City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

COMMITTEE OF ADJUSTMENT

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION	A-25:007	SUBJECT	754 Cannon Street East, Hamilton
NO.:		PROPERTY:	
ZONE:	Low Density Residential -	ZONING BY-	Hamilton Zoning By-law 05-200,
	Small Lot (R1a) Zone	LAW:	as Amended by By-law 22-197

APPLICANTS: Owner: Michael Sifontes

Agent: King Homes Inc. - Ken Bekendam

The following variances are requested:

Hamilton

- 1. A porch, including steps, at the front of the dwelling shall be permitted to encroach a maximum distance of 2.72 metres into the minimum required 4.0 metre front yard setback instead of the maximum permitted encroachment of 1.5 metres into a required yard.
- 2. An exterior staircase shall be permitted to encroach 2.82 metres into the minimum required 4.0 metre front yard setback whereas an exterior staircase is not permitted to encroach into a minimum required front yard.

PURPOSE & EFFECT: To permit the construction of a porch and an exterior staircase in the front yard of a dwelling

Notes: N/A

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, February 13, 2025
TIME:	1:15 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)

A-25:007

To be streamed (viewing only) at
www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon February 11, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon February 12, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:007, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: January 27, 2025

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



COMMITTEE OF ADJUSTMENT

City Hall, 5^{th} floor, 71 Main Street West, Hamilton, ON L8P 4Y5 Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Comments must be received by noon on the date listed on the Notice of Public Hearing.

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing to** participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

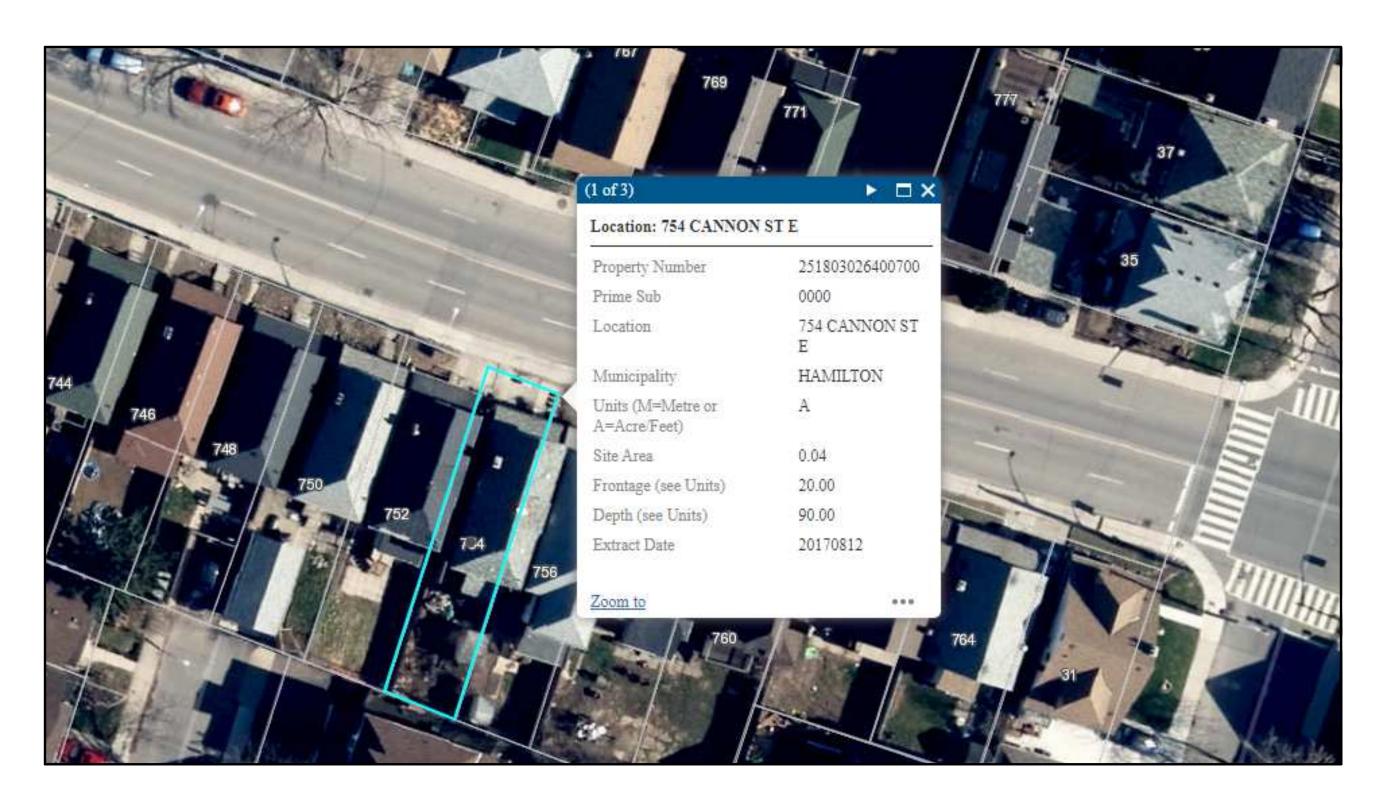
We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

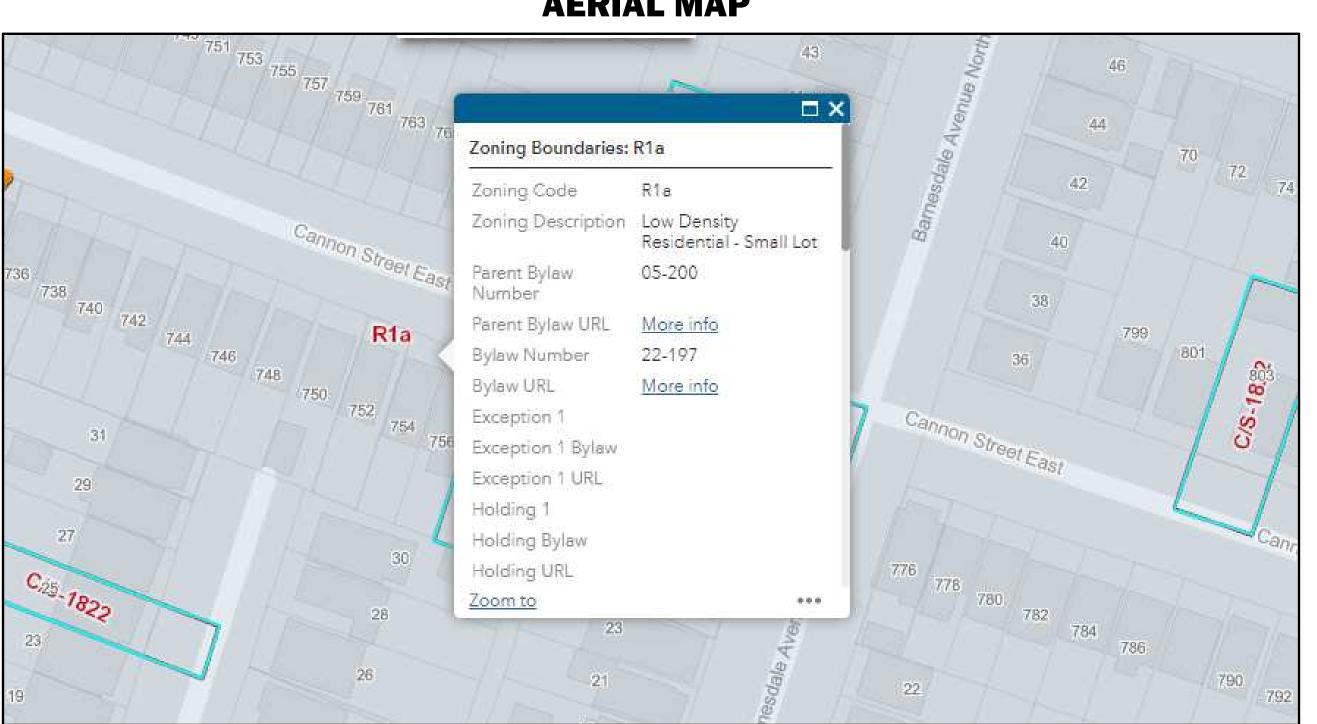
754 CANNON ST. EAST, HAMILTON

CONVERTED DWELLING UNIT





AERIAL MAP



PROPOSED BUILDING PERSPECTIVE

ZONING MAP



CITY ELECTRONIC STAMP:

001 2 10 120 112 110 120 210 1111 1100 1
ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE
ALL DRAWINGS SPECIFICATIONS RELATED DOCUMENTS AND

- DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL
- BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER
- 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

		G-11-10 1- 2-20 1111 110 111	
01			
02			
03			
04			
NOR	TH POSITION:	N	

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED **DWELLING UNIT**

	SHEET NAME:
	TITLE PAGE
П	DD0 IFOT NO

PROJECT NO.	DATE:	
23-46	12/19/24	
SCALE: 12" = 1'-0"	REVISION:	
DRAWN BY:	REVIEWED BY:	
DANILO MARTINELLI	KEN BEKENDAM	

A0.01

ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS BEFORE

COMMENCING FABRICATION. - THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFORM TO THE DRAWING DETAILS AND SHALL

COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES. - PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF

- CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCE NOTICE PRIOR TO ANY DIGGING. FOR STAKE OUT.

- THE CONTRACTOR IS NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

- EXISTING DRAINAGE PATTERNS TO REMAIN. ANY NEW SUMP PUMP INSTALLATIONS TO DISCHARGE IN REAR YARD. BUILDING FROM THESE SHALL PROCEED ONLY WHEN MARKED "ISSUED FOR CONSTRUCTION."

EXISTING STRUCTURE NOTE: OWNER AND CONTRACTOR ARE FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING GENERAL AND STRUCTURAL CONDITIONS PRIOR TO ANY WORK. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO SUITE ADDITIONS INC.

 OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK IF REQUIRED.

CODE REFERENCES AND SPECIFICATIONS

1. FIRE PROTECTION MEASURES

ALL FIRE PROTECTION MEASURES MUST COMPLY WITH OBC 9.10. (U.O.N.)

2. CEILING HEIGHTS

PRIOR TO ANY WORK.

CEILING HEIGHTS SHALL COMPLY WITH OBC 9.5.3.1. AND PART 11 - C102 OF TABLE 11.5.1.1.C.

PART 9:

BASEMENT SPACE - 2 100 mm (6'-10 3/4") over at least 75% of the basement area except that under beams and ducts the clearance is permitted to be reduced to 1 950 mm (6'-4 7/8")

PART 11 (COMPLIANCE ALTERNATIVE):

(a) minimum room height shall not be less than 1 950 mm (6'-4 7/8") over the required floor area and in any

location that would normally be used as a means of egress, or (b) minimum room height shall not be less than 2 030 mm (6'-8") over at least 50% of the required floor area, provided that any part of the floor having a clear height of less than $1\,400$ mm (4'- $7\,1/8$ ") shall not be considered in computing the required floor area.

3. EGRESS FROM DWELLING UNIT

EGRESS FROM DWELLING UNIT SHALL COMPLY WITH OBC 9.9.9 AND PART 11 COMPLIANCE - C136 OF TABLE 11.5.1.1.C.

9.9.9.1. Travel Limit to Exits or Egress Doors

(1) Except as provided in Sentences (2) and (3), every dwelling unit containing more than 1 storey shall have exits or egress doors located so that it shall not be necessary to travel up or down more than 1 storey to reach a level served

(a) an egress door to a public corridor, enclosed exit stair or exterior passageway, or

(b) an exit doorway not more than 1 500 mm above adjacent ground level.

(2) Where a dwelling unit is not located above or below another suite, the travel limit from a floor level in the dwelling unit to an exit or egress door is permitted to exceed 1 storey where that floor level is served by an openable window

(a) providing an unobstructed opening of not less than 1 000 mm in height and 550 mm in width, and

(b) located so that the sill is not more than, (i) 1 000 mm above the floor, and

(ii) 7 m above adjacent ground level.

(3) The travel limit from a floor level in a dwelling unit to an exit or egress door is permitted to exceed 1 storey where that floor level has direct access to a balcony.

corridor or exterior passageway to go in opposite directions to two separate exits unless the dwelling unit has a

9.9.9.2. Two Separate Exits (1) Except as provided in Sentence 9.9.7.3.(1), where an egress door from a dwelling unit opens onto a public corridor or exterior passageway it shall be possible from the location where the egress door opens onto the

second and separate means of egress.

9.9.9.3. Shared Egress Facilities (1) A dwelling unit shall be provided with a second and separate means of egress where an egress door from the

dwelling unit opens onto,

(a) an exit stairway serving more than one suite,

(b) a public corridor,

(i) serving more than one suite, and (ii) served by a single exit,

(c) an exterior passageway,

(i) serving more than one suite,

(ii) served by a single exit stairway or ramp, and

(iii) more than 1.5 m above adjacent ground level, or

(d) a balcony, (i) serving more than one suite.

(ii) served by a single exit stairway or ramp, and

(iii) more than 1.5 m above adjacent ground level.

PART 11 (COMPLIANCE ALTERNATIVE):

In a house, exit requirements are acceptable if at least one of the following conditions exists:

(a) a door, including a sliding door, that opens directly to the exterior from a dwelling unit, serves only that dwelling unit and has reasonable access to ground level, and the dwelling units are equipped with smoke alarms installed in

conformance with Subsection 9.10.19., (b) an exit that is accessible to more than one dwelling unit and provides the only means of egress from each dwelling unit, provided that the means of egress is separated from the remainder of the building and common areas by a fire separation having a 30 min fire-resistance rating and provided further that the required access to exit from any dwelling unit cannot be through another

dwelling unit, service room or other occupancy, and both dwelling units and common areas are provided with smoke alarms that are installed in conformance with Subsection 9.10.19. and are interconnected, or

(c) access to an exit from one dwelling unit which leads through another dwelling unit where,

(i) an additional means of escape is provided through a window that conforms to the following:

(A) the sill height is not more than 1 000 mm above or below adjacent ground level,

(B) the window can be opened from the inside without the use of tools.

(C) the window has an individual unobstructed open portion having a minimum area of 0.38 m² with no dimension less

(D) the sill height does not exceed 900 mm above the floor or fixed steps,

(E) where the window opens into a window well, a clearance of not less than 1 000 mm shall be provided in front of the

(F) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected,

(ii) an additional means of escape is provided through a window that conforms to the following:

(A) the window is a casement window not less than 1 060 mm high, 560 mm wide, with a sill height not more than 900

mm above the inside floor. (B) the sill height of the window is not more than 5 m above adjacent ground level, and

(C) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19. and are interconnected, or (iii) the building is sprinklered and the dwelling units are equipped with smoke alarms installed in conformance with Subsection 9.10.19.

10. EGRESS FROM BEDROOMS

EGRESS FROM BEDROOMS SHALL COMPLY WITH OBC 9.9.10.1

the floor.

