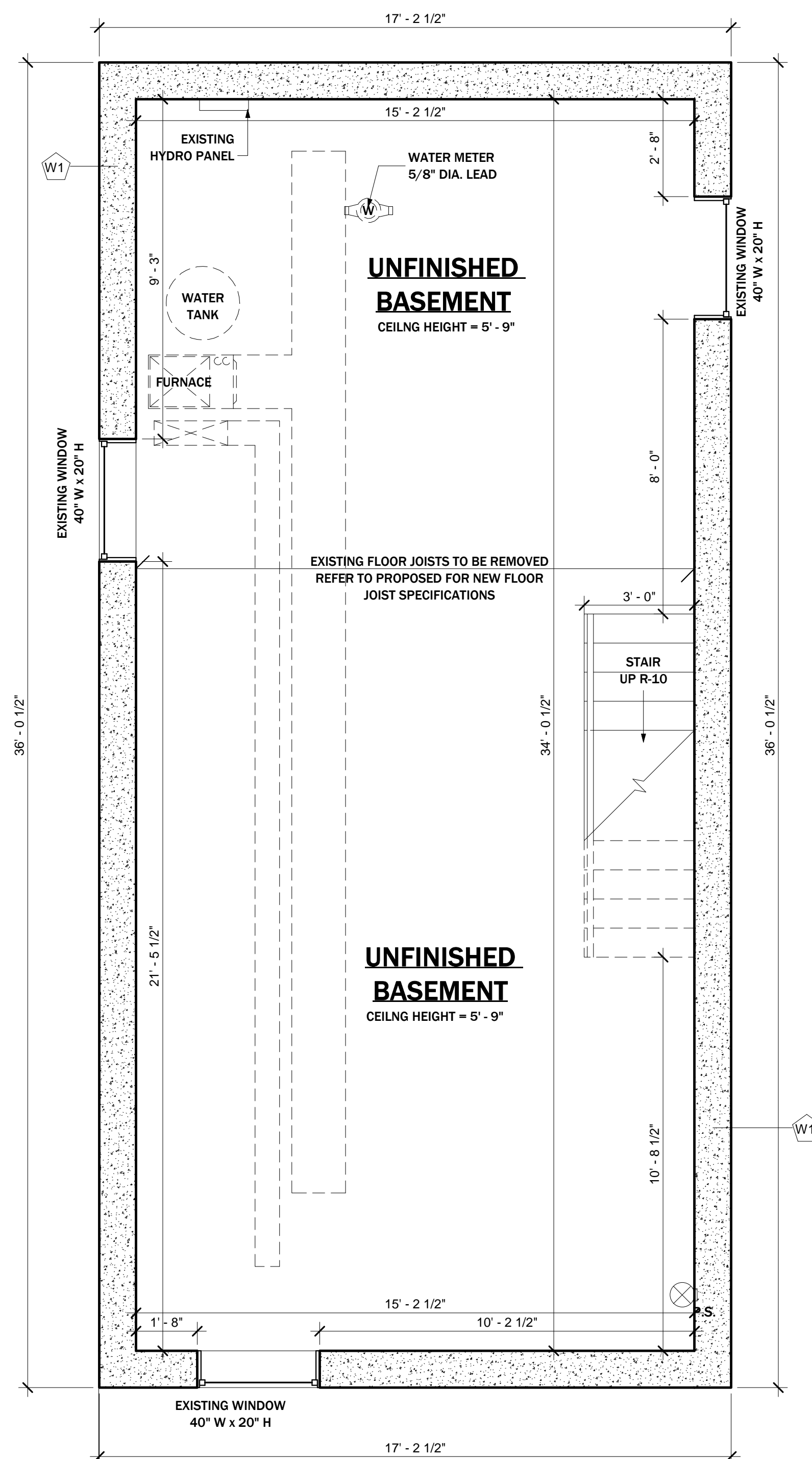
**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

SHEET NAME:  
**SITE PLAN**

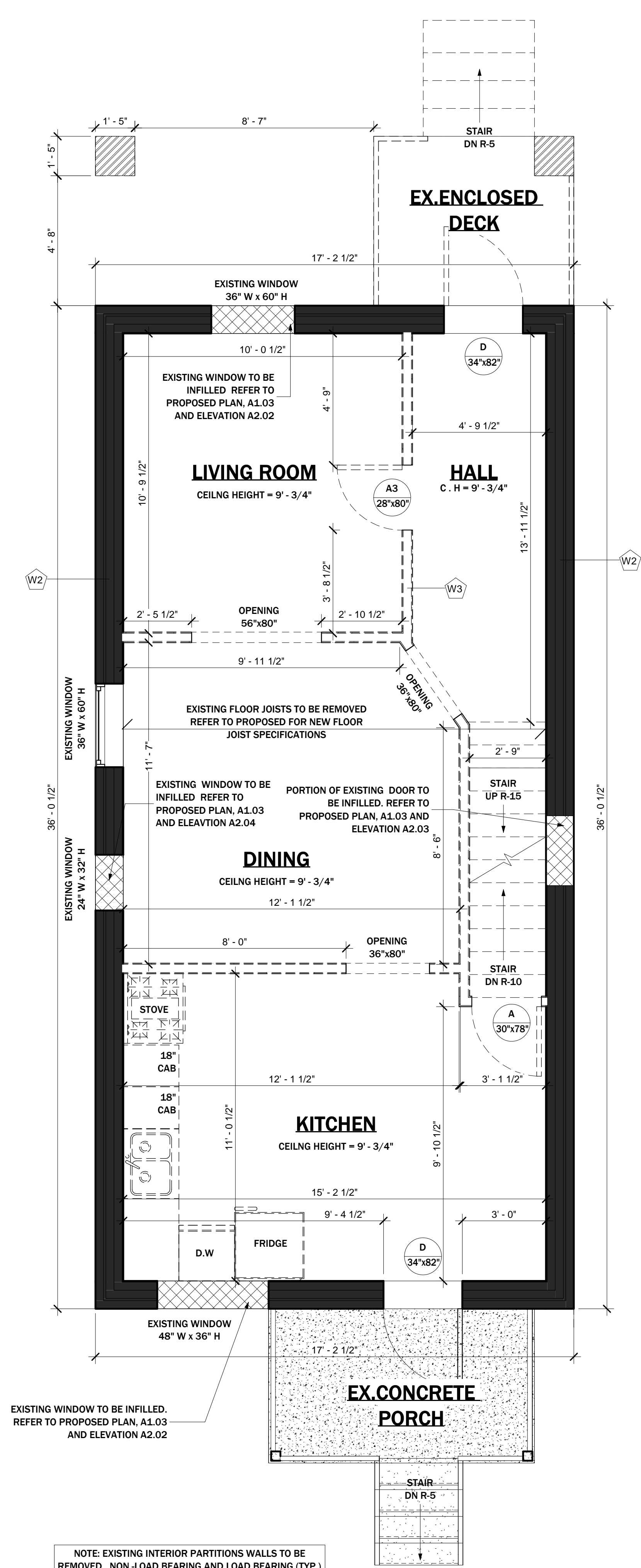
PROJECT NO. 23-46	DATE 12/19/24
SCALE 1/4" = 1'-0"	REVISION
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

**SP1.01**



1 EXISTING BASEMENT  
3/8" = 1'-0"



2 EXISTING 1ST FLOOR  
3/8" = 1'-0"

NOTE: EXISTING INTERIOR PARTITIONS WALLS TO BE REMOVED. NON-LOAD BEARING AND LOAD BEARING (TYP.)



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CELL PHONE: 905-961-0647  
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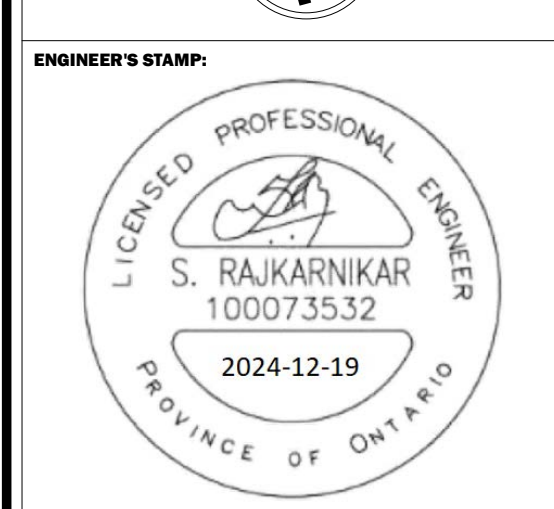
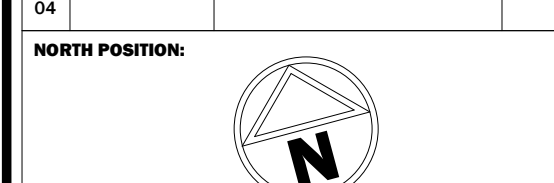
The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.5.1 of the building code  
Name: Signature: BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.5.1 of the building code  
KING HOMES INC. 121307  
Name: BCIN

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PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:  
EXISTING FLOOR PLANS

PROJECT NO.	DATE
23-46	12/19/24

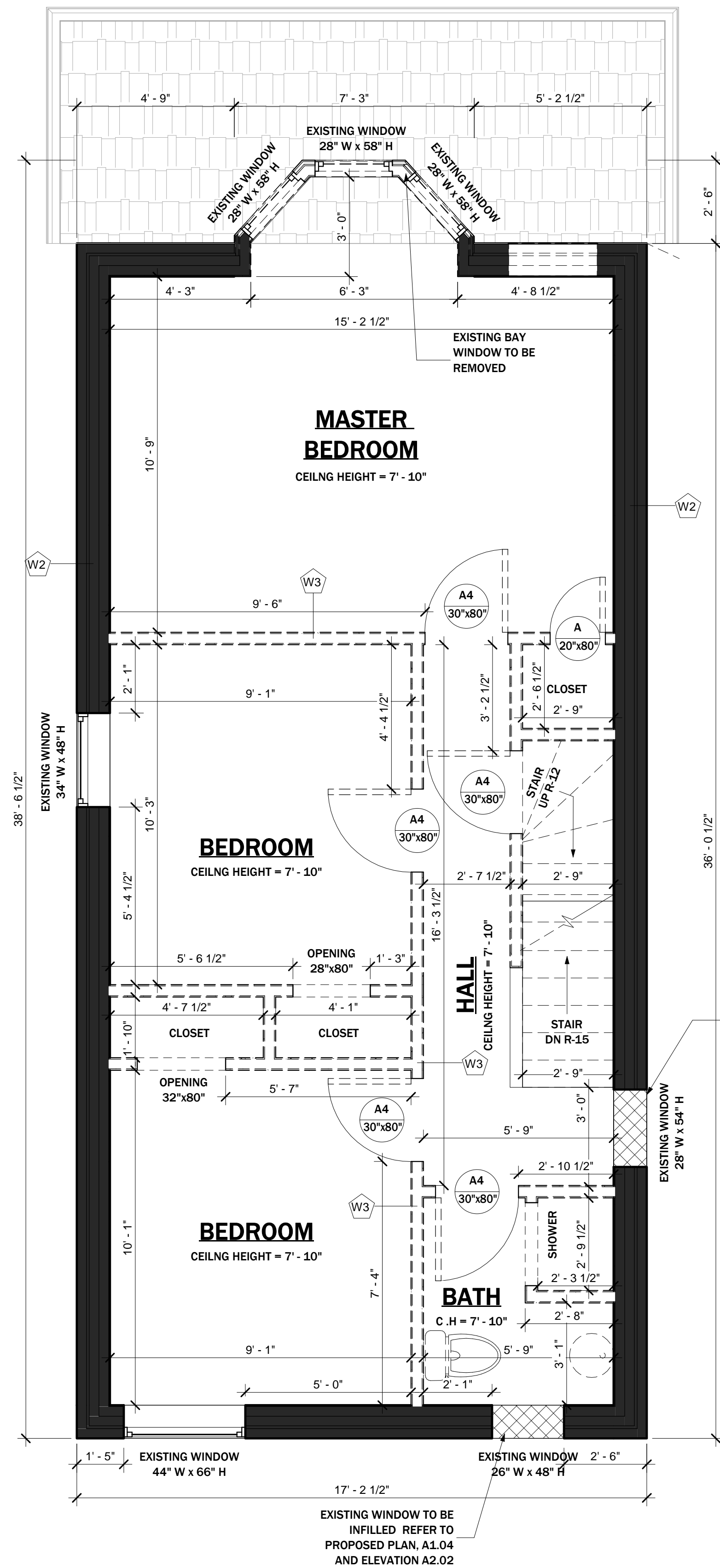
SCALE:	REVISION:
3/8" = 1'-0"	

DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

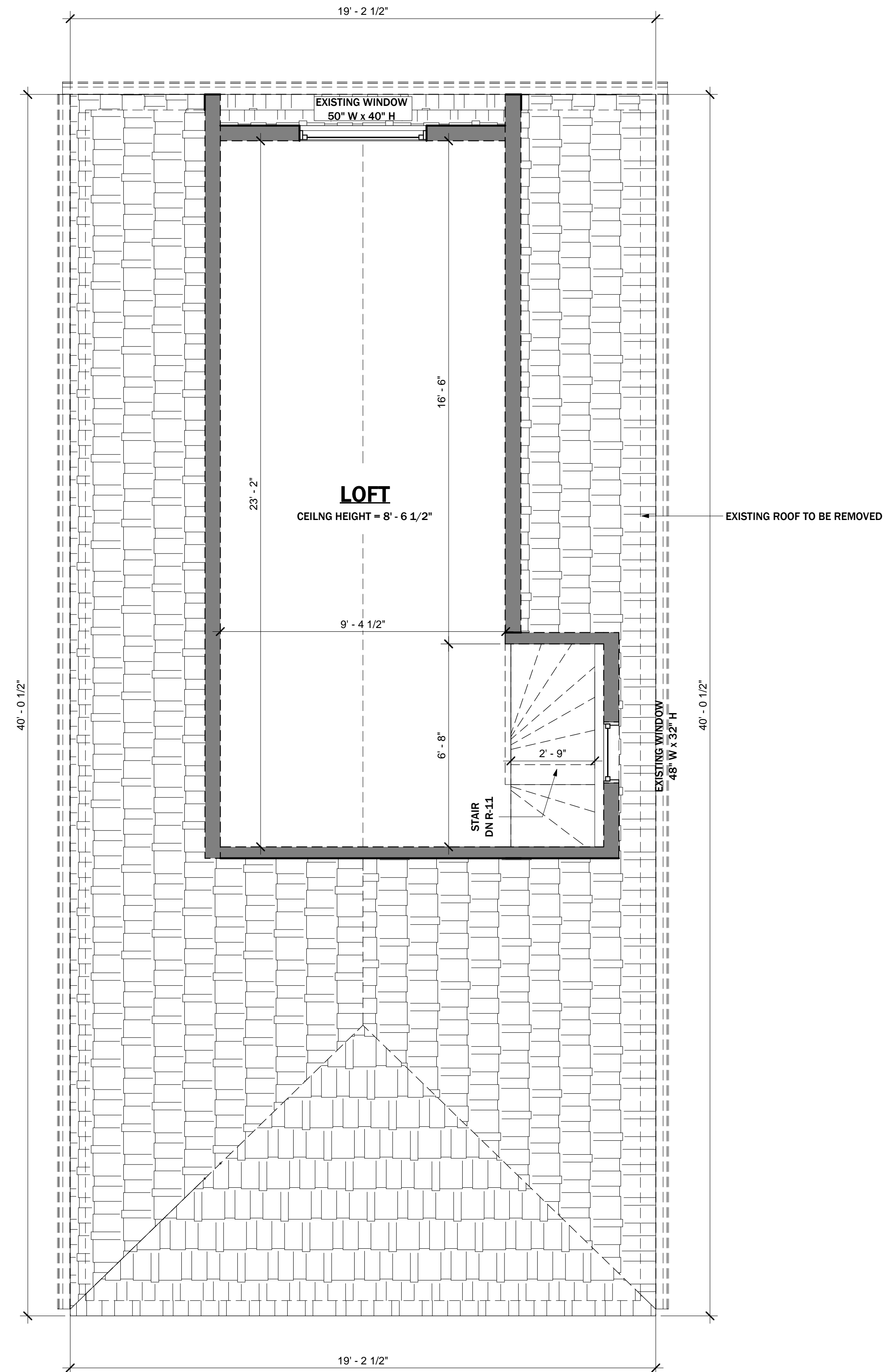
SHEET NO.

A1.01





1 EXISTING 2ND FLOOR  
3/8" = 1'-0"



2 EXISTING 3RD FLOOR  
3/8" = 1'-0"



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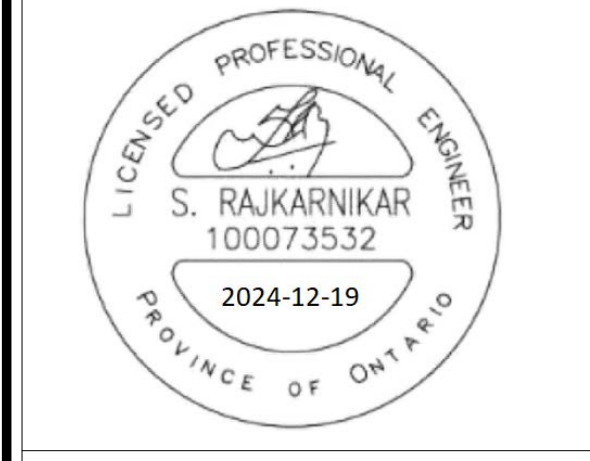
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**NORTH POSITION:**

**ENGINEER'S STAMP:**



PROJECT NAME/ADDRESS:

**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

**EXISTING FLOOR PLANS**

PROJECT NO.	DATE	SCALE	REVISION
23-46	12/19/24	3/8" = 1'-0"	

DRAWN BY: DANILO MARTINELLI  
REVIEWED BY: KEN BEKENDAM

SHEET NO.

**A1.02**

**SEPARATION BETWEEN RESIDENTIAL SUITES**

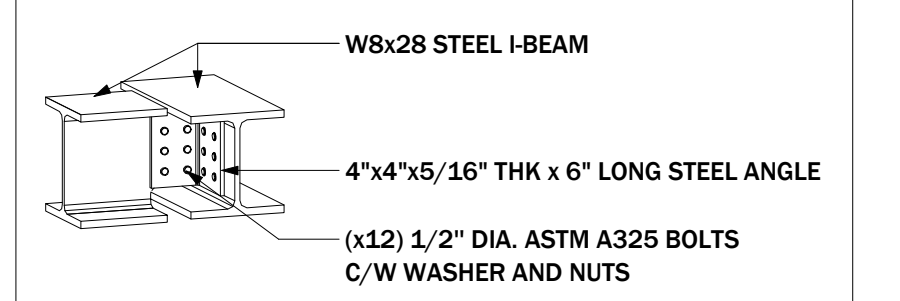
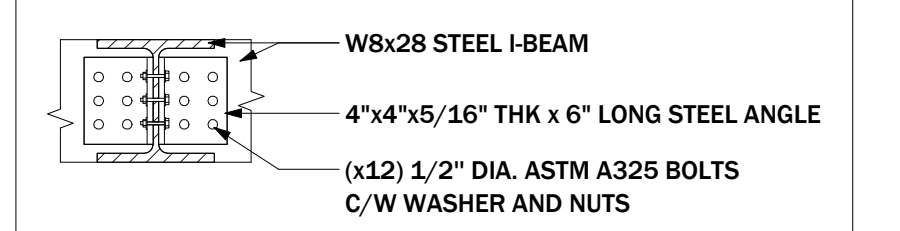
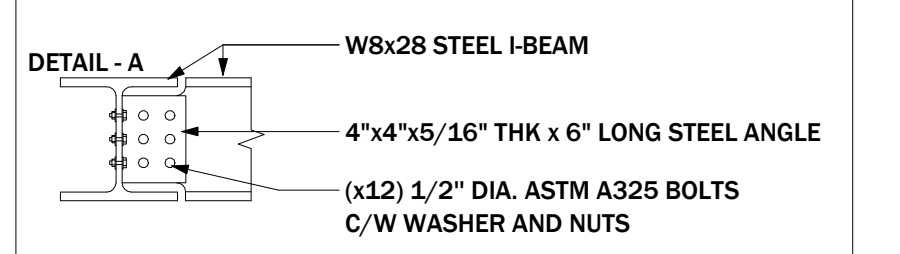
SEPARATION BETWEEN SUITES TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14.(1), PART 11 C152 (a) AND PART 9.11.2.1(1) - STC 50. REFER TO SB-3 TABLE 1 AND 2 FOR ASSEMBLY DETAILS.

**NEW HORIZONTAL PARTITION (CEILING) - WNR/FCA 45-06 (45MIN FRR)**  
 - 48/24 TONGUE-AND-GROOVE, SPAN-RATED SHEATHING.  
 40/20 TONGUE-AND-GROOVE, SPAN-RATED SHEATHING IS PERMITTED WITH PROPRIETARY GYPSUM AS LISTED IN WNR/FCA 45-06  
 - 11 7/8" TJI @ 16" O.C.  
 - PROPRIETARY 58" TYPE C GYPSUM BOARD  
 - RESILIENT CHANNELS AT 16" ON-CENTRE, MAXIMUM  
 - OPTIONAL (NOT REQUIRED): MINIMUM 3/4" THICK GLASS FIBRE INSULATION OR NON-COMBUSTIBLE INSULATION, RATED R-30 OR LESS

**NEW VERTICAL PARTITION (WALL EXTERIOR) - W4 (1HR, FRR, STC N/A)**  
**T2.3.4.E SB-2**  
 - 2x4 WOOD STUD WALL SPACED 16" O.C. (LOAD BEARING) 20MIN  
 - 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN SURFACE AREA MASS OF 2.8 KG/SQ M R22

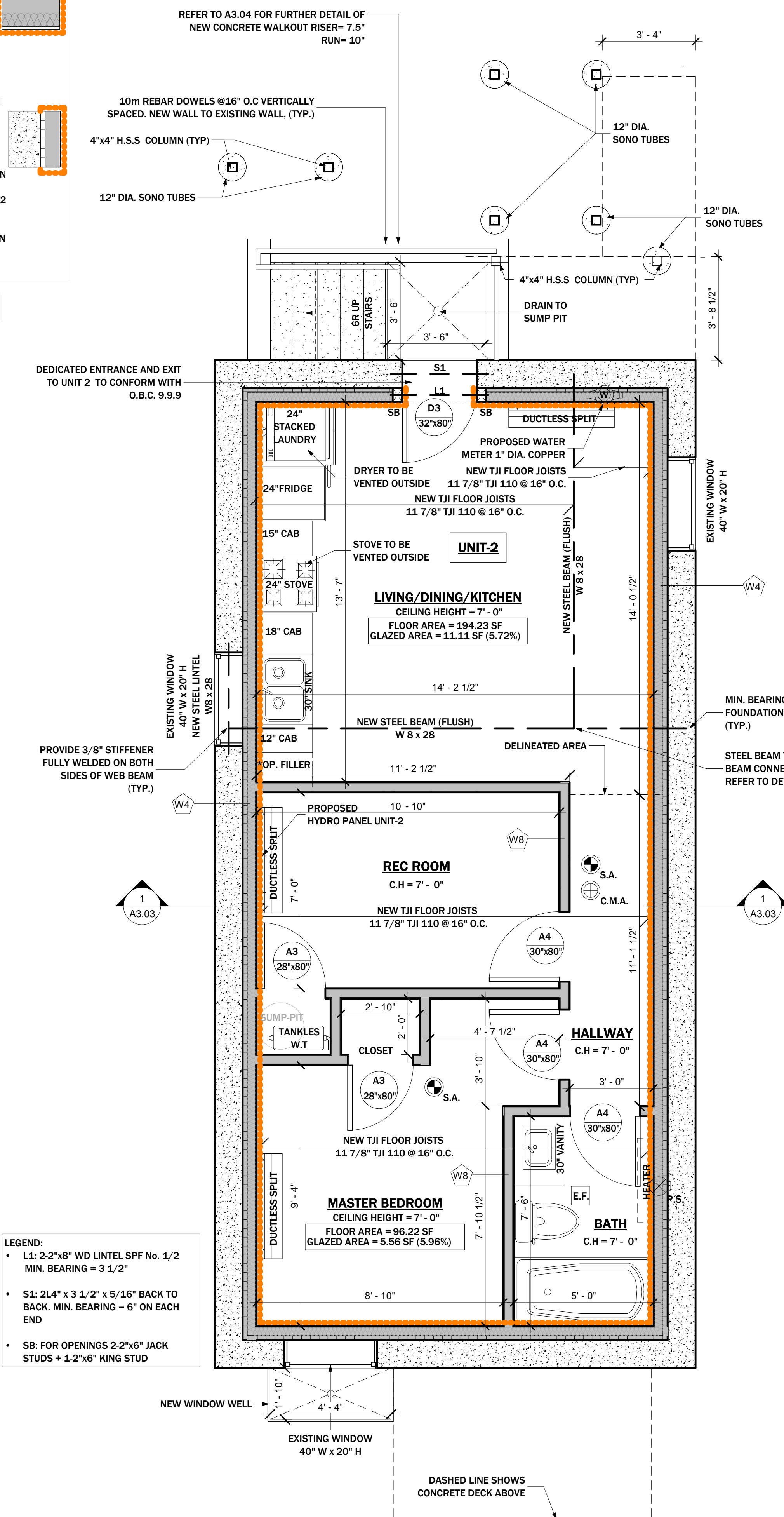
**T2.3.4.A SB-2**  
 - 5/8" TYPE X GYPSUM BOARD ON ONE SIDE 40MIN  
**TOTAL ASSEMBLY = 60MIN**

NOTE: ALL SMOKE ALARMS TO BE INTERCONNECTED WITHIN DWELLING UNITS



C6 - WALL SCHEDULE NOTES MATCHING FLOOR PLAN NOTES

C7 - PREVIOUS NOTE DELETED



- LEGEND:**
- L1: 2-2"x8" WD LINTEL SPF No. 1/2 MIN. BEARING = 3 1/2"
  - S1: 2L4" x 3 1/2" x 5/16" BACK TO BACK. MIN. BEARING = 6" ON EACH END
  - SB: FOR OPENINGS 2-2"x6" JACK STUDS + 1-2"x6" KING STUD

1 PROPOSED BASEMENT 3/8" = 1'-0"

**SEPARATION BETWEEN RESIDENTIAL SUITES**

SEPARATION BETWEEN SUITES TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14.(1), PART 11 C152 (a) AND PART 9.11.2.1(1) - STC 50. REFER TO SB-3 TABLE 1 AND 2 FOR ASSEMBLY DETAILS.

**NEW VERTICAL PARTITION (WALLS) - W4A (1HR FRR, STC51)**  
 - NEW 2x4 STUD WALL SPACED 16" O.C.  
 - 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQ M)  
 - RESILIENT METAL CHANNELS SPACED 24" O.C.  
 - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE  
 - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

**NEW HORIZONTAL PARTITION (CEILING) - WNR/FCA 45-06 (45MIN FRR)**  
 - 48/24 TONGUE-AND-GROOVE, SPAN-RATED SHEATHING. IS PERMITTED WITH PROPRIETARY GYPSUM AS LISTED IN WNR/FCA 45-06  
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 - RESILIENT CHANNELS AT 16" ON-CENTRE, MAXIMUM  
 - OPTIONAL (NOT REQUIRED): MINIMUM 3/4" THICK GLASS FIBRE INSULATION OR NON-COMBUSTIBLE INSULATION, RATED R-30 OR LESS

**NEW VERTICAL PARTITION (WALL EXTERIOR) - W5 (5HR, FRR, STC N/A)**  
**T2.1.1 SB-2**  
 - DOUBLE BRICK WALL 178mm 4H

**T2.3.4.E SB-2**  
 - 2x4 WOOD STUD WALL SPACED 16" O.C. (LOAD BEARING) 20MIN  
 - 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN SURFACE AREA MASS OF 2.8 KG/SQ M R22

**T2.3.4.A SB-2**  
 - 5/8" TYPE X GYPSUM BOARD ON ONE SIDE 40MIN  
**TOTAL ASSEMBLY = 5H**

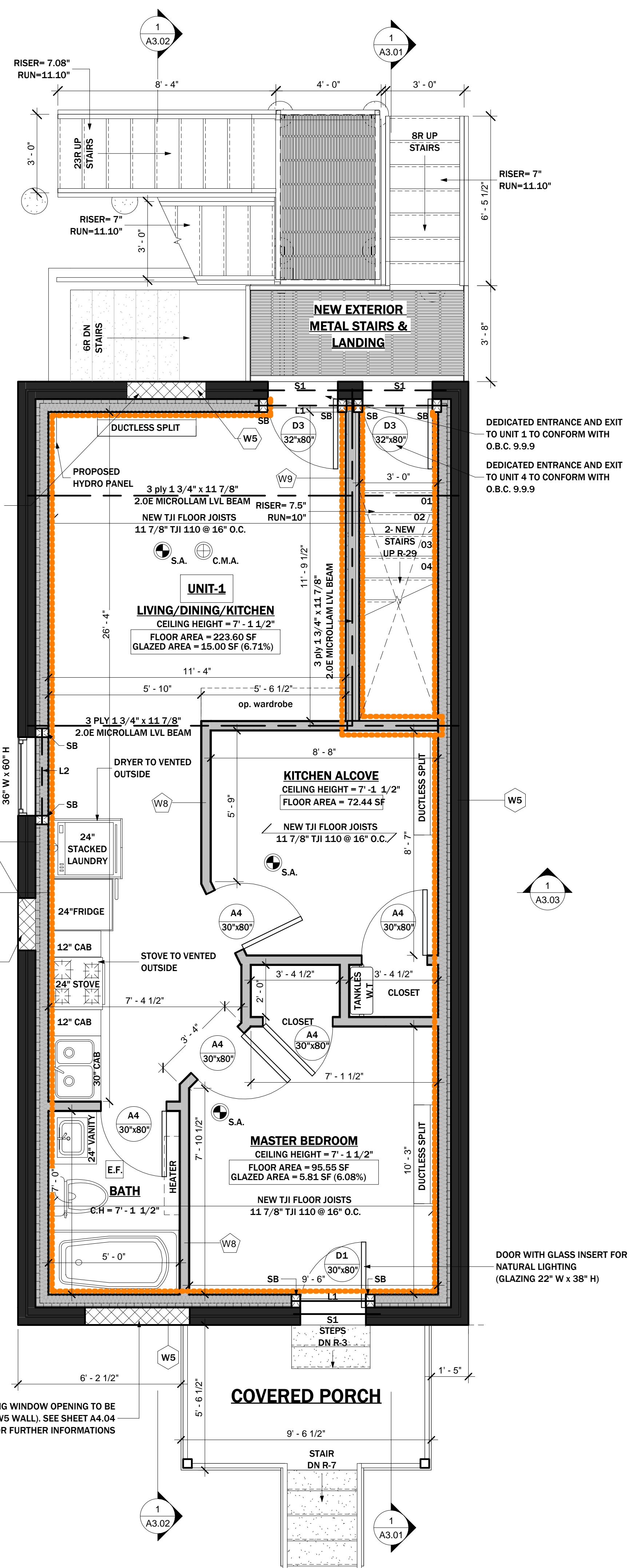
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C3 - EAST AND WEST ELEVATION WALLS 1HR FIRE RATED SEPARATION

C6 - WALL SCHEDULE NOTES MATCHING FLOOR PLAN NOTES

- LEGEND:**
- L1: 2-2"x8" WD LINTEL SPF No. 1/2 MIN. BEARING = 3 1/2" ON EACH END
  - L2: LVL 3-12: 3 PLY 1 3/4" x 11 7/8" 2.0E MICROLAM LVL BEAM. MIN. BEARING = 3 1/2" ON EACH END
  - S1: 2L4" x 3 1/2" x 5/16" BACK TO BACK. MIN. BEARING = 6" ON EACH END
  - SB: FOR OPENINGS 2-2"x6" JACK STUDS + 1-2"x6" KING STUD
  - S2: L5"x3 1/2"x5/16" (LLH) STL LINTEL FOR BRICK/STONE VENER MIN. BEARING = 6" ON EACH END

2 PROPOSED 1ST FLOOR 3/8" = 1'-0"



- LEGEND:**
- L1: 2-2"x8" WD LINTEL SPF No. 1/2 MIN. BEARING = 3 1/2" ON EACH END
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1 PROPOSED BASEMENT 3/8" = 1'-0"

2 PROPOSED 1ST FLOOR 3/8" = 1'-0"



**LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES**  
 ARE OWNED AND OPERATED BY KING HOMES INC.  
**LEAD DESIGNER & CONSULTANT:**  
 KEN BEKENDAM, B.A. BUSCON, L.T.  
 979 MAIN ST. E. HAMILTON, ON  
 905-961-0647  
 kenbekendam@kinghomes.com

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 2.17.5.1 of the building code  
 Name: Signature: BGIN  
**REGISTRATION INFORMATION**  
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	Date 1	Revision 1	
02			
03			
04			

**ENGINEER'S STAMP:**



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:  
**PROPOSED BASEMENT & 1ST FLOOR PLANS**

PROJECT NO.	DATE
23-46	12/19/24

SCALE:	REVISION:
As indicated	1 Date 1

DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

SHEET NO.  
**A1.03**

**SEPARATION BETWEEN RESIDENTIAL SUITES**

SEPARATION BETWEEN SUITES TO HAVE A FIRE RESISTANCE RATING OF 30 MINS AS PER O.B.C. 9.10.9.14.(1), PART 11 C152 (a) AND PART 9.11.2.1(1) - STC 50. REFER TO SB-3 TABLE 1 AND 2 FOR ASSEMBLY DETAILS.

**NEW VERTICAL PARTITION (WALLS) - W4A (1HR FRR, STC51)**  
 - NEW 2x4 STUD WALL SPACED 16" O.C.  
 - 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQ/M)  
 - RESILIENT METAL CHANNELS SPACED 24" O.C.  
 - 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE  
 - 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

**NEW HORIZONTAL PARTITION (CEILING) - WNR/FCA 45-06 (45MIN FRR)**  
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 40/20 TONGUE-AND-GROOVE, SPAN-RATED SHEATHING IS PERMITTED WITH PROPRIETARY GYPSUM AS LISTED IN WNR/FCA 45-06  
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 - OPTIONAL (NOT REQUIRED): MINIMUM 3/4" THICK GLASS FIBRE INSULATION OR NON-COMBUSTIBLE INSULATION, RATED R-30 OR LESS

**NEW VERTICAL PARTITION (WALL EXTERIOR) - W5 (5HR, FRR, STC N/A)**  
**T2.1.1 SB-2**  
 - DOUBLE BRICK WALL 178mm 4H

**T2.3.4.E SB-2**  
 - 2x4 WOOD STUD WALL SPACED 16" O.C. (LOAD BEARING) 20MIN  
 - 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN SURFACE AREA MASS OF 2.8 KG/SQ/M R22

**T2.3.4.A SB-2**  
 - 5/8" TYPE X GYPSUM BOARD ON ONE SIDE 40MIN

**TOTAL ASSEMBLY = 5H**

**NEW VERTICAL PARTITION (WALL EXTERIOR) - W6 (2HR, FRR, STC N/A)**

**T2.1.1 SB-2**  
 - 90mm SOLID BRICK 1H  
 - 1" AIR SPACE, COMPLETE WITH MORTAR MESH FULL HEIGHT

**T2.3.4.E SB-2**  
 - NEW 2"x6" @ 16" O.C., DOUBLE PLATE AT TOP (LOADBEARING) 20MIN  
 - FILL STUD CAVITY WITH BATT INSULATION (R-22)

**T2.3.4.A SB-2**  
 - 5/8" TYPE X GYPSUM BOARD ON ONE SIDE 40MIN

**TOTAL ASSEMBLY = 60MIN**

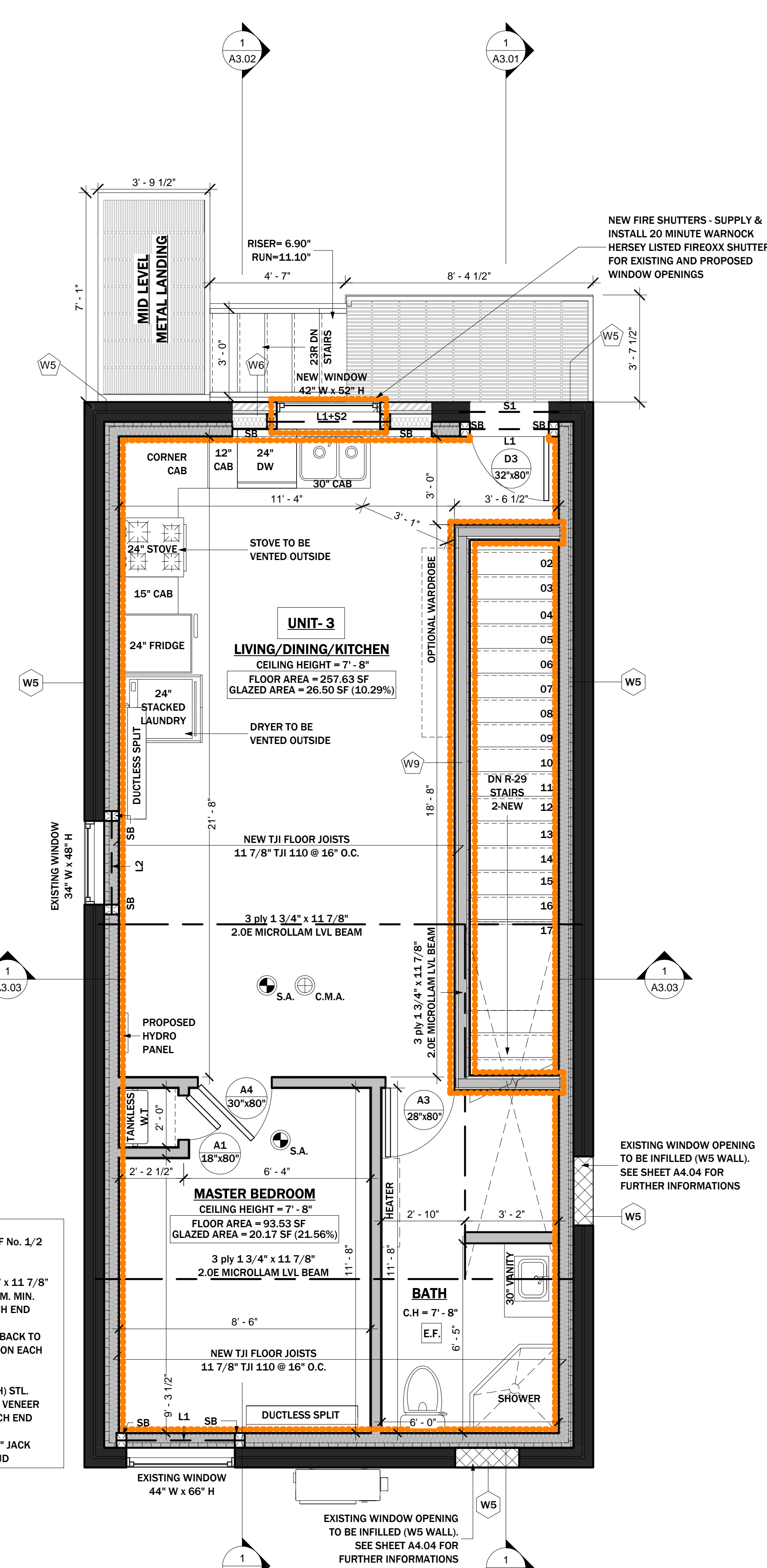
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ALL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS PREPARED BY REVIVE ENGINEERING

C3 - EAST AND WEST ELEVATION WALLS 1HR FIRE RATED SEPARATION

C6 - WALL SCHEDULE NOTES MATCHING FLOOR PLAN NOTES

- LEGEND:**
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  - S1: 2L4" x 3 1/2" x 5/16" BACK TO BACK. MIN. BEARING = 6" ON EACH END
  - S2: L5"x3 1/2"x5/16" (LLH) STL LINTEL FOR BRICK/STONE VENEER MIN. BEARING = 6" ON EACH END
  - SB: FOR OPENINGS 2-2"x6" JACK STUDS + 1-2"x6" KING STUD



1 PROPOSED 2ND FLOOR  
 3/8" = 1'-0"

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**NEW VERTICAL PARTITION (WALL EXTERIOR W7) - S10a (1H, FRR, STC 38)**  
 - EXTERIOR HARDIE FIBER-CEMENT SIDING  
 - 41mm x 92mm STEEL STUD 0.84 mm THICKNESS  
 SPACED SPACED 16" O.C. (NON LOADBEARING)  
 - 89mm THICK ABSORPTIVE MATERIAL  
 - 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD BOTH SIDES

**NEW EXTERIOR SIDING WALL (WALL EXTERIOR W7a - EW1b (45 MIN, FRR, STC N/A))**

- EXTERIOR SIDING AS PER ELEVATIONS  
 - ONE OR TWO LAYERS OF GYPSUM BOARD ON INSIDE  
 - 2x4 WOOD STUDS @ 16" O.C. (NON LOADBEARING)  
 - 89mm THICK ABSORPTIVE MATERIAL  
 - 1/2" TYPE X GYPSUM BOARD  
 - TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT

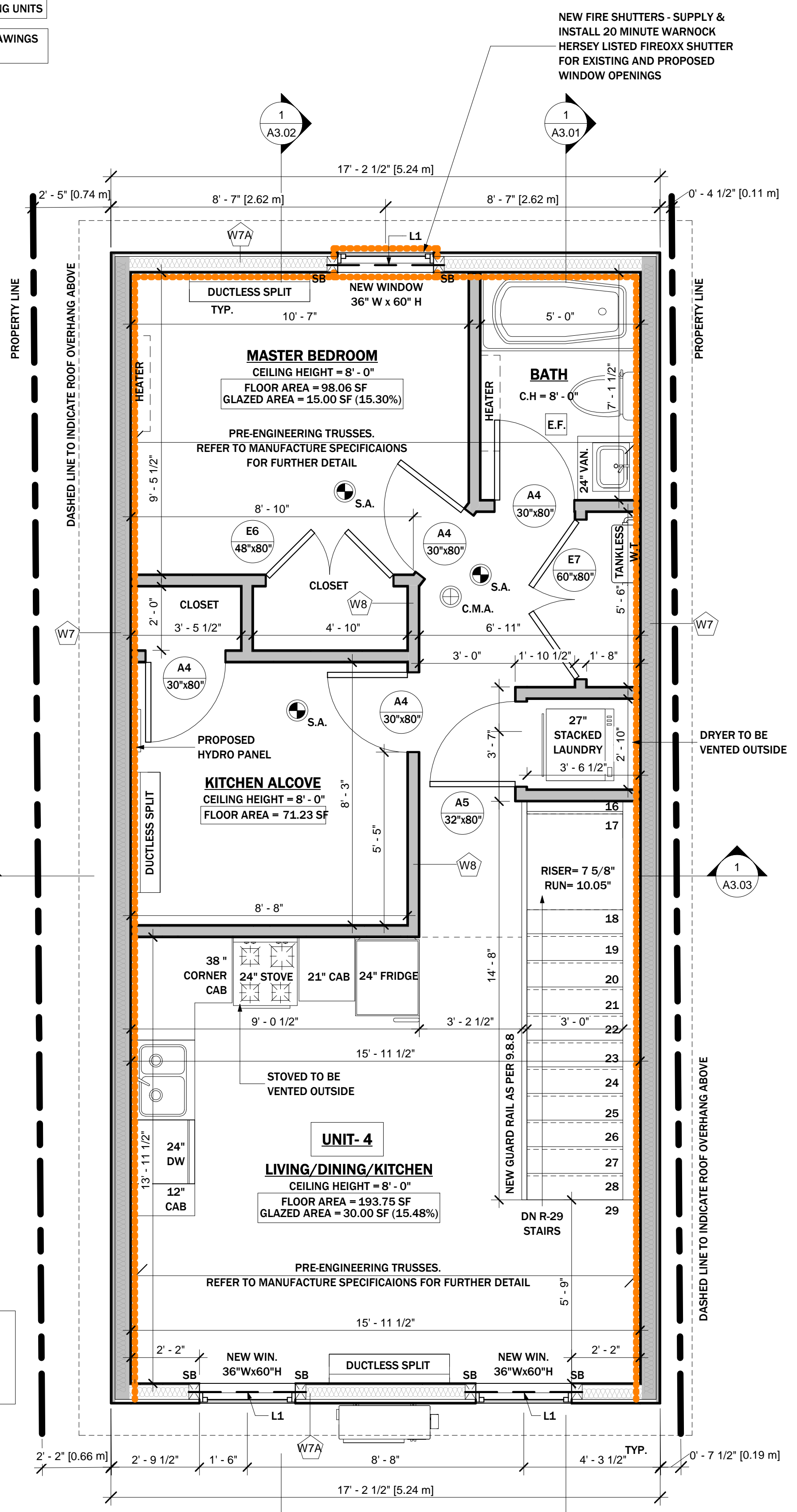
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C4 - W7a WALL 45 MIN FRR