(1) Except where a door on the same floor level as the bedroom provides direct access to the exterior, every floor level containing a bedroom in a suite shall be provided with at least one outside window that, (a) is openable from the inside without the use of tools,

(b) provides an individual, unobstructed open portion having a minimum area of 0.35 m² with no dimension less than 380

(c) maintains the required opening described in Clause (b) without the need for additional support. (2) Except for basement areas, the window required in Sentence (1) shall have a maximum sill height of 1000 mm above (3) When sliding windows are used, the minimum dimension described in Sentence (1) shall apply to the openable portion

(4) Where the sleeping area within a live/work unit is on a mezzanine with no obstructions more than 1 070 mm above the floor, the window required in Sentence (1) may be provided on the main level of the live/work unit provided the mezzanine is not more than 25% of the area of the live/work unit or 20 m2, whichever is less, and an unobstructed direct path of travel is provided from the mezzanine to this window.

(5) Where a window required in Sentence (1) opens into a window well, a clearance of not less than 550 mm shall be provided in front of the window. (6) Where the sash of a window referred to in Sentence (5) swings towards the window well, the operation of the sash shall

not reduce the clearance in a manner that would restrict escape in an emergency. (7) Where a protective enclosure is installed over the window well referred to in Sentence (5), such enclosure shall be openable from the inside without the use of keys, tools or special knowledge of the opening mechanism.

SMOKE ALARMS SHALL COMPLY WITH OBC 9.10.19. AND PART 11 COMPLIANCE - C175 OF TABLE 11.5.1.1.C.

PART 9:

9.10.19.1. Required Smoke Alarms (2) Smoke alarms conforming to CAN/ULC-S531, "Smoke Alarms", shall be installed in each dwelling unit and in each sleeping room not within a dwelling unit

(3) Smoke alarms required in Sentence (1) shall have a visual signalling component conforming to the requirements in 18.5.3. (Light, Color and Pulse Characteristics) of NFPA 72, "National Fire Alarm and Signaling Code". (4) The visual signalling component required in Sentence (2) need not, (a) be integrated with the smoke alarm provided it is interconnected to it, (b) be on battery backup, or (c) have synchronized flash rates, when installed in a dwelling unit. (5) The luminous intensity for visual signalling components required in Sentence (2) that are installed in sleeping rooms

shall be a minimum of 175 cd. (6) Smoke alarms required in Sentence (1) shall be installed on or near the ceiling.

9.10.19.3. Location of Smoke Alarms (1) Within dwelling units, sufficient smoke alarms shall be installed so that,

(a) there is at least one smoke alarm installed on each storey, including basements, and (b) on any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed,

(i) in each sleeping room, and (ii) in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.

(2) Within a house that contains an interior shared means of egress or common area, a smoke alarm shall be installed in each shared means of egress and common area. (3) A smoke alarm required in Sentences (1) and (2) shall be installed in conformance with CAN/ULC-S553, "Installation of

Smoke Alarms". 9.10.19.1. Power Supply

(1) Except as provided in Sentences (2) and (3), smoke alarms required in Sentences 9.10.19.1.(1) and 9.10.19.3.(2) shall,

(a) be installed with permanent connections to an electrical circuit, (b) have no disconnect switch between the overcurrent device and the smoke alarm, and

(c) in case the regular power supply to the smoke alarm is interrupted, be provided with a battery as an alternative power source that can continue to provide power to the smoke alarm for a period of not less than 7 days in the normal condition, followed by 4 min of alarm.

9.10.19.1. Interconnection of Smoke Alarms (1) Where more than one smoke alarm is required in a dwelling unit, the smoke alarms shall be wired so that the activation of one alarm will cause all alarms within the dwelling unit to sound.

PART 11 (COMPLIANCE ALTERNATIVE):.

Smoke alarms may be battery operated.

CARBON MONOXIDE ALARMS SHALL COMPLY WITH OBC 9.33.4. AND PART 11 COMPLIANCE - C197 OF TABLE 11.5.1.1.C.

10. CARBON MONOXIDE ALARMS

9.33.4.1. Application (1) This Subsection applies to every building that,

(a) contains a residential occupancy, and

(b) contains a fuel-burning appliance or a storage garage. 9.33.4.1. Location of Carbon Monoxide Alarms

(1) Where a fuel-burning appliance is installed in a suite of residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the suite. (2) Where a fuel-burning appliance is installed in a service room that is not in a suite of residential occupancy, a carbon

(a) adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the service room, and (3) Where a storage garage is located in a building containing a residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the storage garage.

(4) Where a storage garage serves only the dwelling unit to which it is attached or built in, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the dwelling unit. (5) A carbon monoxide alarm shall be mechanically fixed,

(a) at the manufacturer's recommended height, or (b) in the absence of specific instructions, on or near the ceiling 9.33.4.1. Installation and Conformance to Standards

(1) The carbon monoxide alarm required by Article 9.33.4.2. shall, (a) except as permitted in Sentence (2), be permanently connected to an electrical circuit and shall have no disconnect switch between the overcurrent device and the carbon monoxide alarm.

(b) be wired so that its activation will activate all carbon monoxide alarms within the suite, where located within a suite of residential occupancy, (c) be equipped with an alarm that is audible within bedrooms when the intervening doors are closed, where located

adjacent to a sleeping area, and (d) conform to, (i) CAN/CSA-6.19, "Residential Carbon Monoxide Alarming Devices", or

(ii) UL 2034, "Single and Multiple Station Carbon Monoxide Alarms". (2) Where the building is not supplied with electrical power, carbon monoxide alarms are permitted to be battery operated.

PART 11 (COMPLIANCE ALTERNATIVE):.

Carbon monoxide alarms may be battery operated or plugged into an electrical outlet.

10. FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES

FIRE-RESISTANCE RATINGS FOR WALLS, COLUMNS AND ARCHES SHALL COMPLY WITH OBC 9.10.8.3 AND PART 11 COMPLIANCE - C147 OF TABLE 11.5.1.1.C.

PART 9:

(1) Except as otherwise provided in this Subsection, all load bearing walls, columns and arches in the storey immediately below a floor or roof assembly shall have a fire-resistance rating of not less than that required for the supported floor or roof assembly.

PART 11 (COMPLIANCE ALTERNATIVE):. (a) Except as provided in (b) and (c), 30 min rating is acceptable.

(b) In a house, 15 min horizontal fire separation is acceptable where,

(i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and (ii) smoke alarms are interconnected. (c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

11. SEPARATION OF SERVICE ROOMS

SEPARATION OF SERVICE ROOMS SHALL COMPLY WITH OBC 9.10.10.4

(3) Sentence (1) does not apply to fireplaces and cooking appliances.

9.10.10.1. Appliances and Equipment to be Located in a Service Room (1) Except as provided in Sentences (2) and (3) and Article 9.10.10.5., fuel-fired appliances shall be located in a service room separated from the remainder of the building by a fire separation having not less than a 1 h fire-resistance rating. (2) Except as required in the appliance installation standards referenced in Sentences 6.2.1.4.(1) and 9.33.1.2.(1), fuel fired spaceheating appliances, space-cooling appliances and service water heaters need not be separated from the remainder of the building as required in Sentence (1) where the equipment serves,

(a) not more than one room or suite,

(b) a house, or (c) a building, other than a house, with a building area of not more than 400 m² and a building height of not more than 2 9. SEPARATION OF RESIDENTIAL SUITES

SEPARATION OF RESIDENTIAL SUITES SHALL COMPLY WITH OBC 9.10.9.14 AND PART 11 COMPLIANCE - C152 OF TABLE 11.5.1.1.C.

PART 9:

(1) Except as provided in Sentences (2) and (3) and Article 9.10.21.2., suites in residential occupancies shall be separated from adjacent rooms and suites by a fire separation having a fire-resistance rating of not less than 45 min. (2) Sleeping rooms in boarding, lodging or rooming houses where sleeping accommodation is provided for not more than 8 boarders or lodgers shall be separated from the remainder of the floor area by a fire separation having a fire-resistance rating of not less than 30 min where the sleeping rooms form part of the proprietor's residence and do not contain cooking

(3) Except as provided in Sentences (4) and (5), dwelling units that contain 2 or more storeys including basements shall be separated from the remainder of the building by a fire separation having a fire-resistance rating of not less than 1 h. (4) Except as provided in Sentence (5), dwelling units in a house shall be separated from each other and common areas by a fire separation having a fire-resistance rating of not less than 45 min. (5) The fire-resistance rating of the fire separation required in Sentence (4) is permitted to be waived where the house is

PART 11 (COMPLIANCE ALTERNATIVE):

(a) Except as provided in (b) and (c), 30 min fire separation is acceptable.

(b) In a house, 15 min horizontal fire separation is acceptable where, (i) smoke alarms are installed in every dwelling unit and in common areas in conformance with Subsection 9.10.19., and

(ii) smoke alarms are interconnected. (c) In a house, the fire-resistance rating of the fire separation is waived where the building is sprinklered.

CLOSURES SHALL COMPLY WITH OBC 9.10.13.1 AND PART 11 COMPLIANCE - C155 OF TABLE 11.5.1.1.C.

sprinklered.

(1) Except as provided in Article 9.10.13.2., openings in required fire separations shall be protected with a closure conforming to Table 9.10.13.1. and shall be installed in conformance with NFPA 80, · Fire Doors and Other Opening Protectives , unless otherwise specified in this Part.

PART 11 (COMPLIANCE ALTERNATIVE):

Existing functional closures are acceptable subject to C.A.'s C8 and C156.

(a) Existing functional and sound doors in existing buildings that are either hollow metal or kalamein and containing wired glass at least 6 mm thick and conforming to Sentence 3.1.8.14.(2) are permitted in lieu of doors not required to exceed 45 (b) all existing functional and sound hollow metal or kalamein doors which carry existing 1.5 h labels are acceptable in lieu of current 1.5 h labels and may contain wired glass panels not exceeding 0.0645 m², at least 6 mm thick and conforming to (c) every fire door, window assembly or glass block used as a closure in a required fire separation shall be installed in conformance with good engineering practice. In a house, existing unlabelled doors at least 45 mm solid core wood or metal

11. LAUNDRY FIXTURES

LAUNDRY FIXTURES SHALL COMPLY WITH OBC 9.31.4.2.

occupancy ventilated by natural means shall conform to Table 9.32.2.1.

(1) Laundry facilities or a space for laundry facilities shall be provided in every dwelling unit or grouped elsewhere in the building in a location conveniently accessible to occupants of every dwelling unit.

clad are acceptable. For existing closures, ratings of 20 min will not be required where the entire floor area is sprinklered.

NATURAL VENTILATION SHALL COMPLY WITH OBC 9.32.2.1 AND PART 11 COMPLIANCE - C194 OF TABLE

11.5.1.1.C.

PART 6:

(1) The unobstructed openable ventilation area to the outdoors for rooms and spaces in a residential

PART 11 (COMPLIANCE ALTERNATIVE): In a house, rooms or spaces to be ventilated by natural means in accordance with Subsection 9.32.2. or by providing adequate mechanical ventilation.

13. ELECTRICAL FACILITIES ELECTRICAL FACILITIES SHALL COMPLY WITH OBC 9.34.

14. INTERCONNECTION OF SYSTEMS INTERCONNECTION OF SYSTEMS SHALL COMPLY WITH OBC 6.2.3.9 AND PART 11 COMPLIANCE - C91 OF TABLE 11.5.1.1.C.

(1) In a residential occupancy, air from one suite shall not be circulated to any other suite or to a public corridor or public

PART 11 (COMPLIANCE ALTERNATIVE): In a building containing not more than four dwelling units or residential suites, the existing heating or air-conditioning system may be altered to serve more than one dwelling unit or suite, provided smoke alarms are installed in each dwelling unit or suite and provided a smoke detector is installed in the supply or return air duct system serving the entire building

15. PENETRATIONS PIPING, TUBING, DUCTS, CHIMNEYS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A FIRE SEPARATION MUST BE NON COMBUSTIBLE AND FIRE STOPPED.

which would turn off the fuel supply and electrical power to the heating system upon activation of such detector.

ALL PLUMBING MUST CONFORM TO O.REG.332/12, DIV. B PART 7 OF THE BUILDING CODE

17. HANDRAILS AND GUARDRAILS INSTALL HANDRAILS AND GUARDRAILS IN ACCORDANCE WITH 9.8.7. AND 9.8.8 OF THE BUILDING CODE RESPECTIVELY LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICE ARE OWNED AND OPERATED BY KING HOMES INC.

CITY ELECTRONIC STAMP

LEAD DESIGNER & CONSULTANT:

OFFICE ADDRESS: 979 MAIN ST. E, HAMILTON ,ON The undersigned has reviewed and takes the responsibility for this out in the Ontario Building Code to be a designer.

> REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC.

QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building cod

1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"

- 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
- 3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR
- LINERS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITION OCCURING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER

ADJACENT STRUCTURES AFFECTED BY THIS WORK.

6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE. 7 ALL DRAWINGS SPECIFICATIONS RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO

RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER

9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFFTY REQUIREMENTS ON SITE. GENERAL DESCRIPTION:

NORTH POSITION:

ENGINEER'S STAMP: RAJKARNIKAR 100073532 2024-12-19 NCE OF

754 CANNON ST E, HAMILTON - CONVERTED

DWELLING UNIT

PROJECT NAME/ADDRESS:

SHEET NO.

CONSTRUCTION NOTES PROJECT NO. 12/19/24 SCALE: DRAWN BY: **REVIEWED BY:** DANILO MARTINELLI KEN BEKENDAM

ITE INFORMATION & STATISTICS		
DDRESS:	754 CANNON ST E, HAMILTON, ON	
ONING TYPE:	R1a	
OT AREA:	1800.00 SQ FT (167.22 m ²)	

LOT FRONTAGE: 20' - 00" (6.10 m)

GENERAL NOTES:

- 1. ALL CONSTRUCTION TO COMPLY WITH THE REVISED ONTARIO BUILDING CODE 2012.
- 2. ALL DIMENSIONS ARE MEASURED TO ROUGH FRAMING OR TO MASONRY SURFACES UNLESS OTHERWISE NOTED.
- ALL DOORS AND WINDOW OPENINGS ARE MEASURED TO ROUGH FRAMING OR MASONRY OPENINGS.
- 4. CONTRACTOR IS TO VERIFY WINDOW OPENINGS WITH WINDOW MANUFACTURER PRIOR TO COMMENCING WORK.
- 5. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.

ELEVATION REFERENCES ARE BASED ON 100'-0" = 131.70m GEODETIC ELEVATIONS AS NOTED ON A1 SITE PLAN.

- 7. ALL DIMENSIONS MUST BE CHECKED AGAINST THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS BEFORE COMMENCING FABRICATION. AND INCONSISTENCIES ARE TO BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- 8. THE CONTRACTOR SHALL PROPERLY SUPERVISE THE WORK AND ENSURE THAT THE WORK IS INSTALLED TO THE CORRECT LINES AND LEVELS, THAT THE CONNECTIONS AND DETAILS CONFIRM TO THE DRAWING DETAILS AND SHALL COORDINATE THE INTERFACING OF ALL WORK WITH ALL SUB-TRADES.
- 9. PROVIDE POSITIVE FRONT YARD SLOPE TO MUNICIPAL SEWER FOR WATER RUN-OFF.
- 10. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCING NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT.
- 11. REFER TO LANDSCAPING PLAN FOR PLANTING CONFIRM LAYOUT WITH LANDSCAPE CONTRACTOR
- 12. DESIGNER NOT RESPONSIBLE FOR ACCURACY OF SURVEY DRAWING.