C6 - WALL SCHEDULE NOTES MATCHING FLOOR PLAN NOTES

- LEGEND:**
- L1: 2-2"x8" WD LINTEL SPF No. 1/2 MIN. BEARING = 3 1/2"
  - SB: FOR OPENINGS 2-2"x6" JACK STUDS + 1-2"x6" KING STUD



2 PROPOSED 3RD FLOOR  
 3/8" = 1'-0"

CITY ELECTRONIC STAMP:



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**LEAD DESIGNER & CONSULTANT:** KEN BEKENDAM, B.A. BUSCON, L.T.  
 kenbekendam@gmail.com  
**CELL PHONE:** 905-961-0647  
**OFFICE ADDRESS:** 979 MAIN ST. E. HAMILTON, ON  
**OFFICE PHONE:** 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 2.17.5.1 of the building code

Name: Signature: BGIN  
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 KING HOMES INC. 121307  
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**GENERAL NOTES:**

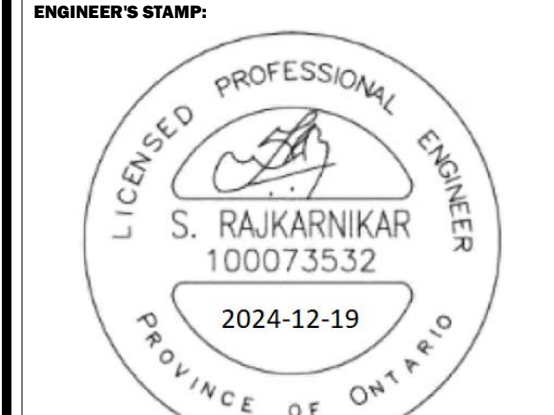
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	Date 1	Revision 1	
02			
03			
04			

**NORTH POSITION:**



**ENGINEER'S STAMP:**



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

PROPOSED 2ND & 3RD FLOOR PLANS

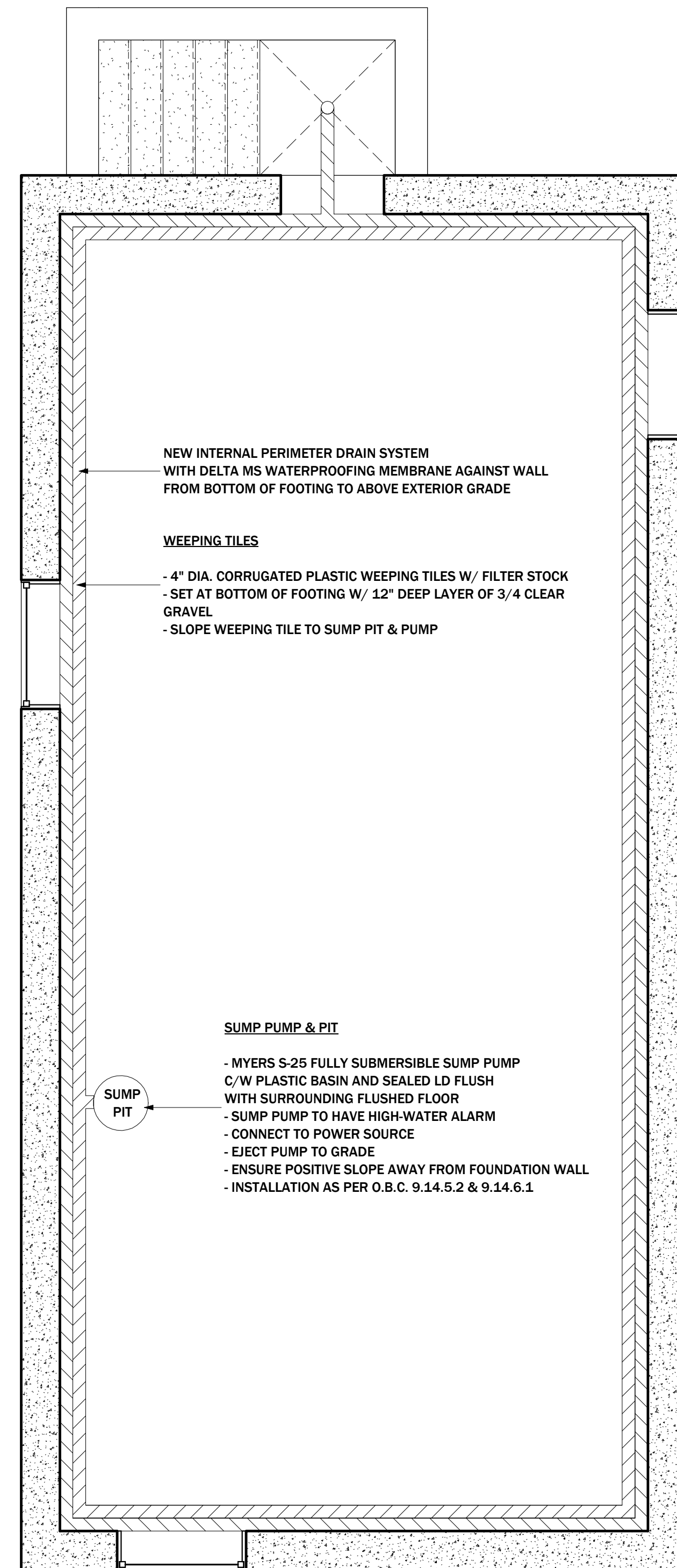
PROJECT NO. DATE: 23-46 12/19/24

SCALE: 3/8" = 1'-0" REVISION: 1 Date 1

DRAWN BY: DANILO MARTINELLI REVIEWED BY: KEN BEKENDAM

SHEET NO.

A1.04



1 WATER PROOFING PLAN  
3/8" = 1'-0"

**SLOPED ROOF**

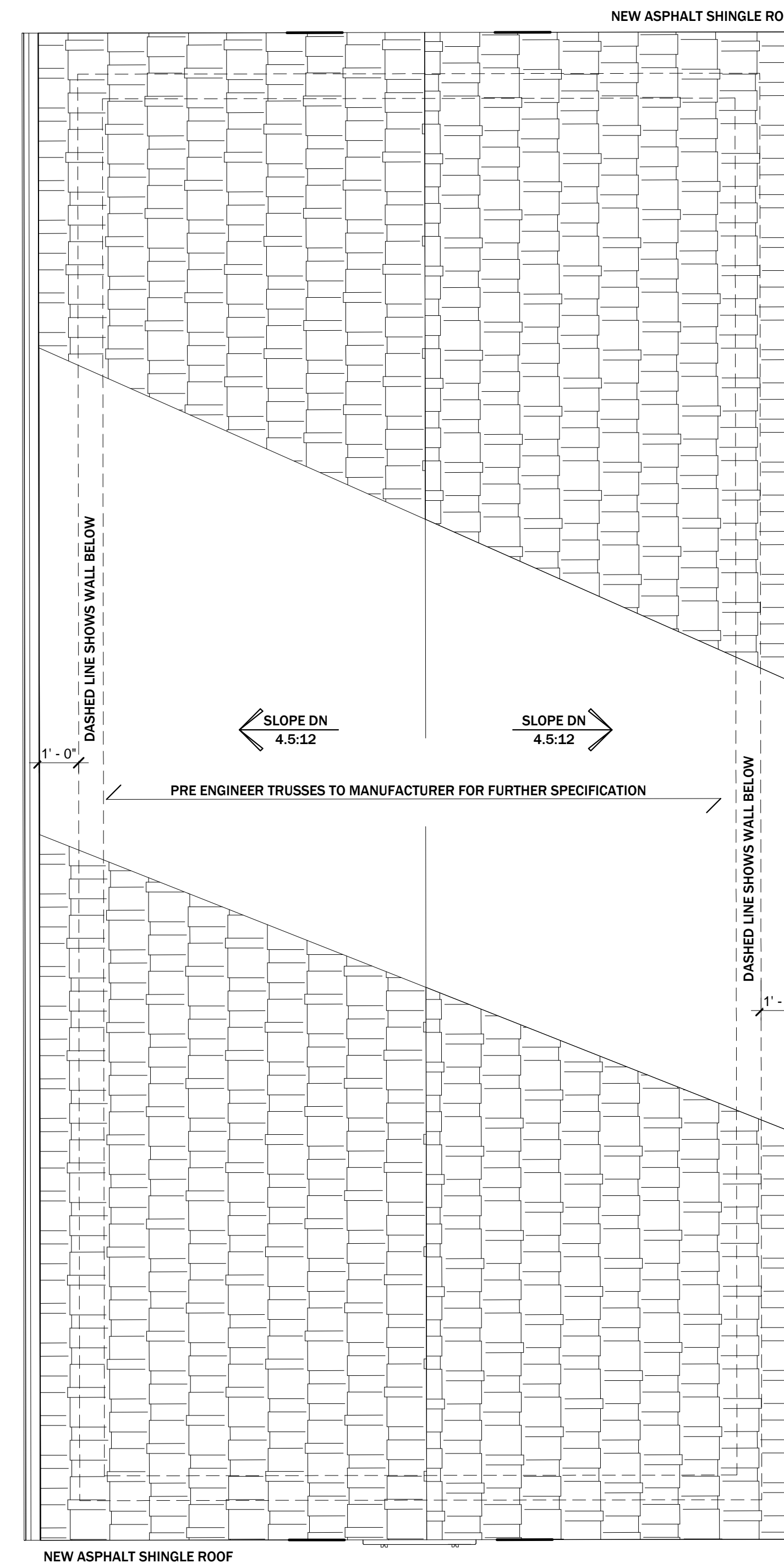
30 YEAR ASPHALT SHINGLES ON, 1/2" PLYWOOD SHEATING (WITH "H" CLIPS) ROOF RAFTERS OR TRUSSES AS SPECIFIED ON DWGS.  
PROVIDE ICE AND WATER SHIELD EAVES PROTECTION TO EXTEND 42" MIN. BEYOND THE INTERIOR FACE OF THE EXTERIOR WALL. MIN 3" LAP AND 6" END LAP AS PER O.B.C. 9.26.5 METAL EAVESTROUGH ON WOOD FASCIA 2" X 6" CEILING JOISTS @ 16" O.C.  
R50 BATT INSULATION WITH BAFFLE AS REQUIRED FOR VENTILATION. 6MIL POLY VAPOUR BARRIER, LAP AND SEAL ALL JOINTS. 1/2" GYPSUM BOARD CEILING, TAPED, SANDED PRIMED AND PAINTED MIN 2 COATS.

NOTE: CONTRACTOR TO PROVIDE ADEQUATE VENTILATION. MINIMUM VENT AREA 1.5QFT VENT AREA FOR EVERY 300SQFT OF INSULATED CEILING AREA WITH MIN 50% AT EAVES. VENTS NOT TO BE PLACED ON FRONT ELEVATION. COLOUR OF VENTS TO MATCH ROOFING MATERIALS

\*REFER TO ENGINEERED ROOF TRUSS DRAWINGS

TRUSS DRAWINGS TO BE APPROVED BY INSTALLER AND GENRAL CONTRACTOR PRIOR TO FABRICATION

VENTILATE ATTIC AT 1/300 OF INSULATION CLG. AREA WITH 50% LOCATED AT SOFFIT / 50% NEAR RIDGE



2 ROOF PLAN  
3/8" = 1'-0"

CITY ELECTRONIC STAMP:



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**LEAD DESIGNER & CONSULTANT:**  
KEN BEKENDAM, B.A BUSCOM, L.T.  
kenbekendam@gmail.com

**CELL PHONE:**  
905-961-0647

**OFFICE ADDRESS:**  
879 MAIN ST. E. HAMILTON, ON

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The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**

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Name Signature BCIN

**REGISTRATION INFORMATION**

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KING HOMES INC. 121307

Name BCIN

**GENERAL NOTES:**

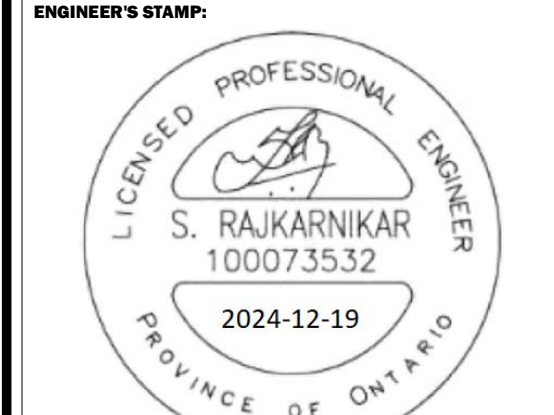
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

**NORTH POSITION:**



**ENGINEER'S STAMP:**



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

WATER PROOFING & ROOF PLAN

PROJECT NO. DATE:

23-46 12/19/24

SCALE: REVISION:

3/8" = 1'-0"

DRAWN BY: REVIEWED BY:

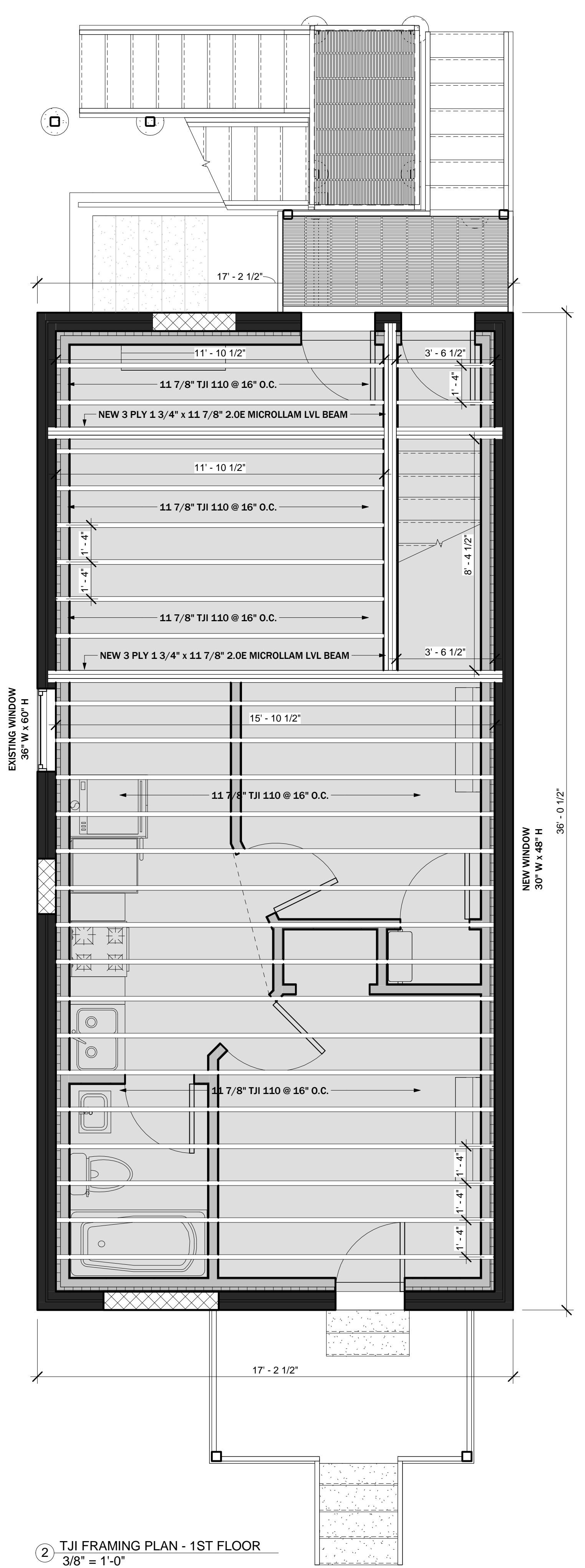
DANILO MARTINELLI KEN BEKENDAM

SHEET NO.

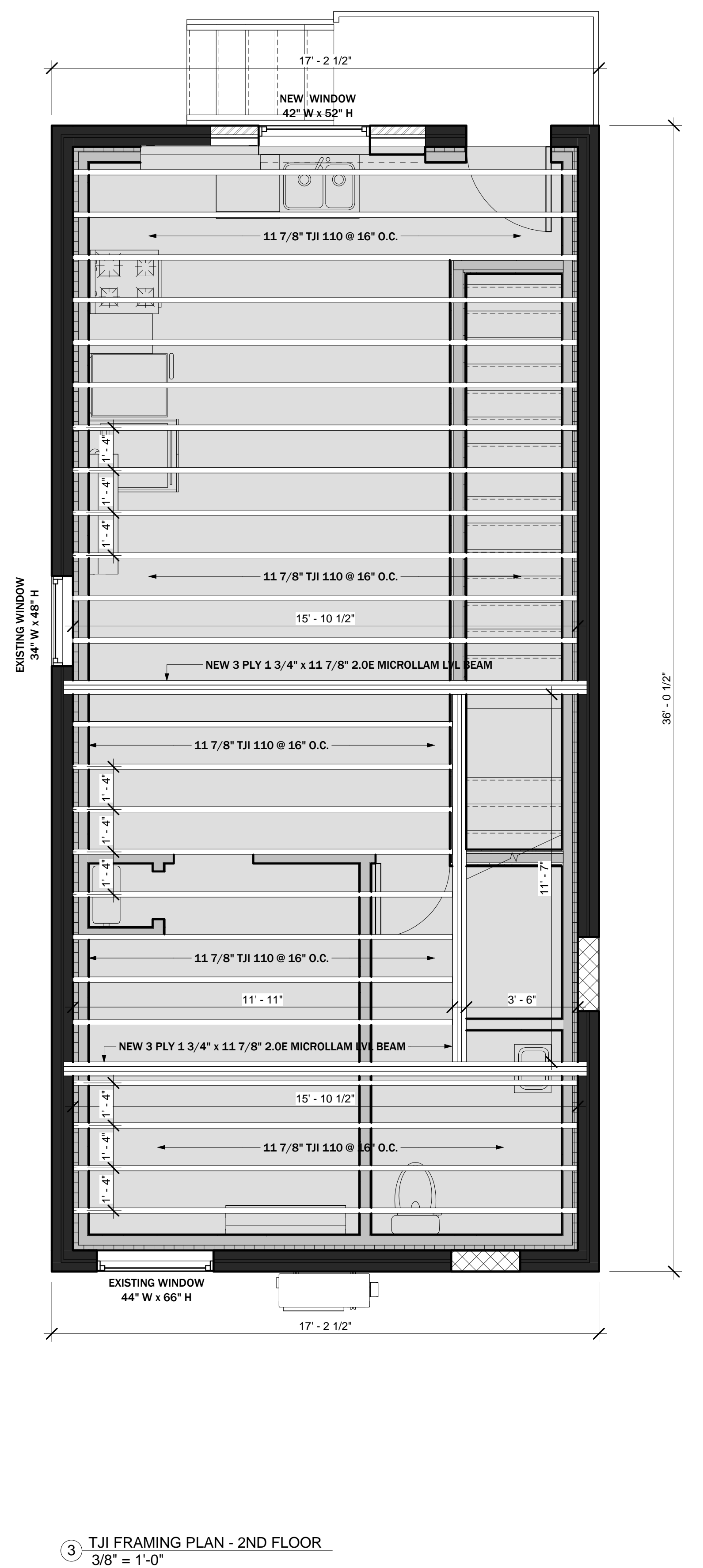
A1.05



1 TJI FRAMING PLAN - BASEMENT  
3/8" = 1'-0"



2 TJI FRAMING PLAN - 1ST FLOOR  
3/8" = 1'-0"



3 TJI FRAMING PLAN - 2ND FLOOR  
3/8" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, L.T.  
CELL PHONE: 905-965-0647  
kenbekendam@gmail.com

OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON  
OFFICE PHONE: 905-546-4467

QUALIFICATION INFORMATION  
Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION  
Required unless design is exempt under 2.17.5.1 of the building code  
KING HOMES INC. 121307  
Name BCIN

GENERAL NOTES:  
1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"

2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

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5. USE LATEST REVISED DRAWINGS.

6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)

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9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
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04			

NORTH POSITION:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:  
TJI FRAMING PLANS

PROJECT NO. 23-46 DATE: 12/19/24

SCALE: 3/8" = 1'-0" REVISION:

DRAWN BY: DANILU MARTINELLI REVIEWED BY: KEN BEKENDAM

SHEET NO.



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NO.	DATE	GENERAL DESCRIPTION	INITIALS
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04			

**NORTH POSITION:**

**ENGINEER'S STAMP:**



PROJECT NAME/ADDRESS:

**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

SHEET NAME:

**EXISTING ELEVATIONS**

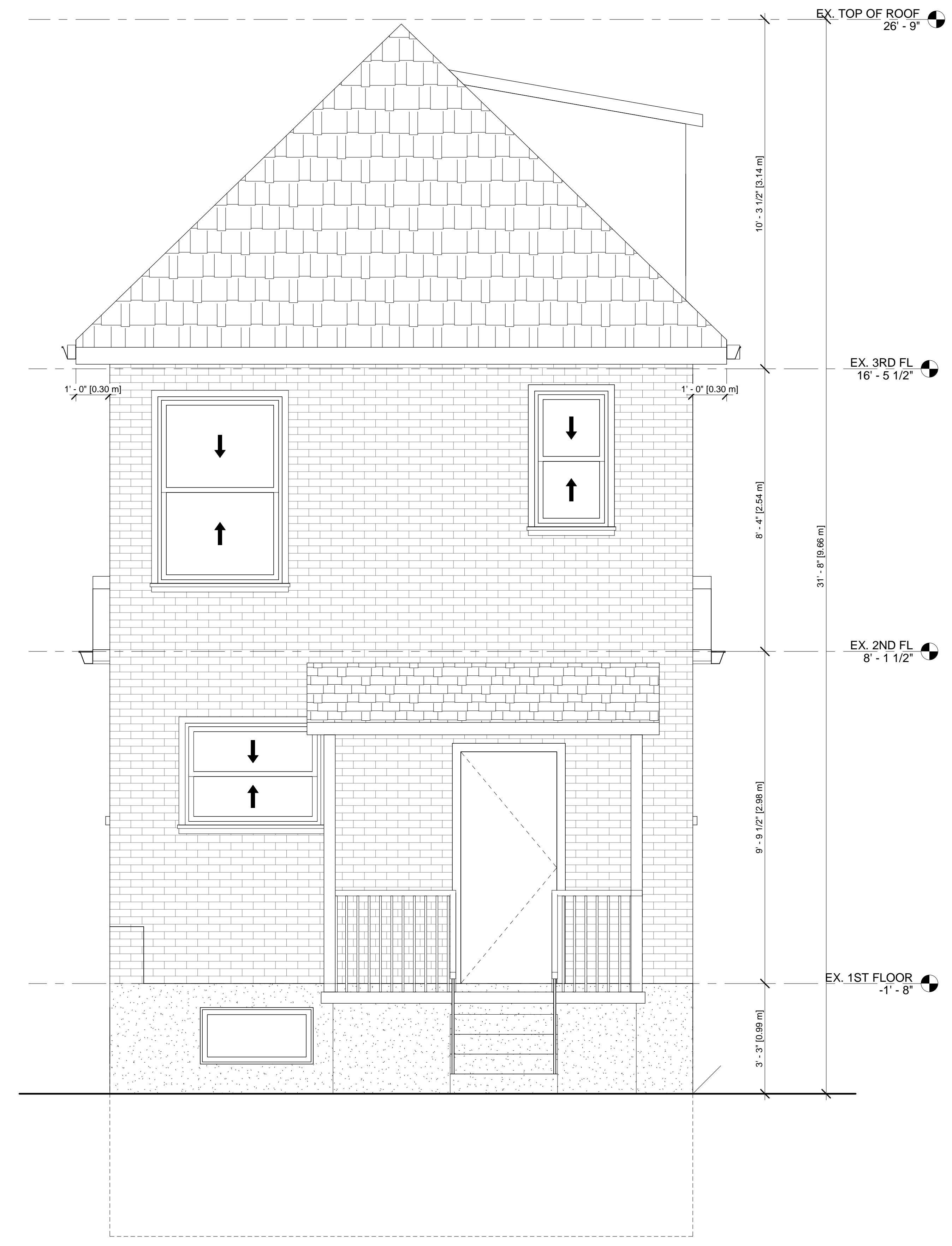
PROJECT NO. 23-46	DATE 12/19/24
SCALE 1/2" = 1'-0"	REVISION
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

**A2.01**



① EXISTING NORTH ELEVATION  
1/2" = 1'-0"



② EXISTING SOUTH ELEVATION  
1/2" = 1'-0"



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REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC. 121307

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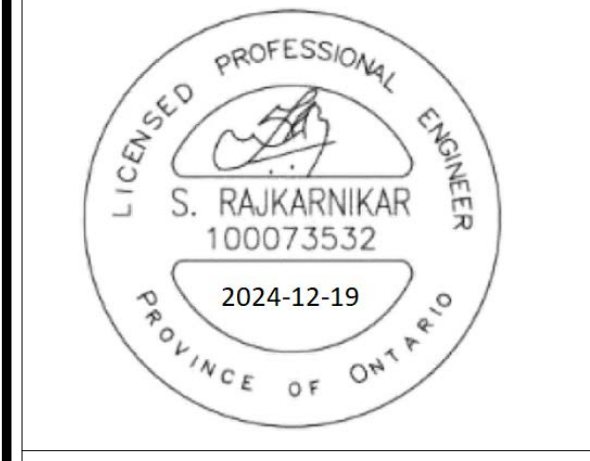
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Table with 4 columns: NO., DATE, GENERAL DESCRIPTION, INITIALS. Rows 01 to 04.

NORTH POSITION:

ENGINEER'S STAMP:



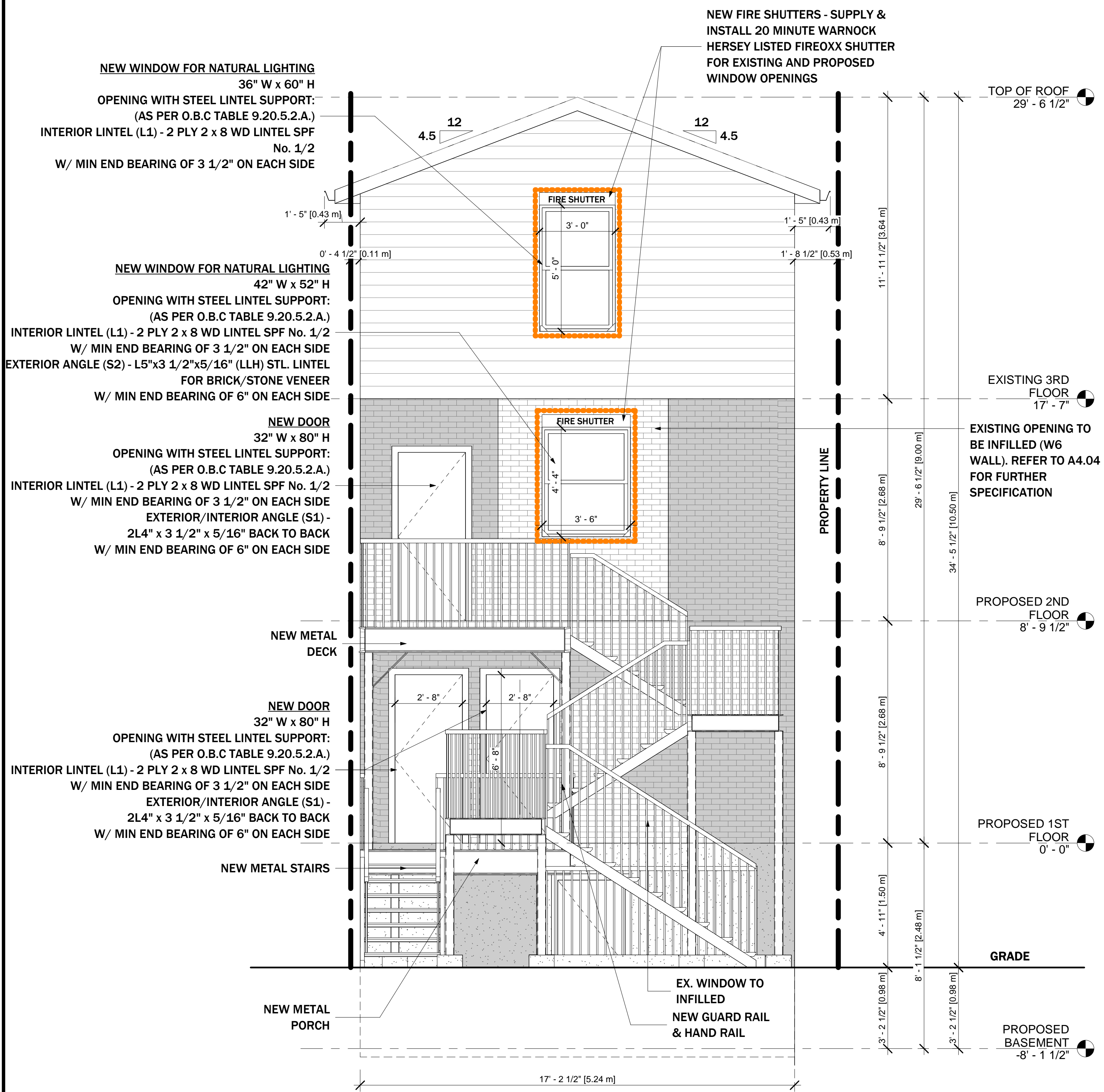
PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

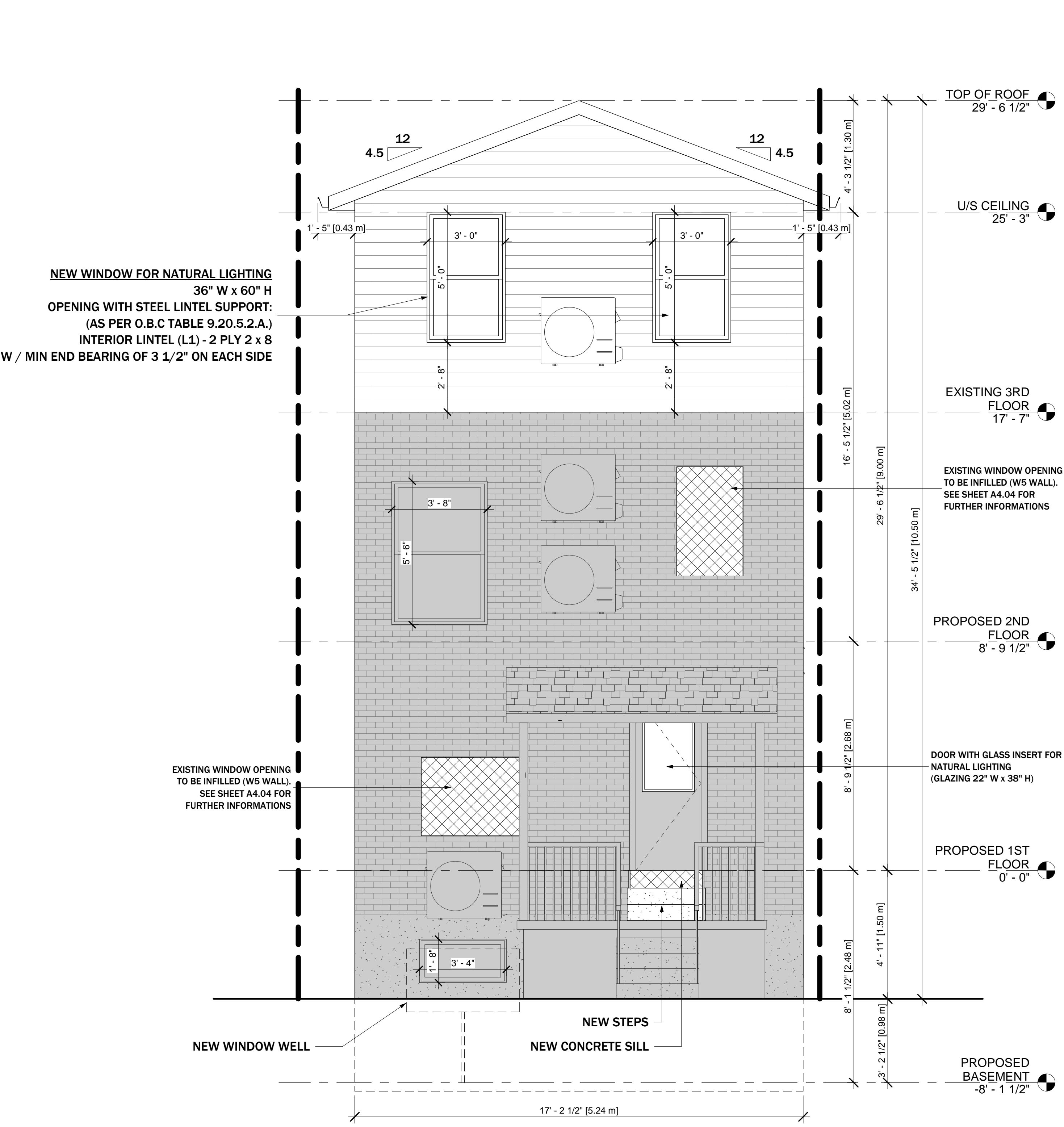
SHEET NAME: PROPOSED NORTH & SOUTH ELEVATIONS

Table with 2 columns: PROJECT NO., DATE, SCALE, REVISION. Rows 23-46, 12/19/24, 3/8" = 1'-0", etc.

SHEET NO. A2.02



GLAZED UNPROTECTED OPENINGS SETBACK TO PROPERTY LINE = 3.38 m WALL SURFACE AREA = 48.20 m² (518.79 SF) MAX PERMITTED OPENINGS = 8.70 m² (18%) PROPOSED = 2.80 m² (5.80%)



GLAZED UNPROTECTED OPENINGS SETBACK TO PROPERTY LINE = 13.07 m WALL SURFACE AREA = 48.20 m² (518.79 SF) MAX PERMITTED OPENINGS = (100%) PROPOSED = 5.20 m² (10.80%)

1 PROPOSED NORTH ELEVATION 3/8" = 1'-0"

2 PROPOSED SOUTH ELEVATION 3/8" = 1'-0"



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OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON  
OFFICE PHONE: 905-546-4467

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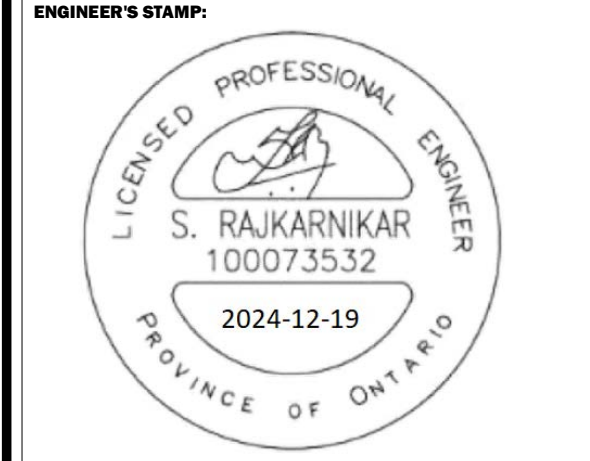
REGISTRATION INFORMATION  
Name: Signature: BCIN:  
Required unless design is exempt under 2.17.5.1 of the building code  
KING HOMES INC. 121307  
Name: BCIN:

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
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04			

NORTH POSITION:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:  
PROPOSED EAST ELEVATION

PROJECT NO.	DATE
23-46	12/19/24

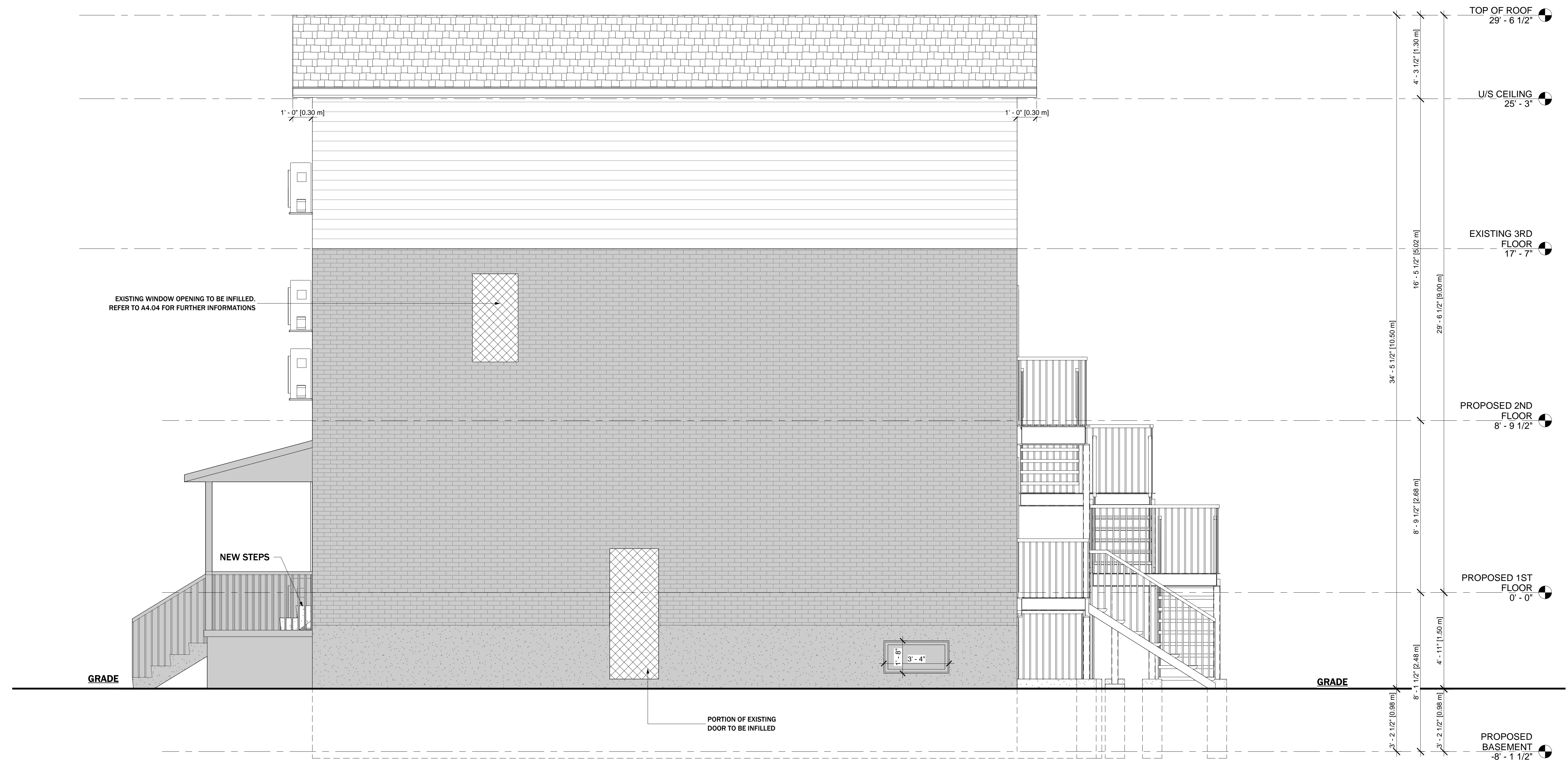
SCALE:	REVISION:
3/8" = 1'-0"	

DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

SHEET NO.

A2.03



1 PROPOSED EAST ELEVATION  
3/8" = 1'-0"





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Name: \_\_\_\_\_ Signature: \_\_\_\_\_ BCIN: \_\_\_\_\_  
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 KING HOMES INC. 121307  
 Name: \_\_\_\_\_ BCIN: \_\_\_\_\_

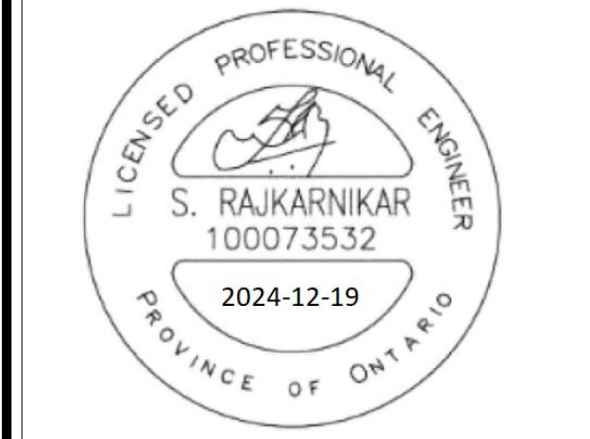
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
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**NORTH POSITION:**

**ENGINEER'S STAMP:**



PROJECT NAME/ADDRESS:

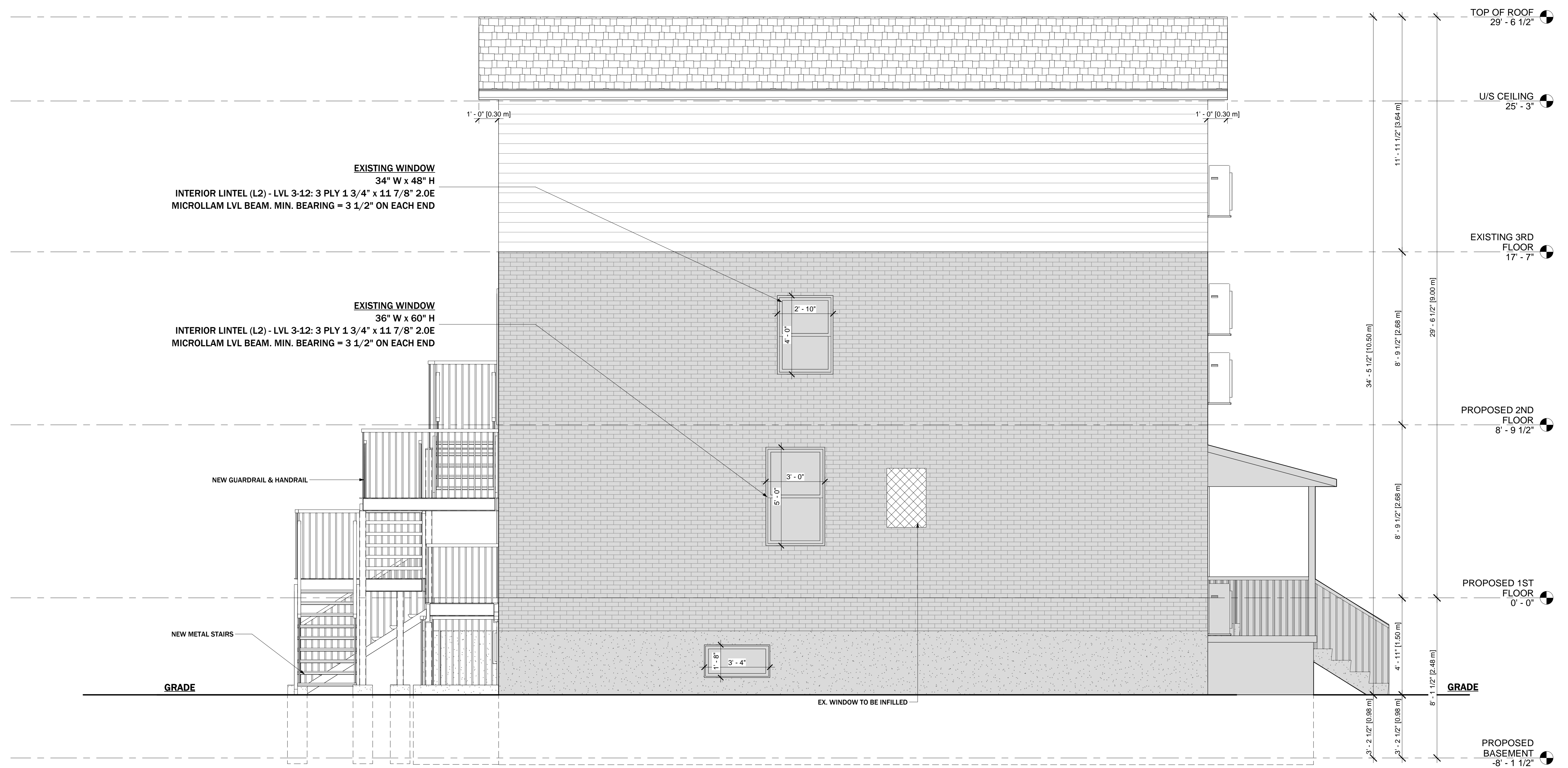
**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

SHEET NAME:  
**PROPOSED WEST ELEVATION**

PROJECT NO. 23-46	DATE 12/19/24
SCALE 3/8" = 1'-0"	REVISION
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

**A2.04**



1 PROPOSED WEST ELEVATION  
 3/8" = 1'-0"



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NO.	DATE	GENERAL DESCRIPTION	INITIALS
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**NORTH POSITION:**

**ENGINEER'S STAMP:**



**PROJECT NAME/ADDRESS:**

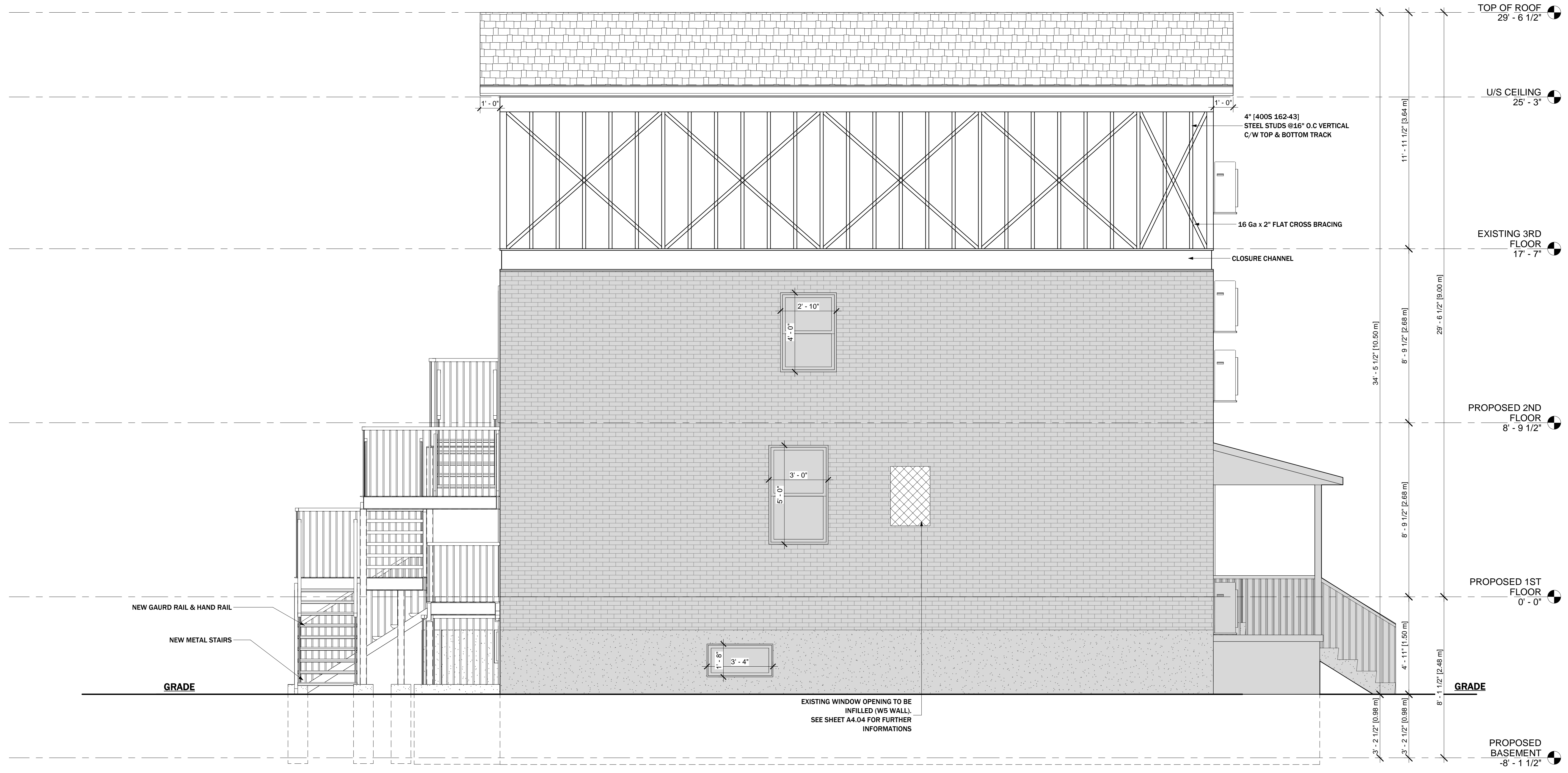
**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

**SHEET NAME:**  
**EAST ELEVATION FRAMING**

<b>PROJECT NO.</b> 23-46	<b>DATE:</b> 12/19/24
<b>SCALE:</b> 3/8" = 1'-0"	<b>REVISION:</b>
<b>DRAWN BY:</b> DANILO MARTINELLI	<b>REVIEWED BY:</b> KEN BEKENDAM

**SHEET NO.**

**A2.05**



PROPOSED WEST ELEVATION - WALL FRAMING  
 3/8" = 1'-0"



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Name: KING HOMES INC. 121307  
BCIN: \_\_\_\_\_

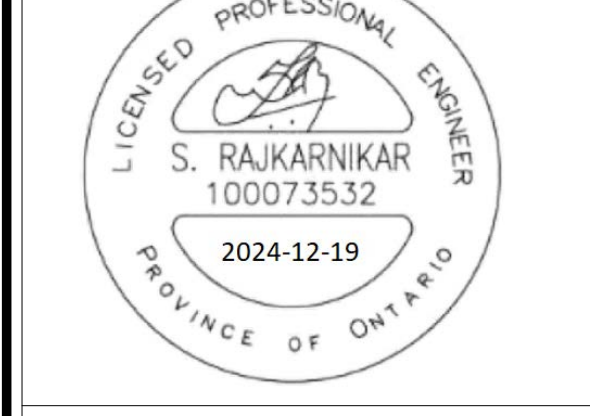
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**NORTH POSITION:**

**ENGINEER'S STAMP:**



**PROJECT NAME/ADDRESS:**

**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

**SHEET NAME:**

**WEST ELEVATION FRAMING**

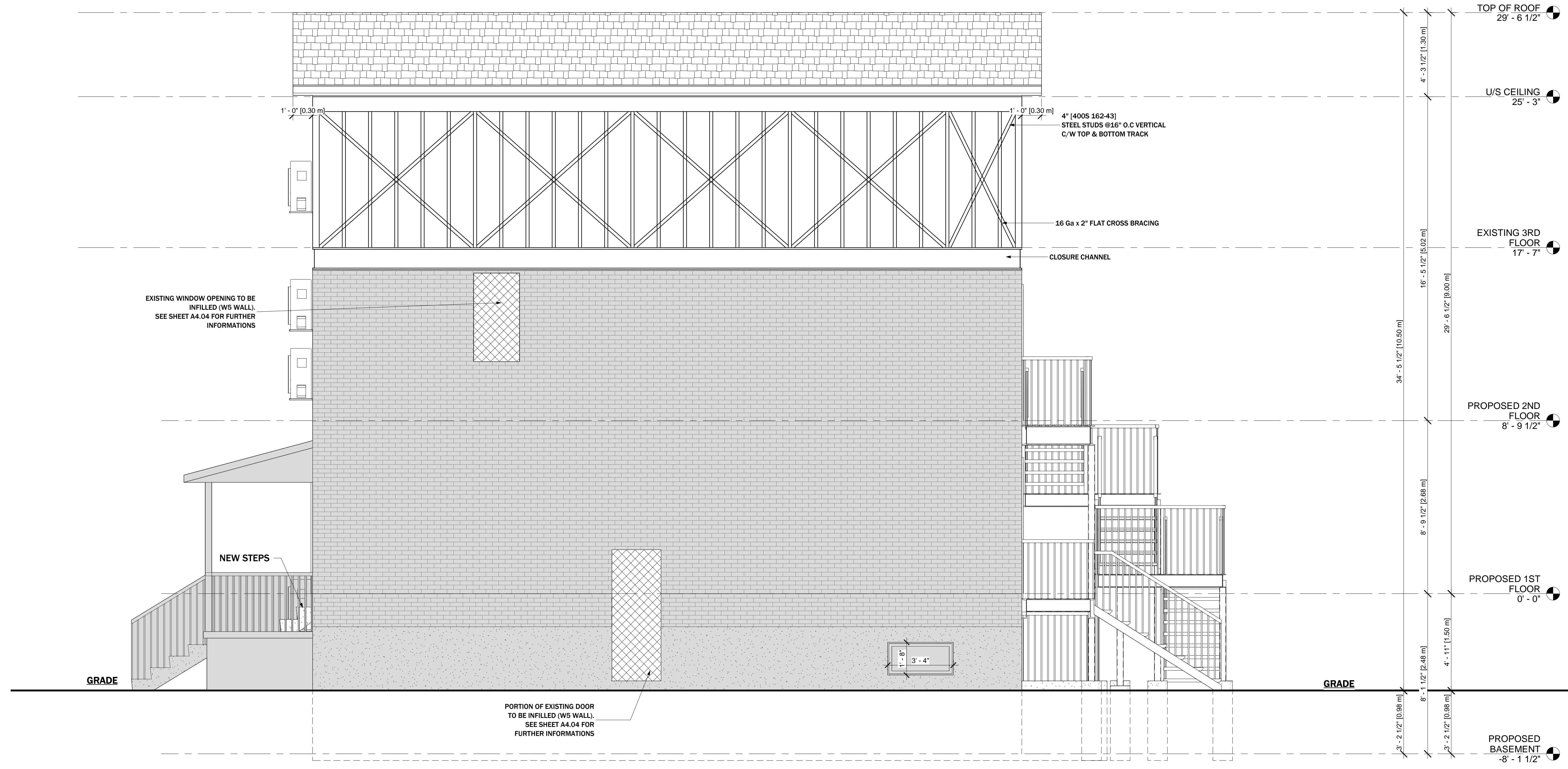
**PROJECT NO.:** 23-46 **DATE:** 12/19/24

**SCALE:** 3/8" = 1'-0" **REVISION:**

**DRAWN BY:** DANILO MARTINELLI **REVIEWED BY:** KEN BEKENDAM

**SHEET NO.:**

**A2.06**



1 PROPOSED EAST ELEVATION- WALL FRAMING  
3/8" = 1'-0"



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KING HOMES INC. 121307  
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

**NORTH POSITION:**

**ENGINEER'S STAMP:**



**PROJECT NAME/ADDRESS:**

**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

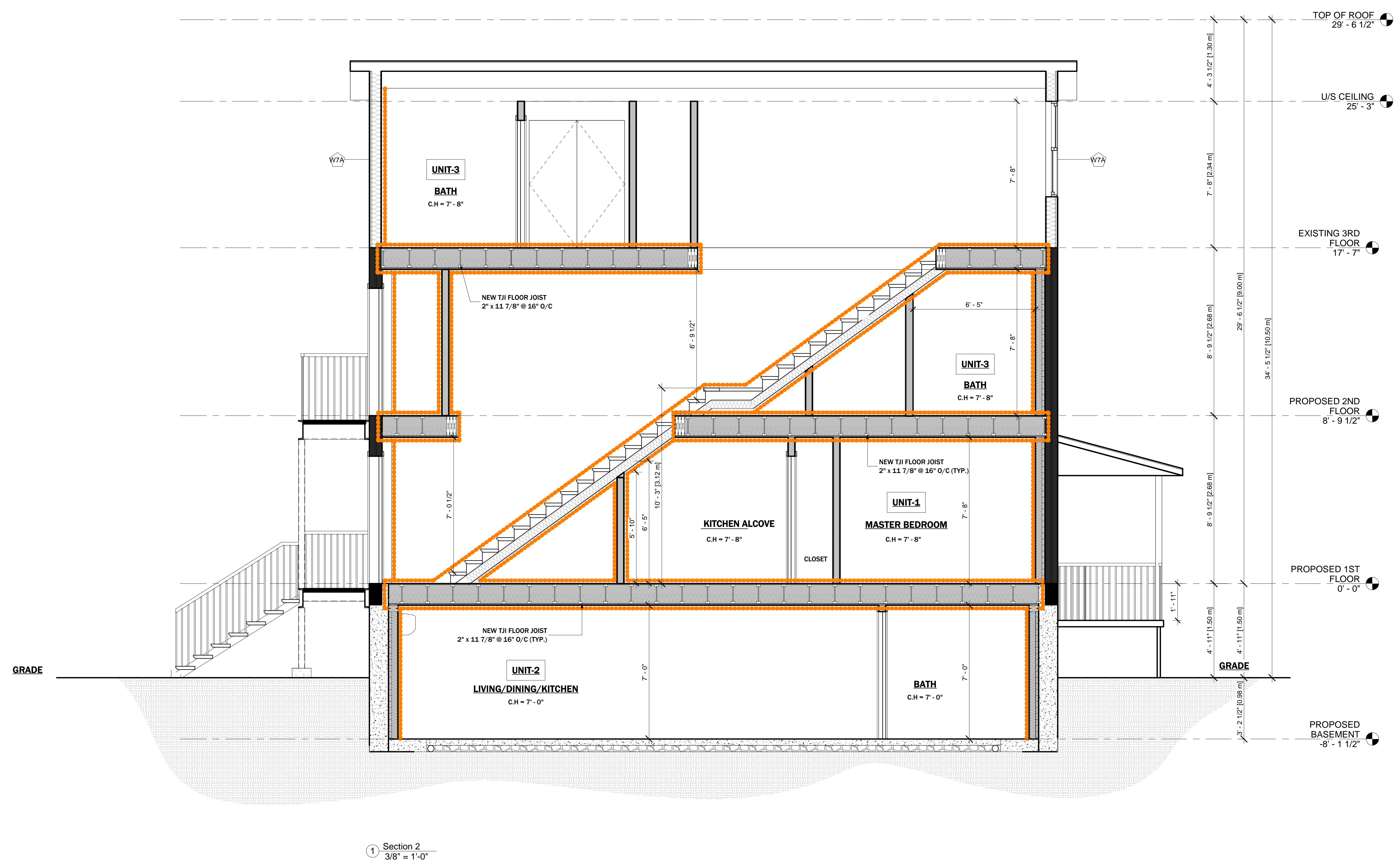
**SHEET NAME:**

**CROSS SECTION**

<b>PROJECT NO.</b> 23-46	<b>DATE:</b> 12/19/24
<b>SCALE:</b> 3/8" = 1'-0"	<b>REVISION:</b>
<b>DRAWN BY:</b> DANILO MARTINELLI	<b>REVIEWED BY:</b> KEN BEKENDAM

**SHEET NO.**

**A3.01**



Section 2  
3/8" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

**LEAD DESIGNER & CONSULTANT:**  
KEN BEKENDAM, B.A BUSCOM, L.T.  
kenbekendam@gmail.com

**CELL PHONE:**  
905-961-0647

**OFFICE ADDRESS:**  
979 MAIN ST. E. HAMILTON, ON

**OFFICE PHONE:**  
905-546-4467

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

**REGISTRATION INFORMATION**  
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KING HOMES INC. 121307  
Name BCIN

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

**NORTH POSITION:**

**ENGINEER'S STAMP:**



**PROJECT NAME/ADDRESS:**

**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

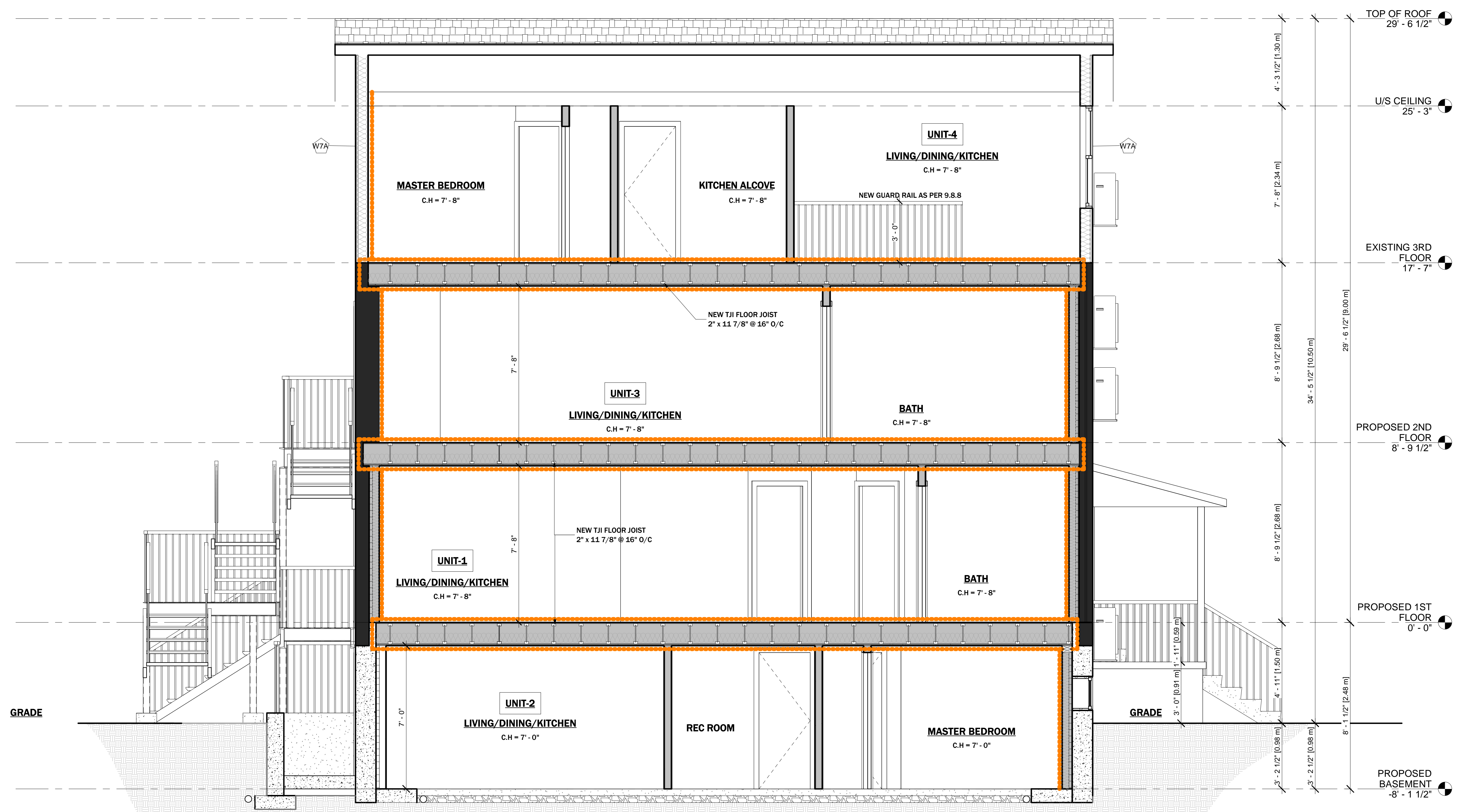
**SHEET NAME:**

**CROSS SECTION-2**

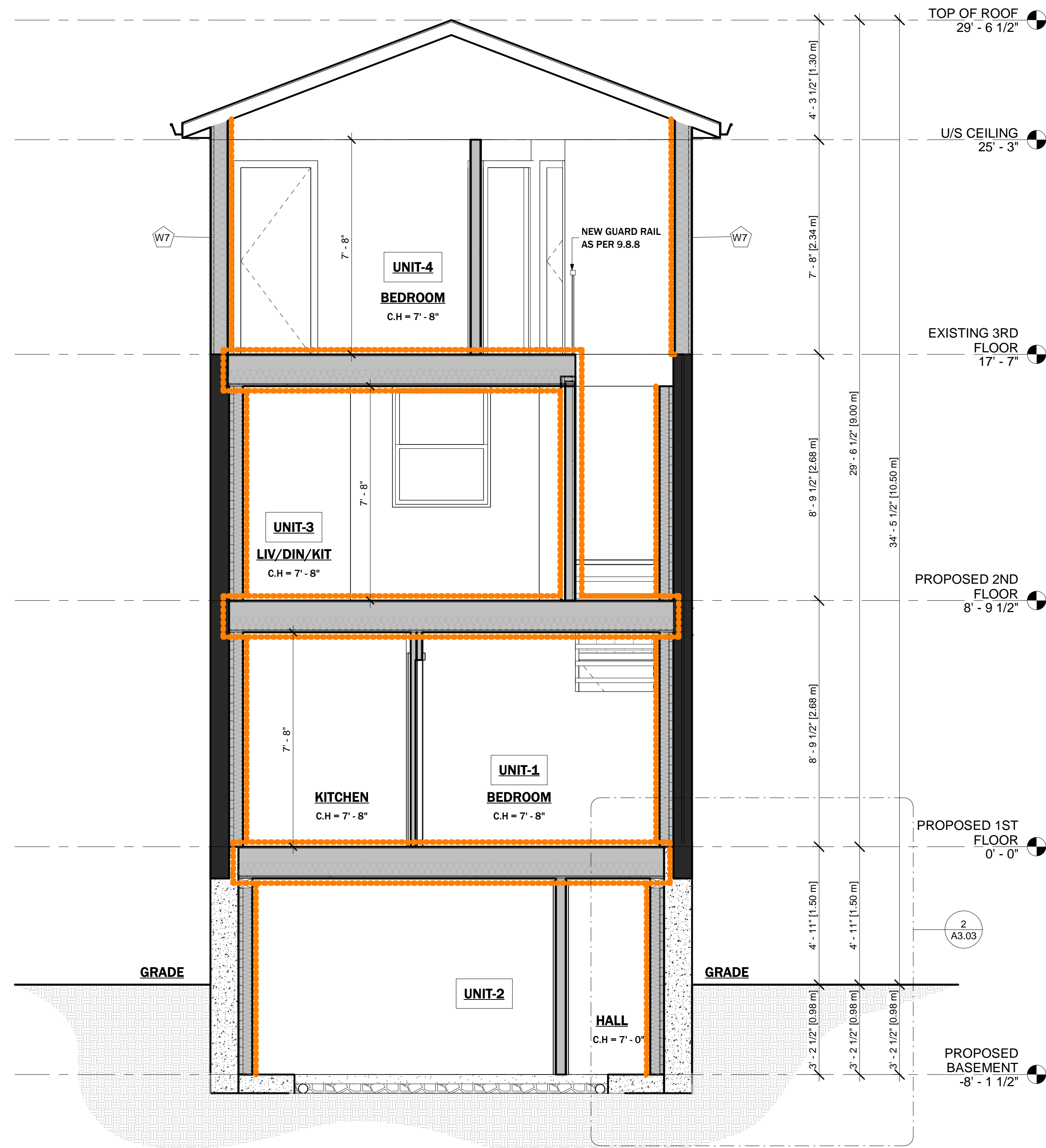
<b>PROJECT NO.</b> 23-46	<b>DATE:</b> 12/19/24
<b>SCALE:</b> 3/8" = 1'-0"	<b>REVISION:</b>
<b>DRAWN BY:</b> DANILO MARTINELLI	<b>REVIEWED BY:</b> KEN BEKENDAM

**SHEET NO.**

**A3.02**

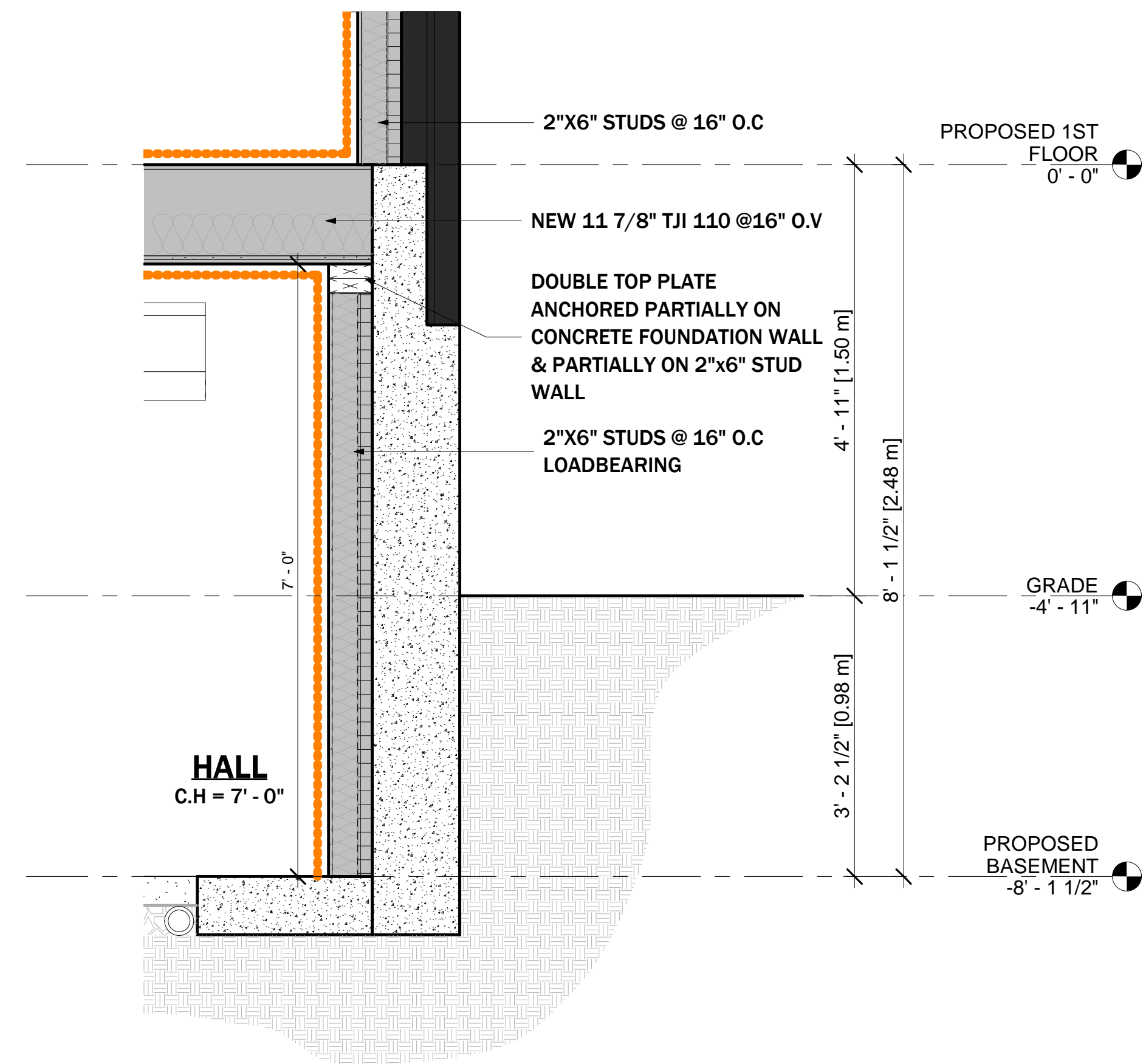


1 Section 3  
3/8" = 1'-0"

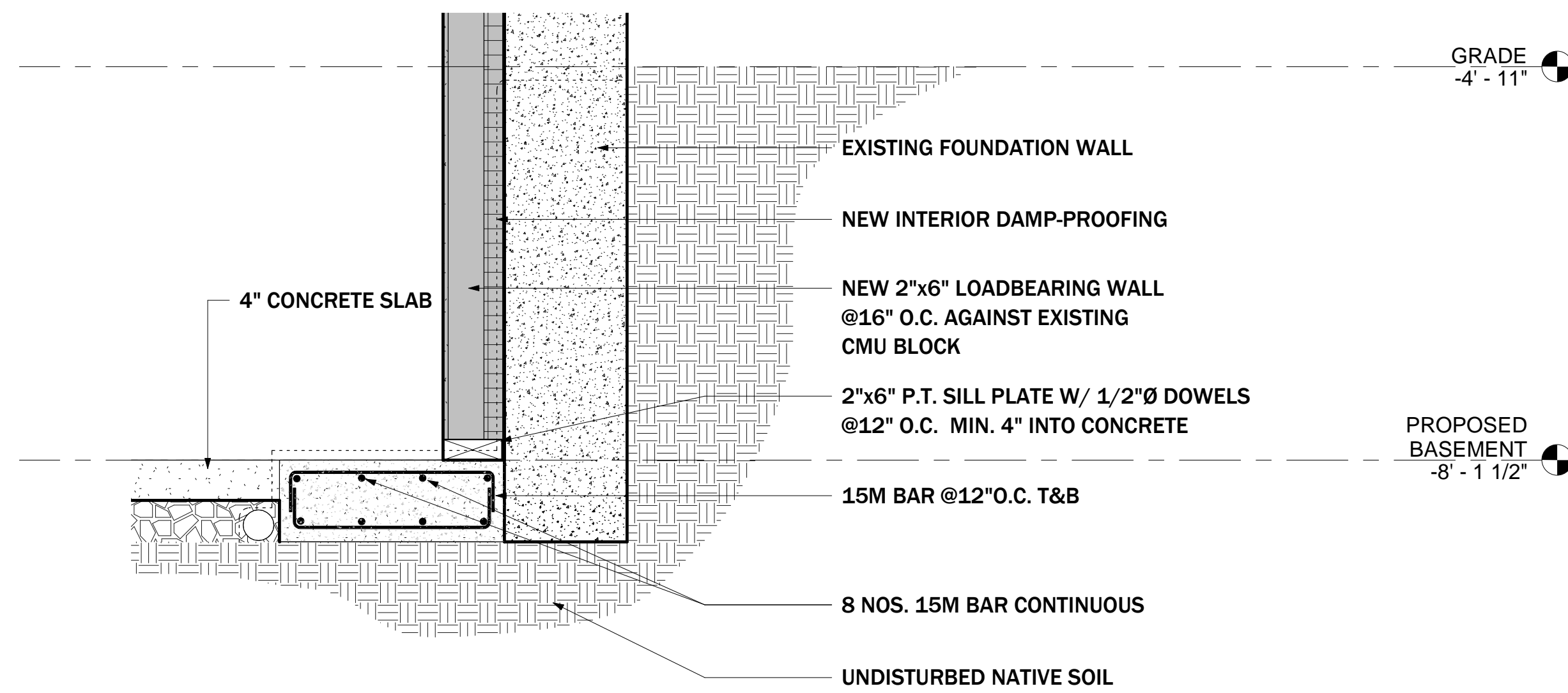


NOTE: TWO NEW STRIP FOOTING ADDED ON BOTH SIDES AS PER DETAIL 3.

Section 4  
3/8" = 1'-0"



DETAIL-A  
3/4" = 1'-0"



FOUNDATION DETAIL  
1" = 1'-0"

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T. kenbekendam@gmail.com  
 CELL PHONE: 905-961-0647  
 OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON  
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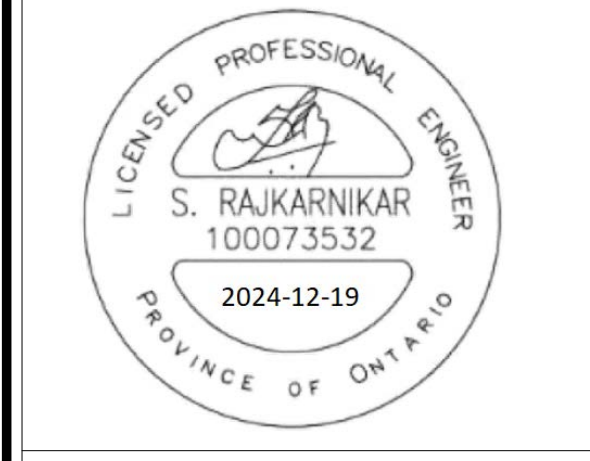
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 Name BCIN

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01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:  
CROSS SECTION -3

PROJECT NO.	DATE
23-46	12/19/24

SCALE:	REVISION:
As indicated	

DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

SHEET NO.

A3.03



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.  
**LEAD DESIGNER & CONSULTANT:** KEN BEKENDAM, B.A. BUSCON, L.T. CELL PHONE: 905-961-0647  
 kenbekendam@gmail.com  
**OFFICE ADDRESS:** 979 MAIN ST. E. HAMILTON, ON. **OFFICE PHONE:** 905-546-4467

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Name: \_\_\_\_\_ Signature: \_\_\_\_\_ BCIN: \_\_\_\_\_  
**REGISTRATION INFORMATION**  
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 KING HOMES INC. 121307  
 Name: \_\_\_\_\_ BCIN: \_\_\_\_\_

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01			
02			
03			
04			

**NORTH POSITION:**

**ENGINEER'S STAMP:**



**PROJECT NAME/ADDRESS:**

**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

**SHEET NAME:**

**WALKOUT DETAILS**

<b>PROJECT NO.</b> 23-46	<b>DATE:</b> 12/19/24
<b>SCALE:</b> As indicated	<b>REVISION:</b>
<b>DRAWN BY:</b> DANILO MARTINELLI	<b>REVIEWED BY:</b> KEN BEKENDAM

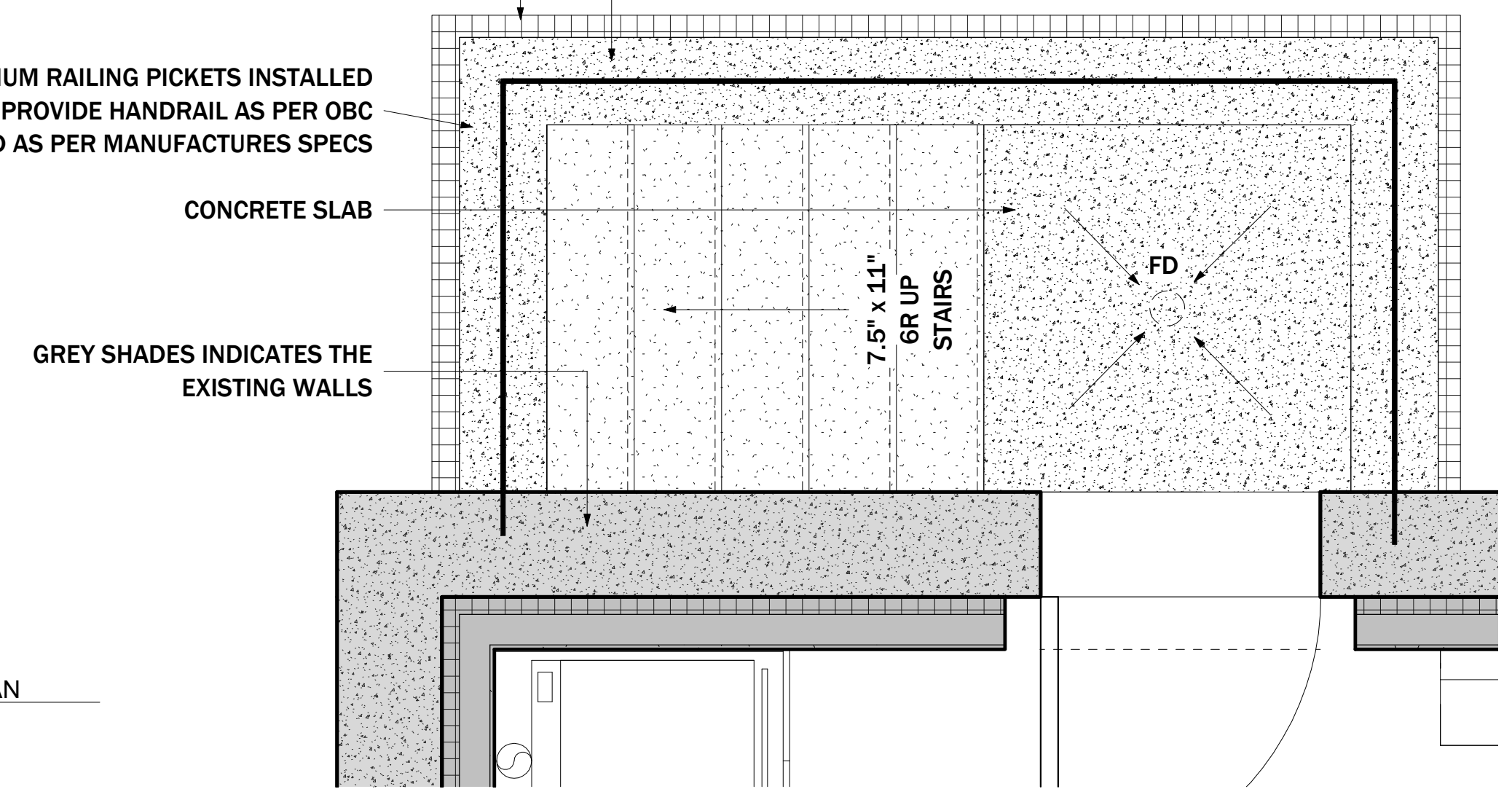
**SHEET NO.**

**A3.04**

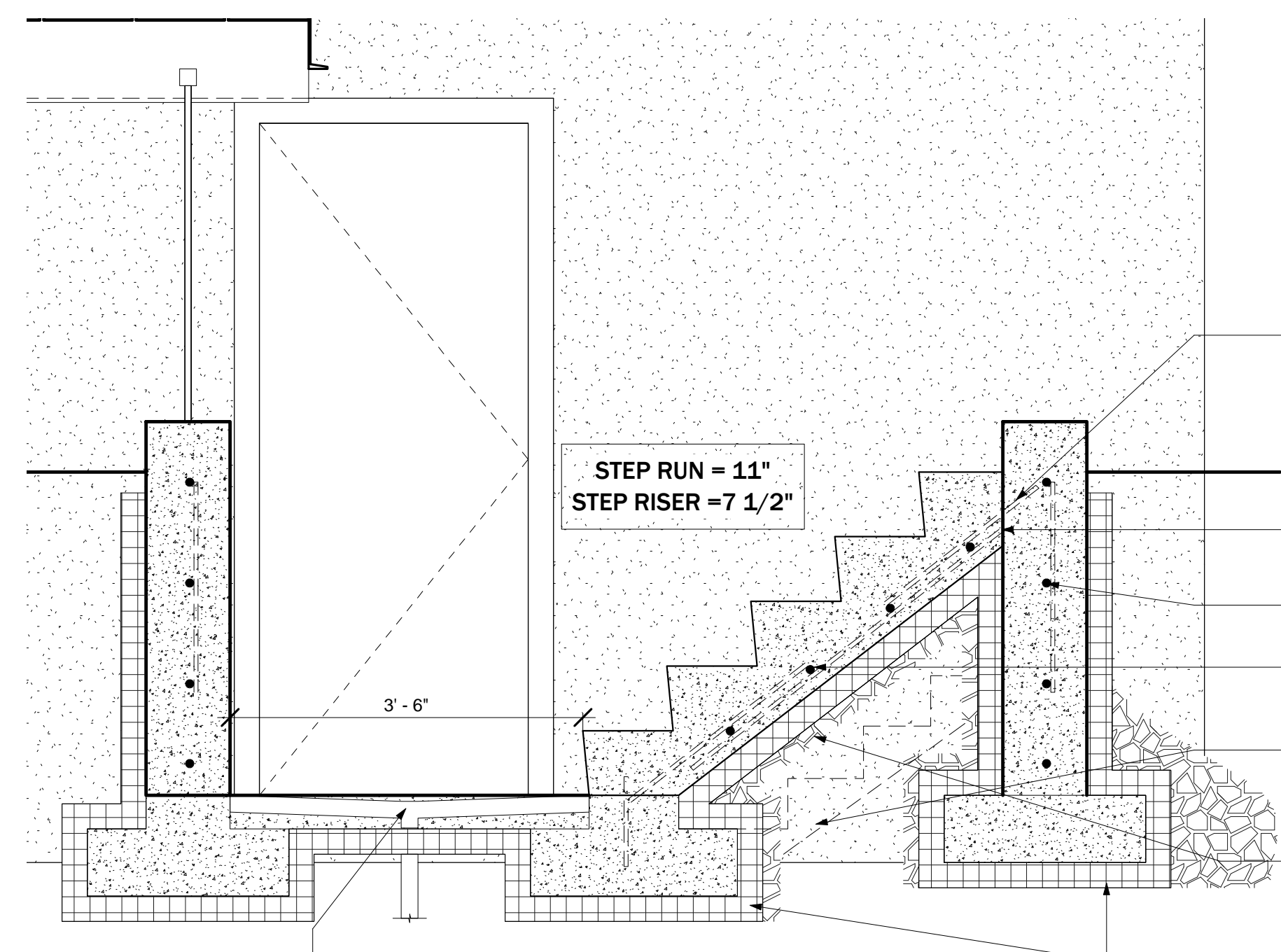
10" THICK 15M @ 500 (20") o.c. V.I.F. & H.I.F. 20" WIDE x 8" DEEP (500 x 204) w/ REINF. 2 - 15M CONT.