EXISTING STRUCTURE NOTE:

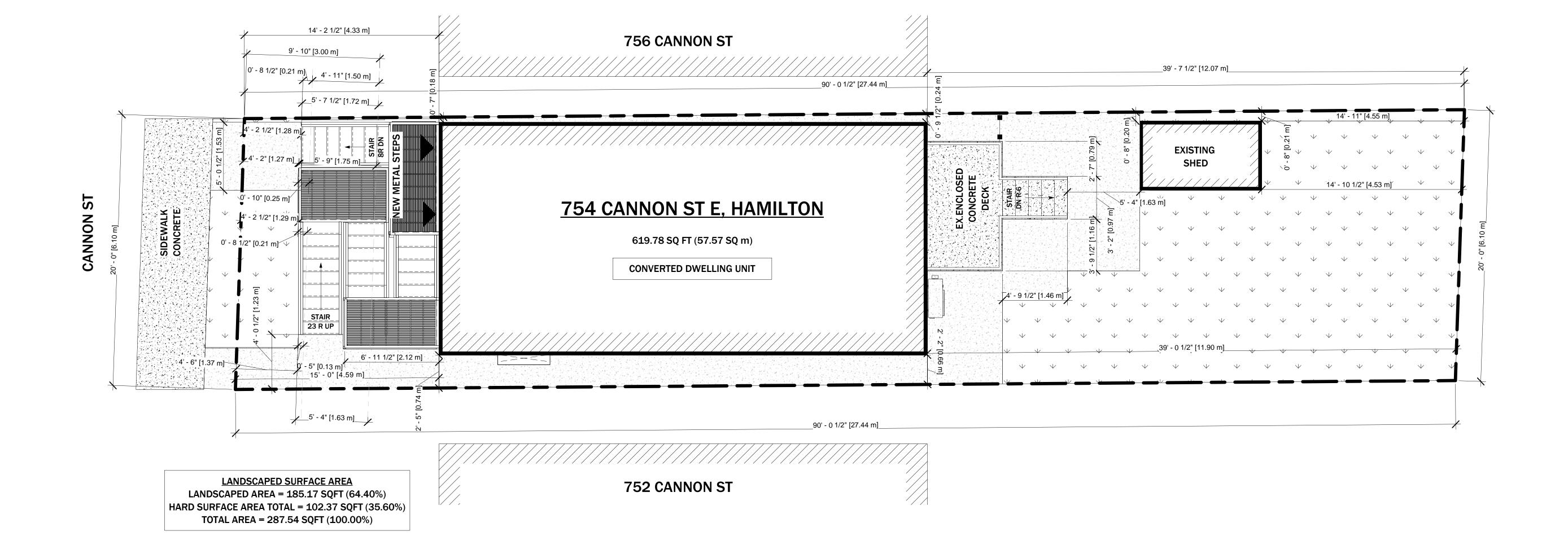
OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO ANY WORK, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO ANY WORK, OWNER AND CONTRACTOR IS FULLY RESPONSIBLE FOR SHORING EXISTING STRUCTURE PRIOR TO ANY WORK.

BUILDING CODE COMPLIANCE NOTE:

THESE DRAWINGS DO NOT REPRESENT A COMPREHENSIVE AND EXHAUSTIVE GUIDE FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE. IT IS ASSUMED THAT THE CONTRACTOR HAS REASONABLY SUFFICIENT KNOWLEDGE OF THE ONTARIO BUILDING CODE IN ORDER TO PERFORM ALL WORK AS PER THESE DRAWINGS IN SUCH A WAY THAT WILL COMPLY WITH ALL ASPECTS OF THE O.B.C. AND WILL NOT CONTRAVENE ANY OTHER APPLICABLE LAWS.

SITE PLAN:

BASED ON <u>HAMILTON</u> SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF <u>HAMILTON</u> MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES.





CITY ELECTRONIC STAMP:

ARE OWNED AND OPERATED BY KING HOMES INC

LEAD DESIGNER & CONSULTANT: CELL PHONE:

kenbekendam@gmail.com

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON
855 - 546 - 44

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building cod

Name Signature BCIN

REGISTRATION INFORMATION
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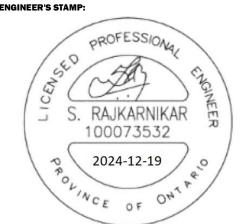
KING HOMES INC. 121307
Name BCIN

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 AND SAFETY REQUIREMENTS ON SITE.

NO.	DATE:	GENERAL DESCRIPTION:	INITIAI
01			
02			
03			
04			
NOR	TH POSITION:	•	•





PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED
DWELLING UNIT

SITE PLAN

SHEET NAME:

PROJECT NO.

23-46

DATE:

12/19/24

SCALE:

1/4" = 1'-0"

PRAWN BY:

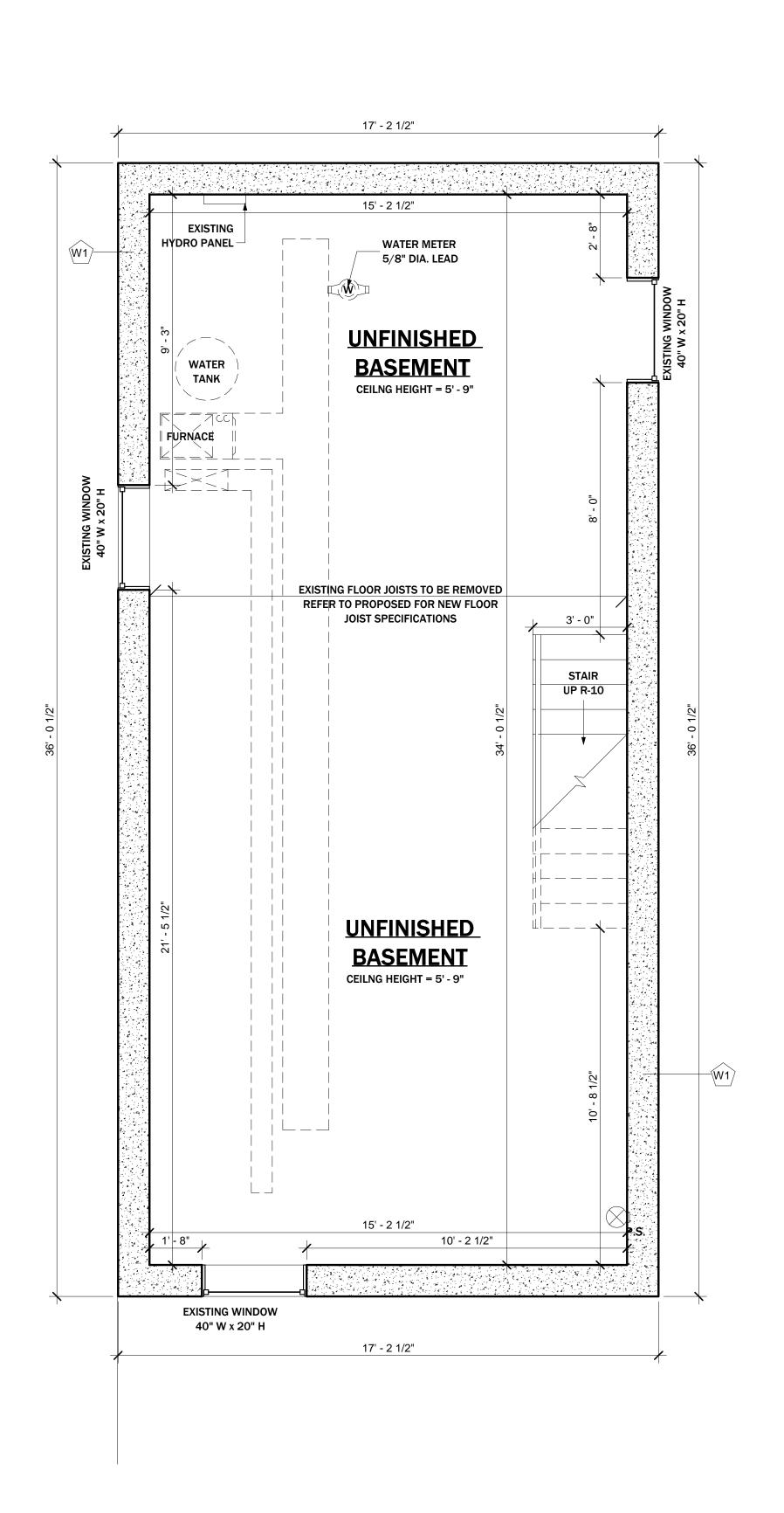
REVIEWED BY:

DANII O MARTINELLI

KEN BEKENDAM

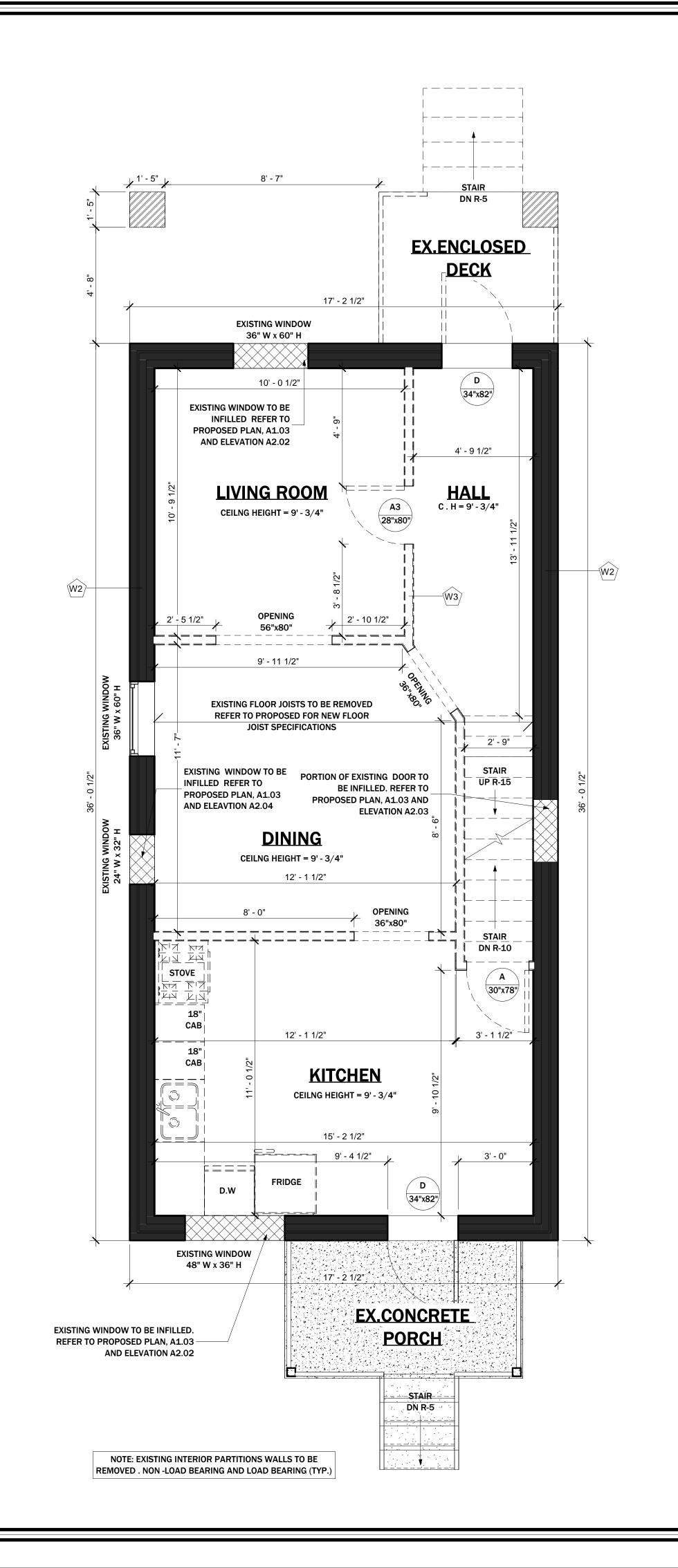
SHEET NO.

SP1.01



1 EXISTING BASEMENT

⁷ 3/8" = 1'-0"



KING
HOMESTICE

legal
second
suites.com

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES

CITY ELECTRONIC STAMP:

ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CELL PHONE:

KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647

 KEN BEKENDAM, B.A BUSCOM, L.T.
 905 - 961 - 064

 kenbekendam@gmail.com
 905 - 961 - 064

 OFFICE ADDRESS:

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 855 - 546 - 446

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5. USE LASTEST REVISED DRAWINGS.

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NO.	DATE:	GENERAL DESCRIPTION:	INITIALS
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02			
03			
04			
NORTH POSITION.			

NORTH POSITION:



ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

EXISTING FLOOR PLANS

 PROJECT NO.
 DATE:

 23-46
 12/19/24

 SCALE:
 REVISION:

 3/8" = 1'-0"
 REVIEWED BY:

 DANILO MARTINELLI
 KEN BEKENDAM

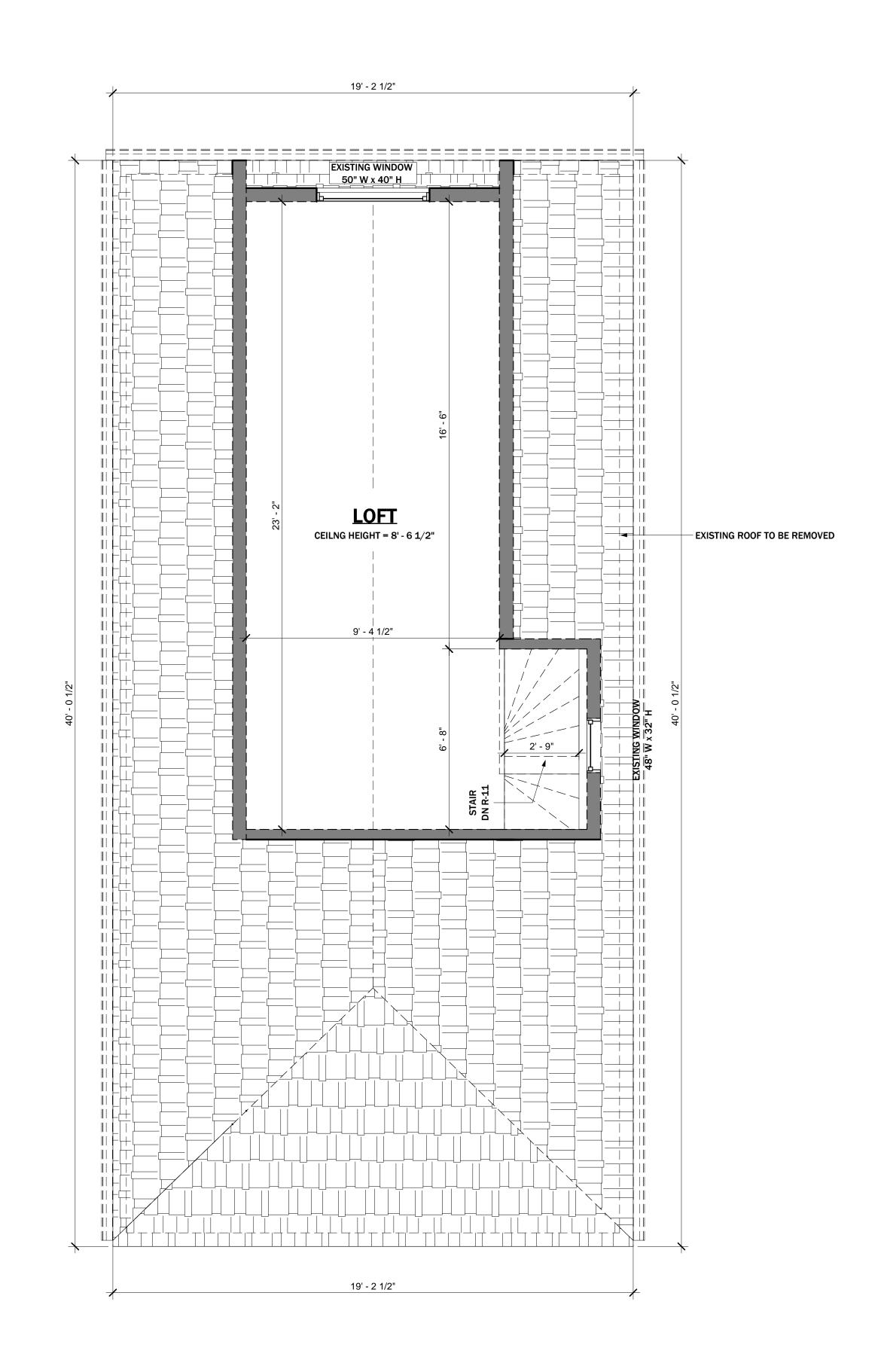
SHEET NO.

A1.01

2 EXISTING 1ST FLOOR 3/8" = 1'-0"

NOTE: EXISTING INTERIOR PARTITIONS WALLS TO BE REMOVED . NON -LOAD BEARING AND LOAD BEARING (TYP.)

AND ELEVATION A2.02





CITY ELECTRONIC STAMP:

LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 064 **OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC.

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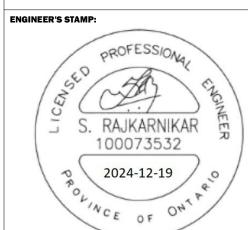
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NO. DATE: GENERAL DESCRIPTION: INITIALS:

CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NOR	TH POSITION:	
04		
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02		
01		



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED **DWELLING UNIT**

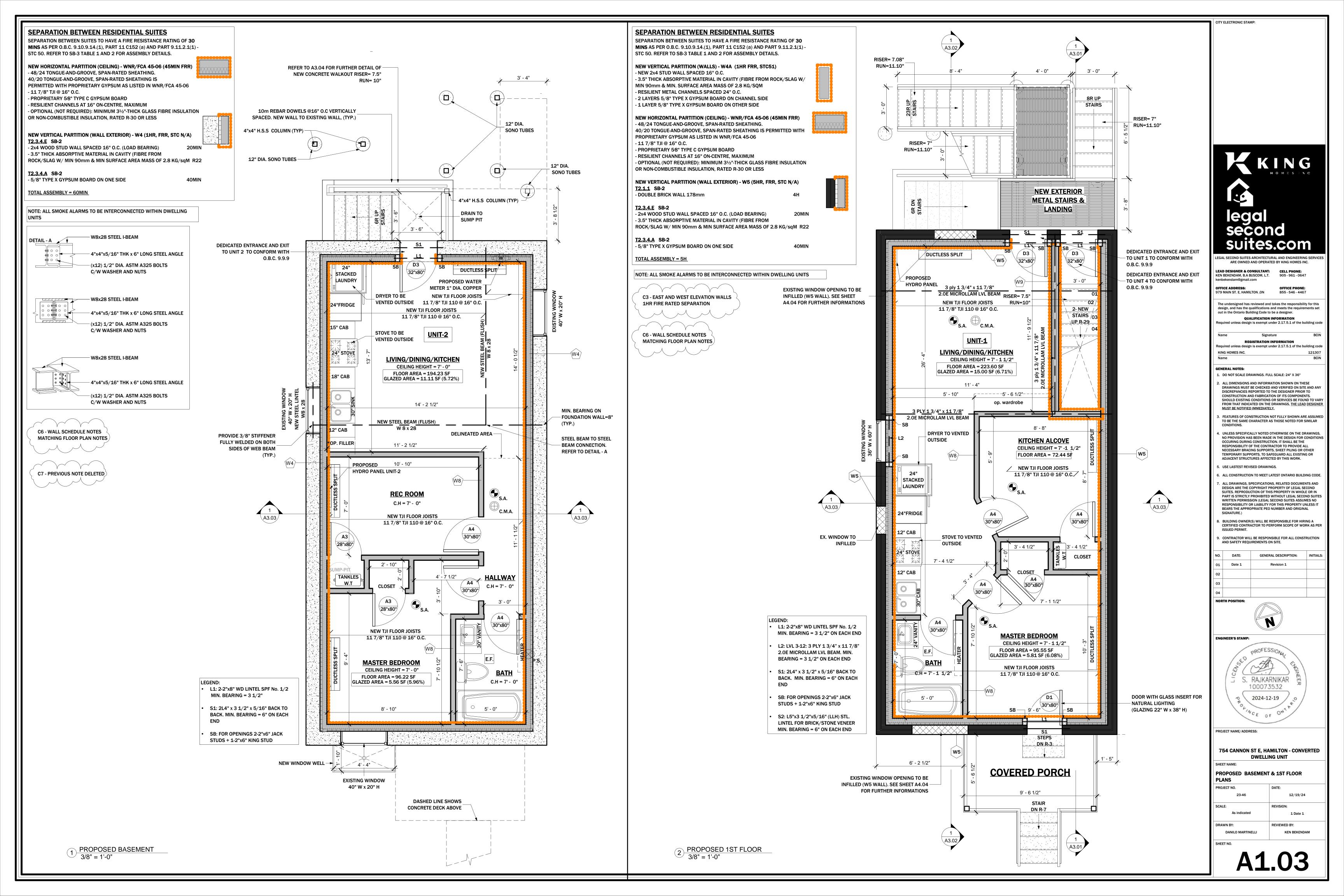
EXISTING FLOOR PLANS

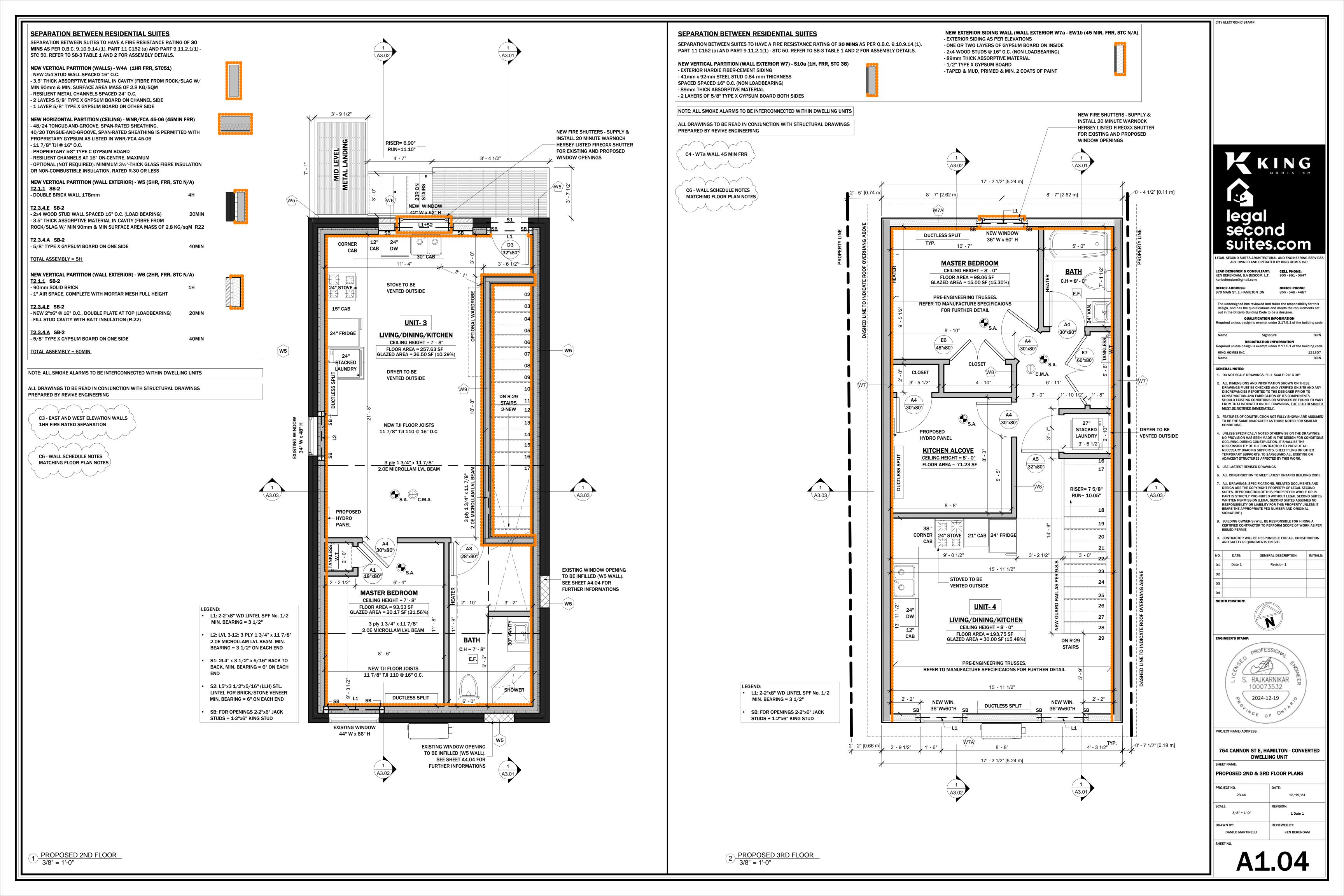
PROJECT NO.

23-46	12/19/24
SCALE:	REVISION:
3/8" = 1'-0"	
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

DATE:

2 EXISTING 3RD FLOOR 3/8" = 1'-0"





SLOPED ROOF

30 YEAR ASPHALT SHINGLES ON, 1/2" PLYWOOD SHEATING (WITH "H" CLIPS) ROOF RAFTERS OR

TRUSSES AS SPECIFIED ON DWGS.
PROVIDE ICE AND WATER SHIELD EAVES PROTECTION TO EXTEND 42" MIN. BEYOND THE INTERIOR FACE
OF THE EXTERIOR WALL. MIN 3" LAP AND 6" END LAP AS PER O.B.C. 9.26.5 METAL EAVESTROUGH ON

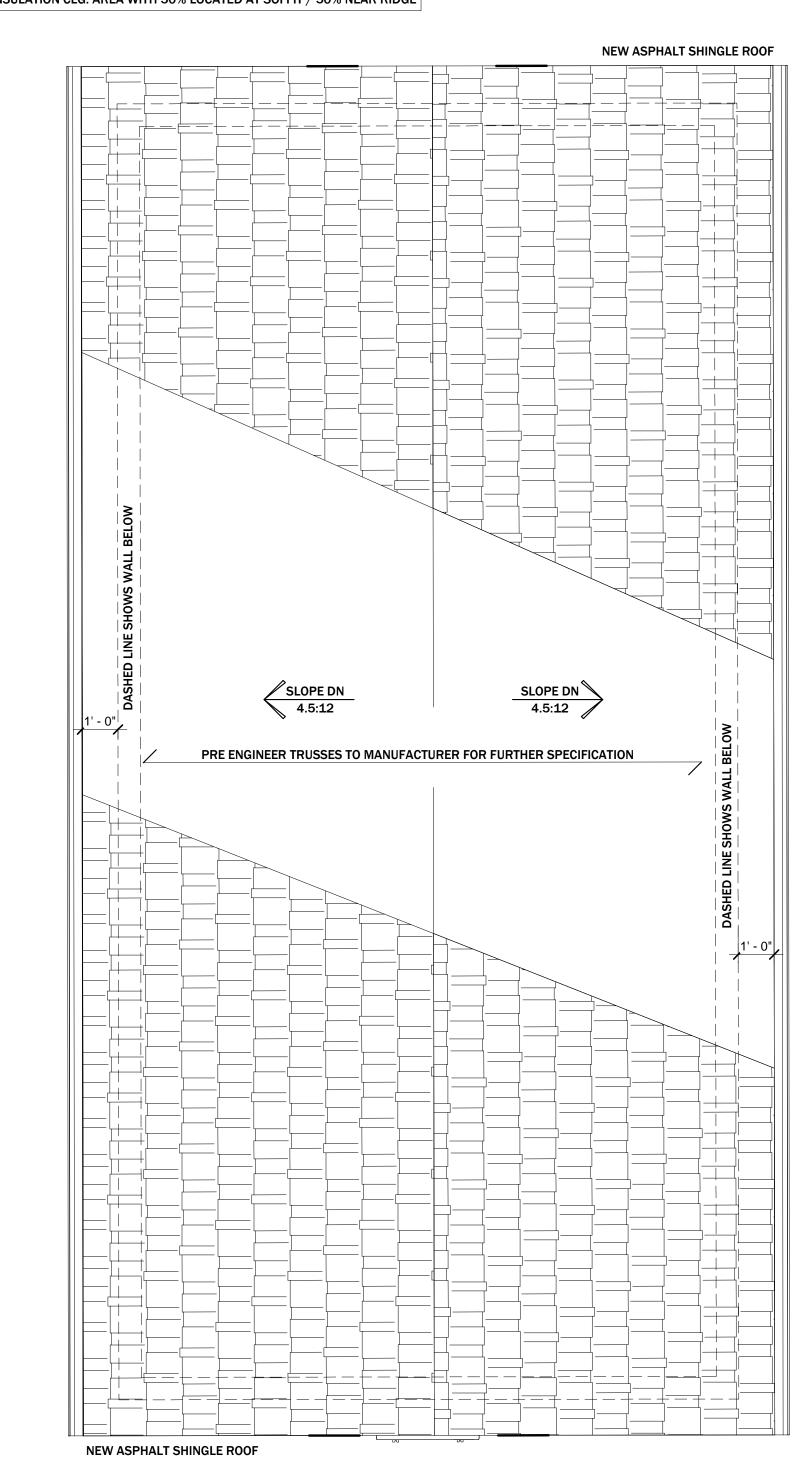
WOOD FASCIA 2" X 6" CEILING JOISTS @ 16" O.C.
R50 BATT INSULATION WITH BAFFLE AS REQUIRED FOR VENTILATION. 6MIL POLY VAPOUR BARRIER, LAP
AND SEAL ALL JOINTS. 1/2" GYPSUM BOARD CEILING, TAPED, SANDED PRIMED AND PAINTED MIN 2
COATS.