ADD 4" (R16) RIGID INSULATION (CELFORT 200 OR EQ.) LAYER FOR FROST PROTECTION PER OBS 9.25.2.1 AND A-9.1.2.2@EXTERIOR PERIMETER OF STAIR WALLS AS SHOWN IN STAIR DETAILS

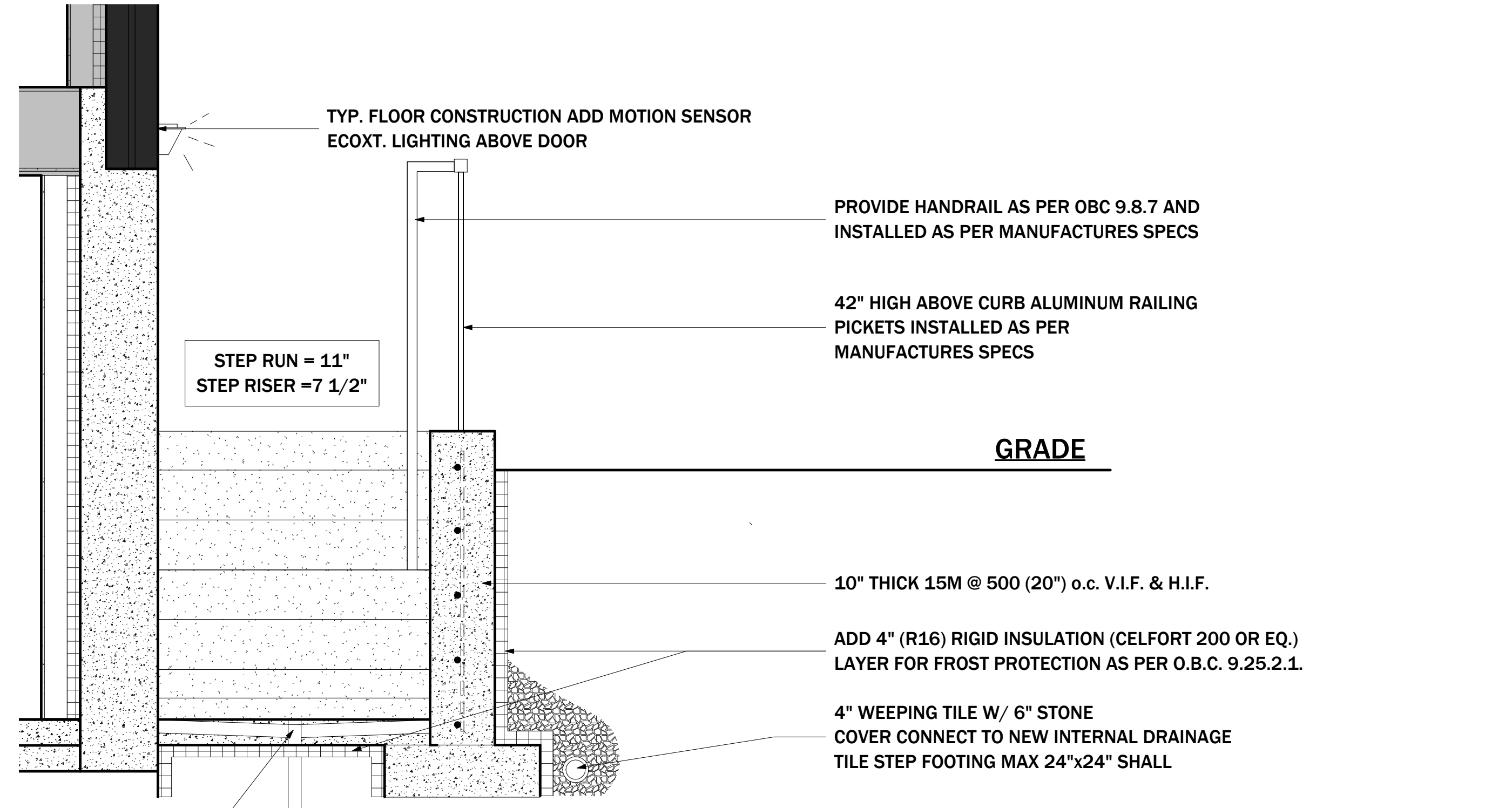
42" HIGH ABOVE CURB ALUMINUM RAILING PICKETS INSTALLED AS PER MANUFACTURES SPECS. PROVIDE HANDRAIL AS PER OBC 9.8.7 AND INSTALLED AS PER MANUFACTURES SPECS



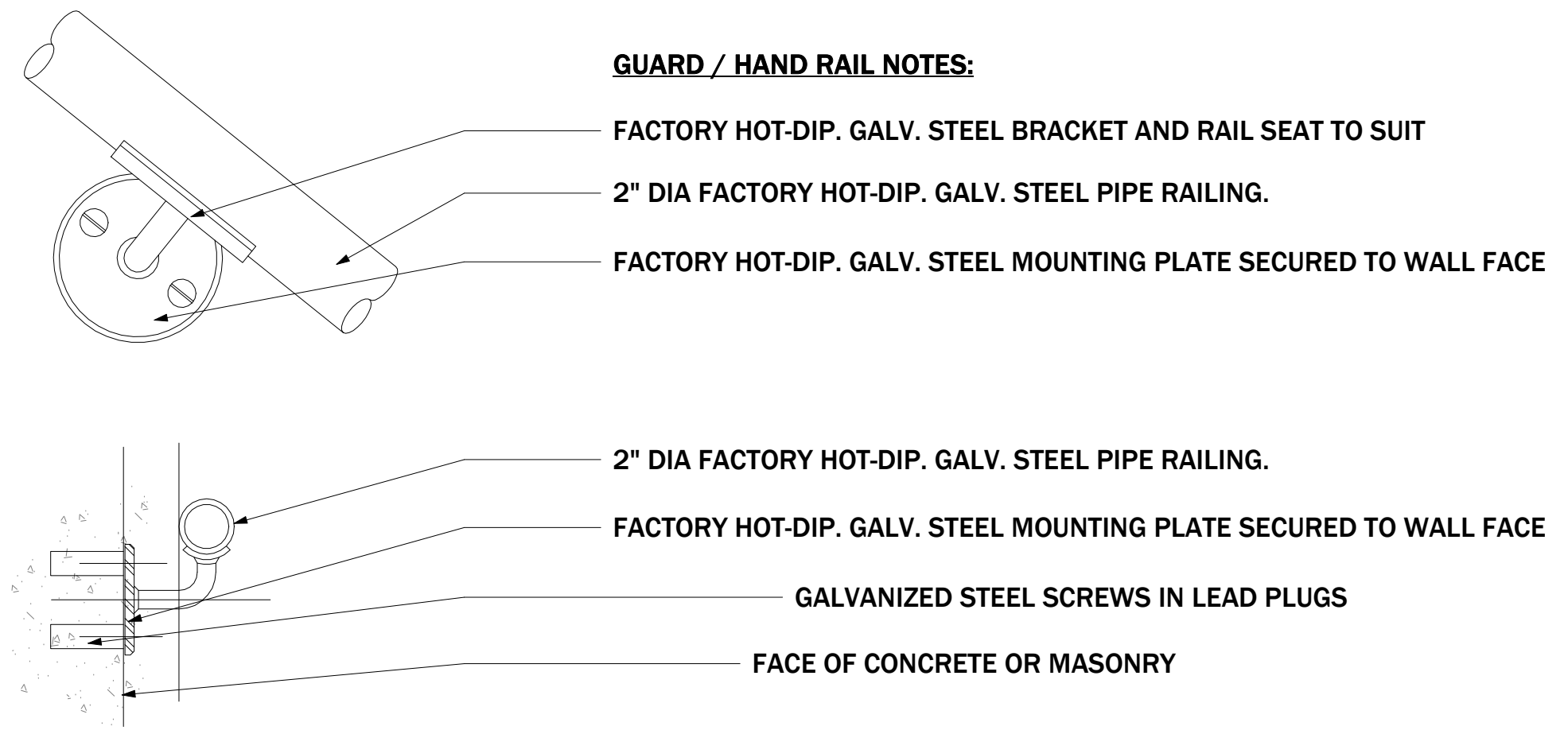
1 WALKOUT DETAIL PLAN  
3/4" = 1'-0"



3 WALKOUT SECTION - 2  
3/4" = 1'-0"



2 WALKOUT SECTION - 1  
3/4" = 1'-0"



4 HAND RAIL DETAILS  
1/2" = 1'-0"

NOTE: POURED CONC. FOOTING ON NATURAL UNDISTUBED SOIL OR COMPACTED ENGINEERED FILL WITH A BEARING CAPACITY OF 75 kPa.

NOTE: POURED CONC. FOOTING ON NATURAL UNDISTUBED SOIL OR COMPACTED ENGINEERED FILL WITH A BEARING CAPACITY OF 75 kPa.

NOTE: SEE FLOOR PLAN FOR ACCURATE QUANTITY OF RISERS REQUIRED. EXISTING SITE CONDITIONS TO BE REVIEWED TO ENSURE EACH RISER HAS A MAXIMUM RISE ENSURE EACH RISER HAS A MAXIMUM RISE REPORTED TO THE DESIGNER.

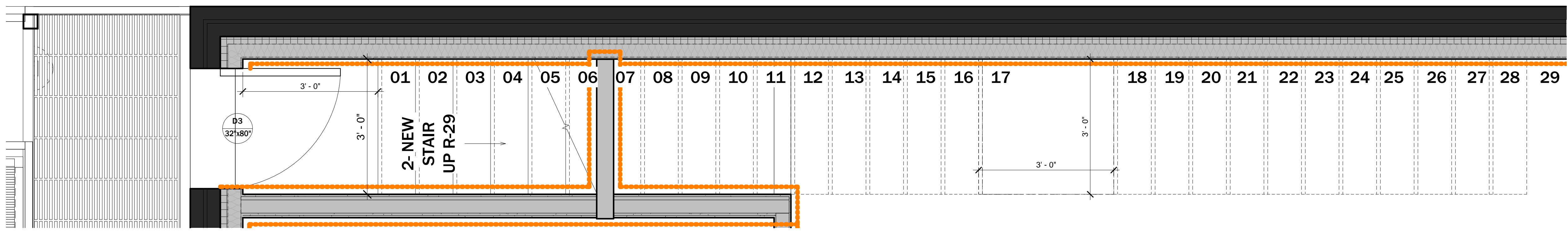
NOTES: 4" MAX SPACE BETWEEN PICKETS, OPENING THROUGH ANY GUARD SHALL BE OF SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF MORE THAN 4". GUARDS SHALL BE DESIGNED AND INSTALLED SO THAT NO MEMBER ATTACHED ON WALKING SURFACE WILL FACILITATE CLIMBING. GUARDS TO RESIST LOADS AS PER O.B.C. 9.8.7.7.(1)(a)

**GUARD / HAND RAIL NOTES:**

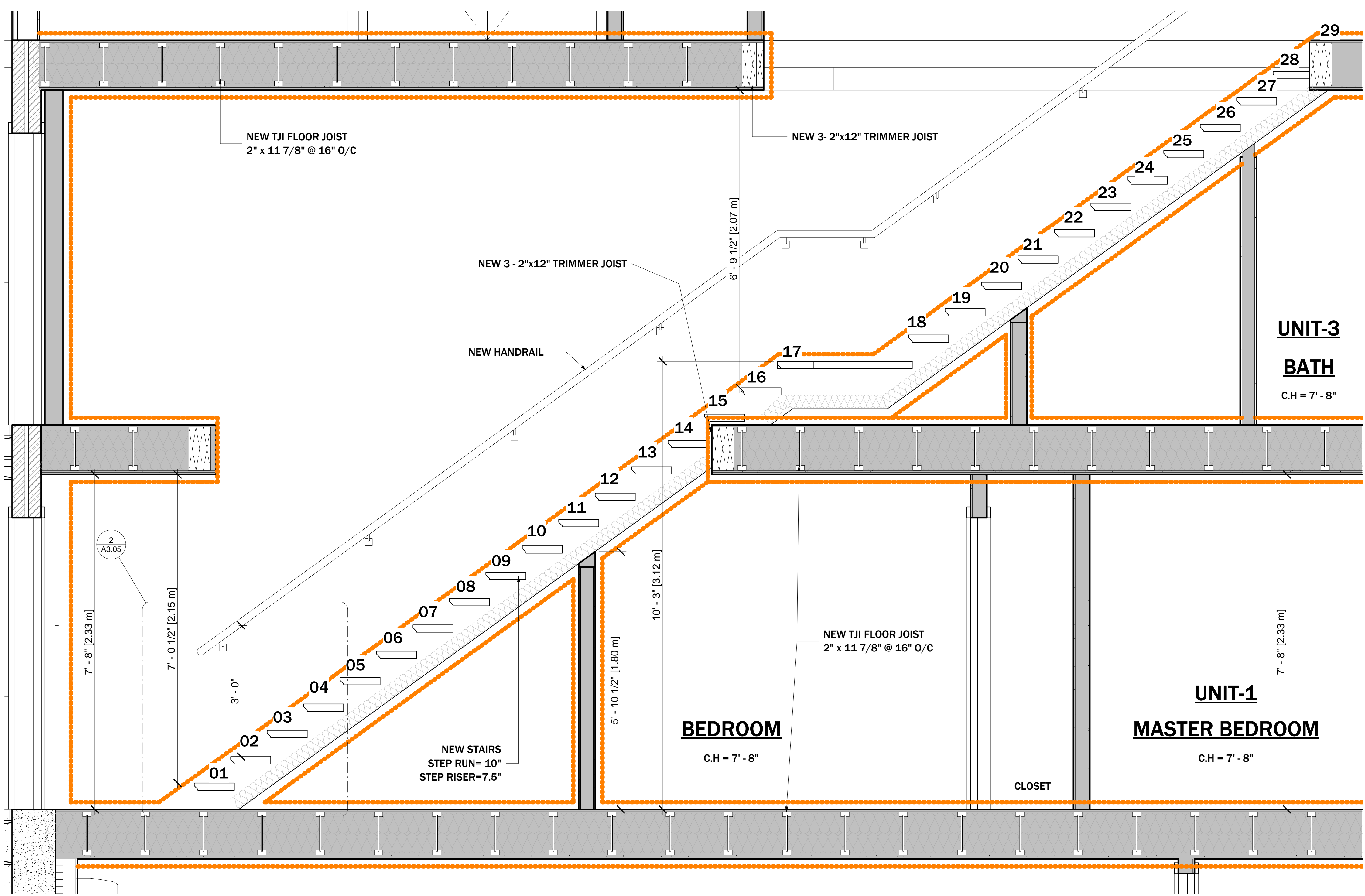
- FACTORY HOT-DIP. GALV. STEEL BRACKET AND RAIL SEAT TO SUIT
- 2" DIA FACTORY HOT-DIP. GALV. STEEL PIPE RAILING.
- FACTORY HOT-DIP. GALV. STEEL MOUNTING PLATE SECURED TO WALL FACE
- 2" DIA FACTORY HOT-DIP. GALV. STEEL PIPE RAILING.
- FACTORY HOT-DIP. GALV. STEEL MOUNTING PLATE SECURED TO WALL FACE
- GALVANIZED STEEL SCREWS IN LEAD PLUGS
- FACE OF CONCRETE OR MASONRY

RISER=7 5/8"  
RUN=10.05"

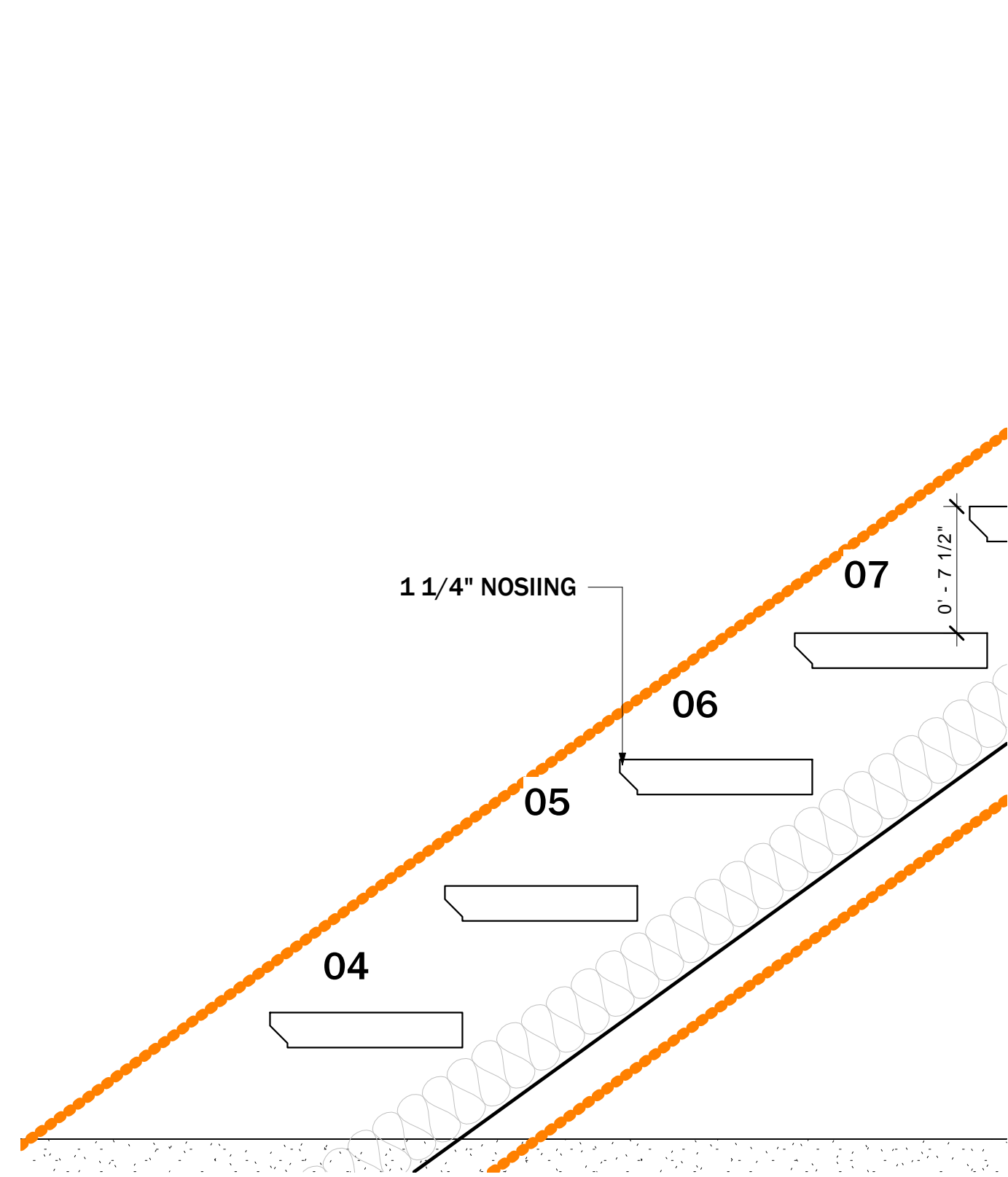
NEW WINDOW  
30"x48"



⑥ NEW STAIR PLAN-2  
3/4" = 1'-0"



① STAIRCASE Section 2 -  
3/4" = 1'-0"



② NOISING DETAIL  
1 1/2" = 1'-0"

CITY ELECTRONIC STAMP:



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LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, LT.  
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01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

STAIRCASE DETAIL-1

PROJECT NO. DATE:

23-46 12/19/24

SCALE: As indicated REVISION:

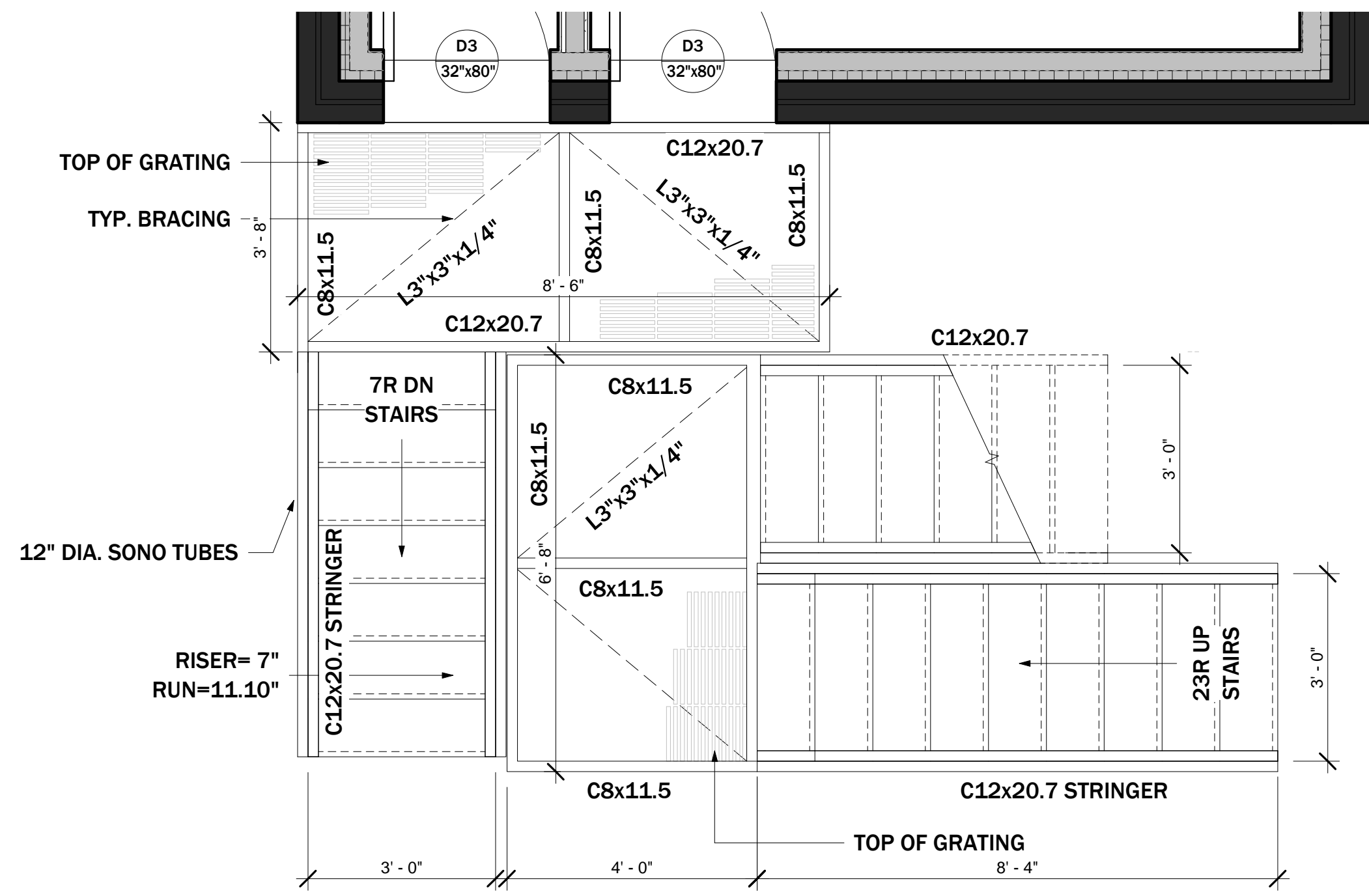
DRAWN BY: DANILLO MARTINELLI REVIEWED BY: KEN BEKENDAM

SHEET NO.

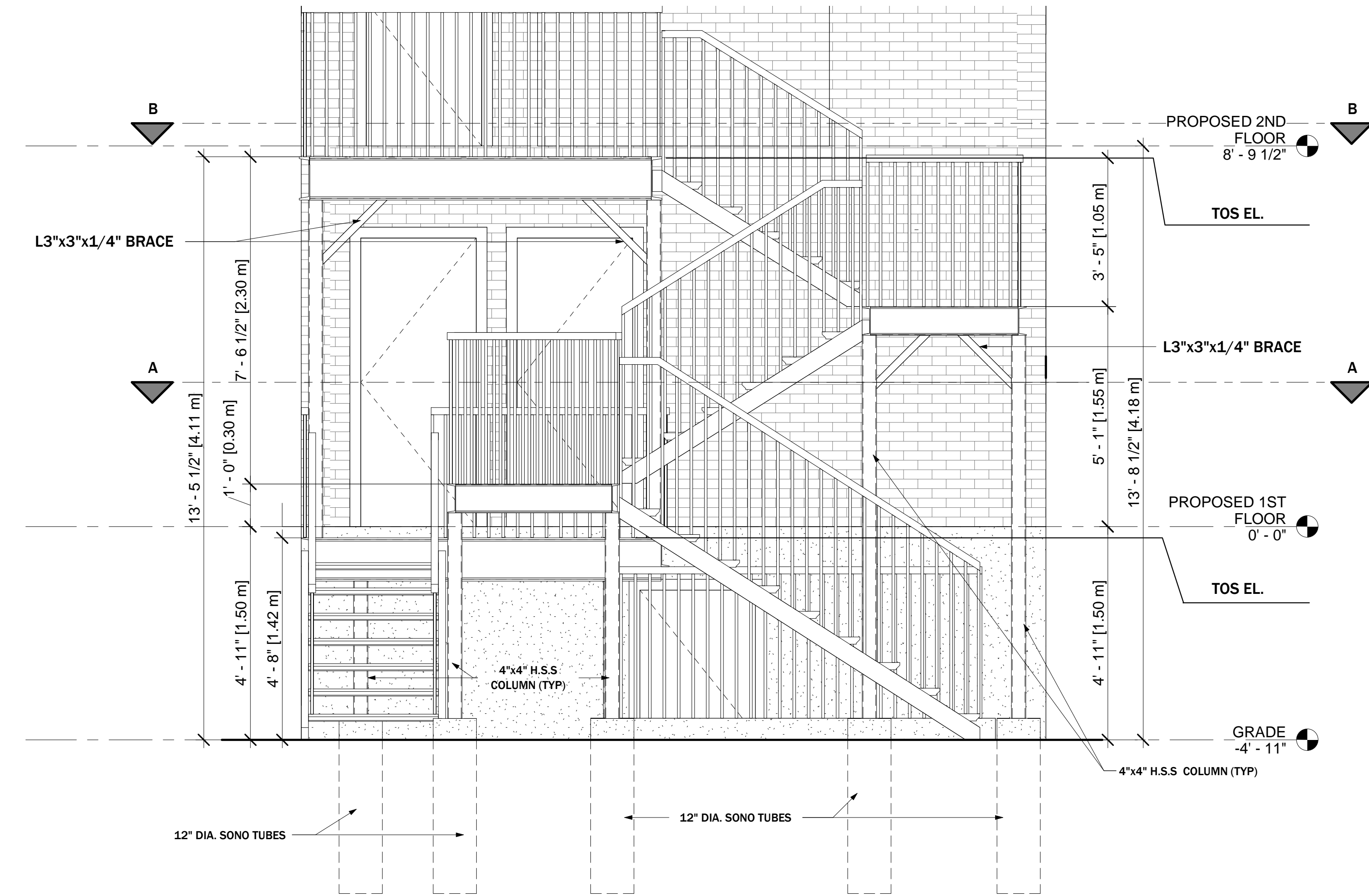
A3.05



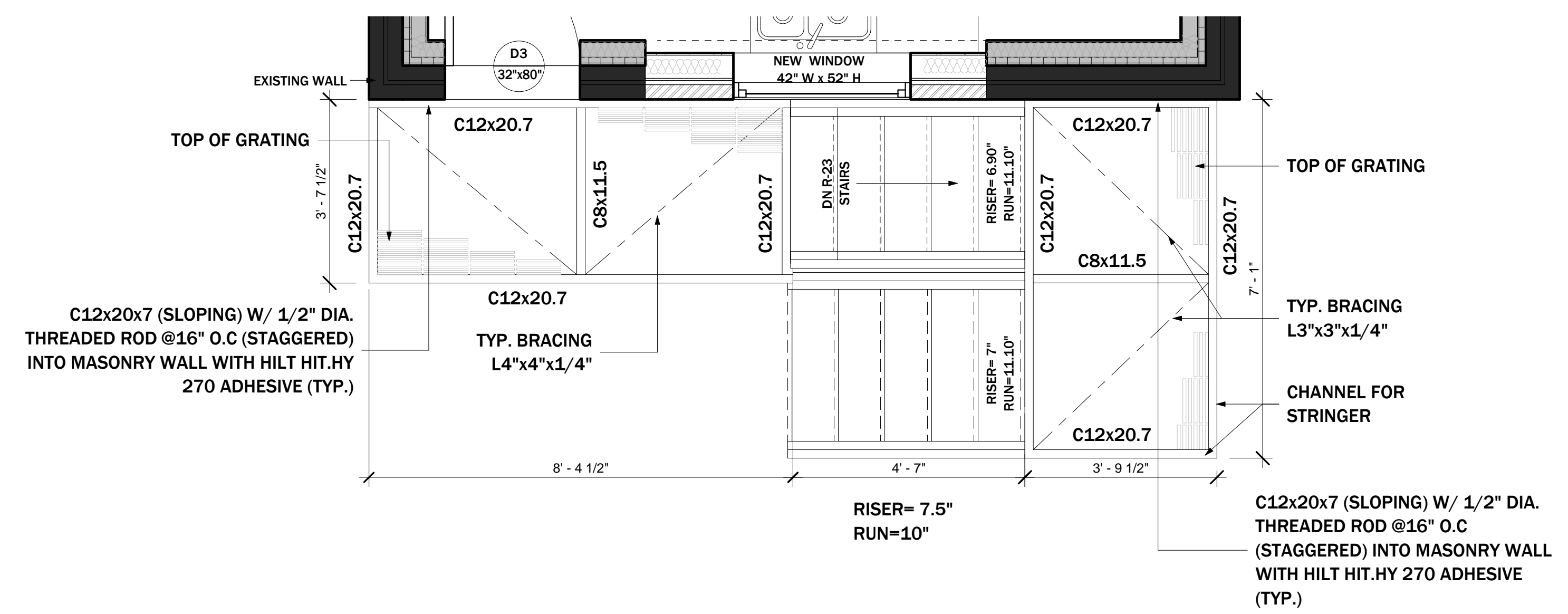
NOTE:  
LIVE LOAD ON EXTERIOR METAL STAIRS = 4.8 KPa



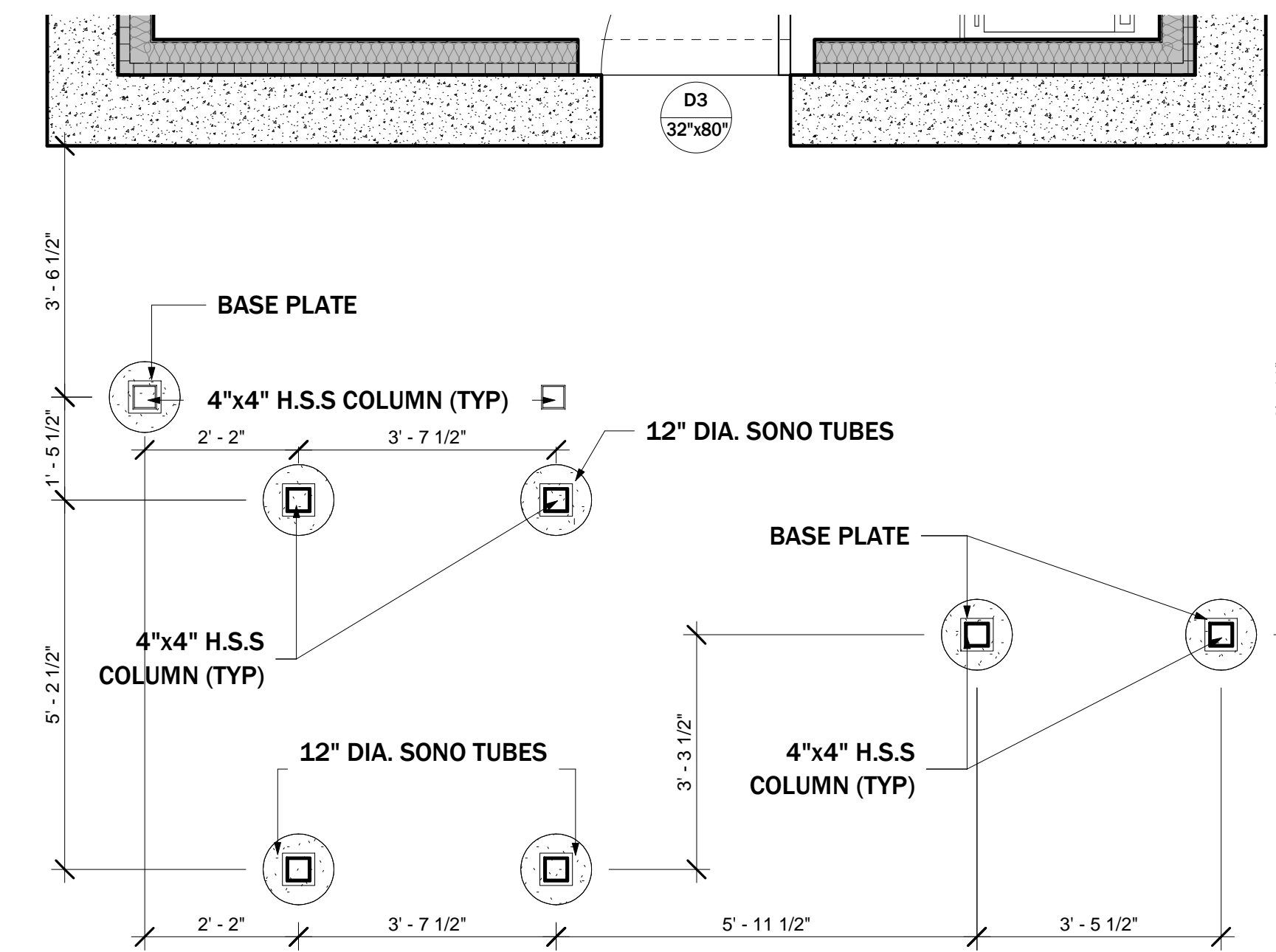
1 SECTION-A  
1/2" = 1'-0"



3 FRONT ELEVATION - METAL STAIRCASE  
1/2" = 1'-0"



2 SECTION-B  
1/2" = 1'-0"



4 FOUNDATION PLAN  
1/2" = 1'-0"

CITY ELECTRONIC STAMP:

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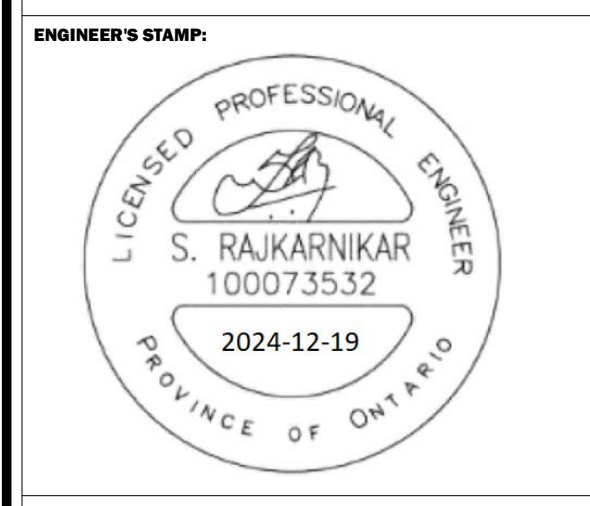
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02			
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04			

NORTH POSITION:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:  
STRUCTURAL DETAIL OF METAL STAIRS

PROJECT NO. 23-46	DATE 12/19/24
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SCALE: 1/2" = 1'-0"	REVISION:
------------------------	-----------

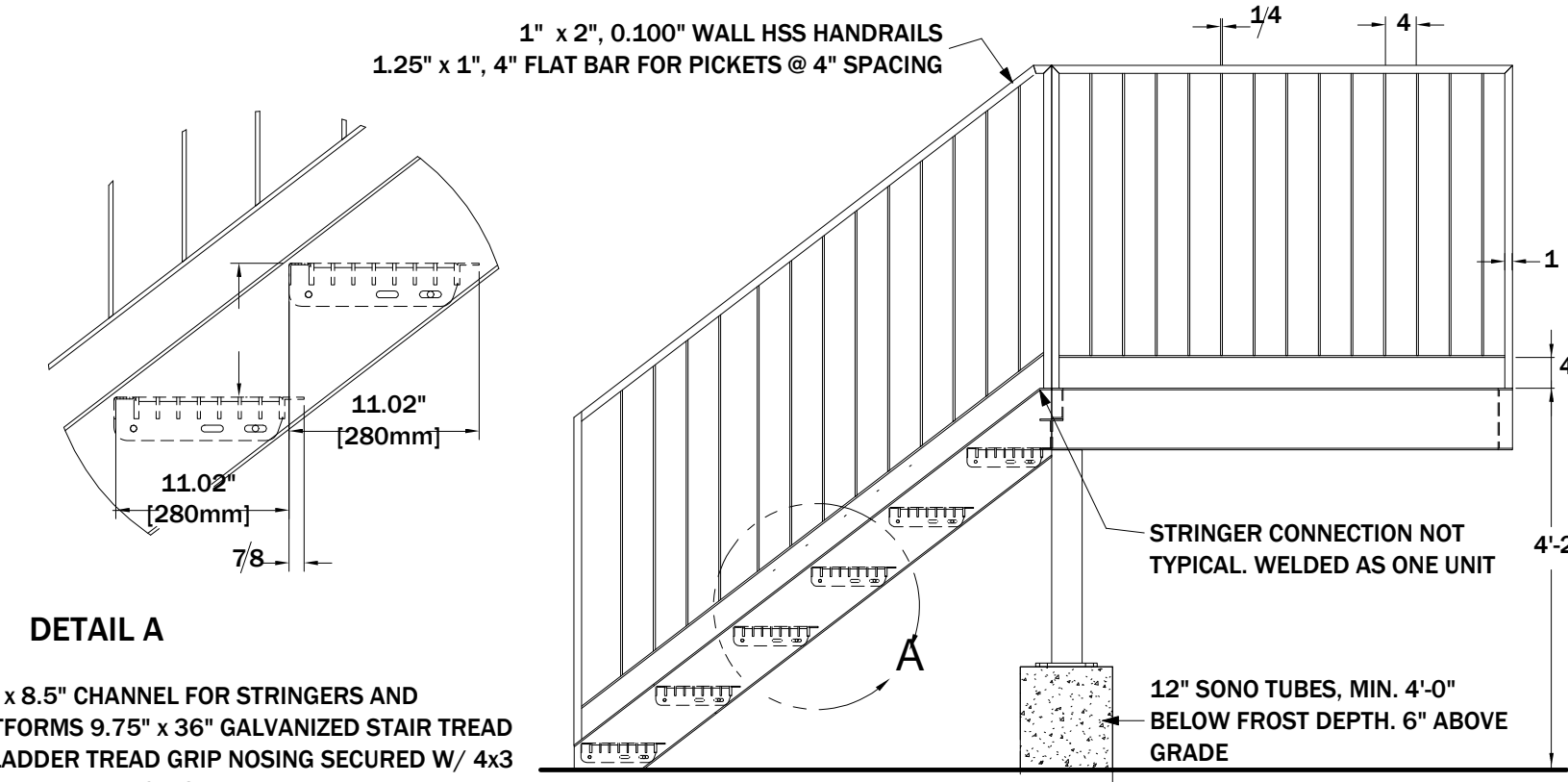
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM
--------------------------------	------------------------------

SHEET NO.

A3.06

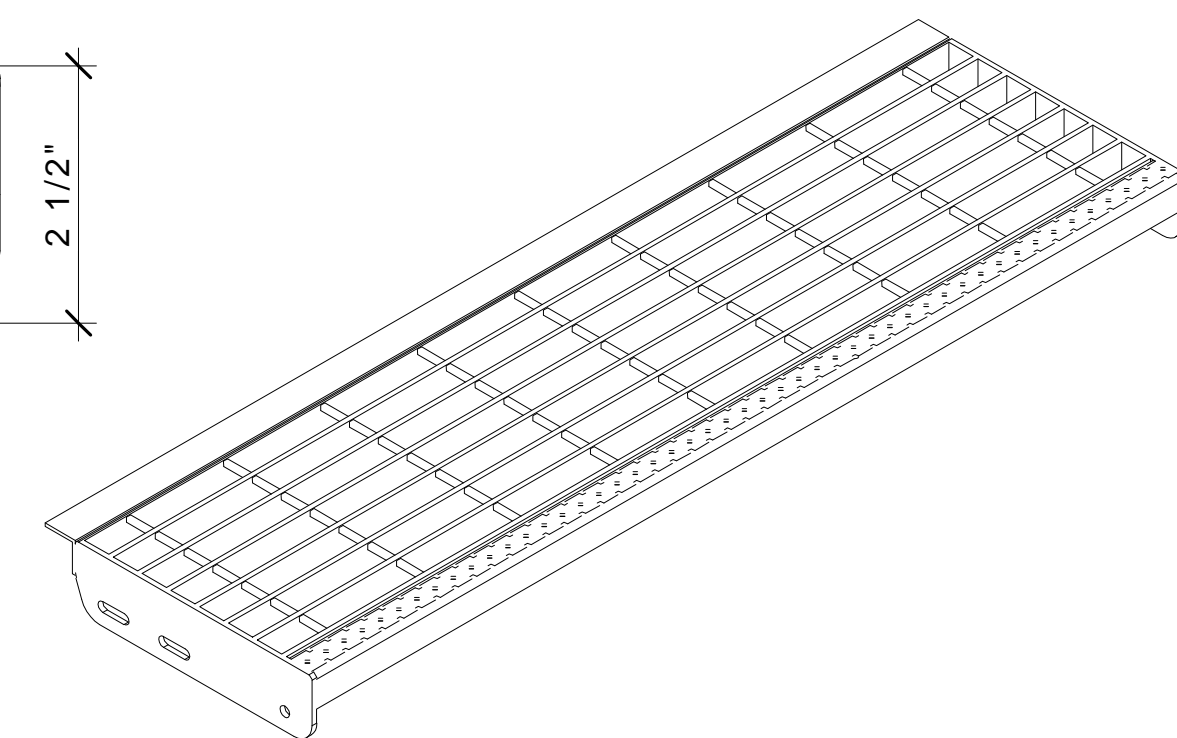
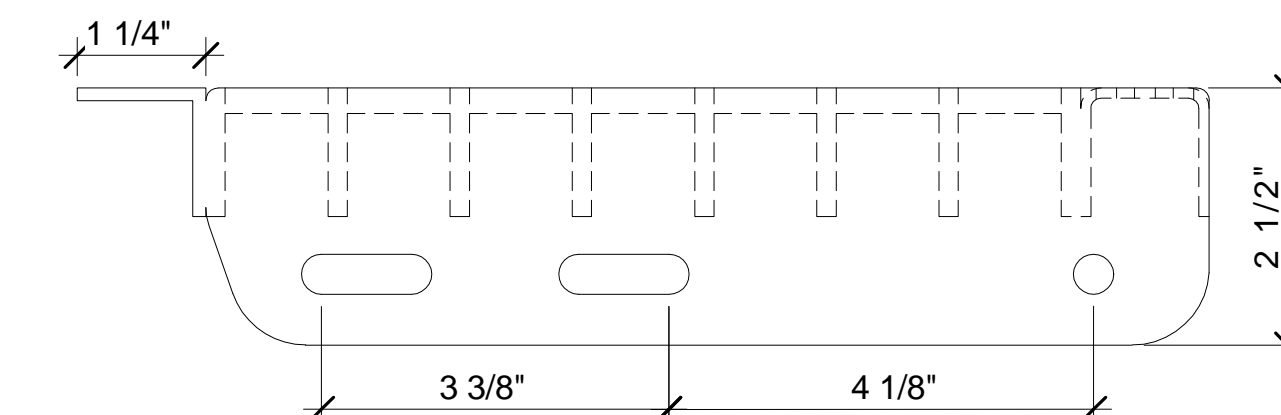
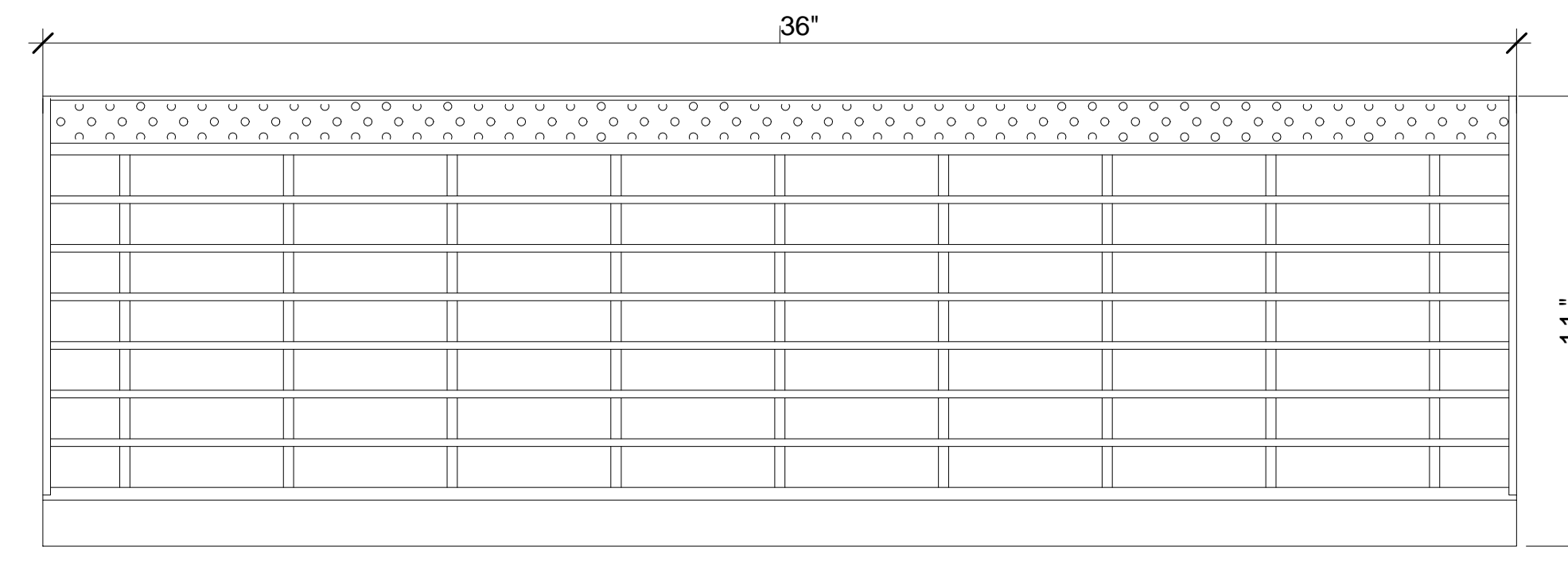
NOTE:  
LIVE LOAD ON EXTERIOR METAL STAIRS = 4.8 KPa

NOTE: DESIGN LIVE LOAD FOR HANDRAILS  
CONCENTRATED LOAD: 203.3 lb = 0.9 kN  
UNIFORM LOAD: 48 lb/ft = 0.7 kN/m

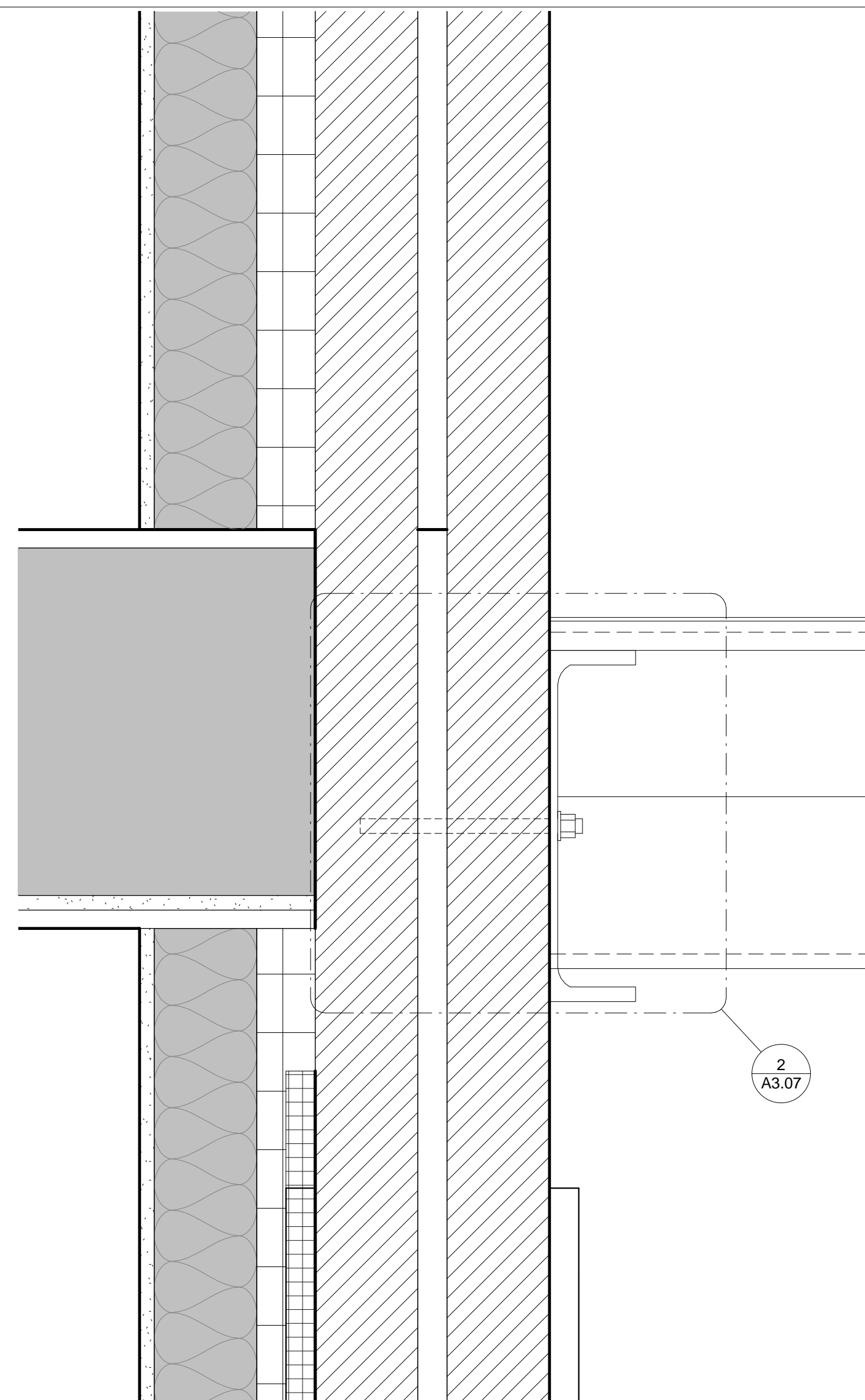


**DETAIL A**  
MC8 x 8.5\"/>

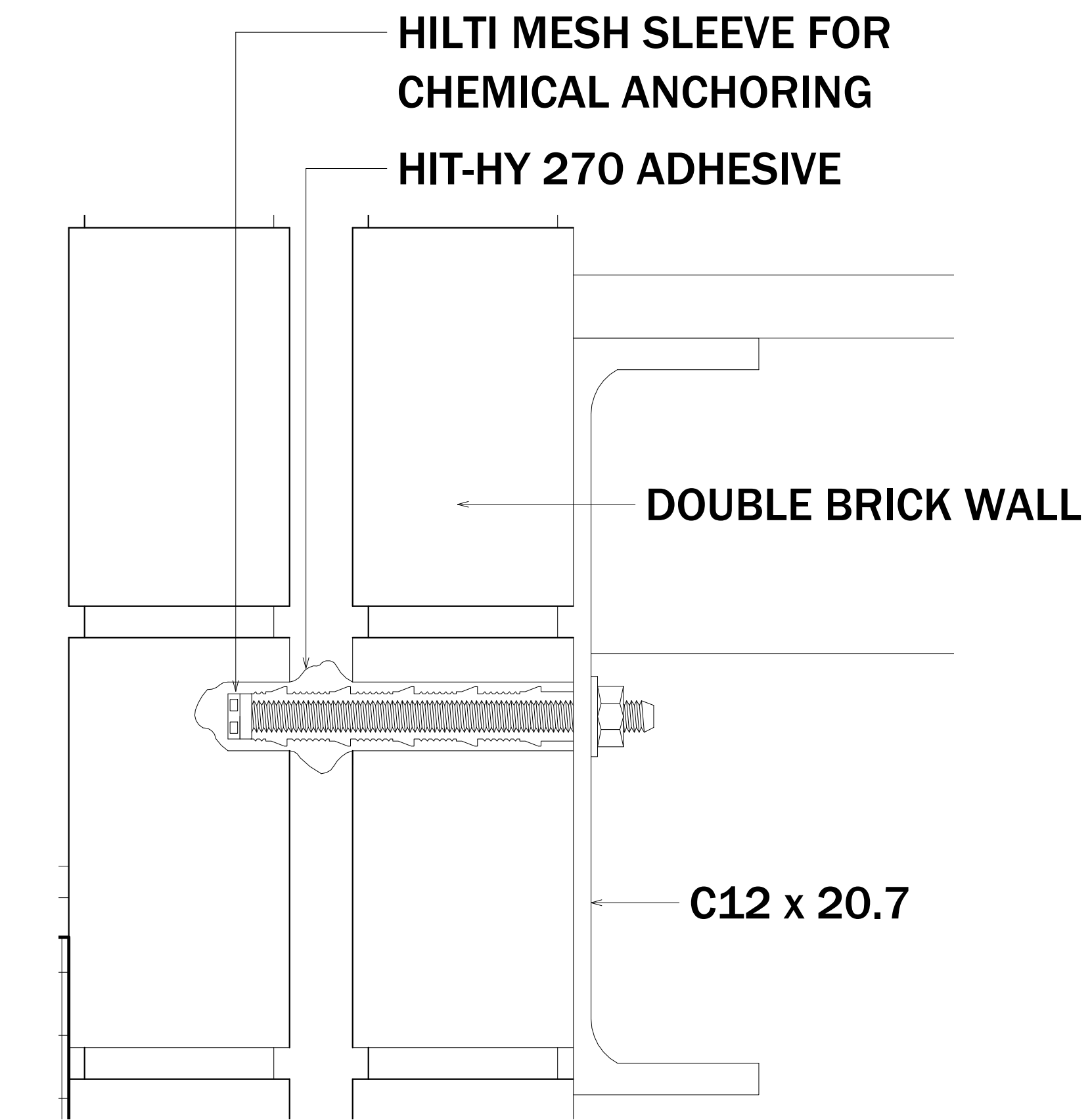
4 RISE & RUN STAIR/ RAILING DETAIL  
1/2\"/>



5 TREAD INFO  
3/4\"/>

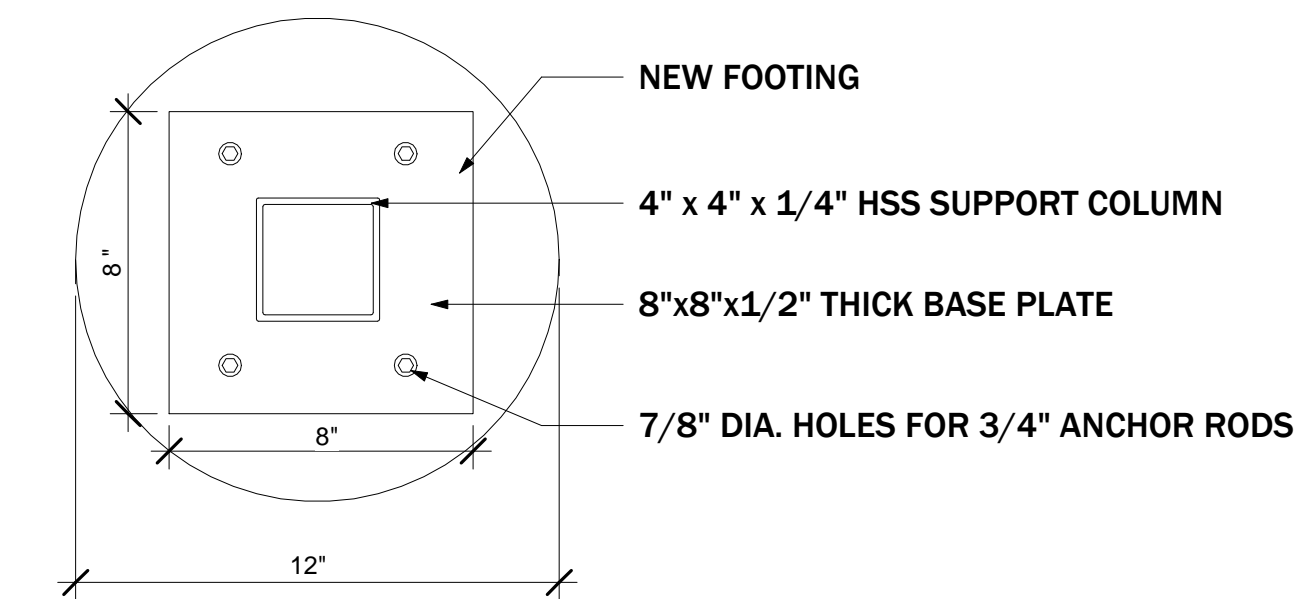
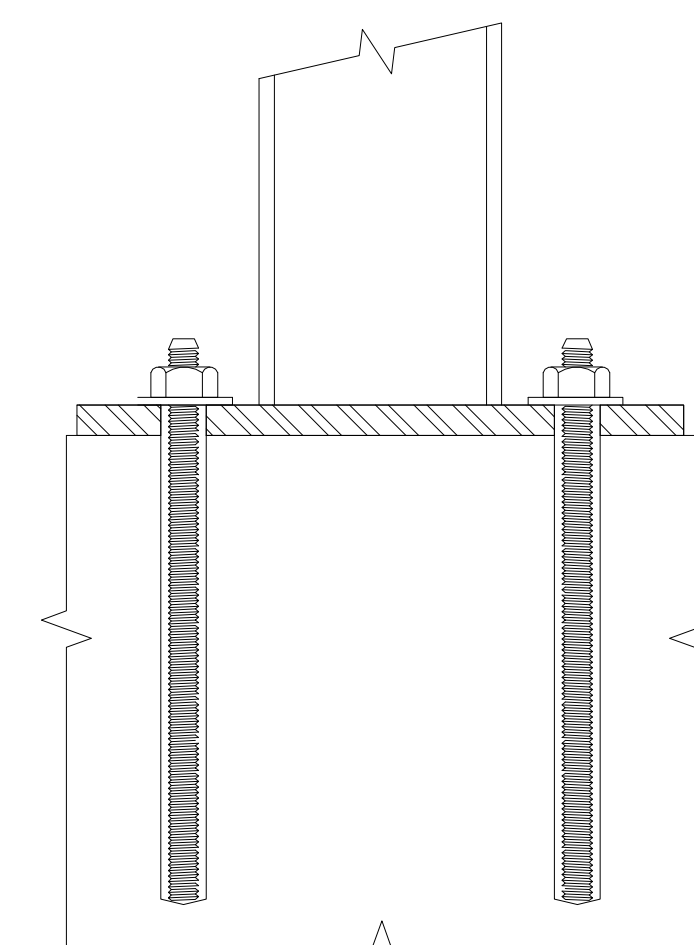


1 WALL SECTION  
3\"/>



2 WALL SECTION - CALLOUT 1  
6\"/>

C12 x 20.7 (SLOPING) W/ 1/2\"/>



PLAN VIEW  
ELEVATION VIEW  
HSS TO CONCRETE FOUNDATION CONNECTION DETAIL-'D':  
STRUCTURAL DETAIL CONFORM TO PART 4

6 HSS DETAIL CONNECTION  
1/2\"/>

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES  
ARE OWNED AND OPERATED BY KING HOMES INC.  
**LEAD DESIGNER & CONSULTANT:**  
KEN BEKENDAM, B.A BUSCOM, LT. 905-961-0647  
kenbekendam@gmail.com  
**OFFICE ADDRESS:**  
979 MAIN ST. E. HAMILTON, ON  
**OFFICE PHONE:**  
905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

Name: Ken Bekendam BCIN: 121307  
**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code  
KING HOMES INC. 121307  
Name: Ken Bekendam BCIN: 121307

**GENERAL NOTES:**  
1. DO NOT SCALE DRAWINGS. FULL SCALE: 24\"/>

2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

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5. USE LATEST REVISED DRAWINGS.  
6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

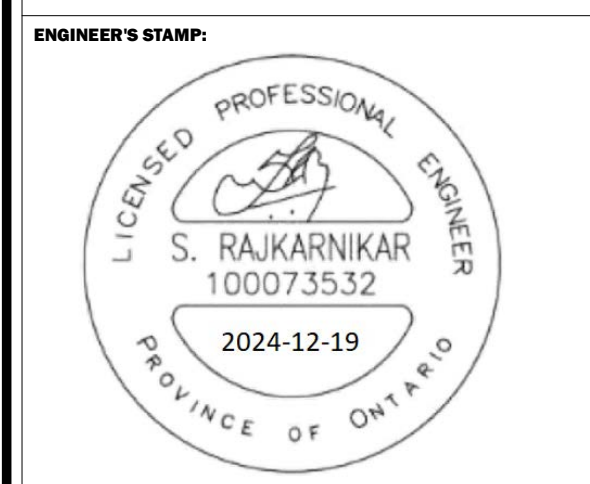
7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION. LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)

8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.

9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

**NORTH POSITION:**



PROJECT NAME/ADDRESS:  
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:  
STRUCTURAL DESIGN CONFORM TO PART 4

PROJECT NO. 23-46 DATE: 12/19/24

SCALE: As indicated REVISION:

DRAWN BY: DANILU MARTINELLI REVIEWED BY: KEN BEKENDAM

SHEET NO.

**A3.07**



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

**LEAD DESIGNER & CONSULTANT:**  
KEN BEKENDAM, B.A. BUSCOM, L.T.  
kenbekendam@gmail.com

**CELL PHONE:**  
905-961-0647

**OFFICE ADDRESS:**  
179 MAIN ST. E. HAMILTON, ON

**OFFICE PHONE:**  
905-546-4467

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**REGISTRATION INFORMATION**  
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KING HOMES INC. 121307  
Name BCIN

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

**NORTH POSITION:**

**ENGINEER'S STAMP:**



**PROJECT NAME/ADDRESS:**

**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

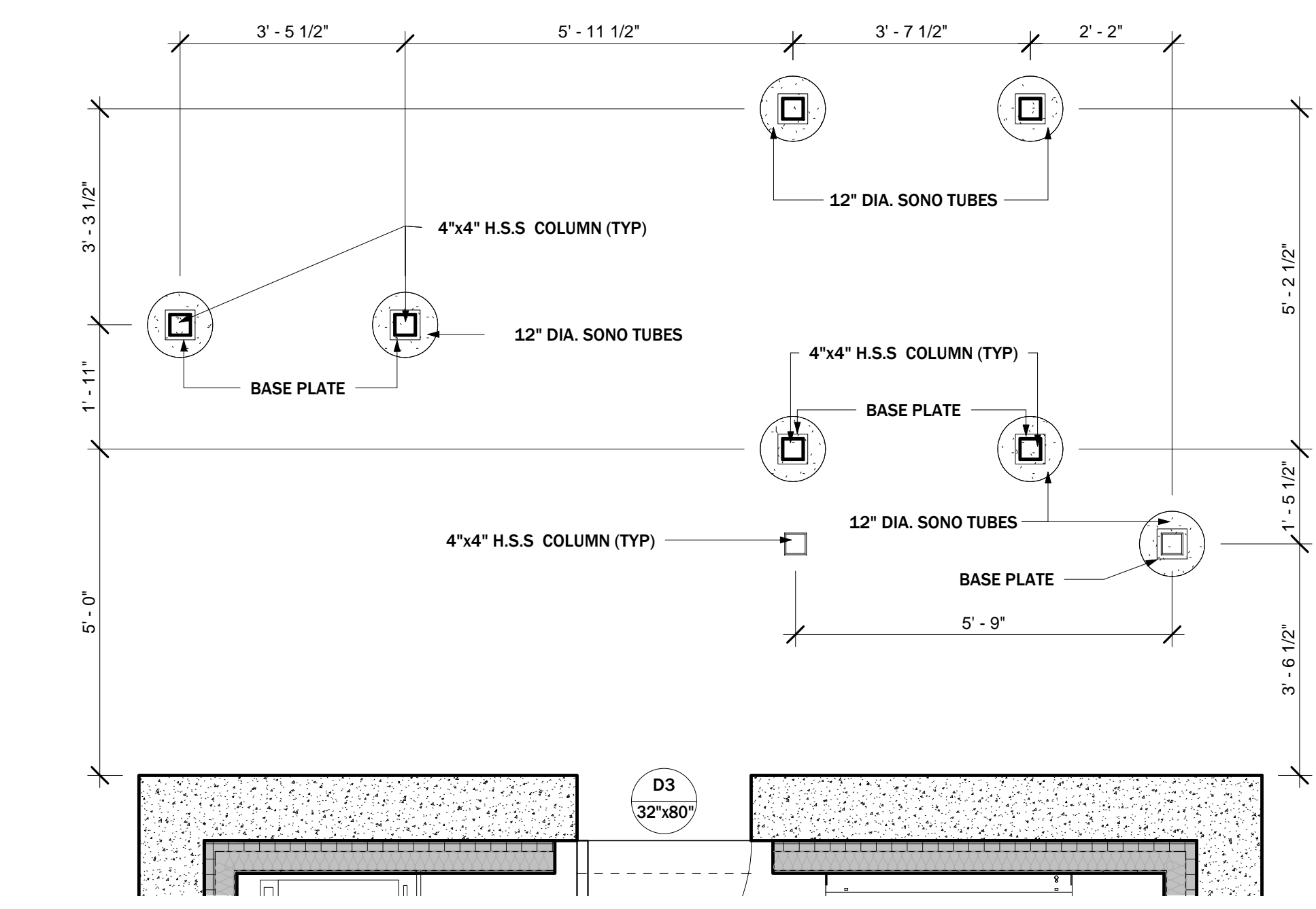
**SHEET NAME:**

**METAL STAIRS DETAIL**

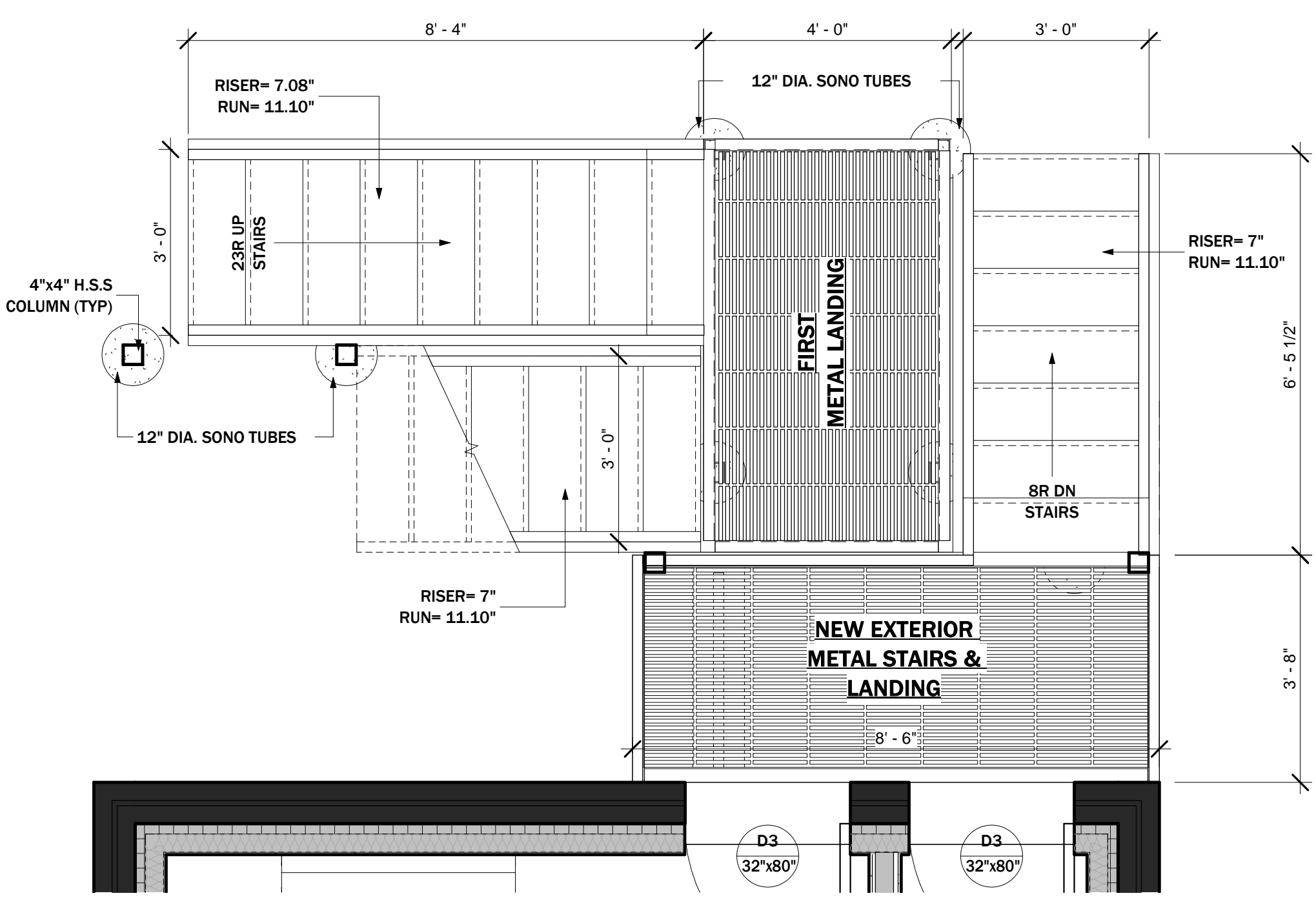
PROJECT NO.	DATE
23-46	12/19/24
SCALE:	REVISION:
1/2" = 1'-0"	
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

**SHEET NO.**

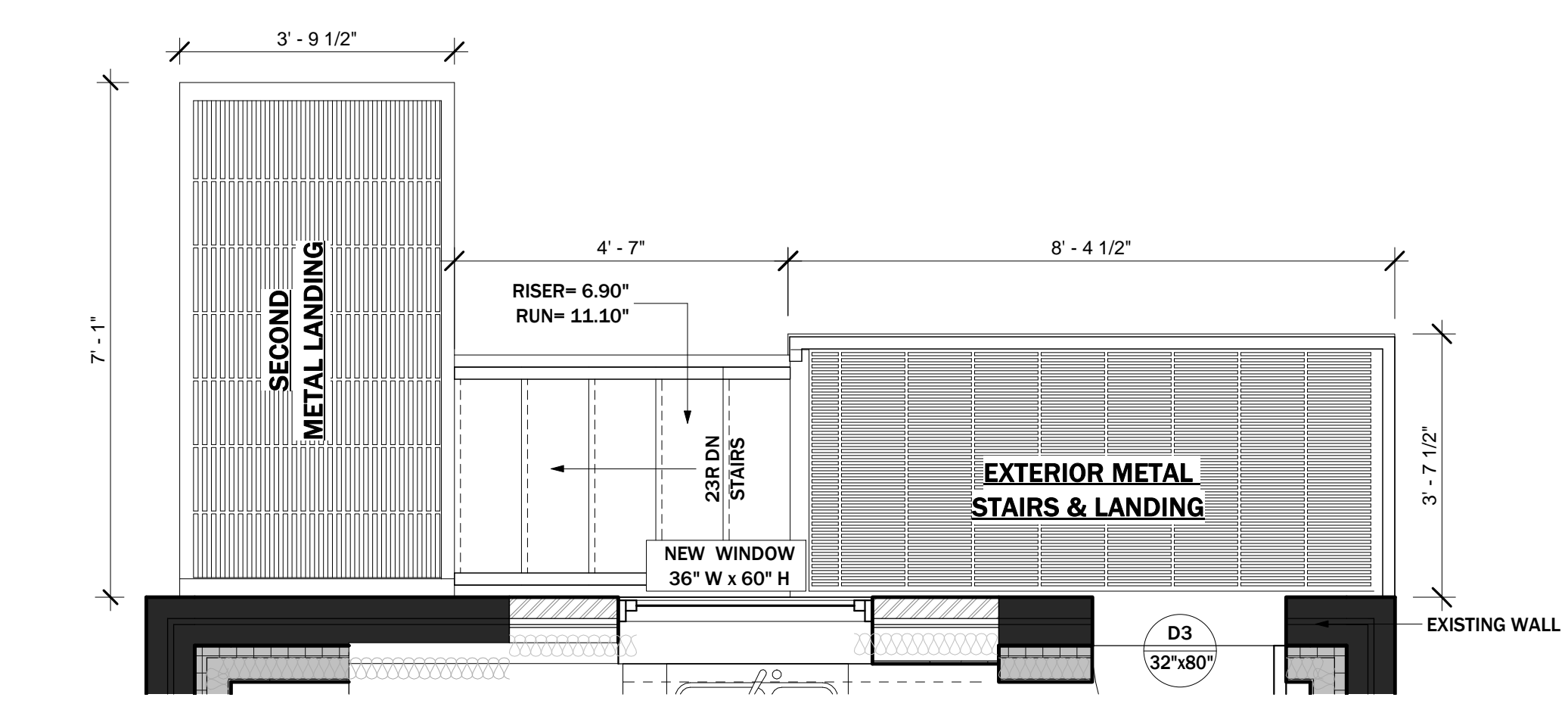
**A3.08**



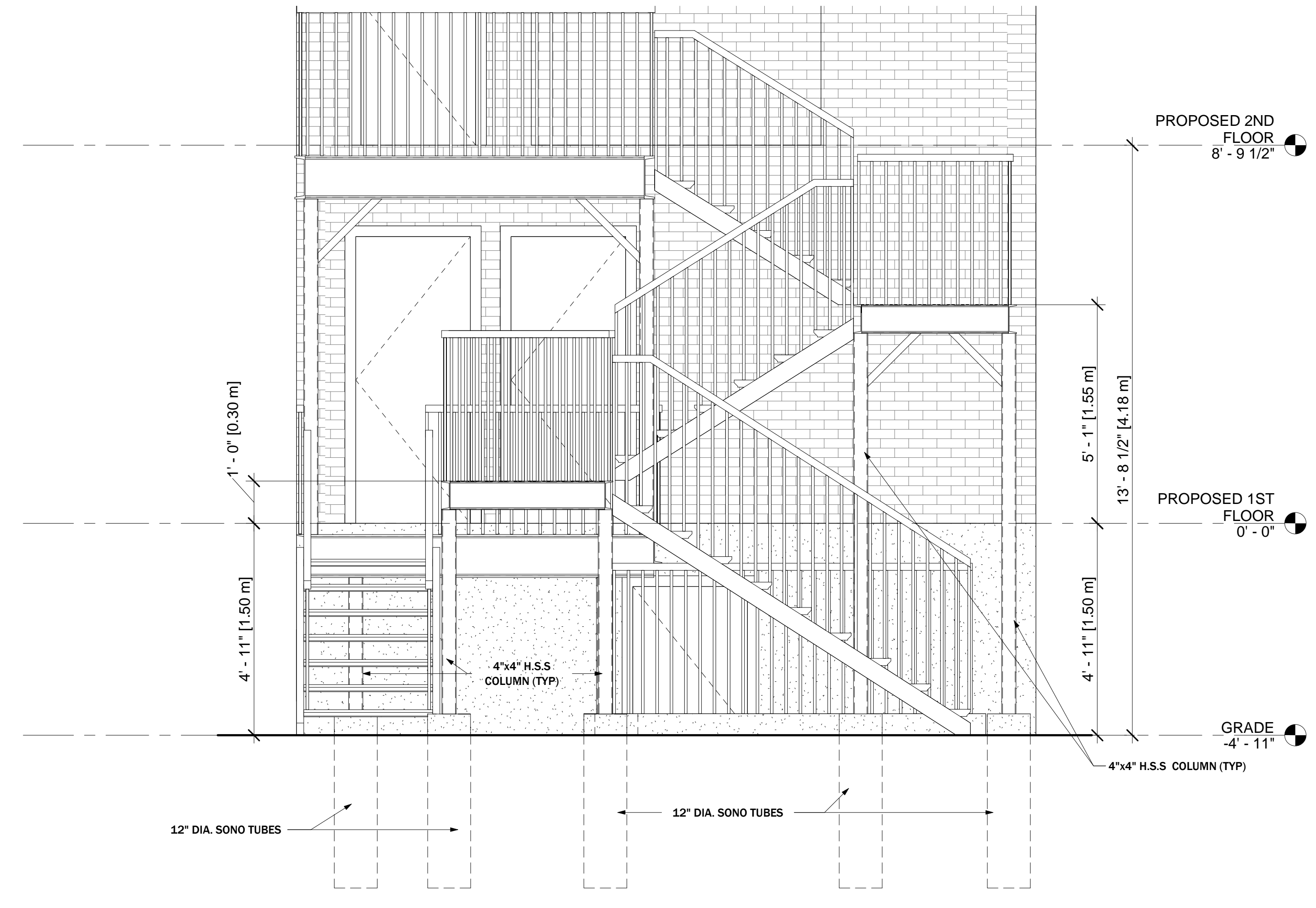
3 GRADE LVL DECK  
1/2" = 1'-0"



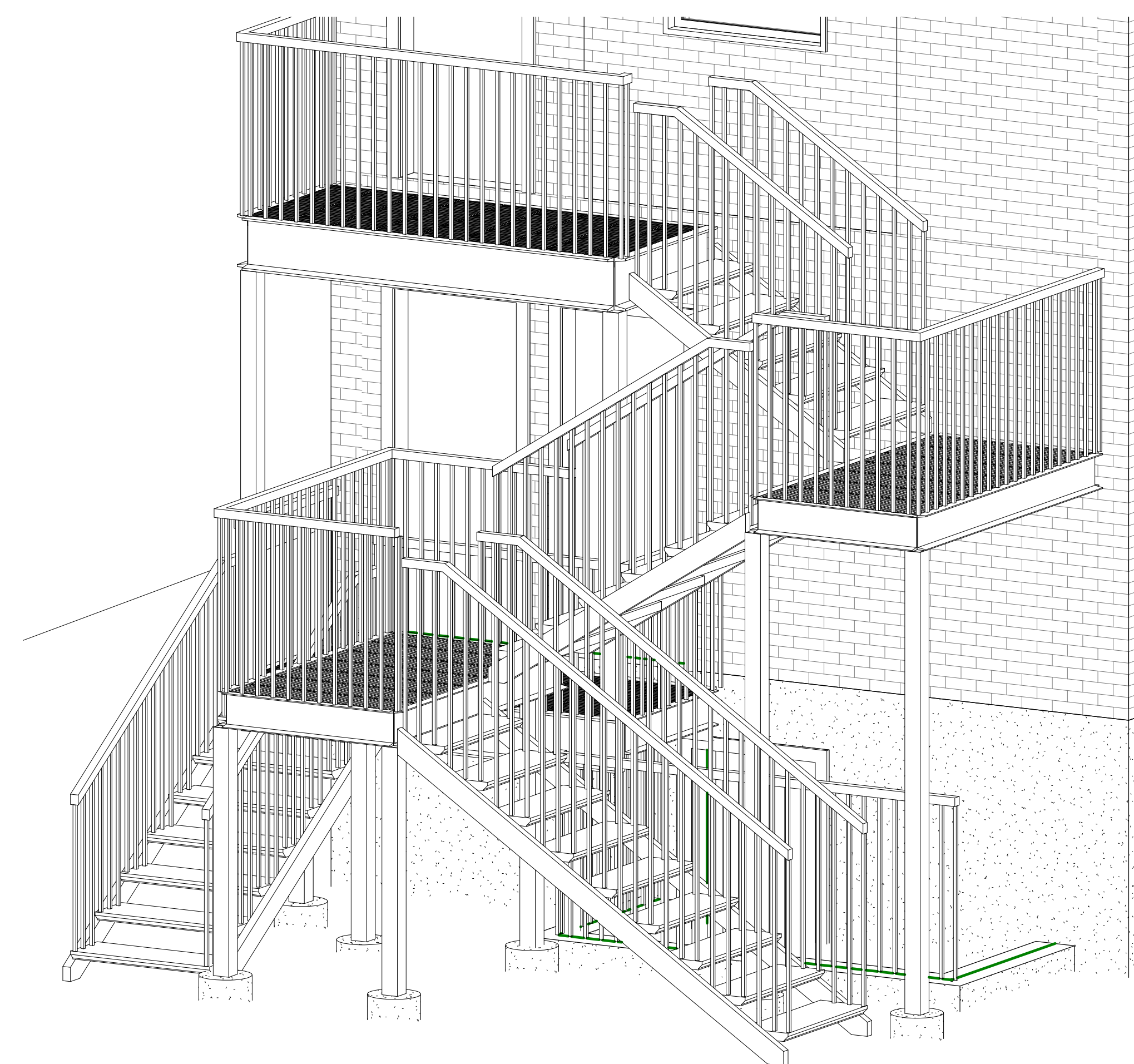
2 1ST FLOOR LVL DECK  
1/2" = 1'-0"



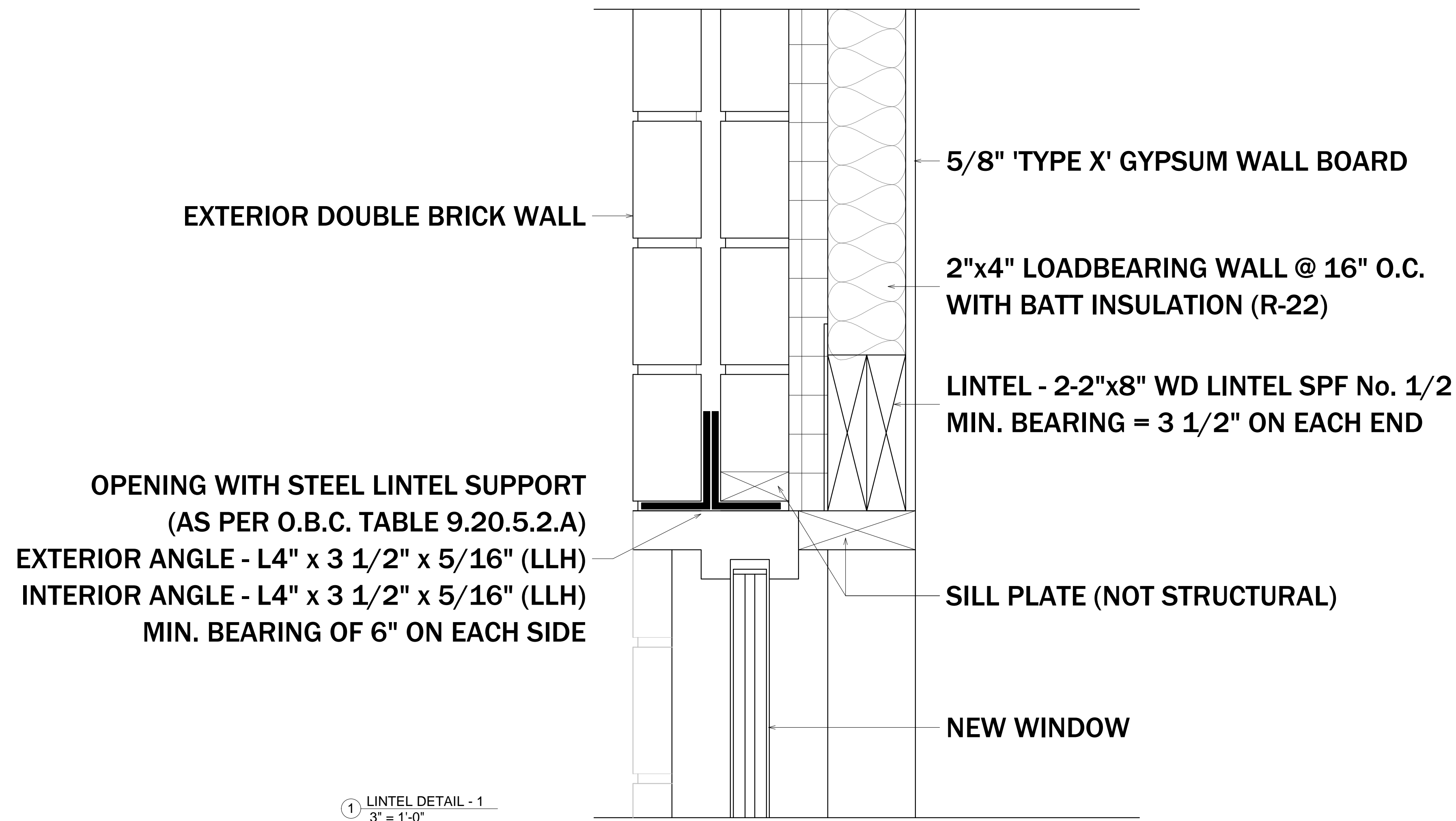
1 2ND FLOOR LVL DECK  
1/2" = 1'-0"



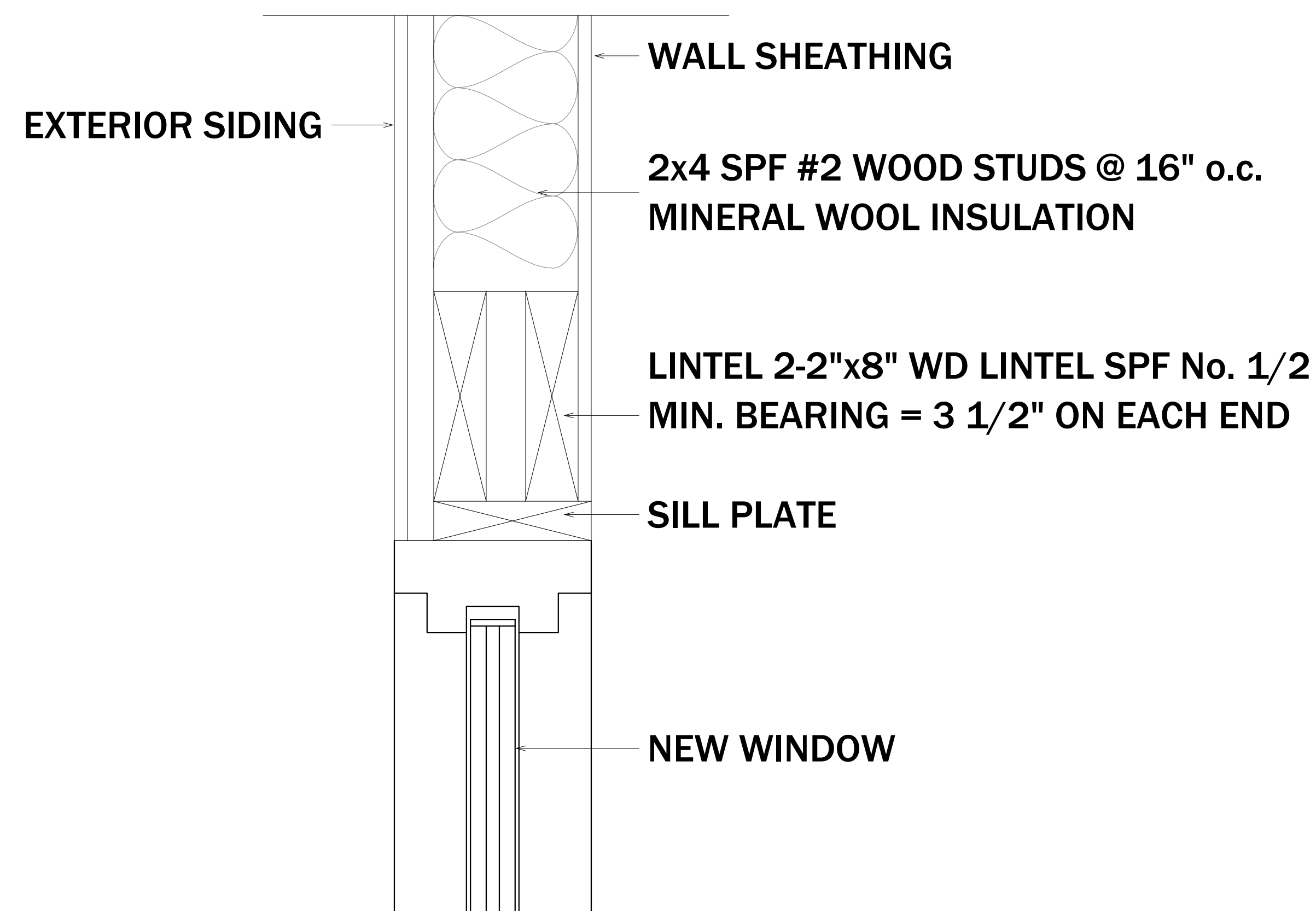
4 FRONT ELEVATION  
1/2" = 1'-0"