NOTE: CONTRACTOR TO PROVIDE ADEQUATE VENTILATION. MINIMUM VENT AREA 1SQFT VENT AREA FOR EVERY 300SQFT OF INSULATED CEILING AREA WITH MIN 50% AT EAVES. VENTS NOT TO BE PLACED ON FRONT ELEVATION. COLOUR OF VENTS TO MATCH ROOFING MATERIALS

*REFER TO ENGINEERED ROOF TRUSS DRAWINGS

TRUSS DRAWINGS TO BE APPROVED BY INSTALLER AND GENRAL CONTRACTOR PRIOR TO FABRICATION

VENTILATE ATTIC AT 1/300 OF INSULATION CLG. AREA WITH 50% LOCATED AT SOFFIT / 50% NEAR RIDGE



 $2 \frac{\text{ROOF PLAN}}{3/8" = 1'-0"}$

KING
HOMES INC

legal
second
suites.com

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES

CITY ELECTRONIC STAMP:

ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON

CELL PHONE:
905 - 961 - 064

OFFICE PHONE
855 - 546 - 446

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QUALIFICATION INFORMATION

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Name Signature BCIN

REGISTRATION INFORMATION

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KING HOMES INC. 121307

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NO.	DATE:	GENERAL DESCRIPTION:	INITIAL
01			
02			
03			
04			

NORTH POSITION:



ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

WATER PROOFING & ROOF PLAN

23-46

SCALE:

3/8" = 1'-0"

DRAWN BY:

DANILO MARTINELLI

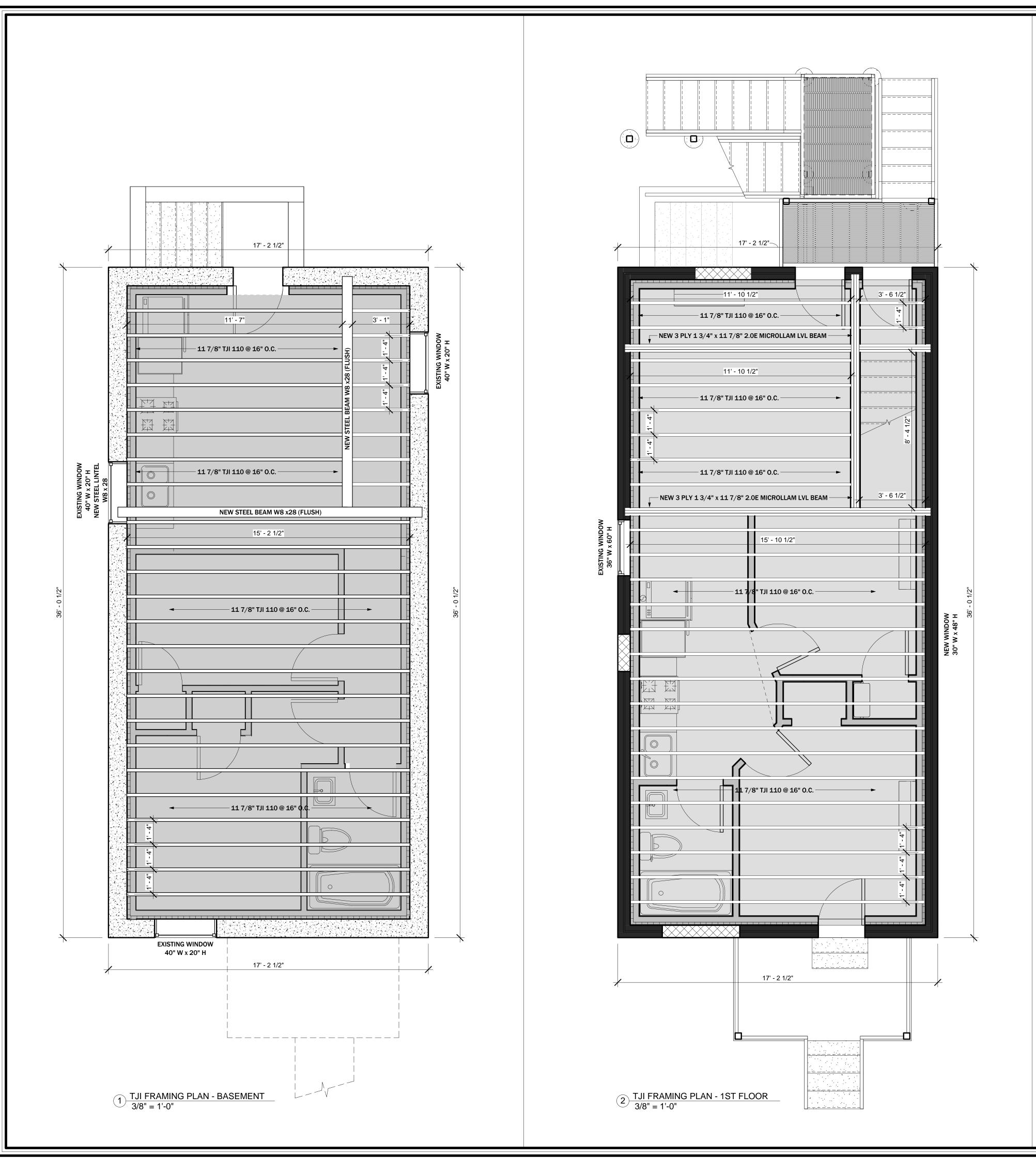
REVIEWED BY:

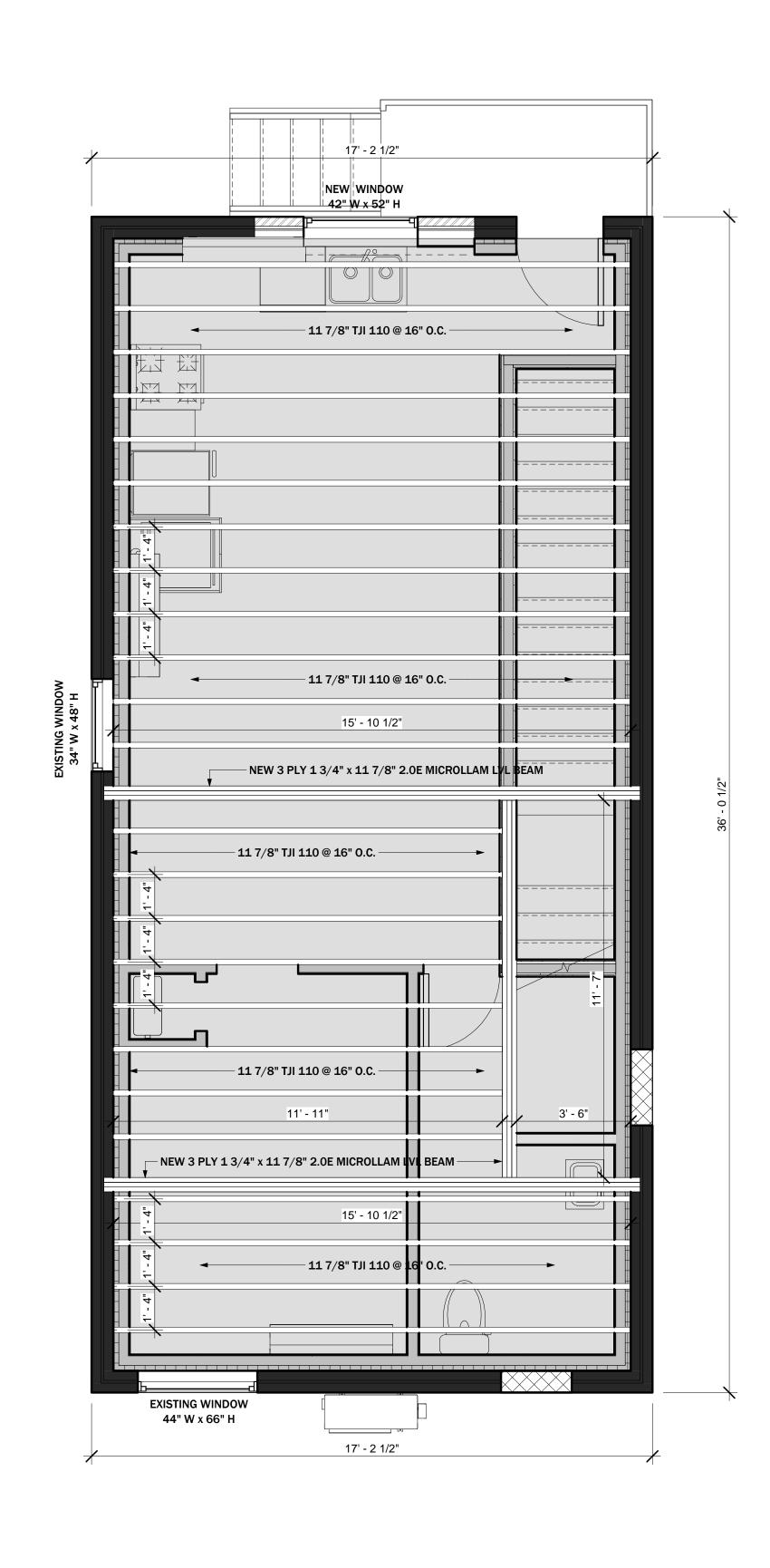
KEN BEKENDAM

SHEET NO.

PROJECT NO.

A1.05





3 TJI FRAMING PLAN - 2ND FLOOR 3/8" = 1'-0"



CITY ELECTRONIC STAMP:

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES
ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CFI I PHONE:

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON

CELL PHONE:
905 - 961 - 0647

OFFICE PHONE:
855 - 546 - 4467

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KING HOMES INC.

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NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
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PROJECT NAME/ADDRESS:

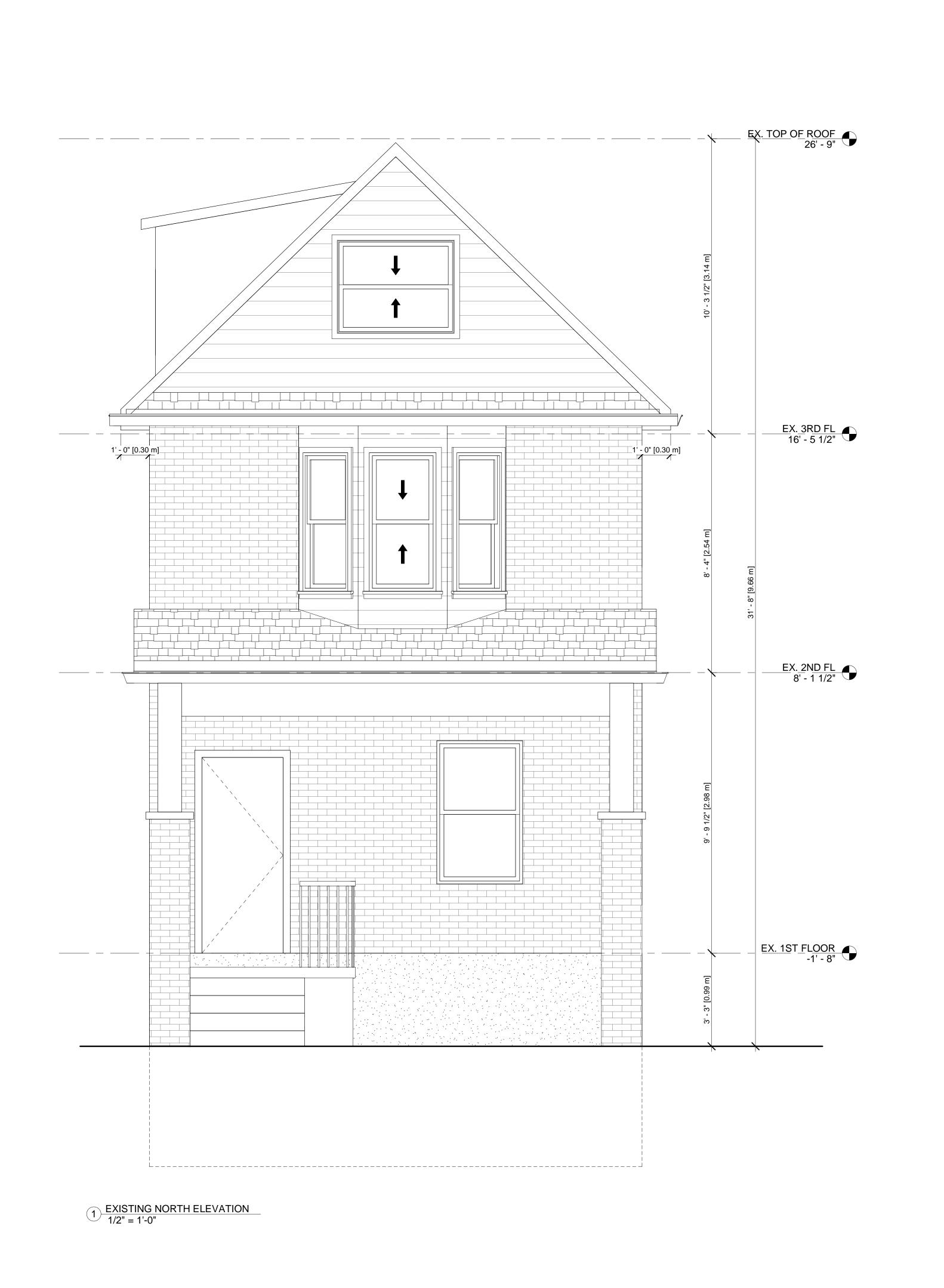
754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