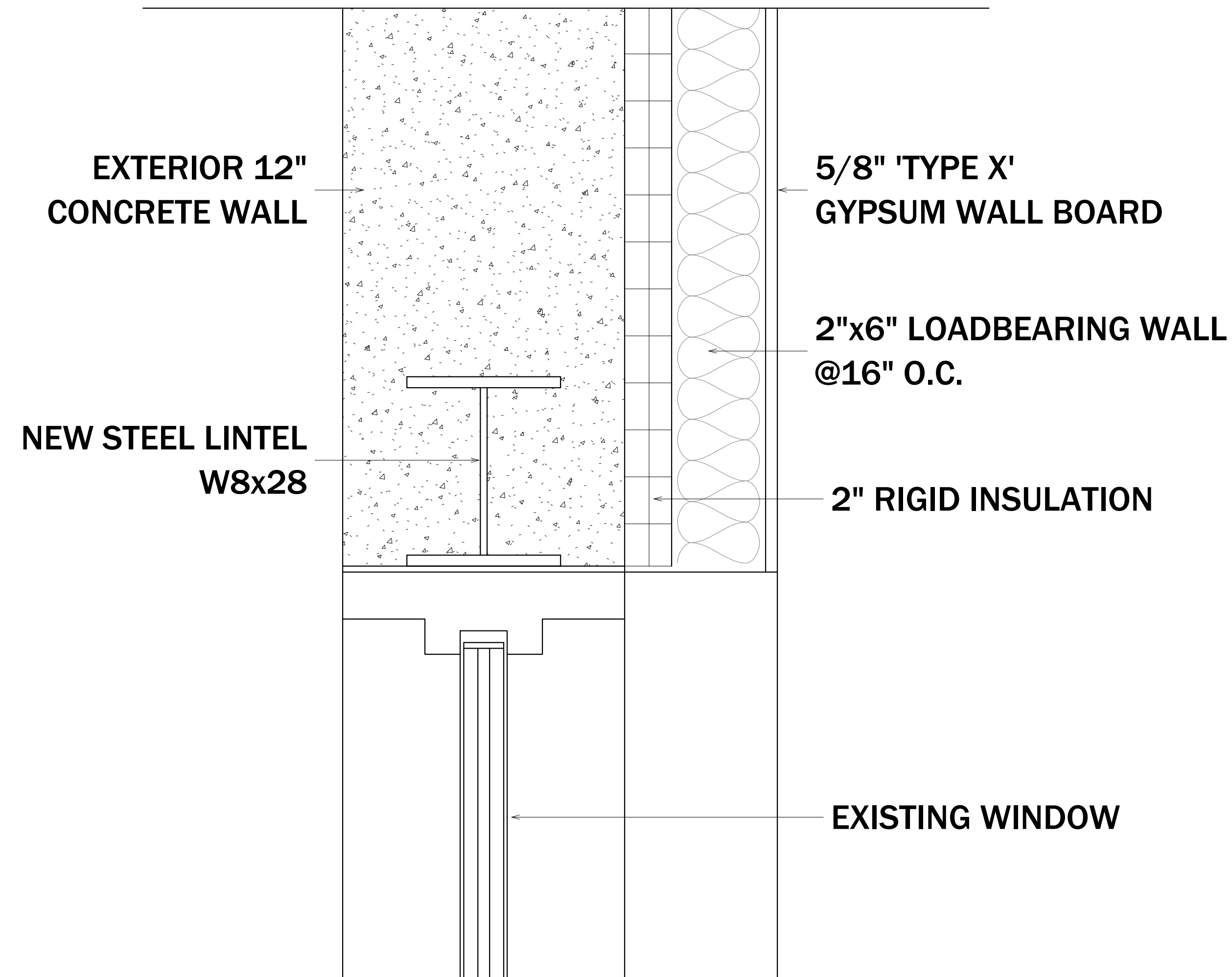
5 VIEW OF METAL STAIRS



① LINTEL DETAIL - 1  
3" = 1'-0"



② LINTEL DETAIL - 2  
3" = 1'-0"



③ LINTEL DETAIL - 3  
3" = 1'-0"

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T. kenbekendam@gmail.com  
CELL PHONE: 905-961-0647  
OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON  
OFFICE PHONE: 905-546-4467

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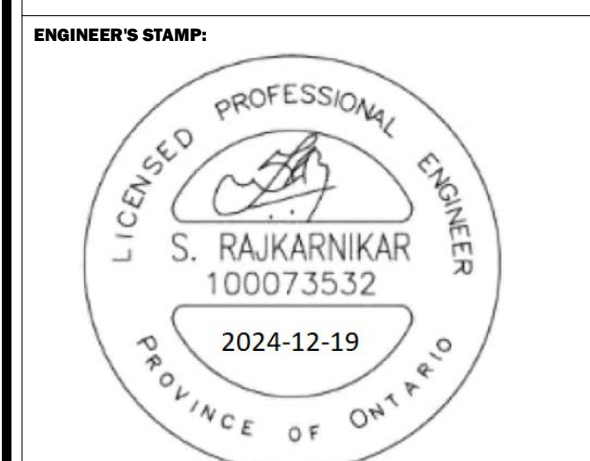
QUALIFICATION INFORMATION  
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REGISTRATION INFORMATION  
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KING HOMES INC. 121307

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:



PROJECT NAME/ADDRESS:  
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

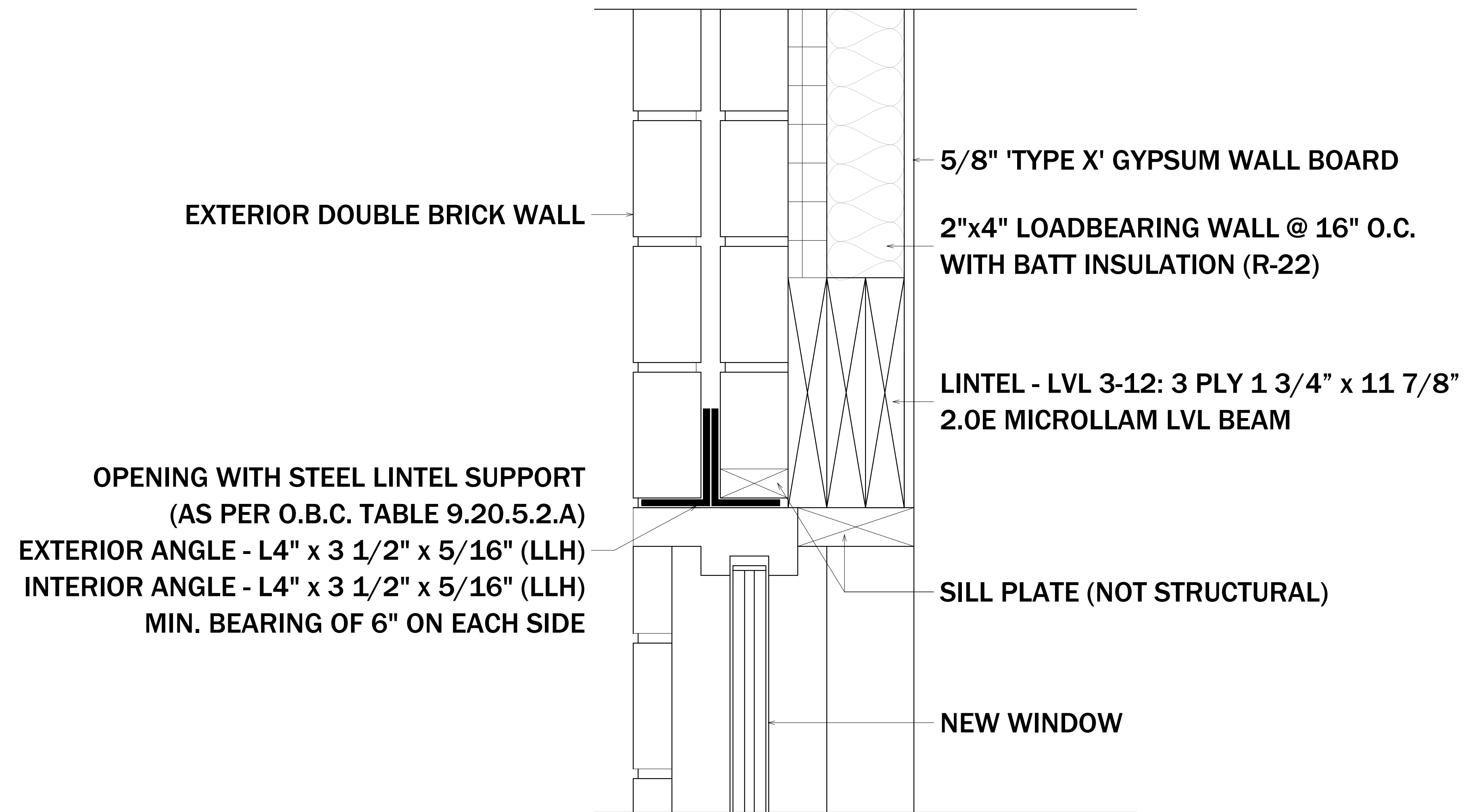
SHEET NAME:  
LINTEL DETAILS - 1/2

PROJECT NO. 23-46 DATE: 12/19/24

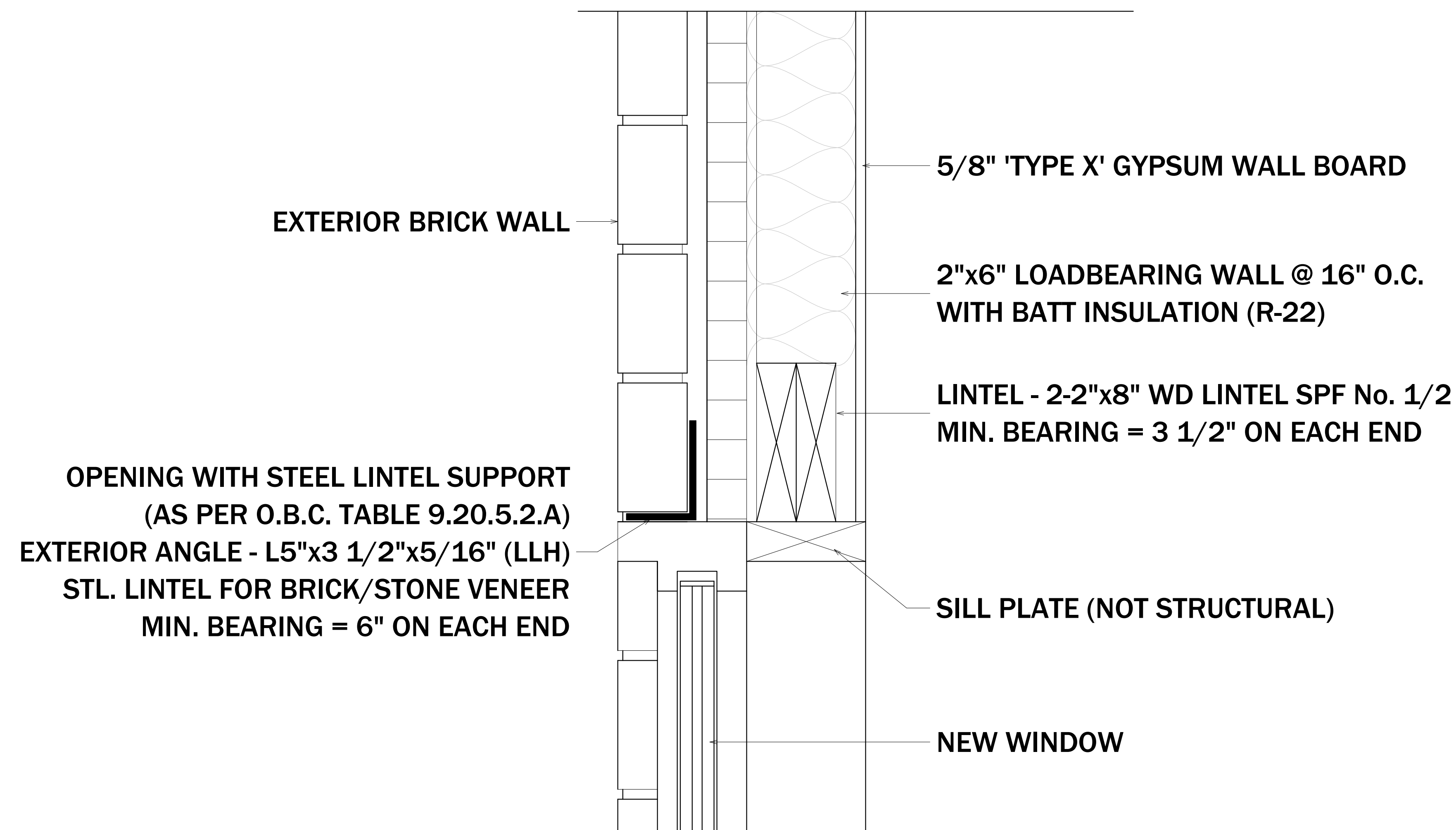
SCALE: 3" = 1'-0" REVISION:

DRAWN BY: DANILO MARTINELLI REVIEWED BY: KEN BEKENDAM

SHEET NO. A3.09



① LINTEL DETAIL - 4  
3" = 1'-0"



② LINTEL DETAIL - 5  
3" = 1'-0"

CITY ELECTRONIC STAMP:



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCOM, L.T. kenbekendam@gmail.com CELL PHONE: 905-961-0647

OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON OFFICE PHONE: 905-546-4467

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QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code

Name Signature BCIN

REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307 Name BCIN

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

LINTEL DETAILS - 2/2

PROJECT NO. DATE:

23-46 12/19/24

SCALE: REVISION:

3" = 1'-0"

DRAWN BY: REVIEWED BY:

DANILO MARTINELLI KEN BEKENDAM

SHEET NO.

A3.10



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

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KEN BEKENDAM, B.A BUSCOM, L.T.  
kenbekendam@gmail.com

**CELL PHONE:**  
905-961-0647

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979 MAIN ST. E. HAMILTON, ON

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905-546-4467

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

Name: KING HOMES INC. BGIN  
121307

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

**NORTH POSITION:**

**ENGINEER'S STAMP:**



**PROJECT NAME/ADDRESS:**

**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

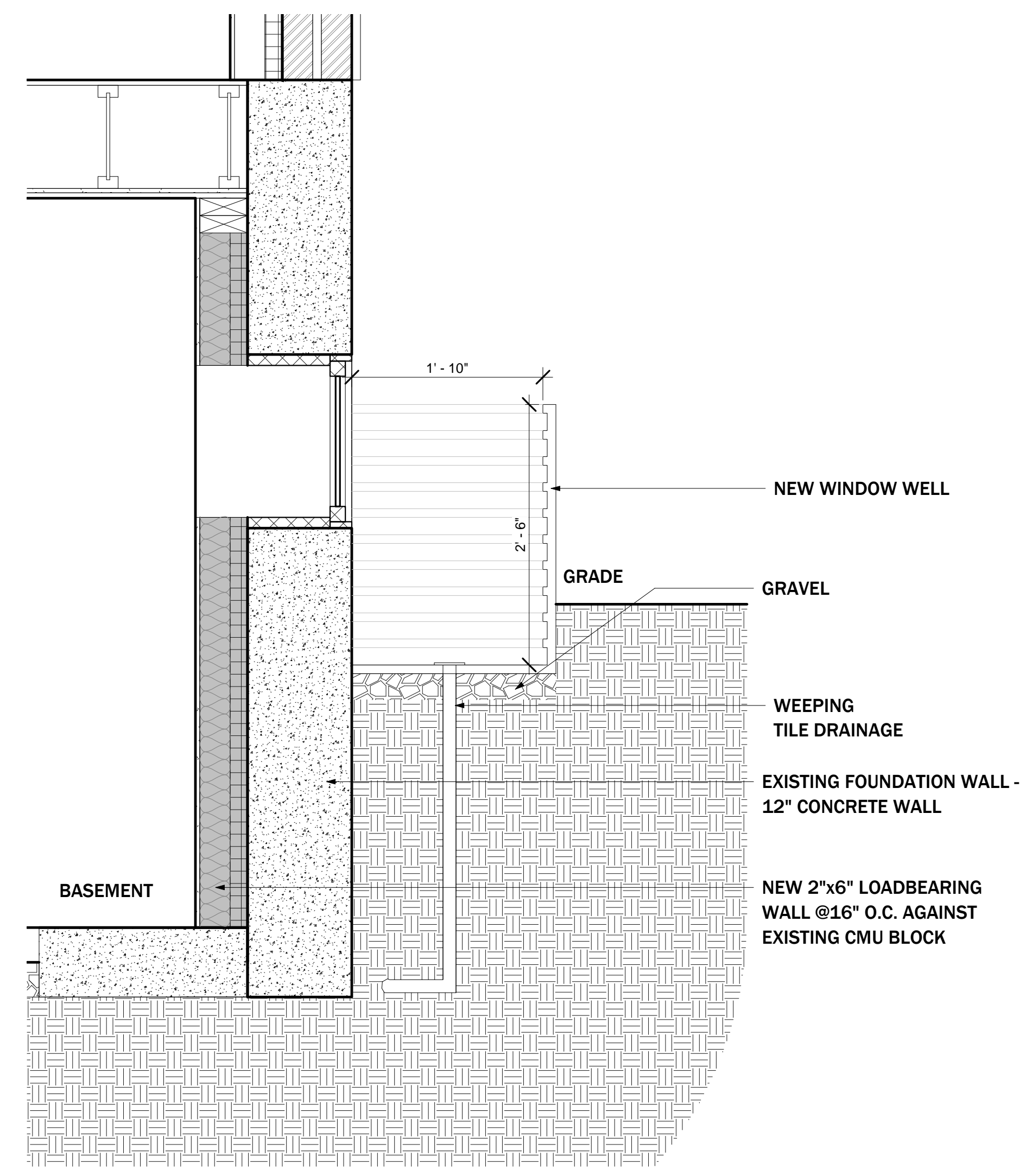
**SHEET NAME:**

**WINDOW WELL DETAILS**

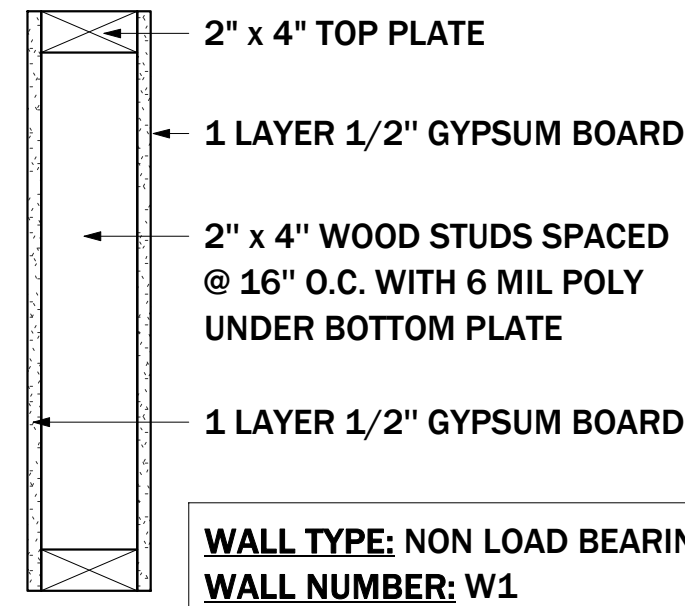
<b>PROJECT NO.</b> 23-46	<b>DATE:</b> 12/19/24
<b>SCALE:</b> 1" = 1'-0"	<b>REVISION:</b>
<b>DRAWN BY:</b> DANILO MARTINELLI	<b>REVIEWED BY:</b> KEN BEKENDAM

**SHEET NO.**

**A3.11**

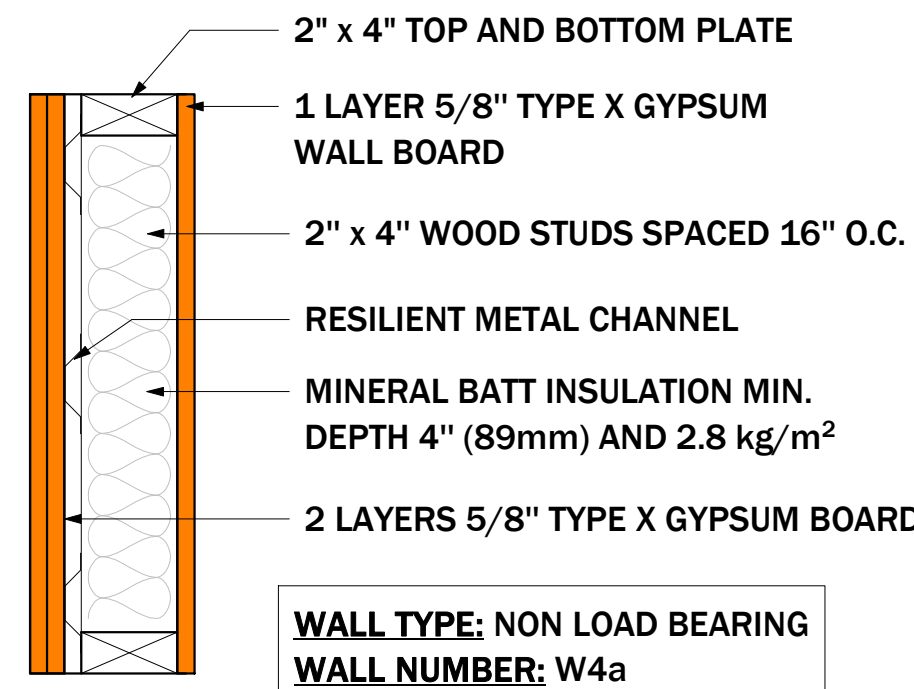


③ WINDOW WELL DETAIL  
1" = 1'-0"



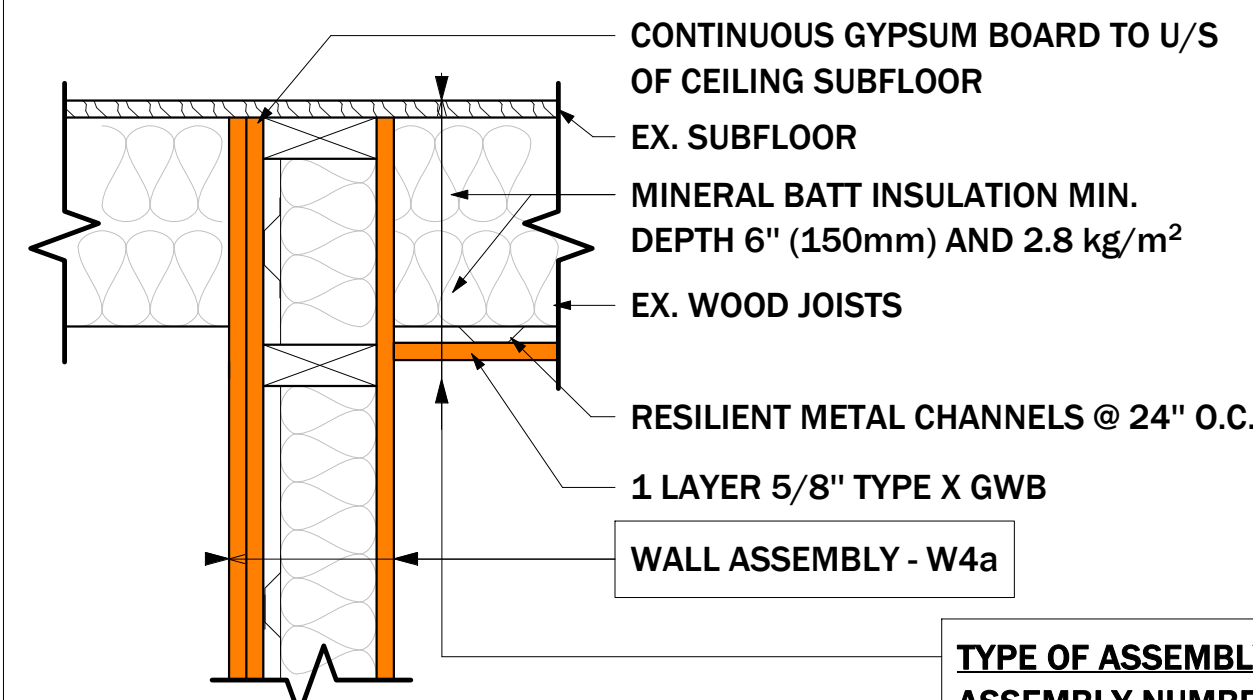
WALL TYPE: NON LOAD BEARING  
WALL NUMBER: W1  
FRR: UNRATED  
STC: UNRATED

**01 NEW: INTERIOR PARTITION WALL**  
WITH GWB BOTH SIDES



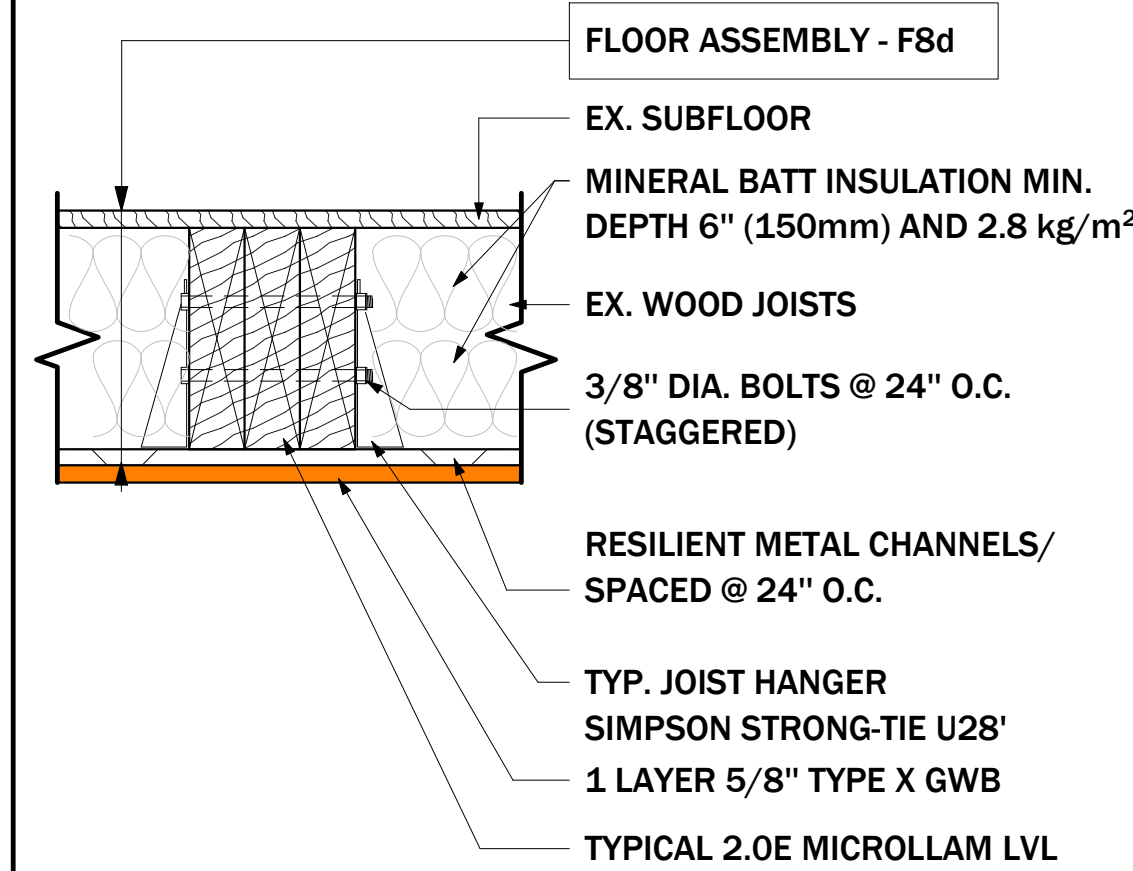
WALL TYPE: NON LOAD BEARING  
WALL NUMBER: W4a  
FRR: 1 HR  
STC: 51

**02 NEW: INTERIOR PARTITION WALL**  
WITH 1HR FIRE SEPARATION

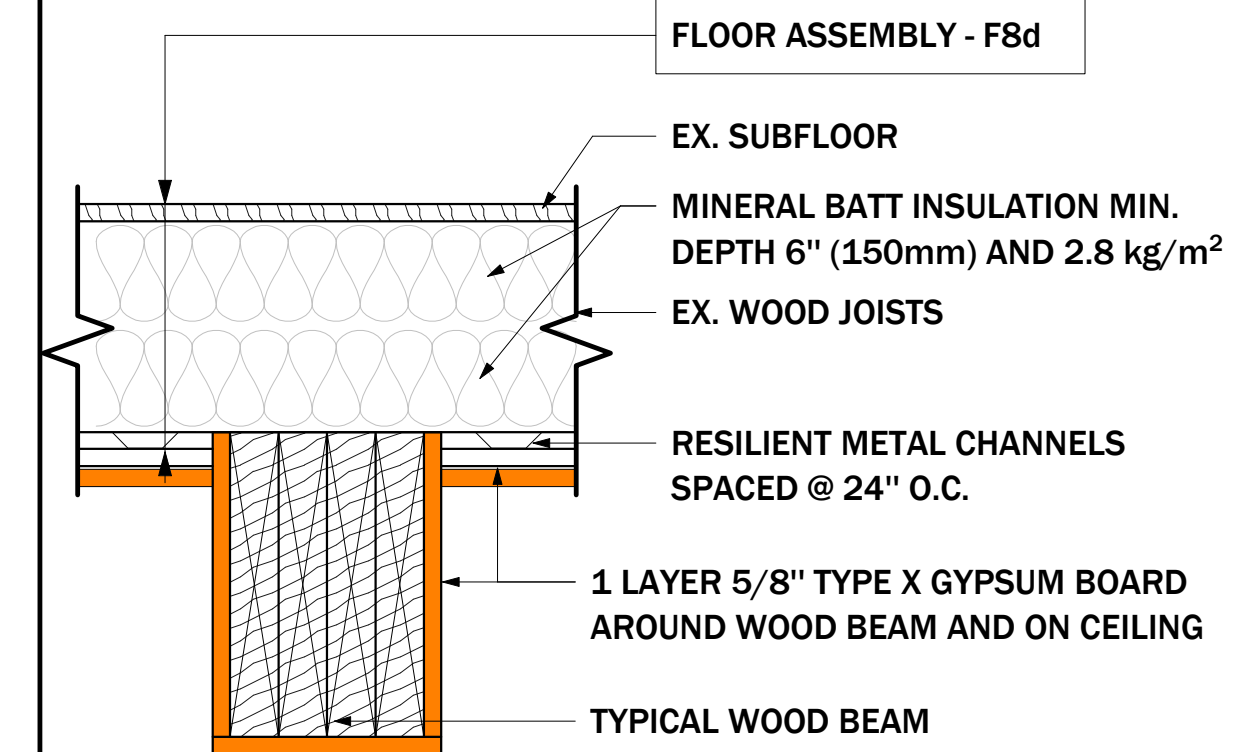


TYPE OF ASSEMBLY: WOOD JOIST  
ASSEMBLY NUMBER: F8d  
FRR: 30 HR  
STC: 50

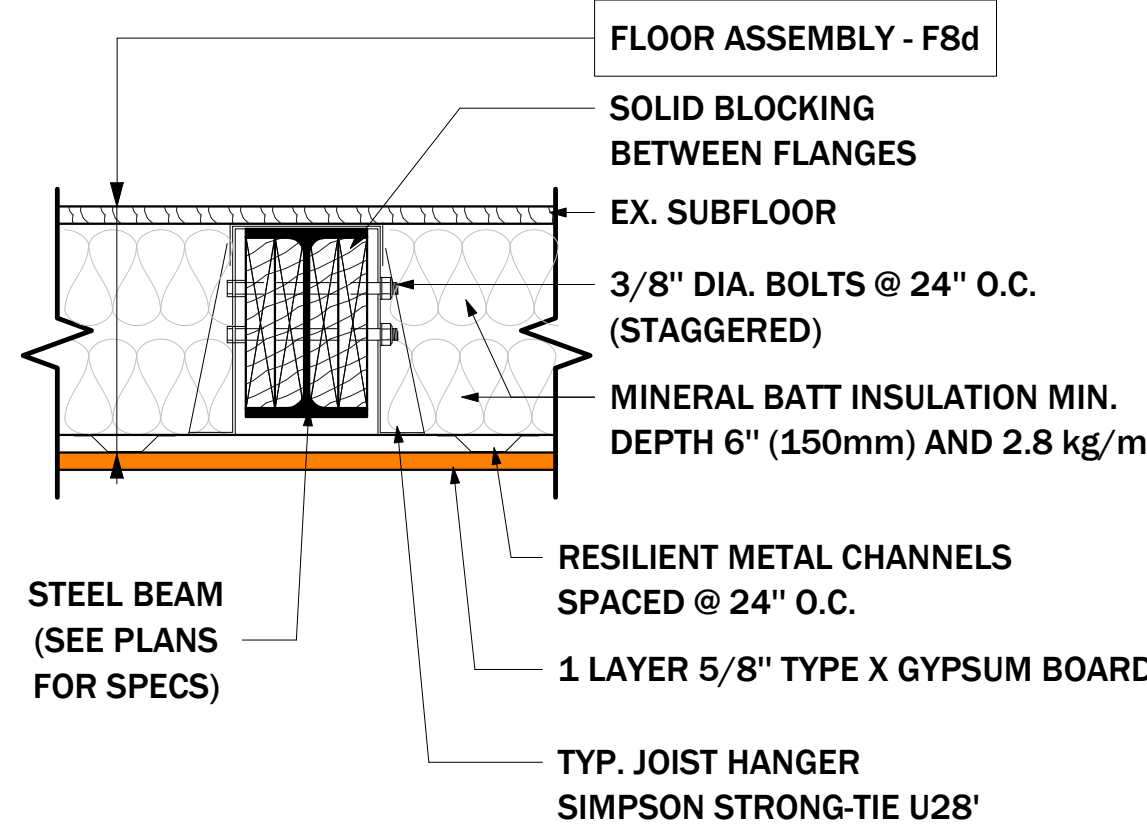
**03 VERTICAL FIRE SEPARATION**  
AT CEILING DETAIL