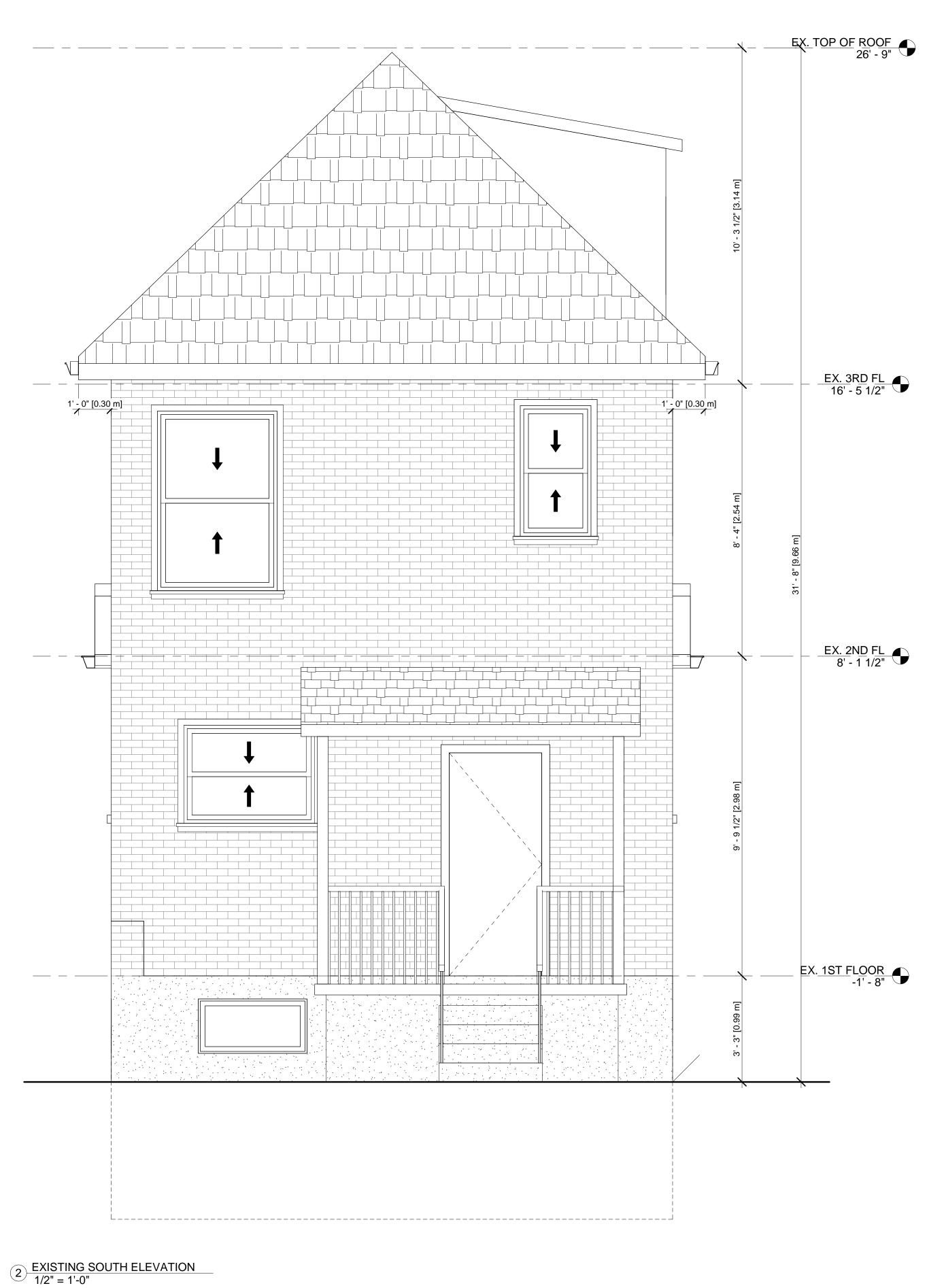
SHEET NAME:

TJI FRAMING PLANS

PROJECT NO.	DATE:
23-46	12/19/24
SCALE:	REVISION:
3/8" = 1'-0"	
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

A1.06







LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647
kenbekendam@gmail.com **OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

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THE STATE OF THE TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

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7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL

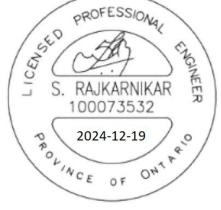
BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER

9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

01				
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NORTH POSITION:				

NO. DATE: GENERAL DESCRIPTION: INITIALS:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED **DWELLING UNIT**

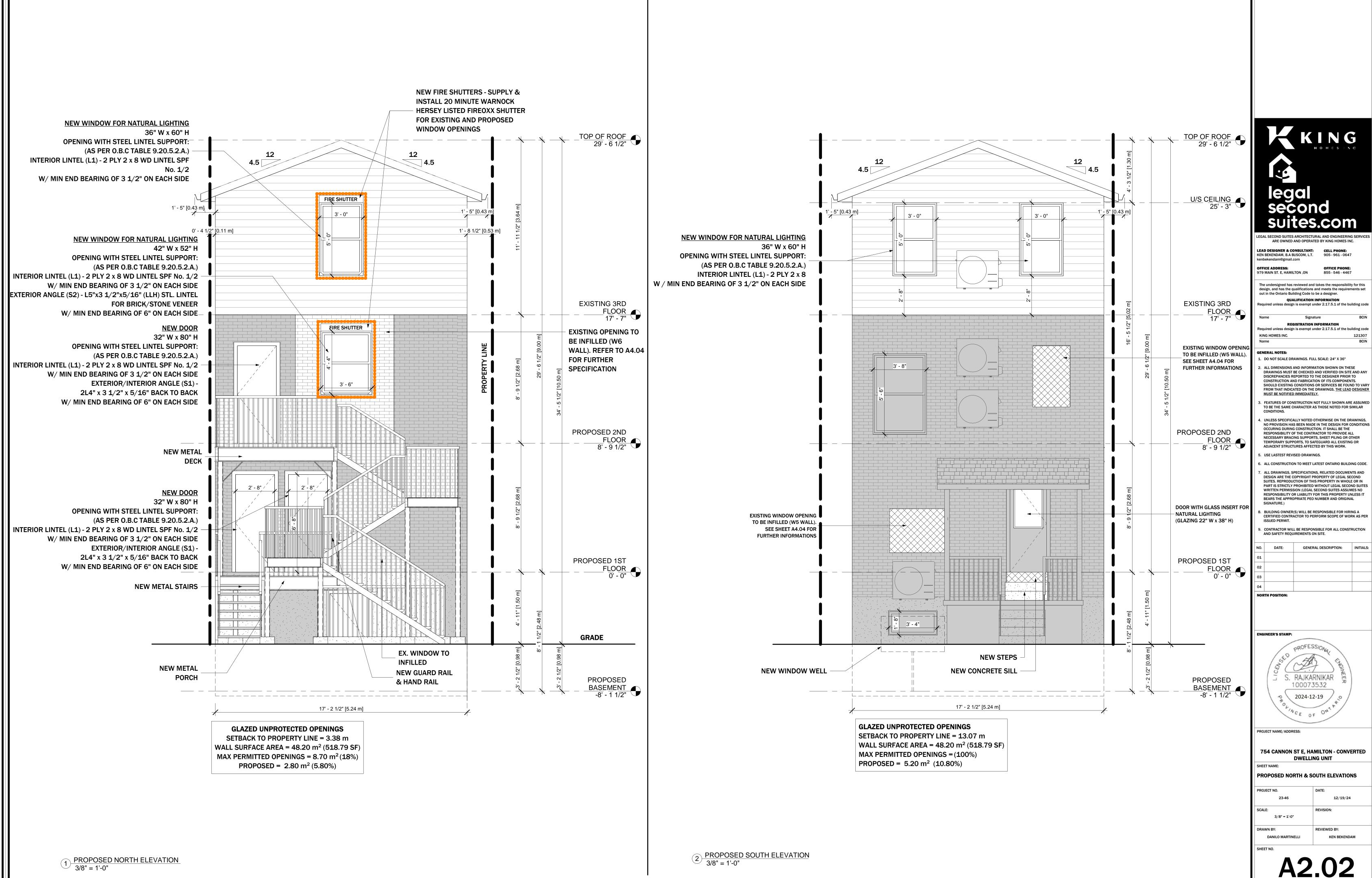
EXISTING ELEVATIONS

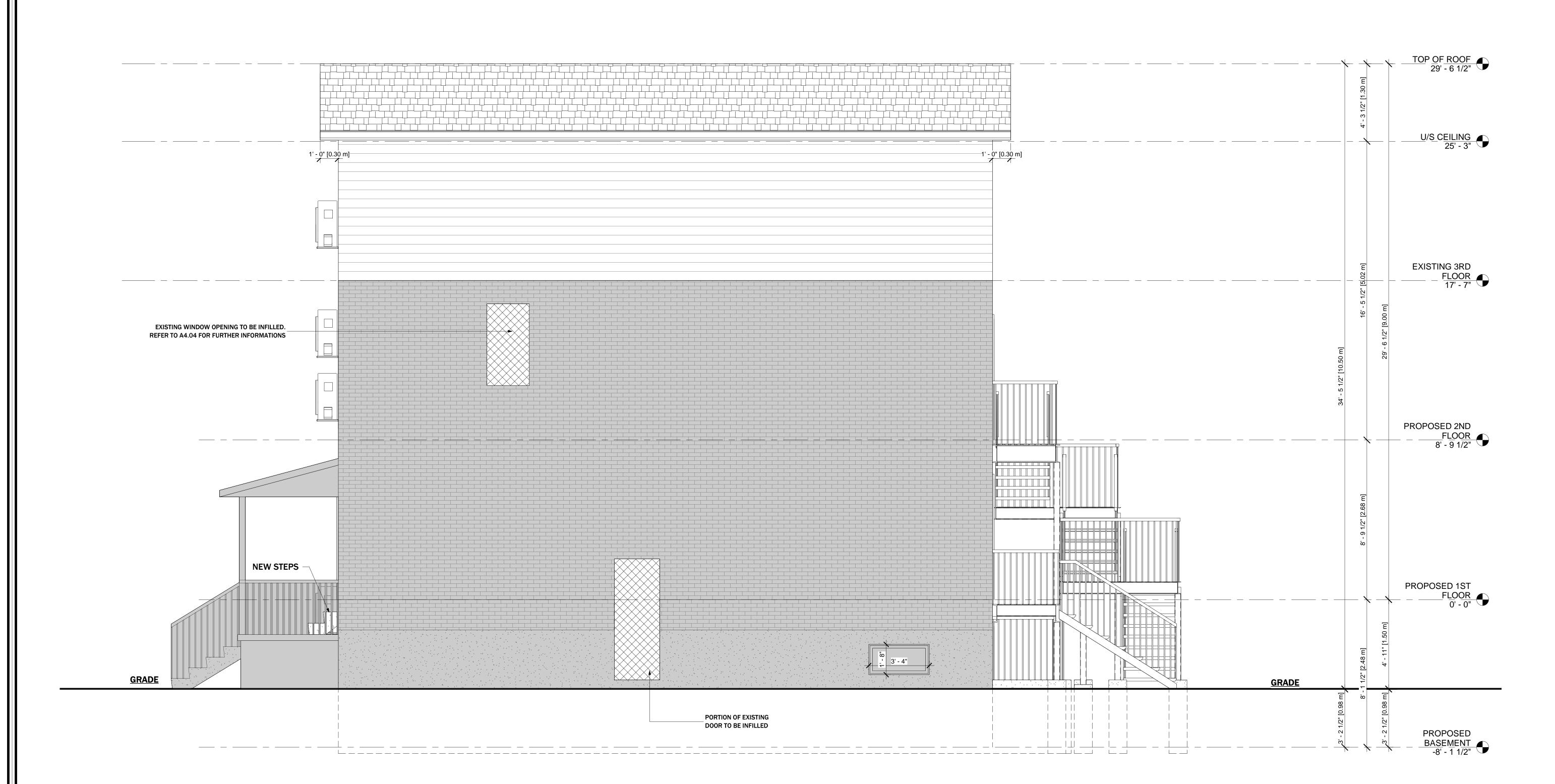
PROJECT NO.	DATE:
23-46	12/19/24
SCALE:	REVISION:
1/2" = 1'-0"	

SHEET NO.

DRAWN BY:

REVIEWED BY:







LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647

kenbekendam@gmail.com

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON

855 - 54

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

Name Signature BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307

Name BCIN

GENERAL NOTES:

DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY

FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS,
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TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR

ADJACENT STRUCTURES AFFECTED BY THIS WORK.

5. USE LASTEST REVISED DRAWINGS.

ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

ALL DRAWINGS SPECIFICATIONS RELATED DOCUMENTS AND

7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL SIGNATURE)

B. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER ISSUED PERMIT.

CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

NO. DATE: GENERAL DESCRIPTION: INITIALS:

04 NORTH POSITION:



PROJECT NAME/ADDRESS:

PROJECT NO.

754 CANNON ST E, HAMILTON - CONVERTED

DWELLING UNIT

SHEET NAME:

PROPOSED EAST ELEVATION

23-46 12/19/24

SCALE: REVISION:

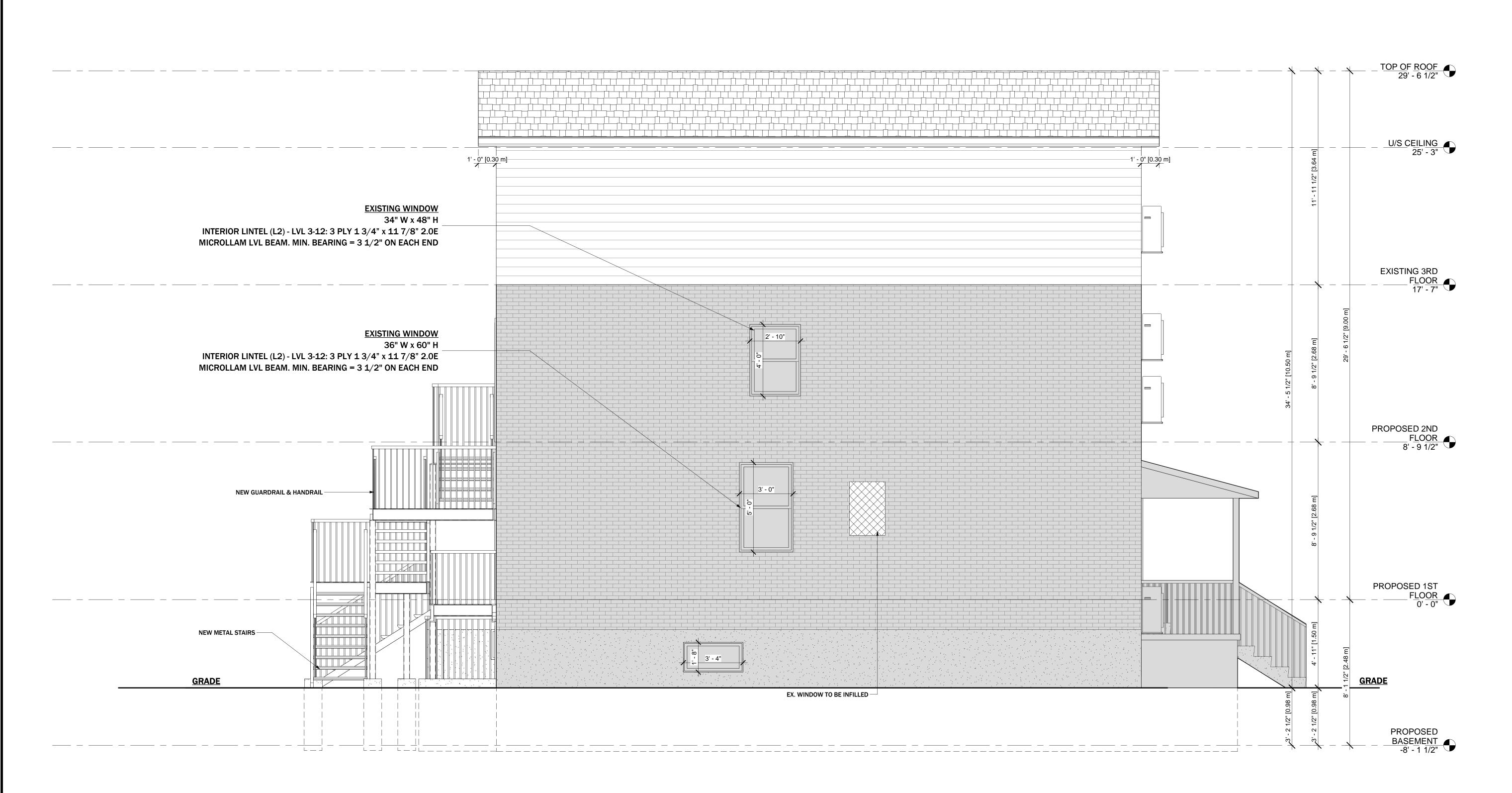
3/8" = 1'-0"

DRAWN BY: REVIEWED BY:

DANILO MARTINELLI KEN BEKENDAM

SHEET NO.