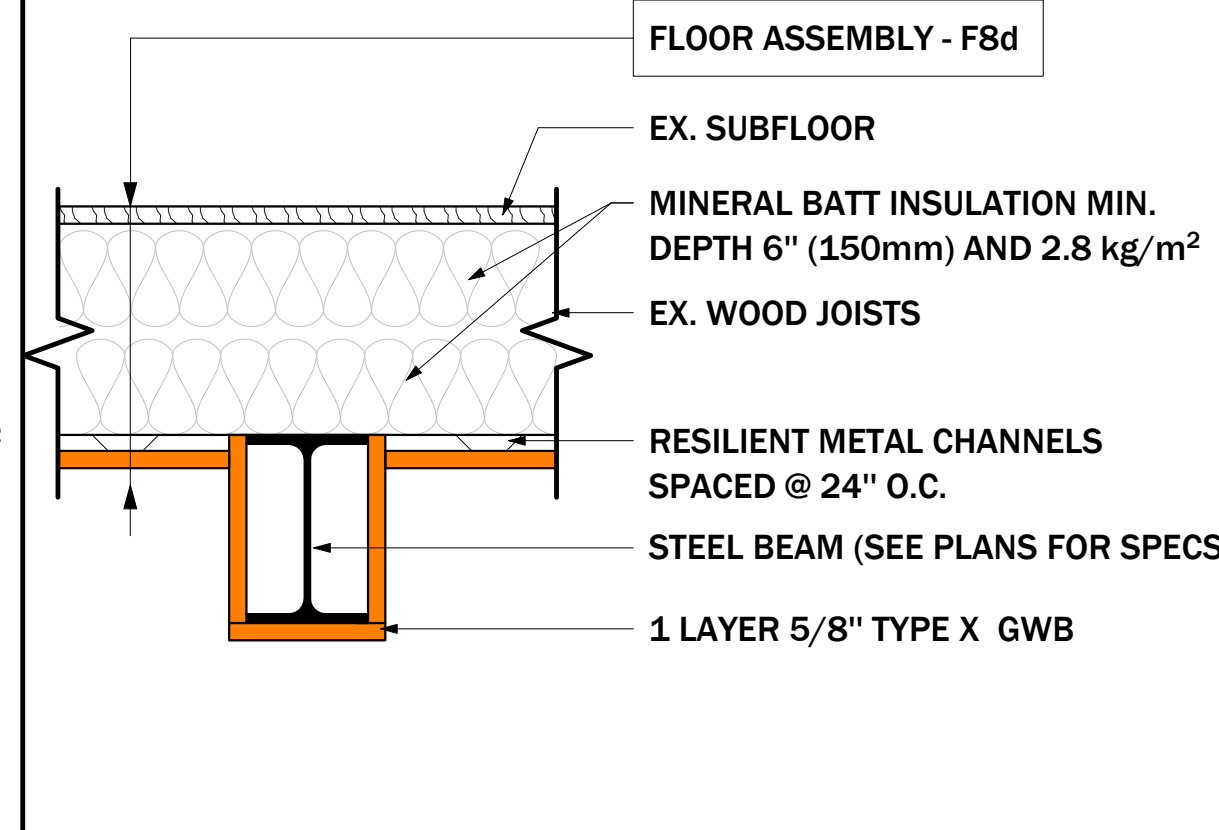
**04 LVL BEAM DETAIL**  
FLUSH



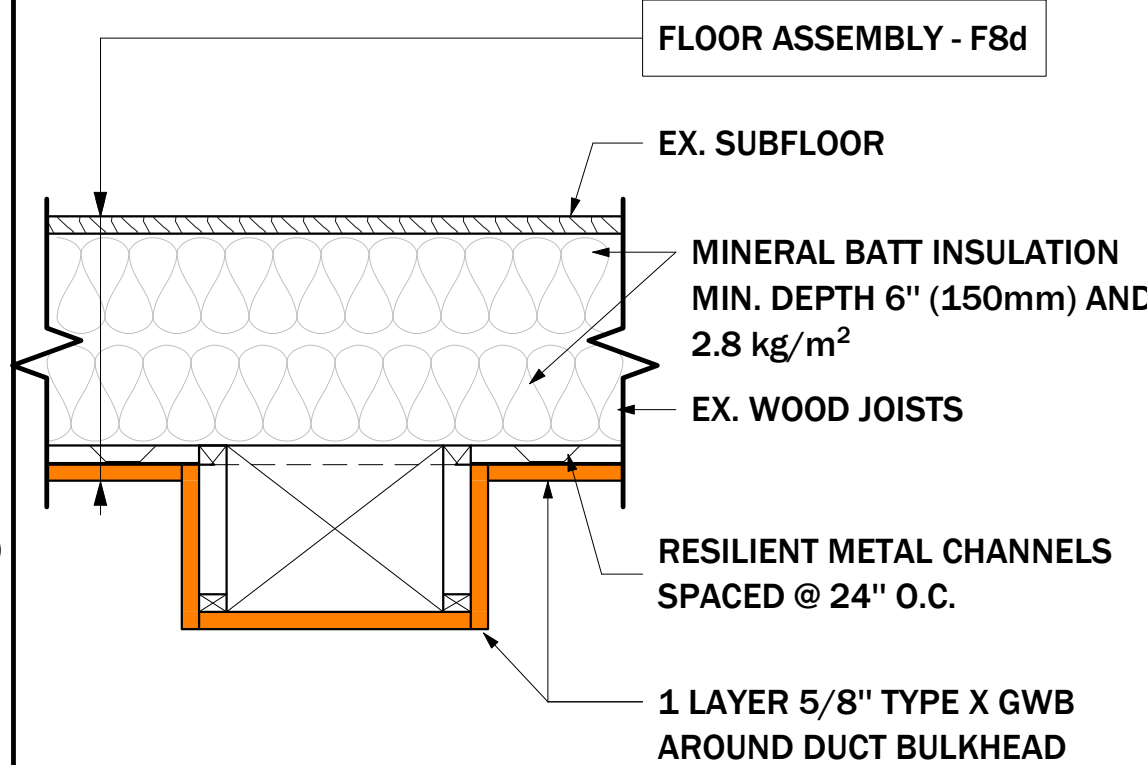
**05 WOOD BEAM FIRE-RATED**  
DROPPED



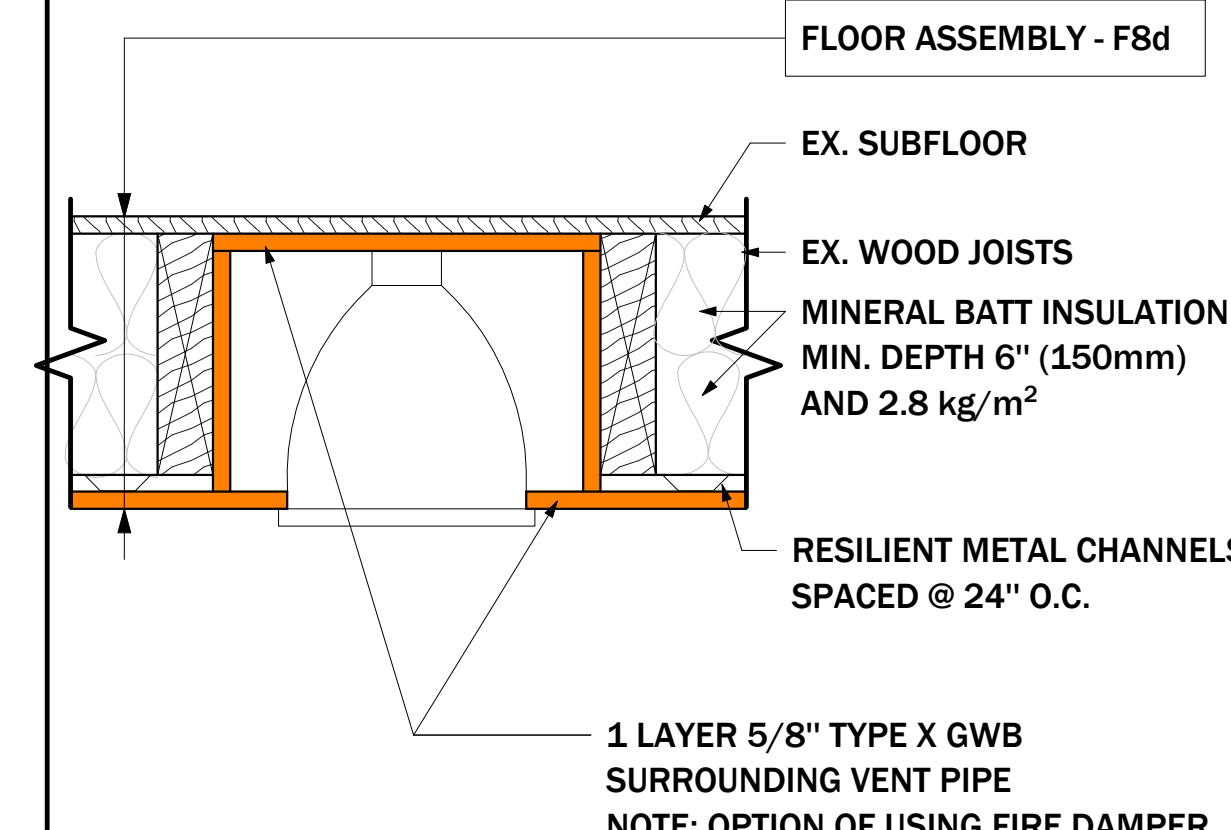
**06 STEEL BEAM FIRE-RATED**  
FLUSH



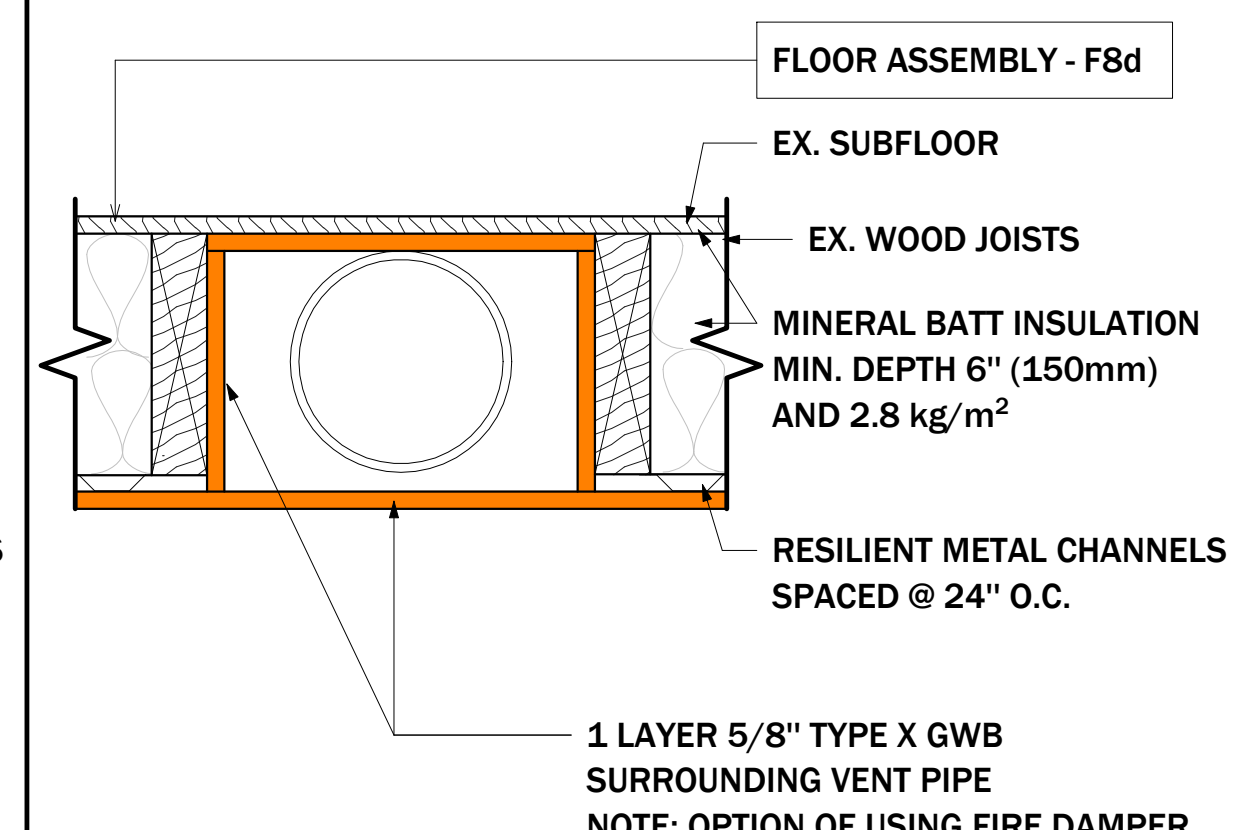
**07 STEEL BEAM FIRE-RATED**  
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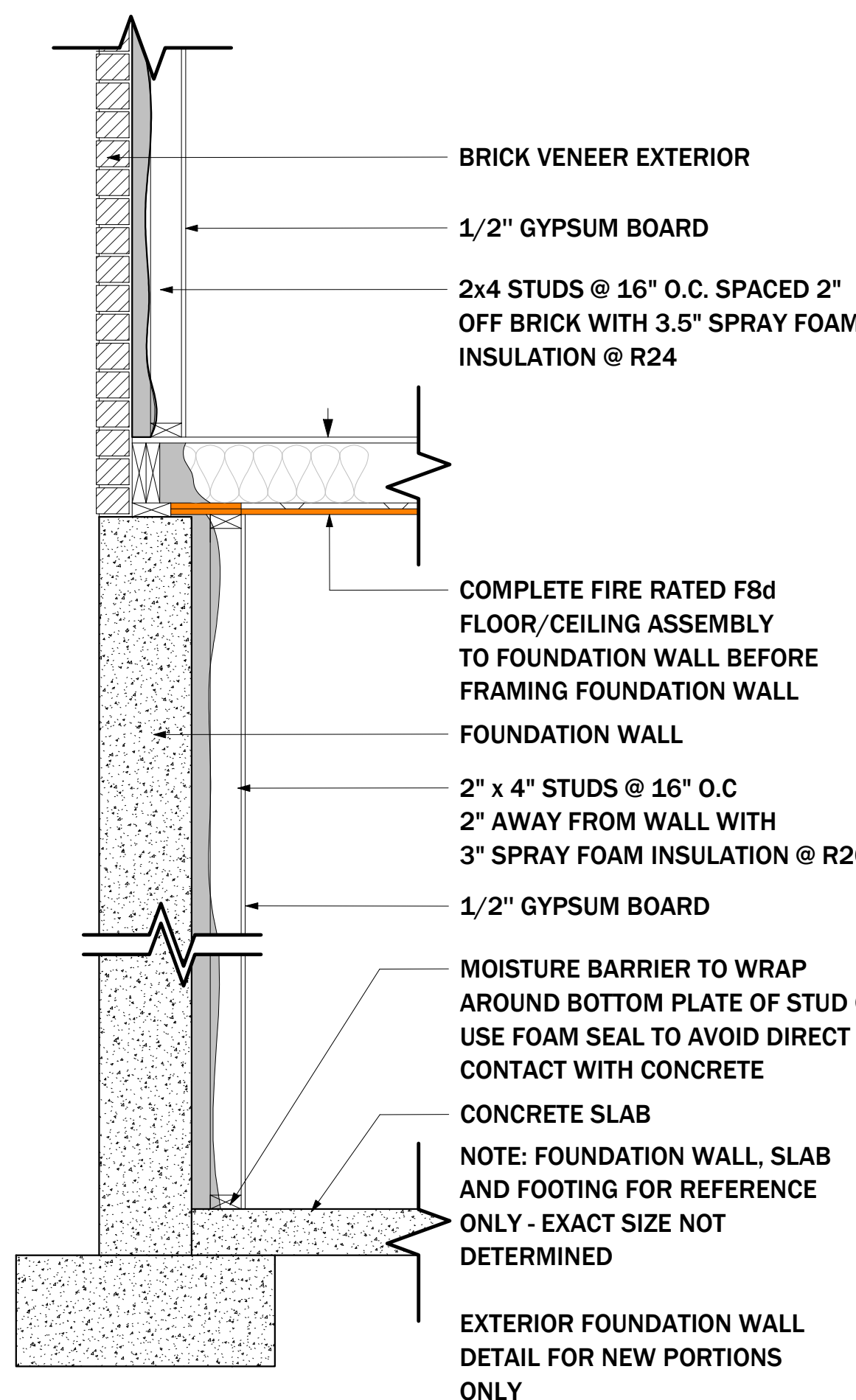
**08 DUCTS FIRE-RATED**



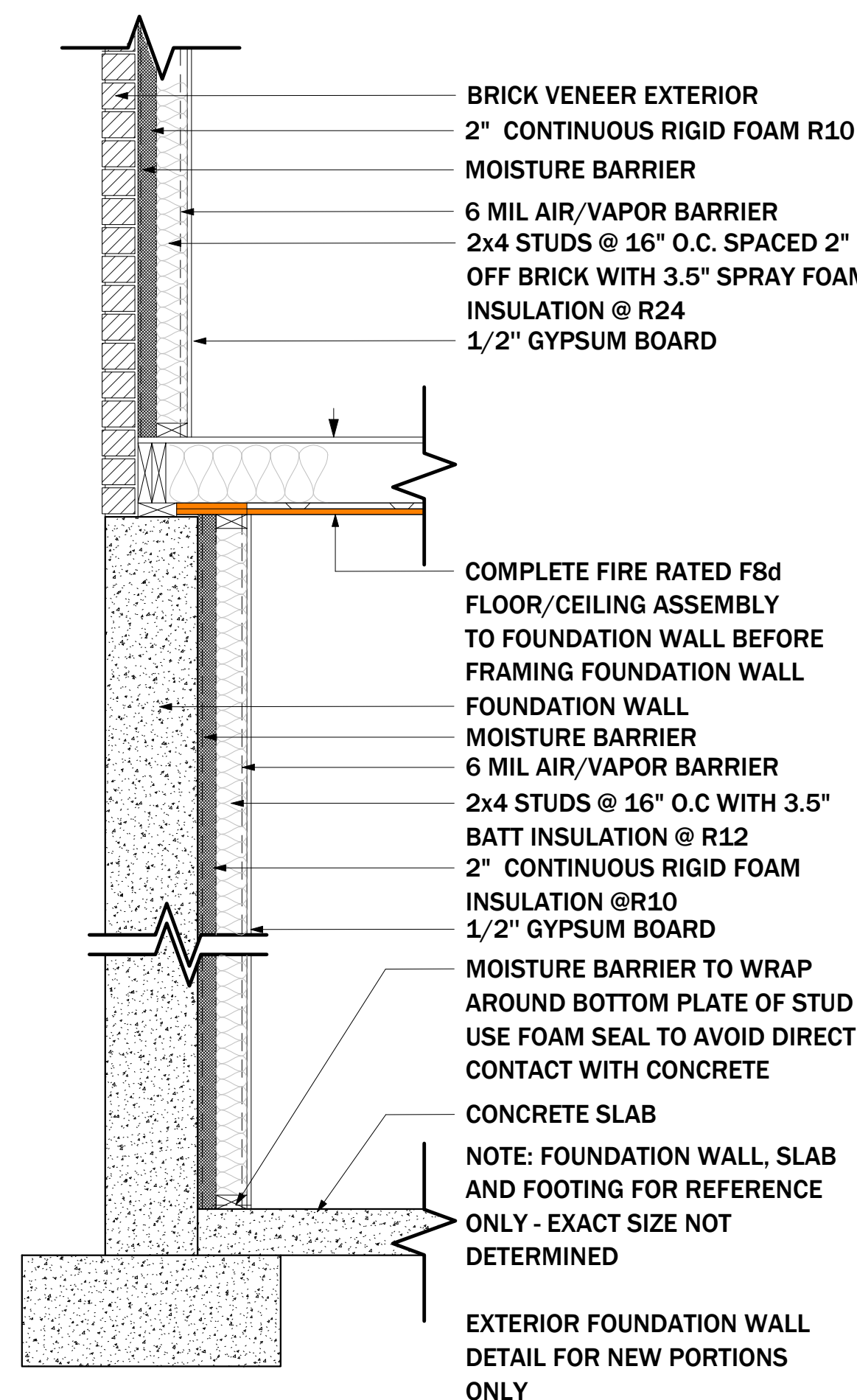
**09 RECESSED LIGHTS FIRE-RATED**



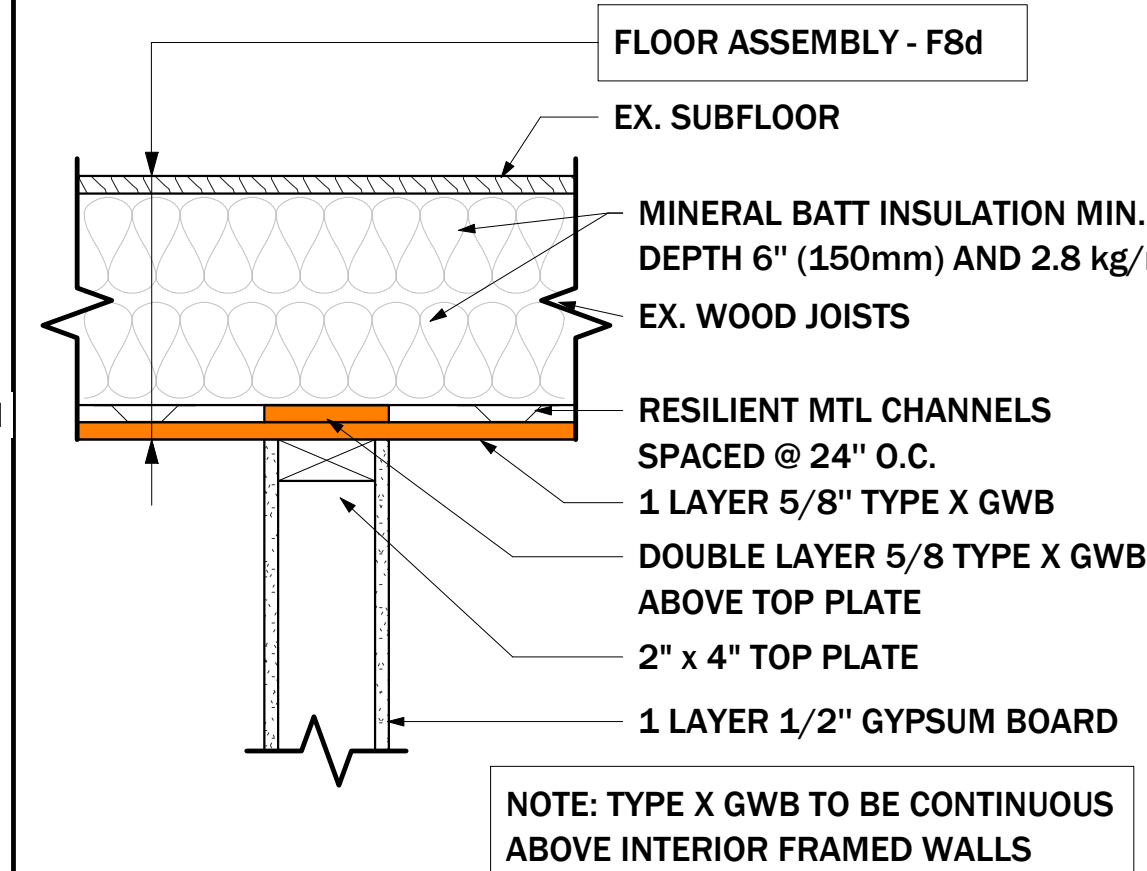
**10 EXHAUST VENTS FIRE-RATED**  
BATH FANS, CLOTHES DRYERS &  
KITCHEN EXHAUSTS



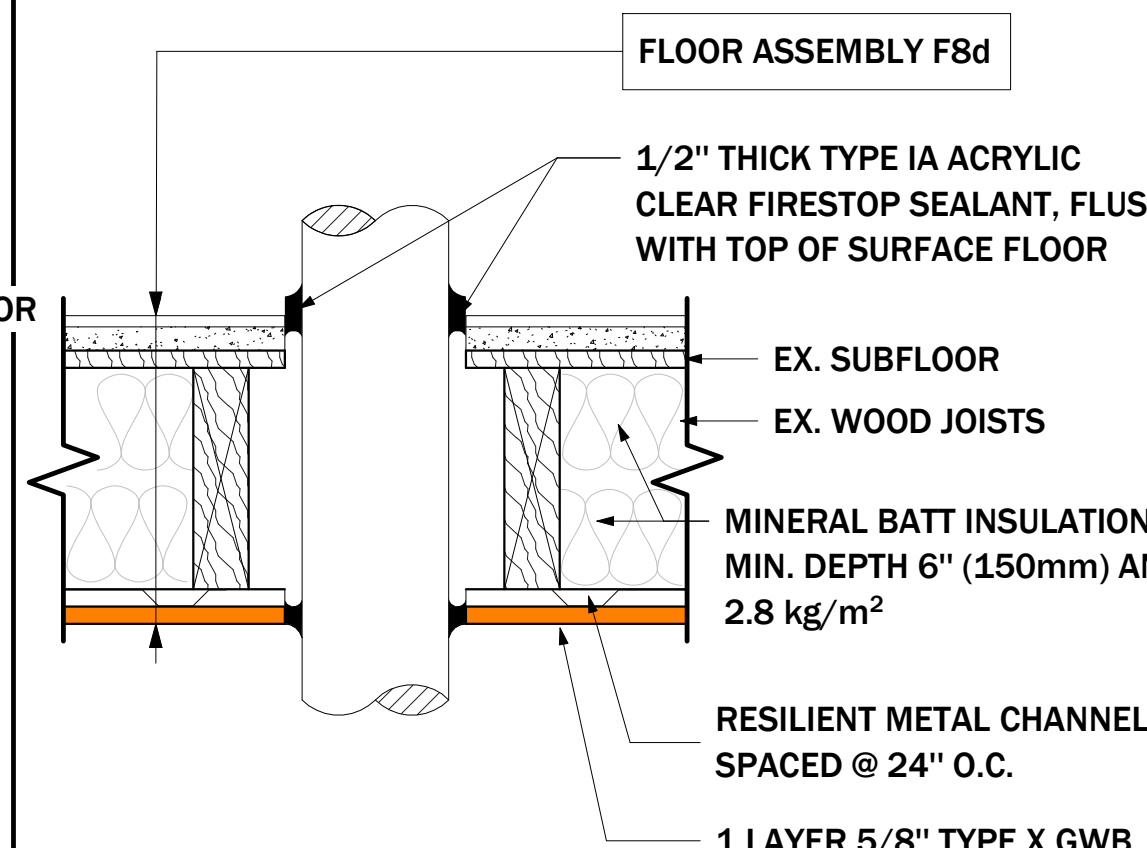
**11 EXTERIOR WALL - OPTION 1**  
SPRAY FOAM



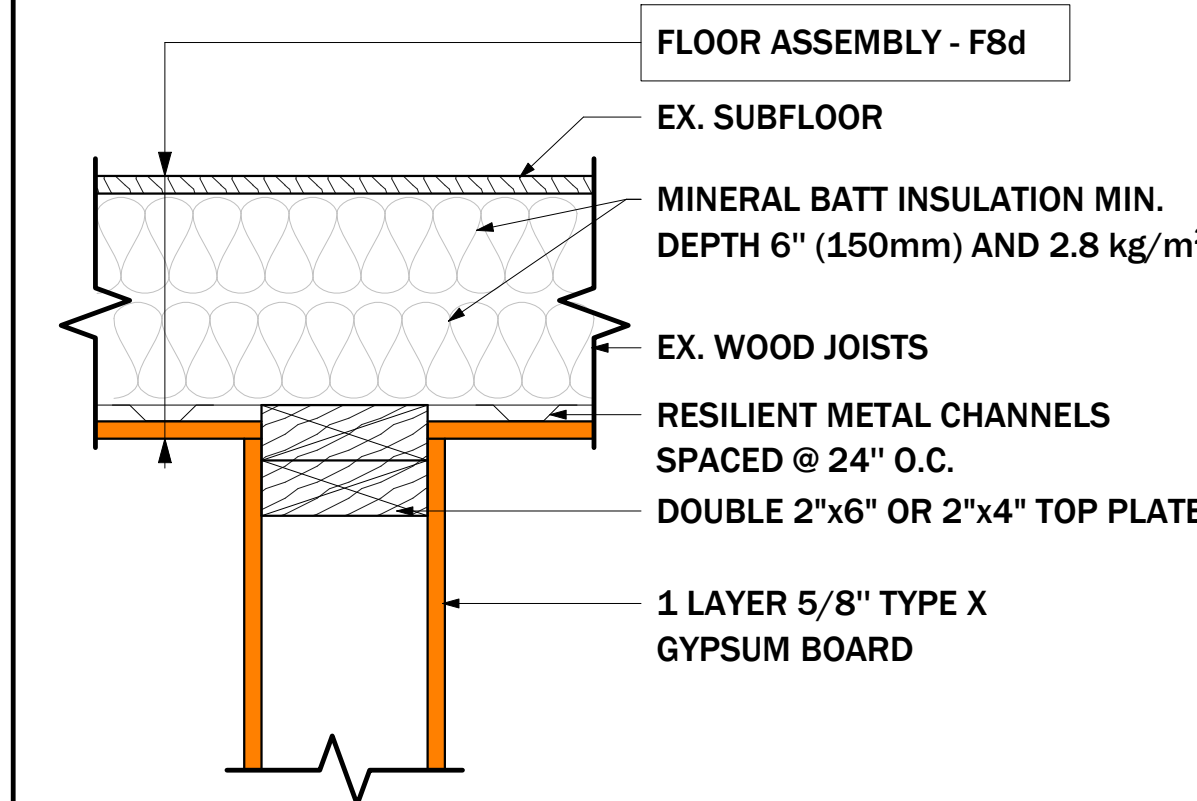
**12 EXTERIOR WALL - OPTION 2**  
BATT INSULATION



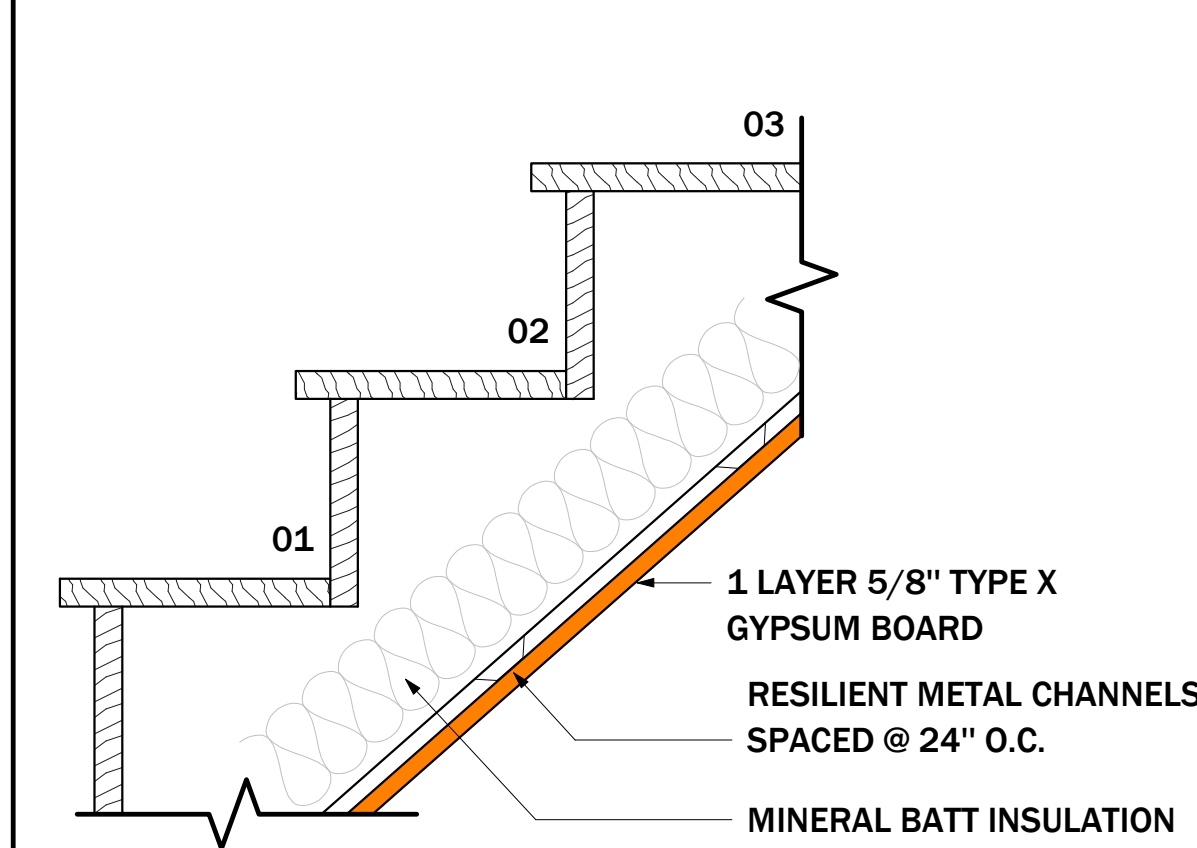
**13 INTERIOR WALL - NON LOAD BEARING**  
FIRE SEPARATION



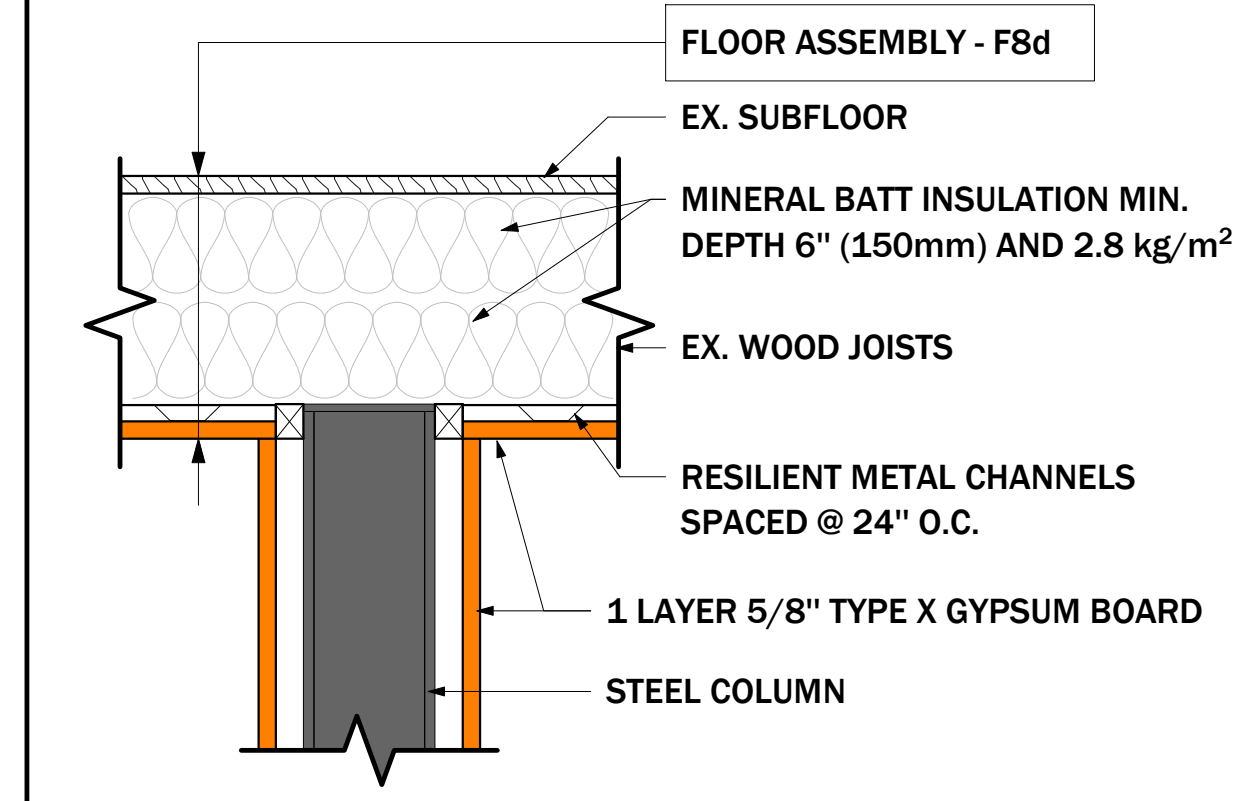
**16 FIRESTOP DETAIL FLOOR PENETRATION**  
SEE HILTI DETAILS



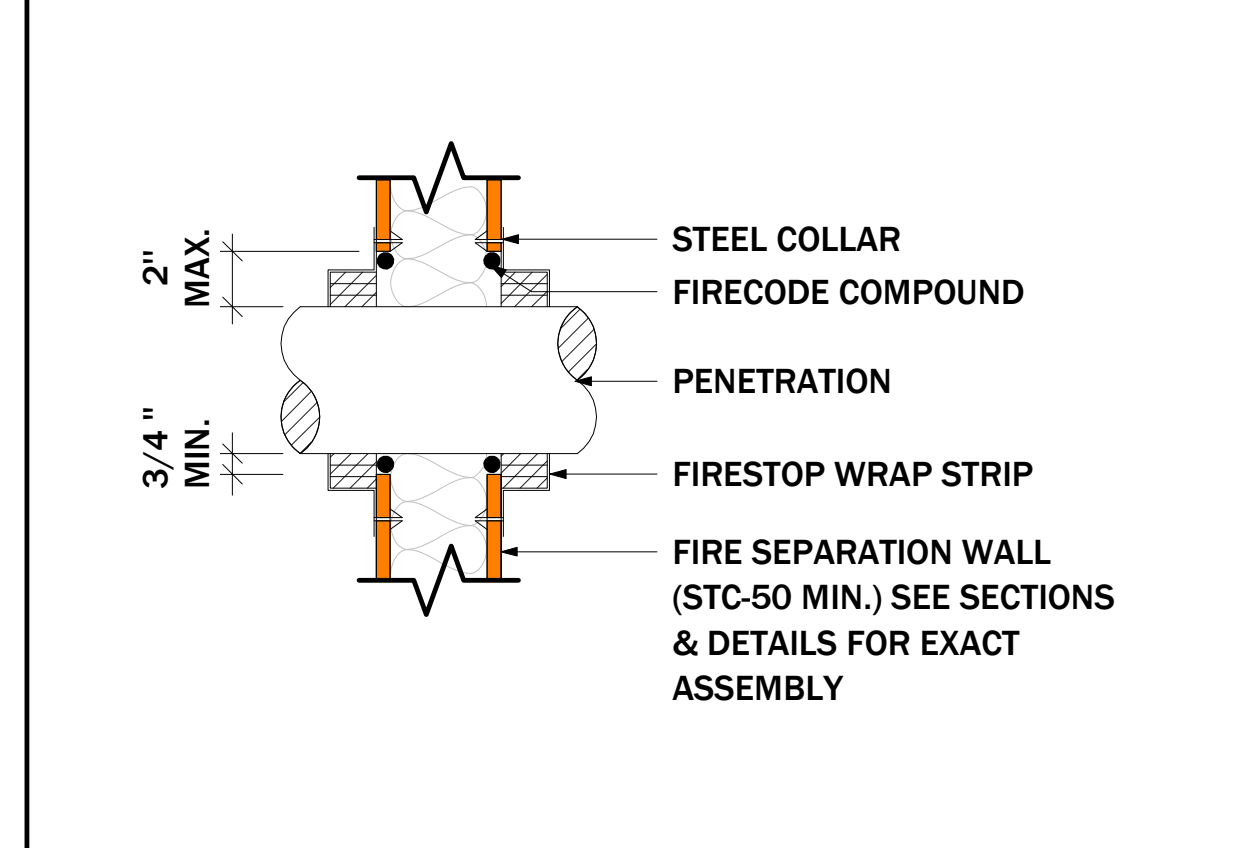
**14 LOAD BEARING FIRE-RATED**  
WALL AT CEILING DETAIL



**17 FIRE-RATED STAIR**



**15 STRUCTURAL COLUMNS**  
FIRE SEPARATION



**18 FIRESTOP DETAIL WALL PENETRATION**  
SEE HILTI DETAILS

CITY ELECTRONIC STAMP:

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A. BUSCON, L.T. 905-961-0647 kenbekend@gmail.com

OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON OFFICE PHONE: 905-546-4467

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QUALIFICATION INFORMATION  
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Name: \_\_\_\_\_ Signature: \_\_\_\_\_ BCIN: \_\_\_\_\_  
REGISTRATION INFORMATION  
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KING HOMES INC. 121307  
Name: \_\_\_\_\_ BCIN: \_\_\_\_\_

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

NORTH POSITION:

ENGINEER'S STAMP:

PROJECT NAME/ADDRESS:  
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:  
FIRE SEPARATION DETAILS - NO SONO PANEL

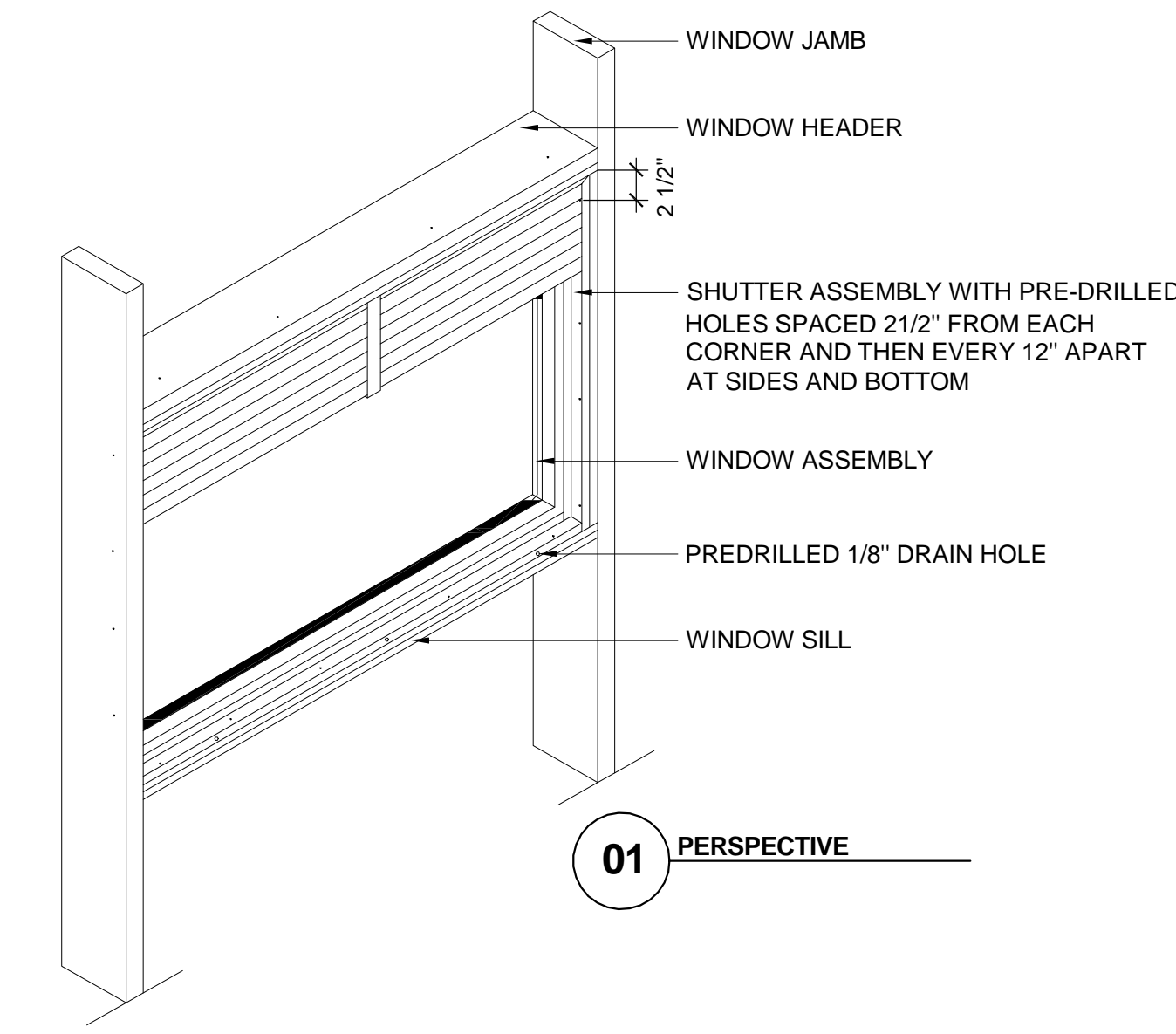
PROJECT NO. 23-46 DATE: 12/19/24

SCALE: As indicated REVISION:

DRAWN BY: DANILO MARTINELLI REVIEWED BY: KEN BEKENDAM

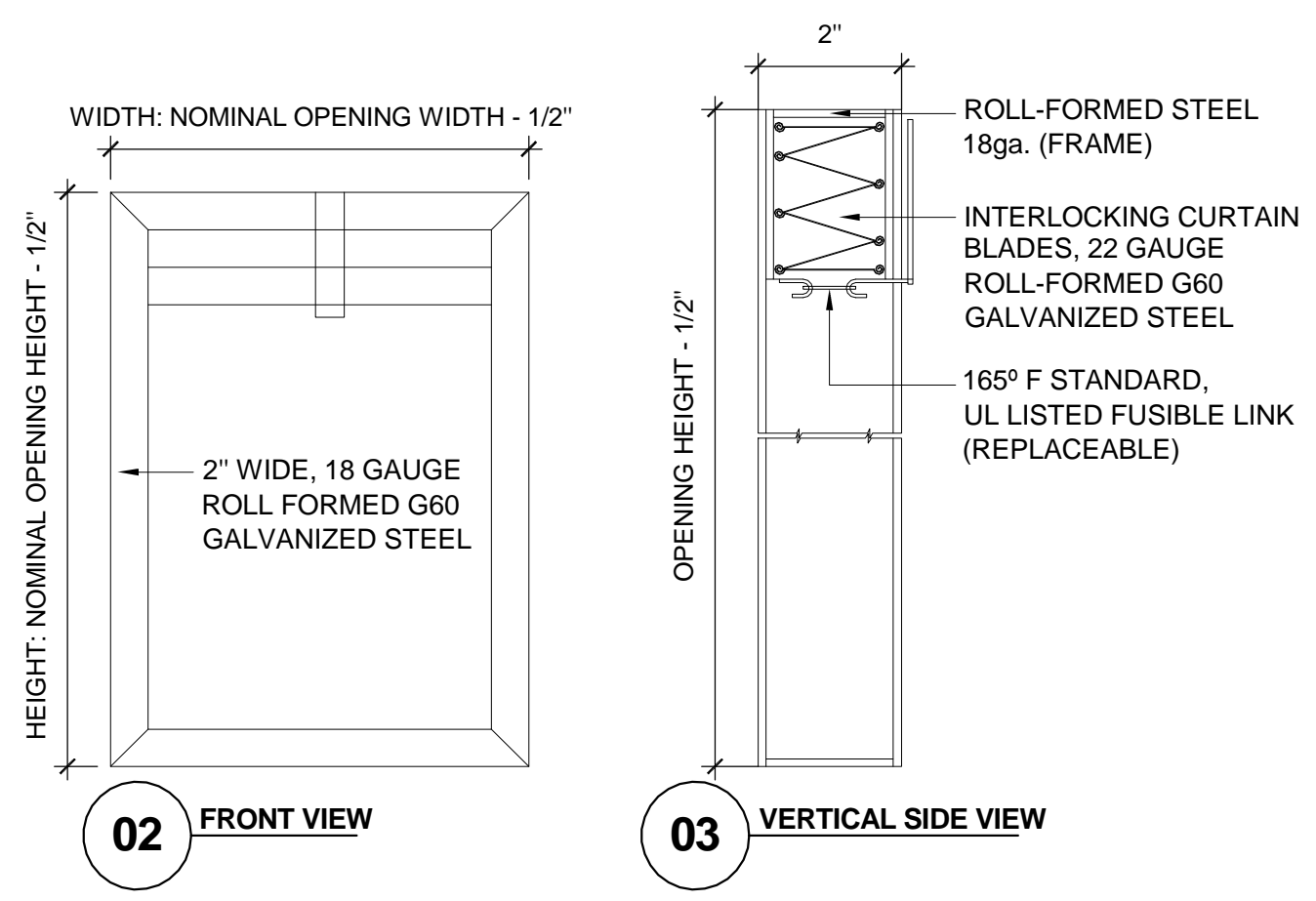
SHEET NO. \_\_\_\_\_

1/8" = 1'-0"



# FIREOXX SHUTTER

WARNOCK HERSEY  
LISTED 20 MINUTE  
RATED FIRE SHUTTER  
MEETS CAN/ULC  
S104-10



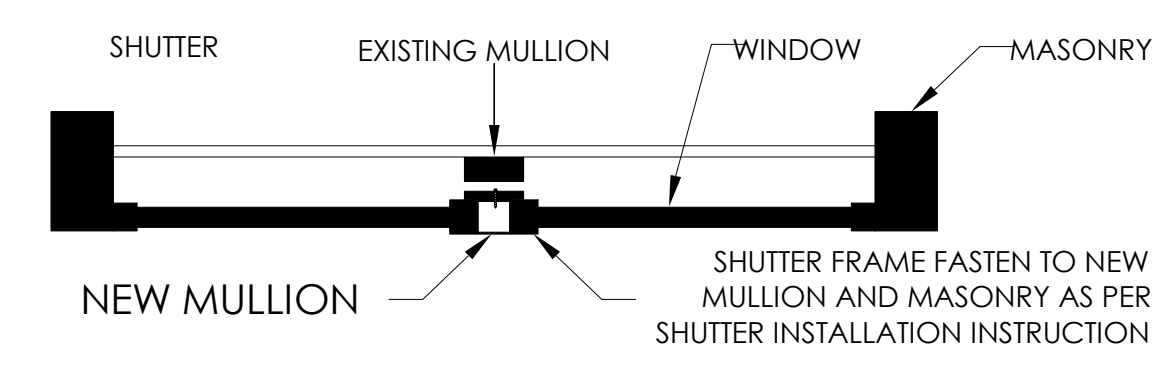
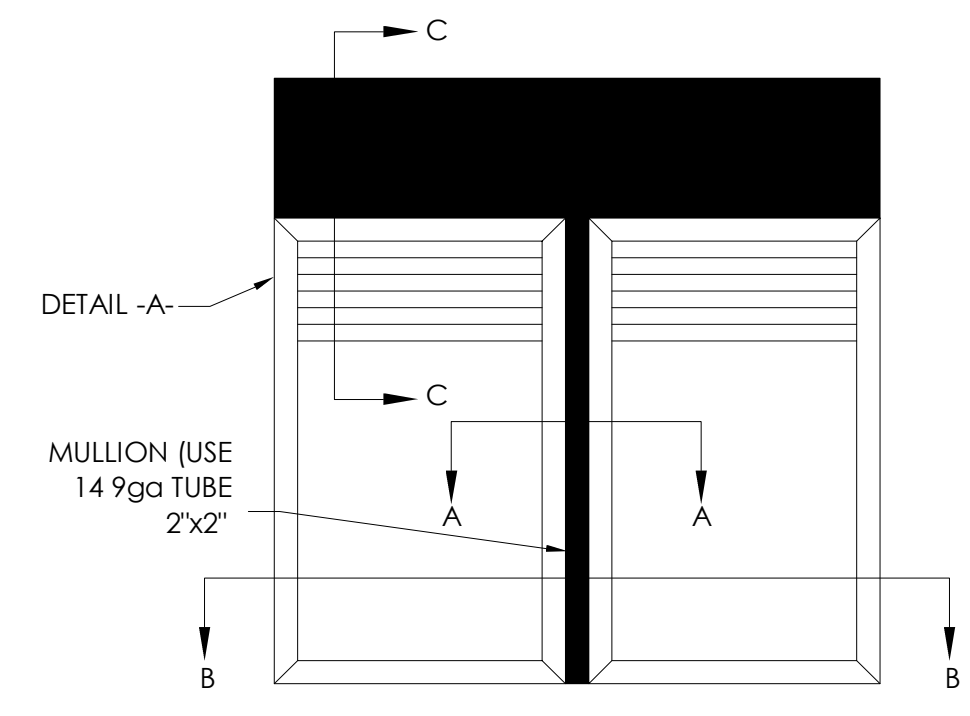
### EXTERIOR JAMB MOUNTED FIRE SHUTTER INSTALLATION INSTRUCTIONS

- PREPARE AND CLEAN THE EXTERIOR SIDE OF THE WINDOW OPENING.
  - PLACE FIRE SHUTTER WITH CORNER BRACKETS FACING THE WINDOW INTO THE WINDOW OPENING WITH A 1/4" SPACE FROM THE FACE OF THE WINDOW.
  - SHIM THE SHUTTER ASSEMBLY WITH A MINIMUM 1/4" GAP TO WINDOW OPENING AT BOTTOM AND SIDES. SHIM WHERE PRE-DRILLED HOLES ARE LOCATED TO PREVENT BENDING OF FRAME.
  - LOCATE PRE-DRILLED HOLES AT SIDES AND BOTTOM AND INSERT SCREWS AS REQUIRED TO SECURE SHUTTER ASSEMBLY. (SEE TABLE 1 FOR THE REQUIRED SCREWS).
  - TO INSTALL SCREWS AT TOP CORNER, CAREFULLY REMOVE THE FUSIBLE LINK HOLDING STRAP WITH ONE HAND AND HOLD BOTTOM OF CURTAIN BLADE WITH THE OTHER HAND ALLOWING CURTAIN TO DROP. INSTALL SCREWS AND RESET CURTAIN TO UPRIGHT POSITION AND RE-SET FUSIBLE LINK HOLDING STRAP.
- USE CAUTION WHEN LOWERING CURTAIN BLADE**
- REMOVE ALL SHIMS AND TIGHTLY FILL GAPS WITH RATED MINERAL WOOL AND APPLY A GOOD QUALITY CAULKING, FILLING ALL GAPS BETWEEN THE FIRE SHUTTER AND MOUNTING SURFACE.
  - TEST DROP CURTAIN TO ENSURE IT WILL FREE FALL WITHOUT OBSTRUCTION.
  - RESET CURTAIN IN UPRIGHT POSITION AND SECURE WITH FUSIBLE LINK STRAPING.
- NOTES:**
- INSTALL IN ACCORDANCE WITH INSTRUCTIONS TO MAINTAIN APPROVED LISTING.