A2.03





ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CELL PHONE:

KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647

kenbekendam@gmail.com

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON
855 - 546 - 4467

The undersigned has reviewed and takes the responsibility

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

Name Signature BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307

GENERAL NOTES:

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MUST BE NOTIFIED IMMEDIATELY.

3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

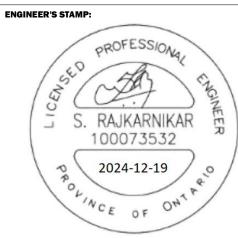
FROM THAT INDICATED ON THE DRAWINGS, <u>THE LEAD DESIGNER</u>

- 4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.
- 5. USE LASTEST REVISED DRAWINGS.

 ${\bf 6.} \ \ {\bf ALL\ CONSTRUCTION\ TO\ MEET\ LATEST\ ONTARIO\ BUILDING\ CODE. }$

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PROJECT NAME/ADDRESS:

PROJECT NO.

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:
PROPOSED WEST ELEVATION

23-46

SCALE:

3/8" = 1'-0"

DRAWN BY:

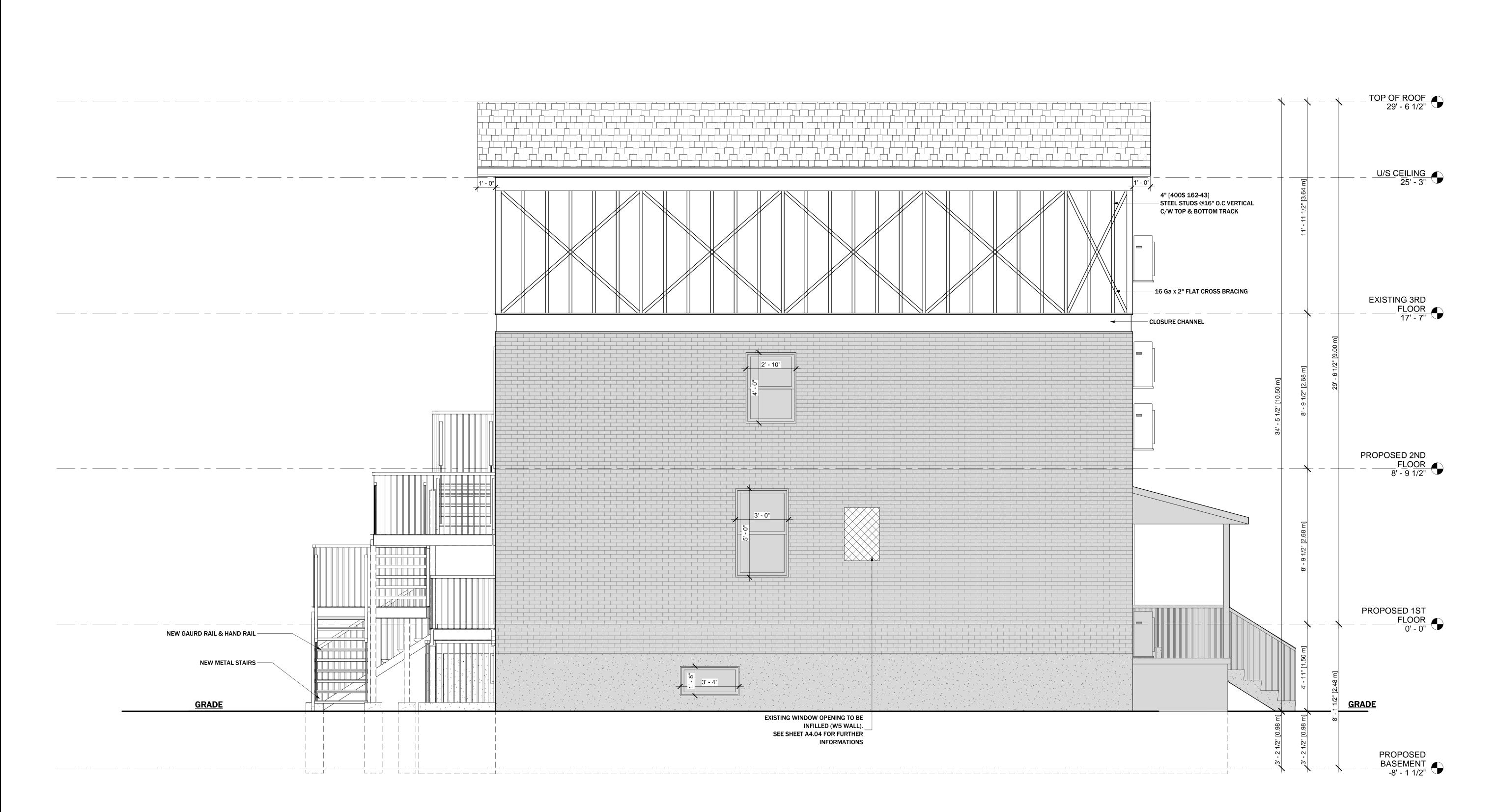
DANILO MARTINELLI

REVIEWED BY:

KEN BEKENDAM

SHEET NO.

A2.04





ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON

CELL PHONE:
905 - 961 - 0647

OFFICE PHONE:
855 - 546 - 4467

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

Name Signature BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307

Name BCIN

GENERAL NOTES:

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ı	NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
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ı	04			

NORTH POSITION:

S. RAJKARNIKAR 100073532

PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

EAST ELEVATION FRAMING

 PROJECT NO.
 DATE:

 23-46
 12/19/24

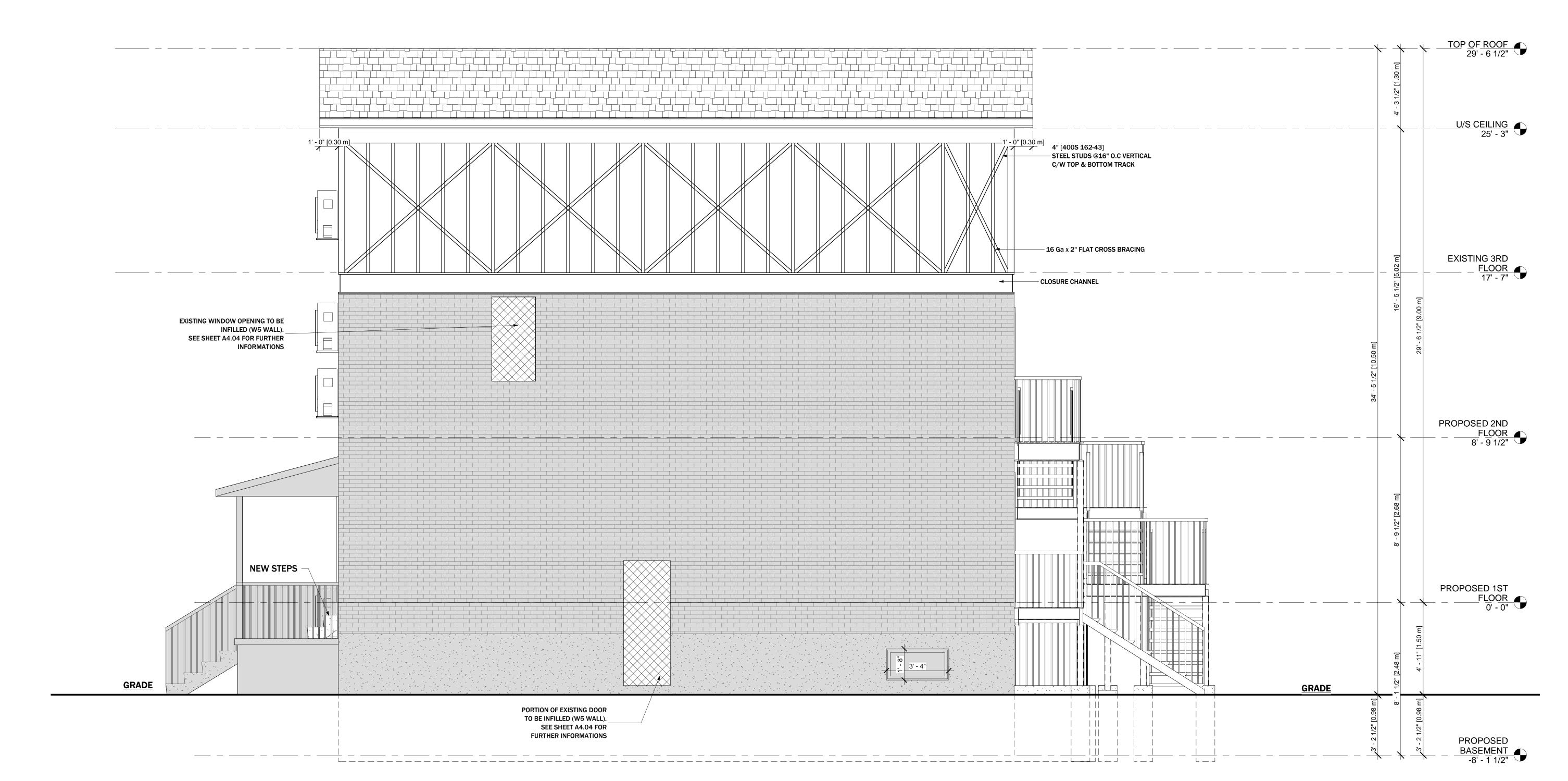
 SCALE:
 REVISION:

 3/8" = 1'-0"
 REVIEWED BY:

 DRAWN BY:
 KEN BEKENDAM

SHEET NO.

A2.05





ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A BUSCOM, L.T.

CELL PHONE:
905 - 961 - 0647

kenbekendam@gmail.com

OFFICE ADDRESS: OFFICE P

979 MAIN ST. E, HAMILTON ,ON 855 - 546

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

Name Signature BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307

Name BCIN

GENERAL NOTES:

DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"
 ALL DIMENSIONS AND INFORMATION SHOWN ON THESE

DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

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USE LASTEST REVISED DRAWINGS.

ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

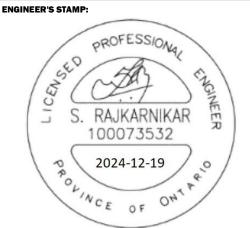
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NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:		
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02					
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04					
NORTH POSITION:					



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED

DWELLING UNIT

WEST ELEVATION FRAMING
PROJECT NO. DATE:

23-46 12/19/24

SCALE: REVISION:

3/8" = 1'-0"

DRAWN BY: REVIEWED BY:

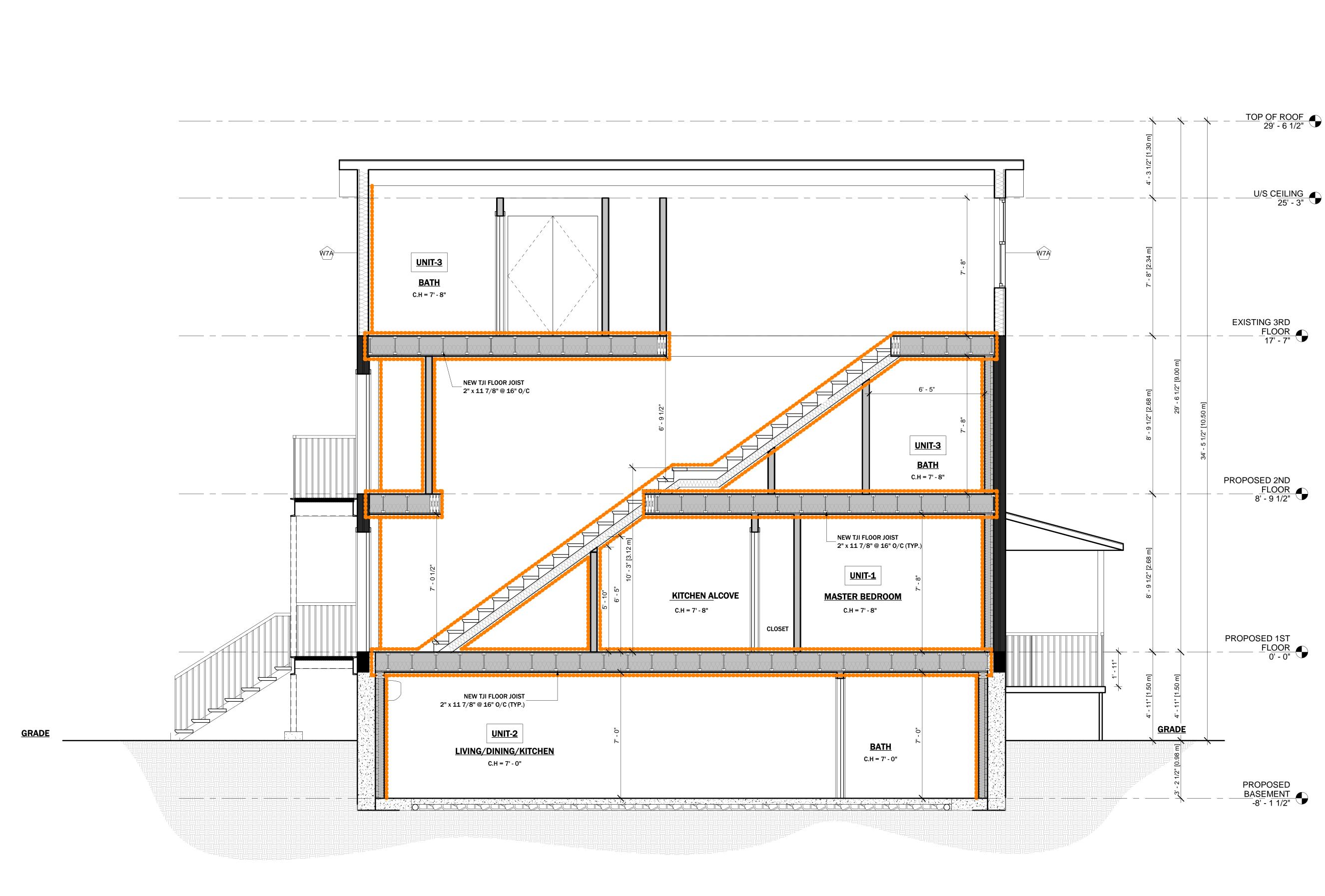
DANILO MARTINELLI KEN BEKENDAM

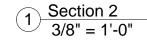
SHEET NO.

A2.06

PROPOSED EAST ELEVATION- WALL

1 FRAMING







LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON

CELL PHONE:
905 - 961 - 0647

OFFICE PHONE:
855 - 546 - 4467

CITY ELECTRONIC STAMP:

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

Name Signature BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code

KING HOMES INC. 121307

Name BCIN

GENERAL NOTES: 1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"

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 AND SAFETY REQUIREMENTS ON SITE.

l	NO.	DATE:	GENERAL DESCRIPTION:	INITIALS
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l	02			
l	03			
l	04			

NORTH POSITION:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

CROSS SECTION

PROJECT NO.