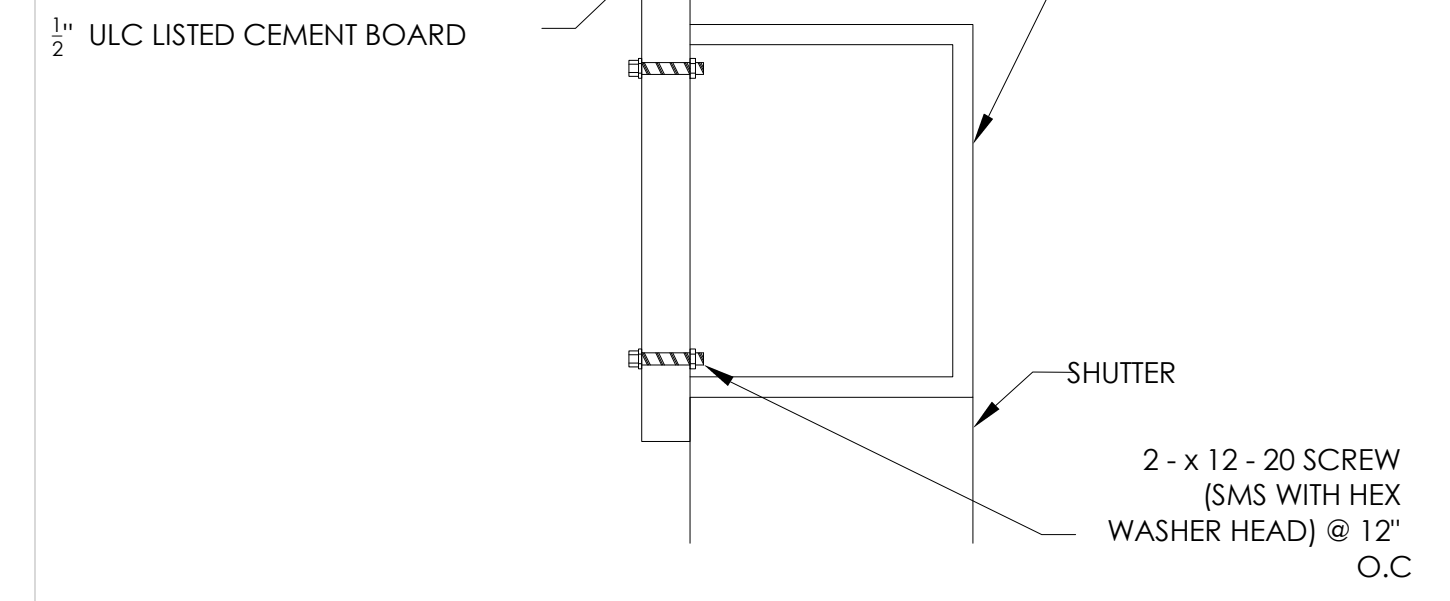
TABLE 01

OPENING MATERIAL	SCREW TYPE	SCREW HEAD TYPE	MIN. PENETRATION
CONCRETE	#8 DX-KWIK OR EQUIVALENT	FLAT HEAD	1 1/2"
LIGHT GAUGE STEEL	#8 KWIK-PRO SELF DRILLING OR EQUIVALENT	FLAT HEAD	1/2"
MASONRY	#8 DX-KWIK OR EQUIVALENT	FLAT HEAD	1 1/2"
STEEL	#8 KWIK-PRO SELF DRILLING OR EQUIVALENT	FLAT HEAD	1/2"
WOOD	#8 ROBERTSON SCREW OR EQUIVALENT	FLAT HEAD	1 1/2"

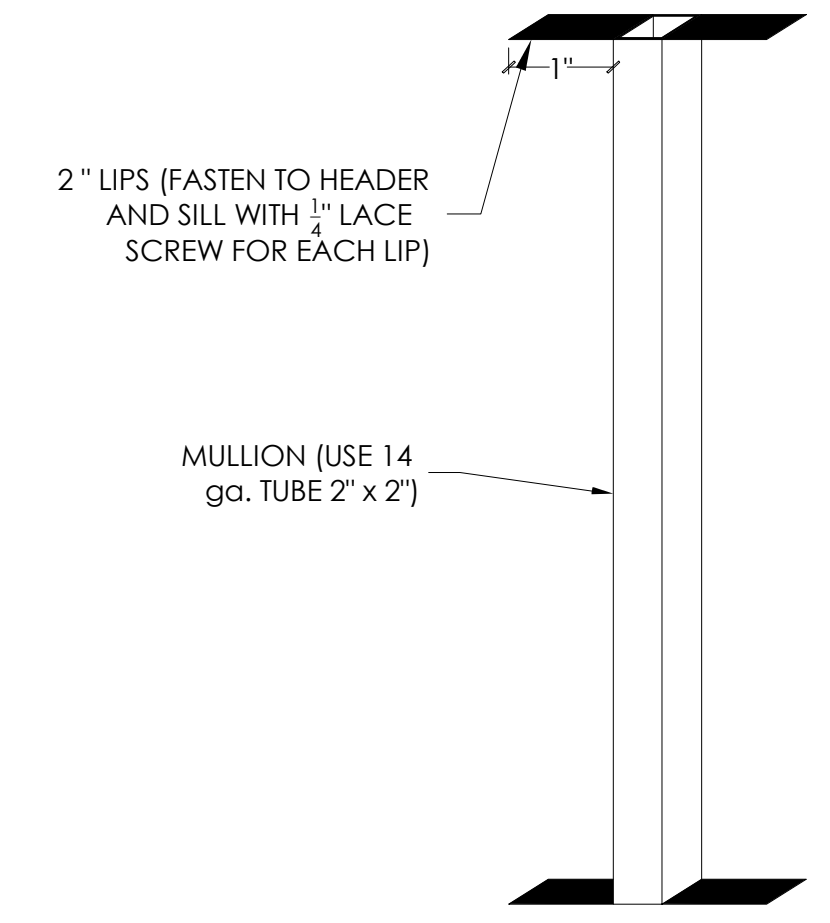
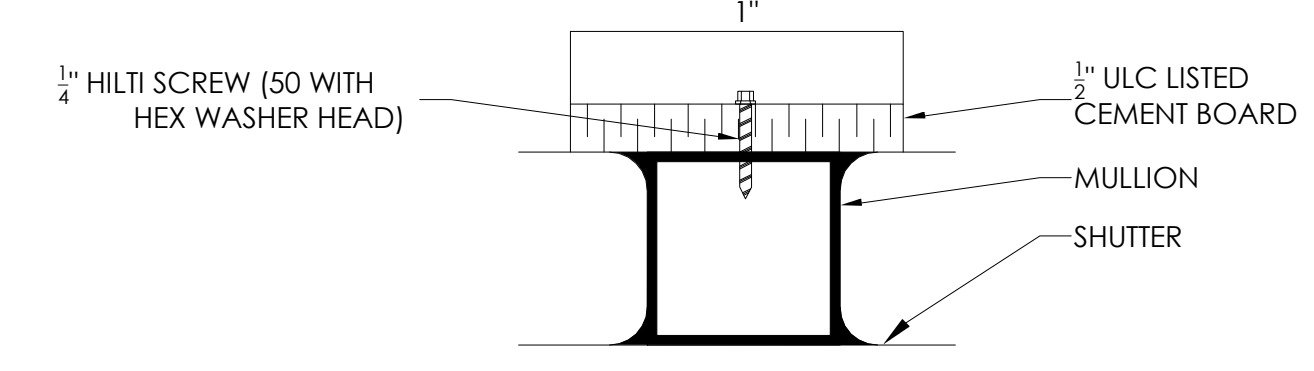
1 FIRE SHUTTER DETAILS  
12" = 1'-0"



CONTINUOUS 16 ga. ANGLE 2 1/2" x 1 1/4" (LLV) FASTEN TO BRICK VENEER WITH TAPCON @ 12" O.C WITH 3" EMBEDMENT FASTEN TO CEMENT BOARD WITH 2 TAPCON @ 12" O.C



TRIM THE STUD FLANGE BEND THE WEB AND THE FASTEN TO THE BRICK VENEER WITH 3 - 1/2" TAPCON WITH 2" EMBEDMENT



CITY ELECTRONIC STAMP:

**KING HOMES INC.**

legal second suites.com

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, L.T.  
kenbekendam@gmail.com

CELL PHONE: 905-961-0647

OFFICE ADDRESS: 979 MAIN ST. E. HAMILTON, ON

OFFICE PHONE: 855-546-4467

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

Name: Ken Bekendam  
Signature: [Signature]  
BCIN: 121307

**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307  
Name: Ken Bekendam BCIN: 121307

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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

**NORTH POSITION:**

**ENGINEER'S STAMP:**

LICENSED PROFESSIONAL ENGINEER  
S. RAJKARNIKAR  
100073532  
2024-12-19  
PROVINCE OF ONTARIO

PROJECT NAME/ADDRESS:  
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:  
FIRE SHUTTER DETAILS

PROJECT NO.	DATE
23-46	12/19/24

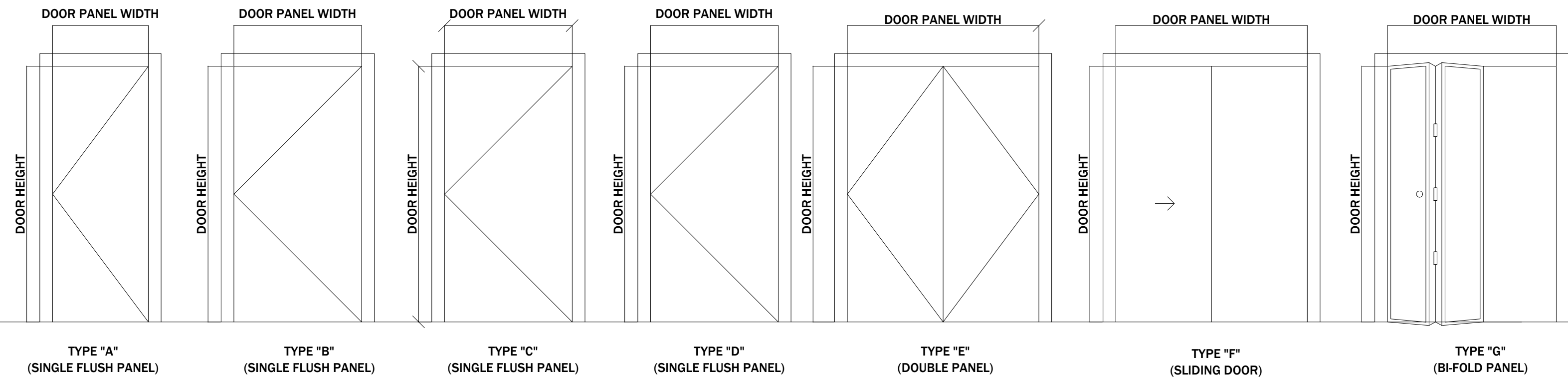
SCALE:	REVISION:
1/2" = 1'-0"	

DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

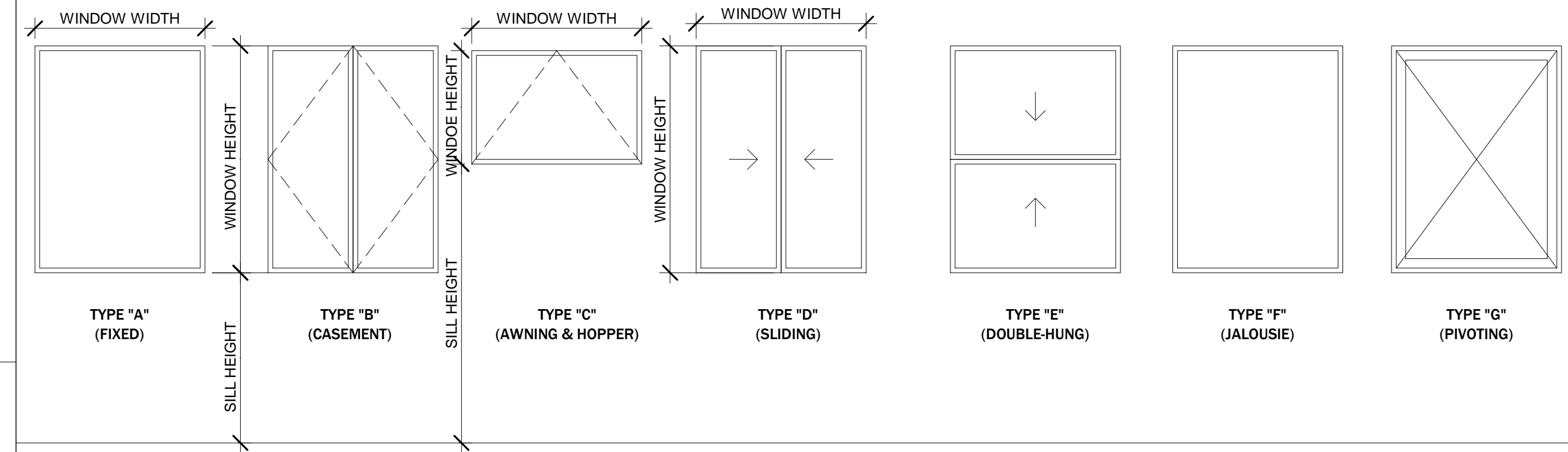
SHEET NO.



**DOOR PANEL TYPES (ELEVATIONS)**



**WINDOW TYPE - ELEVATIONS**



**DOOR SCHEDULE**

DOOR #	NO. OF PANELS	DOOR PANEL WIDTH	DOOR HEIGHT	DOOR MATERIAL	DOOR FINISH	CORE	FRAME MATERIAL	FRAME FINISH	FRR	REMARKS
PANEL TYPE: A										
A1	1	18"	80"	MDF	PT	-	MDF	PT	0	
A2	1	26"	80"	MDF	PT	-	MDF	PT	-	
A3	1	28"	80"	MDF	PT	-	MDF	PT	0	
A4	1	30"	80"	MDF	PT	-	MDF	PT	0	
A5	1	32"	80"	MDF	PT	-	MDF	PT	0	
A6	1	34"	80"	MDF	PT	-	MDF	PT	-	
A7	1	36"	80"	MDF	PT	-	MDF	PT	-	
PANEL TYPE: B (w/ SELF CLOSER (45 MIN))										
B1	1	28"	80"	MDF	PT	-	MDF	PT	-	
B2	1	30"	80"	MDF	PT	-	MDF	PT	-	
B3	1	32"	80"	MDF	PT	-	MDF	PT	-	
B4	1	34"	80"	MDF	PT	-	MDF	PT	-	
B5	1	36"	80"	MDF	PT	-	MDF	PT	-	
PANEL TYPE: C (w/ SELF CLOSER (20 MIN))										
C1	1	28"	80"	MDF	PT	-	MDF	PT	-	
C2	1	30"	80"	MDF	PT	-	MDF	PT	-	
C3	1	32"	80"	MDF	PT	-	MDF	PT	-	
C4	1	34"	80"	MDF	PT	-	MDF	PT	-	
C5	2	48"	58"	MDF	PT	-	MDF	PT	-	
PANEL TYPE: D (EXTERIOR DOOR)										
D1	1	30"	80"	MDF	PT	-	MDF	PT	45 MIN	
D2	1	32"	84"	MDF	PT	-	MDF	PT	-	
D3	1	32"	80"	MDF	PT	-	MDF	PT	45 MIN	
D4	1	36"	80"	MDF	PT	-	MDF	PT	-	
PANEL TYPE: E (DOUBLE PANEL)										
E1	2	28"	80"	MDF	PT	-	MDF	PT	-	
E2	2	30"	80"	MDF	PT	-	MDF	PT	-	
E3	2	32"	80"	MDF	PT	-	MDF	PT	-	
E4	2	34"	80"	MDF	PT	-	MDF	PT	-	
E5	2	36"	80"	MDF	PT	-	MDF	PT	-	
E6	2	48"	80"	MDF	PT	-	MDF	PT	0	
E7	2	60"	80"	MDF	PT	-	MDF	PT	0	
PANEL TYPE: F (SLIDING DOOR)										
F1	2	28"	80"	MDF	PT	-	MDF	PT	-	
F2	2	30"	80"	MDF	PT	-	MDF	PT	-	
F3	2	32"	80"	MDF	PT	-	MDF	PT	-	
F4	2	34"	80"	MDF	PT	-	MDF	PT	-	
PANEL TYPE: G (BI-FOLD PANEL)										
G1	2	28"	80"	MDF	PT	-	MDF	PT	-	
G2	2	30"	80"	MDF	PT	-	MDF	PT	-	
G3	2	32"	80"	MDF	PT	-	MDF	PT	-	
G4	2	34"	80"	MDF	PT	-	MDF	PT	-	

**WINDOW SCHEDULE**

COUNT	WINDOW DESCRIPTION	WIDTH	HEIGHT	SILL HEIGHT	FRR	KEYNOTE	CLOSURE
3	CASEMENT	3' - 4"	1' - 8"	4' - 0"	0	EXISTING	
1	DOUBLE-HUNG	3' - 0"	5' - 0"	2' - 8"	0	EXISTING	
1	DOOR GLAZING	1' - 10"	3' - 2"	3' - 0"	0	PROPOSED	
1	DOUBLE-HUNG	2' - 10"	4' - 0"	2' - 6"	0	EXISTING	
1	DOUBLE-HUNG	3' - 6"	4' - 8"	3' - 4"	20 MIN	PROPOSED	20 MIN
1	DOUBLE-HUNG	3' - 8"	5' - 6"	0' - 7 1/2"	20 MIN	EXISTING	
1	DOUBLE-HUNG	3' - 0"	5' - 0"	2' - 8"	0	PROPOSED	20 MIN
2	DOUBLE-HUNG	3' - 0"	5' - 0"	2' - 8"	0	PROPOSED	

- NOTES:**
1. ALL FIRE RATED DOORS TO HAVE SELF-CLOSING DEVICES, CONFORMING TO 9.10.13.10(1). ADDITIONALLY, LOCK SETS TO BE INSTALLED.
  2. ALL HINGES TO BE 3 1/2" X 3 1/2" SQUARE CORNER STAINLESS STEEL, MINIMUM 3 PER PANEL.
  3. PROVIDE SMOKE SEALS AT ALL FIRE RATED DOORS.
  4. FINISHED FLOOR TO UNDERSIDE OF DOOR TO BE A CONSISTENT HEIGHT UP TO A MAXIMUM OF 1/4" FOR BEDROOMS AND 1/2" FOR BATHROOMS.
  5. ALL DOORS ARE 1 3/4" THICK, SPRAYED TOP AND UNDERSIDE OF DOOR PANEL.
  6. CONTRACTOR TO ADD TRANSITION STRIP UNDERNEATH MIDDLE OF DOOR WHERE MATERIAL CHANGES IN ALL LOCATION (TYP.)
  7. ALL NEW DOORS BETWEEN UNITS TO HAVE A MINIMUM 20 MIN FIRE RATING.

LEGEND: EXISTING AND PROPOSED DOORS IN THE BUILDING.

\*GC TO SITE VERIFY DOOR HEIGHT AND WIDTH

CITY ELECTRONIC STAMP:



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**LEAD DESIGNER & CONSULTANT:** KEN BEKENDAM, B.A. BUSCOM, L.T. 905-965-0647 kenbekendam@gmail.com  
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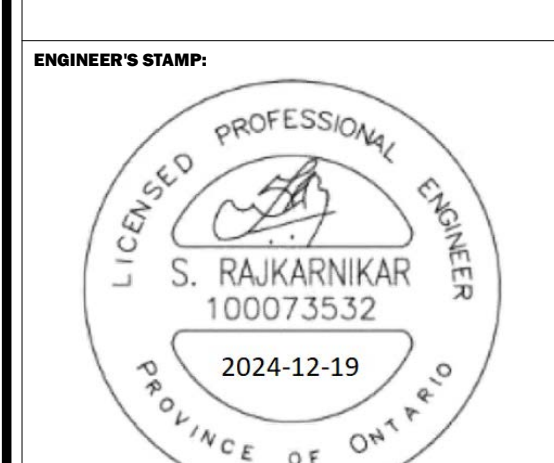
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NO.	DATE	GENERAL DESCRIPTION	INITIALS
01			
02			
03			
04			

**NORTH POSITION:**



PROJECT NAME/ADDRESS:

**754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT**

SHEET NAME:

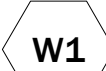

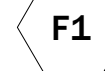
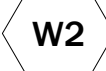

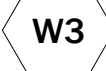

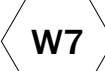


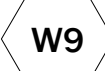
**DOOR & WINDOW SCHEDULE**

PROJECT NO.	DATE
23-46	12/19/24
SCALE:	REVISION:
1/2" = 1'-0"	
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

SHEET NO.

**A4.03**

WALL/FLOOR SCHEDULE

EXISTING WALLS		PROPOSED WALLS		PROPOSED FLOOR	
 <p><b>W1</b></p>	<p>EXISTING FOUNDATION WALL (CONTRACTOR TO VERIFY)</p> <ul style="list-style-type: none"> <li>POURED CONCRETE FOUNDATION WALL</li> <li>PROVIDE BITUMINOUS DAMPPROOFING AND DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL</li> <li>PROVIDE PARING ON ALL EXPOSED CONCRETE ABOVE GRADE</li> </ul>	 <p><b>W4</b></p>	<p>EXISTING FOUNDATION W/ NEW LOADBEARING INSULATED STUD WALL - W4 (1H, FRR, STC N/A)</p> <ul style="list-style-type: none"> <li>EXISTING 12" CONCRETE FOUNDATION WALL</li> <li><b>T2.3.4.E SB-2</b> 2x4 WOOD STUD WALL SPACED 16" O.C. (LOAD BEARING) (20MIN FRR) 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm &amp; MIN SURFACE AREA MASS OF 2.8 KG/sqM R22</li> <li><b>T2.3.4.A SB-2</b> NEW 5/8" TYPE X' GYPSUM WALL BOARD (40 MIN FRR)</li> </ul> <p><b>TOTAL ASSEMBLY = 1H</b></p>	 <p><b>F1</b></p>	<p>NEW HORIZONTAL PARTITION (CEILING) - WNR/FCA 45-06 (45MIN FRR)</p> <ul style="list-style-type: none"> <li>48/24 TONGUE-AND-GROOVE, SPAN-RATED SHEATHING. 40/20 TONGUE-AND-GROOVE, SPAN-RATED SHEATHING IS PERMITTED WITH PROPRIETARY GYPSUM AS LISTED IN WNR/FCA 45-06</li> <li>11 7/8" TJI @ 16" O.C.</li> <li>PROPRIETARY 5/8" TYPE C GYPSUM BOARD</li> <li>RESILIENT CHANNELS AT 16" ON-CENTRE, MAXIMUM</li> <li>OPTIONAL (NOT REQUIRED): MINIMUM 3 1/2" - THICK GLASS FIBRE INSULATION OR NON-COMBUSTIBLE INSULATION, RATED R-30 OR LESS</li> </ul>
 <p><b>W2</b></p>	<p>EXISTING EXTERIOR BRICK WALL</p> <ul style="list-style-type: none"> <li>EXISTING 8" DOUBLE BRICK VENEER AS PER ELEVATIONS</li> <li>1/2" SPRUCE PLYWOOD SHEATHING</li> <li>2x4 SPF #2 WOOD STUDS @ 16" o.c.</li> <li>1/2" GYPSUM BOARD.</li> </ul>	 <p><b>W5</b></p>	<p>EXISTING EXTERIOR DOUBLE BRICK WALL W/ NEW LOADBEARING INSULATED STUD WALL - W5 (5H, FRR, STC N/A)</p> <ul style="list-style-type: none"> <li><b>T2.1.1 SB-2</b> DOUBLE BRICK WALL 178mm (4H FRR)</li> <li><b>T2.3.4.E SB-2</b> NEW 2"x4" LOADBEARING WALL @ 16" O.C., DOUBLE PLATE AT TOP (20 MIN FRR) 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm &amp; MIN SURFACE AREA MASS OF 2.8 KG/sqM R22</li> <li><b>T2.3.4.A SB-2</b> 5/8" TYPE X GYPSUM BOARD ON ONE SIDE (40MIN FRR)</li> </ul> <p><b>TOTAL ASSEMBLY = 5H</b></p>		
 <p><b>W3</b></p>	<p>EXISTING INTERIOR NON-LOADBEARING STUD WALL</p> <ul style="list-style-type: none"> <li>EXISTING LATH AND PLASTER BOTH SIDES</li> <li>EXISTING 2"x4" WOOD STUDS</li> </ul>	 <p><b>W6</b></p>	<p>EXISTING EXTERIOR BRICK WALL W/ NEW LOADBEARING INSULATED STUD WALL - W6 (2H, FRR, STC N/A)</p> <ul style="list-style-type: none"> <li><b>T2.1.1 SB-2</b> 90mm SOLID BRICK (1H FRR)</li> <li>1" AIR SPACE, COMPLETE WITH MORTAR MESH FULL HEIGHT.</li> <li><b>T2.3.4.E SB-2</b> NEW 2"x6" LOADBEARING WALL @ 16" O.C., DOUBLE PLATE AT TOP (20 MIN FRR) FILL STUD CAVITY WITH BATT INSULATION (R-22)</li> <li><b>T2.3.4.A SB-2</b> 5/8" TYPE X GYPSUM BOARD ON ONE SIDE (40MIN FRR)</li> </ul> <p><b>TOTAL ASSEMBLY = 2H</b></p>		
		 <p><b>W7</b></p>	<p>NEW VERTICAL PARTITION (WALL EXTERIOR W7) - S10a (1H, FRR, STC 38)</p> <ul style="list-style-type: none"> <li>EXTERIOR HARDIE FIBER-CEMENT SIDING</li> <li>41-mm X 92-mm STEEL STUDS 0.84 mm THICKNESS SPACED @ 16" O.C. (10 MIN FRR)</li> <li>89mm THICK ABSORPTIVE MATERIAL</li> <li>2 LAYERS OF 5/8" TYPE X GYPSUM BOARD BOTH SIDES</li> </ul>	 <p><b>W7a</b></p>	<p>NEW EXTERIOR SIDING WALL (WALL EXTERIOR W7a - EW1b (45 MIN, FRR, STC N/A)</p> <ul style="list-style-type: none"> <li>EXTERIOR HARDIE FIBER-CEMENT SIDING</li> <li>ONE OR TWO LAYERS OF GYPSUM BOARD ON INSIDE</li> <li>2x4 WOOD STUDS @ 16" O.C. (NON LOADBEARING)</li> <li>89mm THICK ABSORPTIVE MATERIAL</li> <li>1/2" TYPE X GYPSUM BOARD</li> <li>TAPED &amp; MUD, PRIMED &amp; MIN. 2 COATS OF PAINT</li> </ul>
		 <p><b>W8</b></p>	<p>NEW INTERIOR NON-LOADBEARING STUD WALL</p> <ul style="list-style-type: none"> <li>1/2" GYPSUM WALL BOARD BOTH SIDES</li> <li>NEW 2"x4" WOOD STUD WALL SPACED @ 16" O.C</li> </ul>		
		 <p><b>W9</b></p>	<p>NEW INTERIOR FIRE RATED STUD WALL - W4a (1HR FRR, STC51) * SEPARATION BETWEEN RESIDENTIAL SUITES TO HAVE A FIRE RESISTANCE RATING OF 60 MINS AS PER O.B.C. 3.3.4.2.1(1)</p> <ul style="list-style-type: none"> <li>NEW 2"x4" STUD WALL SPACED 16" O.C.</li> <li>3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm &amp; MIN. SURFACE AREA MASS OF 2.8 KG/SQM</li> <li>RESILIENT METAL CHANNELS SPACED 24" O.C.</li> <li>2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE</li> <li>1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE</li> </ul>		



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

**LEAD DESIGNER & CONSULTANT:** KEN BEKENDAM, B.A BUSCOM, L.T. 905-965-0647  
kenbekendam@gmail.com

**CELL PHONE:** 905-965-0647

**OFFICE ADDRESS:** 979 MAIN ST. E. HAMILTON, ON **OFFICE PHONE:** 905-546-4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

Name Signature BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307  
Name BCIN

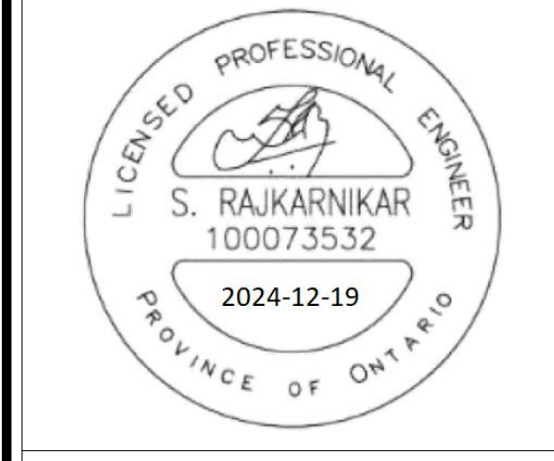
**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
- ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.
- UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- USE LATEST REVISED DRAWINGS.
- ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.
- ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE.)
- BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE	GENERAL DESCRIPTION	INITIALS
01	Date 1	Revision 1	
02			
03			
04			

**NORTH POSITION:**

**ENGINEER'S STAMP:**



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:  
WALL/FLOOR SCHEDULE

PROJECT NO. 23-46	DATE: 12/19/24
SCALE: 1/4" = 1'-0"	REVISION: 1 Date 1
DRAWN BY: DANILO MARTINELLI	REVIEWED BY: KEN BEKENDAM

SHEET NO.

**A4.04**

### **3. PURPOSE OF THE APPLICATION**

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

**All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)**

#### **3.1 Nature and extent of relief applied for:**

1. To permit porch 5'-11 1/2" [1.82m] into the required front yard whereas the zoning bylaw 4.6 of Hamilton Zoning bylaw 05-200 requires a porch, deck or canopy to encroach into any required yard to a maximum of 1.5 meters, or to a maximum of half the distance of the required yard, whichever is the lesser.
2. To permit stairs 5'-11 1/2" [1.82m] into the required front yard whereas the zoning bylaw 4.6 of Hamilton Zoning bylaw 05-200 requires a porch, deck or canopy to encroach into any required yard to a maximum of 1.5 meters, or to a maximum of half the distance of the required yard, whichever is the lesser.
3. To permit zero parking spaces whereas the the zoning bylaw 4.34(e) of Hamilton Zoning By-law 5-200 requires 1 parking space for the fourth dwelling unit.



# Hamilton

January 05, 2024

FILE: ALR  
FOLDER: 23-315857-00 ALR  
ATTENTION OF: Ross McIntosh  
TELEPHONE NO: (905) 546-2424  
EXTENSION: 2077

Christopher Houghton  
979 MAIN ST E  
HAMILTON, ON L8M 1N2

## **Attention:**

**Re: APPLICABLE LAW REVIEW – ZONING BYLAW**  
**Present Zoning: R1A LOW DENSITY RESIDENTIAL (SMALL LOT)**  
**Address: 754 CANNON ST E, HAMILTON, ON**

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

## **COMMENTS:**

1. This applicant is proposing to convert the existing single-family dwelling to a single-family dwelling containing 4 dwelling units.
2. The proposed use is permitted within the current zoning.

3. **LRT - Transit Corridor Land 30m Buffer Zone:**

*A Corridor Development Permit is required from Metrolinx to construct any buildings, structure, road, utility infrastructure, or to conduct any excavation, dewatering or other Prescribed Work pursuant to the Building Transit Faster Act and its Regulation. Please contact [development.coordinaor@metrolinx.com](mailto:development.coordinaor@metrolinx.com) for more information.*

4. **Zoning Policy: ZON-041**

**Additions to Dwellings Legal Non-Complying in Location:**

*Any proposed addition(s) to a dwelling which do not further aggravate the existing legally establish non-complying yard setbacks shall be permitted and shall not require an application for minor variance, provided that the existing yard setbacks are maintained or are moving closer to compliance with the yard setback requirements of the applicable zone.*

*The addition(s) shall still be required to meet all other applicable zoning requirements, including but not limited to height, lot coverage, minimum landscaped area and parking regulations.*

*Encroachments shall be permitted into the existing legal non-complying yard setback in accordance with the applicable regulations within the Zoning By-law.*

5. The proposed converted dwelling has been reviewed under the R1a Zone & Converted Dwelling

regulations of the City of Hamilton Zoning By-law No. 05-200;

## R1a Zone – Low Density Residential (Small Lot)

(Section 15.2 of Hamilton Zoning By-law 05-200)

	By-law Requirement	Provided	Conforming/ Non-Conforming
<b>SECTION 15.2.2 – R1A REGULATIONS</b>			
<b>Minimum Lot Area</b> [as per section 15.2.2.1(a) of Hamilton Zoning By-law 05-200]	270.0 m <sup>2</sup>	167.22m <sup>2</sup>	<b>Deemed to Comply</b>
<b>Minimum Lot Width</b> [as per section 15.2.2.1(b) of Hamilton Zoning By-law 05-200]	9.0 m	6.10m	<b>Deemed to Comply</b>
<b>Minimum Setback from the Front Lot Line</b> [as per section 15.2.2.1(c) of Hamilton Zoning By-law 05-200]	3.0m	3.38m	<b>Conforms</b>
<b>Minimum Setback from a Side Lot Line</b> [as per section 15.2.2.1(d) of Hamilton Zoning By-law 05-200]	1.2m	West:0.52m East: 0.33m	<b>Deemed to Comply</b>
<b>Minimum Setback from a Flankage Lot Line</b> [as per section 15.2.2.1(e) of Hamilton Zoning By-law 05-200]	3.0m	<i>No Flankage lot line</i>	<b>N/A</b>
<b>Minimum Setback from a Rear Lot Line</b> [as per section 15.2.2.1(f) of Hamilton Zoning By-law 05-200]	7.5m	13.07m	<b>Conforms</b>
<b>Maximum Building Height</b> [as per section 15.2.2.1(g) of Hamilton Zoning By-law 05-200]	10.5m	9.54m	<b>Conforms</b>
<b>Parking</b> [as per section 15.2.2.1(h) of Hamilton Zoning By-law 05-200]	<ul style="list-style-type: none"> <li>i) In accordance with the requirements of Section 5 of this By-law.</li> <li>ii) Notwithstanding Section 5.6 c) i., 2 parking spaces shall be required for a Single Detached Dwellings</li> </ul>	No existing parking spaces or proposed parking spaces	<b>See section 4.34 (E)(i) below.</b>
<b>Accessory Buildings</b> [as per section 15.2.2.1(i) of Hamilton Zoning By-	In accordance with the requirements of Section 4.8 of this By-law.	<i>No Accessory Buildings proposed.</i>	<b>N/A</b>

law 05-200]			
<b>GENERAL PROVISIONS</b> <i>In accordance with the requirements of Section 4 of Hamilton Zoning By-law 05-200</i>			
<b>Permitted Yard Encroachments</b> [as per section 4.6 of Hamilton Zoning By-law 05-200]	a) The usual projections of window sills, chimney breasts, belt courses, cornices, eaves, troughs and other similar architectural features, ductwork, venting and other similar appurtenances may be permitted in any required yard, provided that no such feature shall project more than 0.6 metres into the required yard, or to a maximum of half the distance of the required yard, whichever is the lesser;	Not Proposed	N/A
	b) A fire escape or exterior staircase may encroach into a required side or rear yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser;	Exterior Staircase encroaches into front yard is a required exterior exit for dwelling unit  <i>See 4.33.1 below</i>	<b>Conforms</b>
	c) An unenclosed ramp for wheelchair access may encroach into any required yard to no maximum distance;	Not proposed	<b>N/A</b>
	d) A porch, deck or canopy may encroach into any required yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser	Stairs of porch encroach >1.5m into required front yard	<b>Non-Conforming</b>
<b>Mechanical and Unitary Equipment</b> [as per section 4.9 of Hamilton Zoning By-law 05-200]	Hot boxes, air conditioners and pumps (including heat pumps and swimming pool pumps) and other similar mechanical equipment shall be located only in accordance with the following regulations:  a) Within a required front yard, provided such equipment shall have a minimum setback of 3.0 metres from the street line, a minimum setback of 0.6 metres from a side lot line and is screened from the street by an enclosure or landscaping; and,  b) Within a required side yard or required rear yard provided such equipment has a minimum setback of 0.6 metres from the side lot line or rear lot line.	Applicant to Note.	
<b>Additional Dwelling Unit</b> [as per section 4.33.1 of Hamilton Zoning By-law 05-200]	(c) There shall be no outside stairway above the first floor other than a required exterior exit.	Additional stairway above first floor is a required exterior exit for dwelling unit	<b>Conforms</b>
	(d) A maximum of one entrance shall be permitted on the front façade of a dwelling containing an Additional Dwelling Unit.	Two entrances located on front façade. Basement entrance not considered to be located on front façade.	<b>Conforms</b>
	i) Notwithstanding Section 4.33.1 (d) an additional entrance may be located on the	<i>Subject lands identified on</i>	

	front façade of the principal dwelling for lands identified on Figure 24 of Schedule F – Special Figures.	<i>figure 24 of Schedule F</i>	
<b>CONVERTED DWELLINGS</b> <i>In accordance with the requirements of Section 4.34 of Hamilton Zoning By-law 05-200</i>			
<b>Conversion of Dwelling</b> [as per section 4.34(a) of Hamilton Zoning By-law 05-200]	For the purpose of Section 4.34, a Converted Dwelling shall mean a Single Detached Dwelling or Duplex Dwelling, existing as of August 12, 2022, converted to contain greater than two but no more than four Dwelling Units.	Single Family Dwelling being converted to a single-family dwelling with four dwelling units	<b>Conforms</b>
<b>Permitted Zones</b> [as per section 4.34(b) of Hamilton Zoning By-law 05-200]	A Converted Dwelling shall be permitted on a lot in an “R1” or “R1a” Zone.	R1a Zone	<b>Conforms</b>
<b>Applicable Zone Regulations to the Existing Dwelling</b> [as per section 4.34(c) of Hamilton Zoning By-law 05-200]	All the regulations of this By-law applicable to the existing dwelling shall continue to apply unless specifically provided in Section 4.34.	<i>Noted.</i>	
<b>Maximum Number of Dwelling Units</b> [as per section 4.34(d) of Hamilton Zoning By-law 05-200]	Notwithstanding any applicable regulations of this By-law, no more than four Dwelling Units shall be permitted on a lot subject to Converted Dwelling permissions as identified in Section 4.34 (b).	Four Dwelling Units proposed	<b>Conforms</b>
<b>Parking Spaces</b> [as per section 4.34(e) of Hamilton Zoning By-law 05-200]	No parking spaces are required for Dwelling Units within a Converted Dwelling, provided the required parking spaces which existed on August 12, 2022 for the existing dwelling shall continue to be provided and maintained.  <b>i) Notwithstanding Section 4.34 (e), one parking space is required for the following conditions:</b>  <b>A. For the fourth Dwelling Unit in a Converted Dwelling, and,</b>  <b>B. For the fourth Dwelling Unit on a lot.</b>	No parking spaces existing or proposed	<b>Non-Conforming</b>

4. This review is based on the plans submitted with the application.

5. Construction of the proposed converted dwelling containing a total of four (4) dwelling units is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setback and construction types.

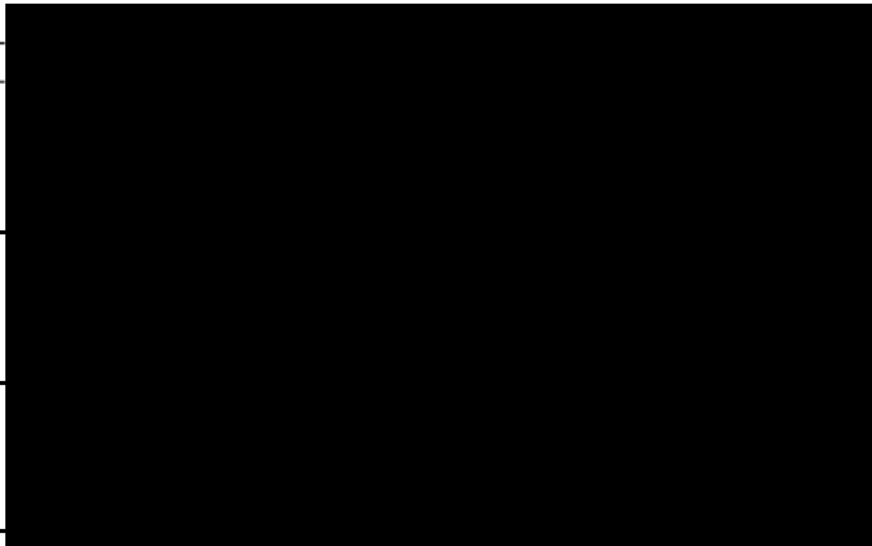
6. All fencing shall conform to Hamilton Fence By-law 10-142.

7. The designer shall ensure that the fire access route conforms to the Ontario Building Code.

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
 UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	<b>NAME</b>
<b>Registered Owners(s)</b>	Michael Sifontes
<b>Applicant(s)</b>	
<b>Agent or Solicitor</b>	Ken Bekendam King Homes Inc



1.2 All correspondence should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent \_\_\_\_\_

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:



Municipal Address	754 Cannon St E, Hamilton, ON, Canada		
Assessment Roll Number	01004201735000		
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

### 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

[See attached ALR and additional sheet](#)

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

[Existing site constraints](#)

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
6.10	27.43	167.22	

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
See site plan				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
See site plan				

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
See site plan				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
See site plan				

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year \_\_\_\_\_

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Converted Dwelling - 4 units

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single Detached Dwelling

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

unknown

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

Unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1a

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: \_\_\_\_\_

---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes  No

If yes, please provide the file number: \_\_\_\_\_

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes  No n/a

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 4

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
- 
-