23-46

DATE:

12/19/24

SCALE:

REVISION:

3/8" = 1'-0"

DRAWN BY:

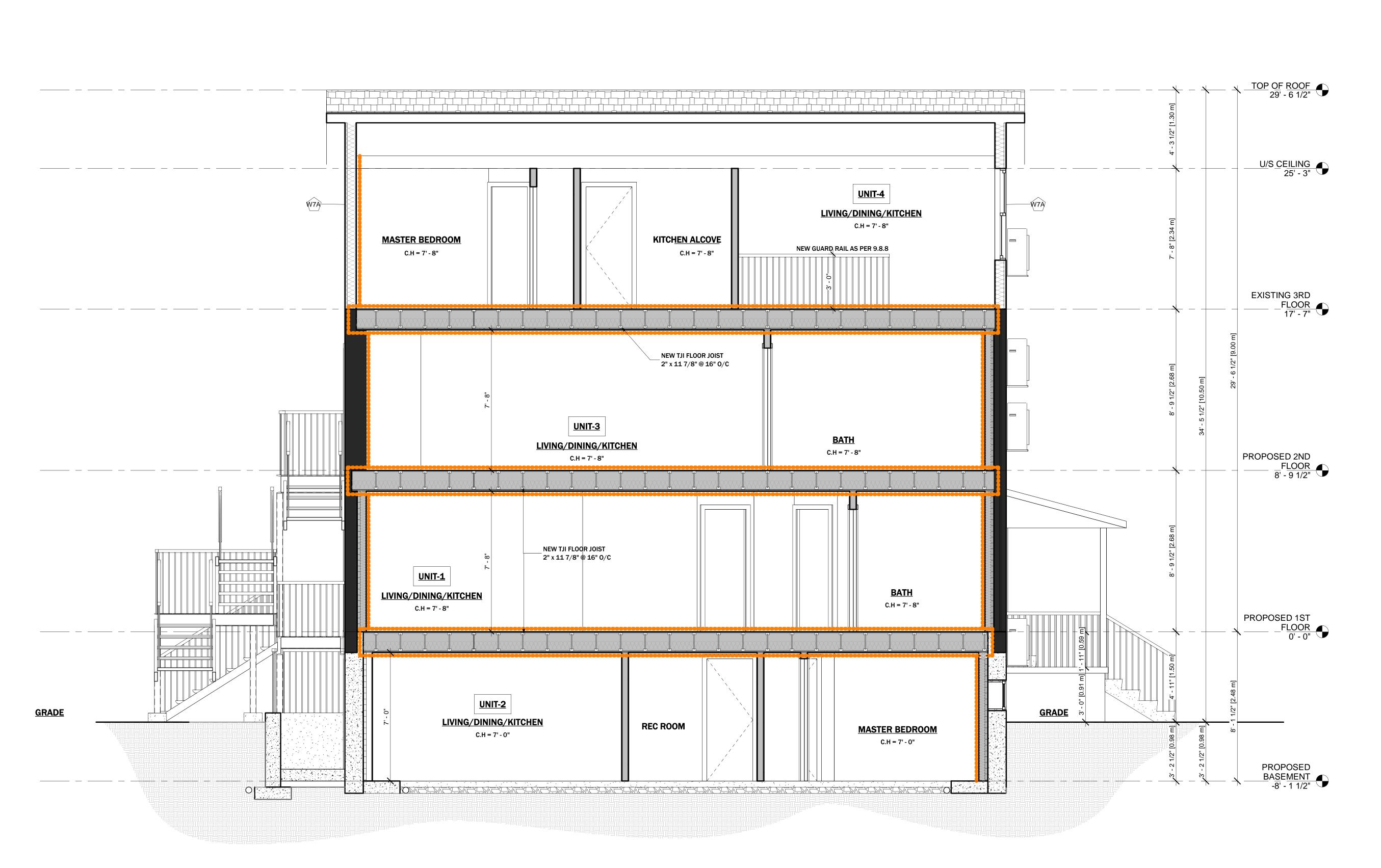
DANILO MARTINELLI

SHEET NO.

43.01

REVIEWED BY:

KEN BEKENDAM



1 Section 3 3/8" = 1'-0"



LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647 kenbekendam@gmail.com

CITY ELECTRONIC STAMP:

OFFICE ADDRESS: 979 MAIN ST. E, HAMILTON ,ON The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building code REGISTRATION INFORMATION KING HOMES INC.

GENERAL NOTES:

Name

2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MIST BE NOTIFIED IMMEDIATELY

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NO.	DATE:	GENERAL DESCRIPTION:	INITIAL
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NORTH POSITION:

ENGINEER'S STAMP:

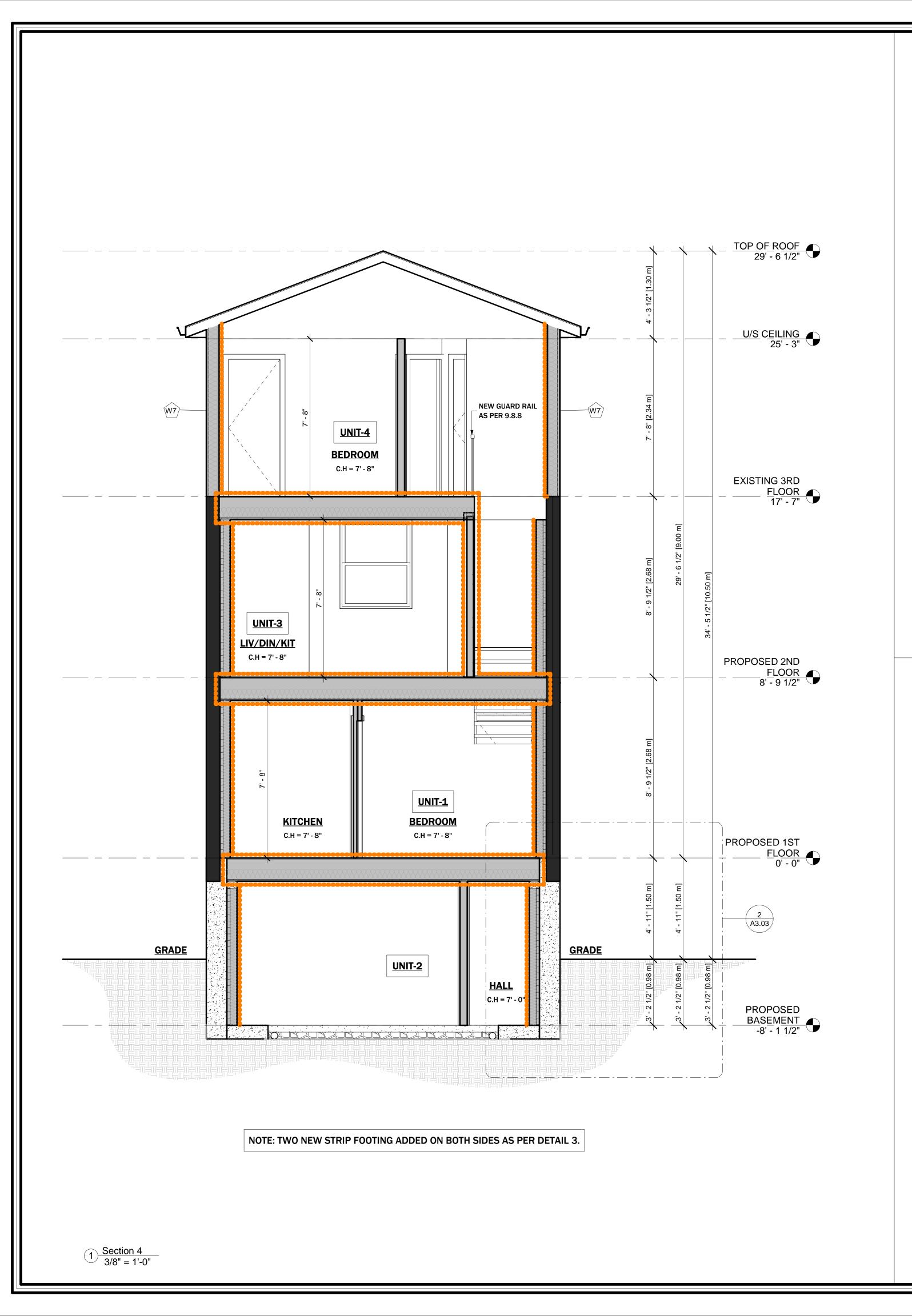


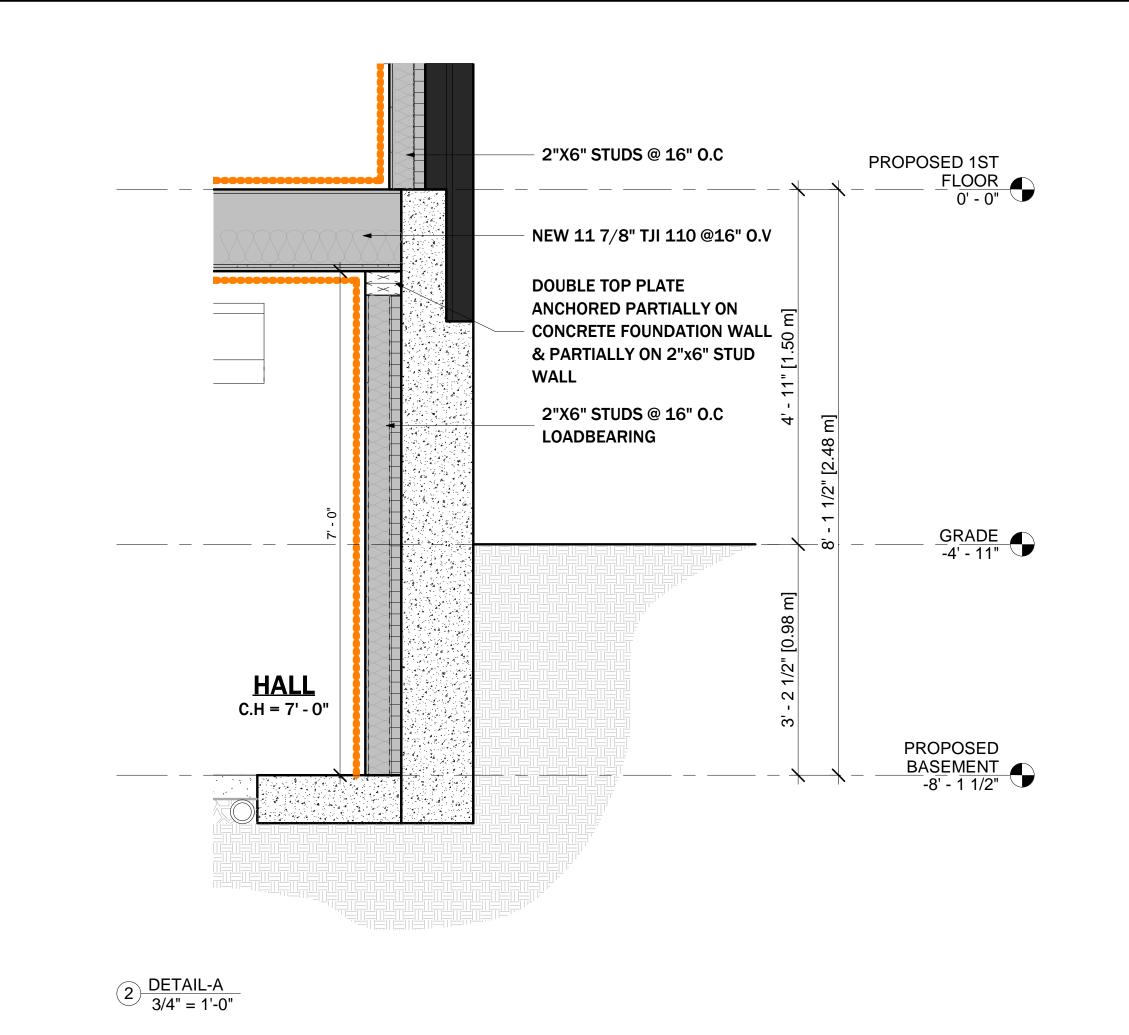
PROJECT NAME/ADDRESS:

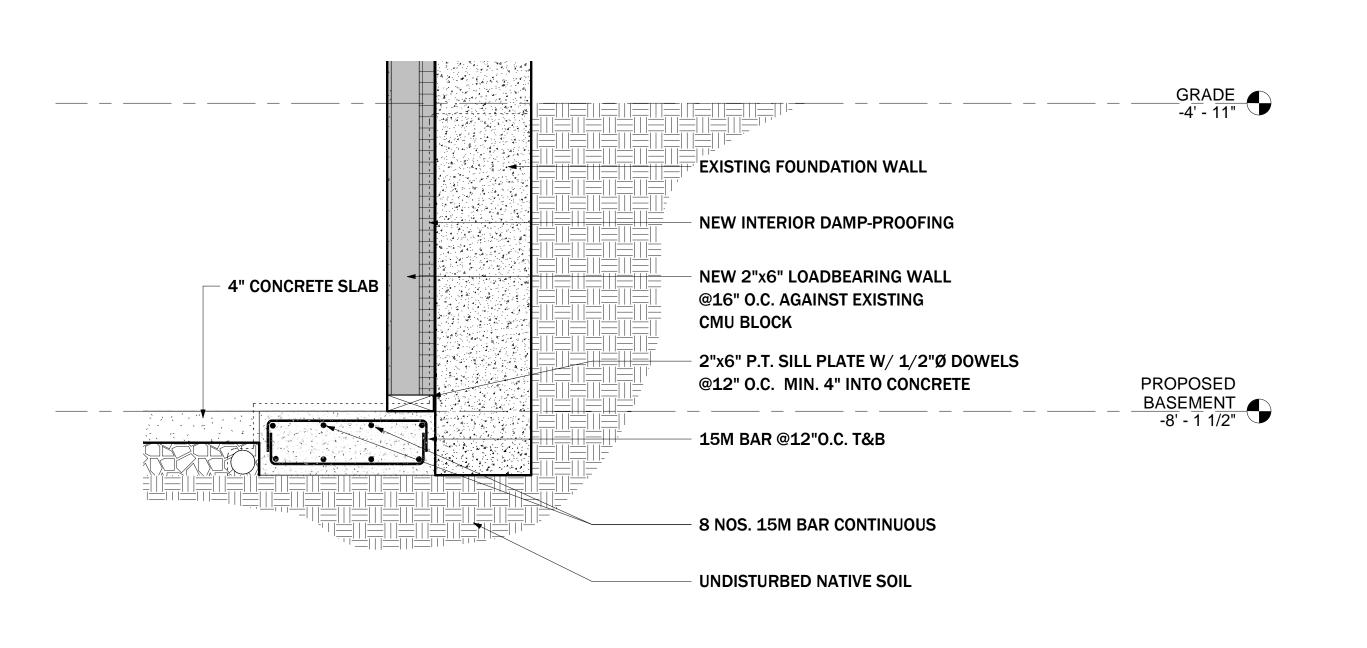
754 CANNON ST E, HAMILTON - CONVERTED **DWELLING UNIT**

SHEET NAME: CROSS SECTION-2

PROJECT NO.	DATE:	
23-46	12/19/24	
SCALE: 3/8" = 1'-0"	REVISION:	
DRAWN BY:	REVIEWED BY:	
DANILO MARTINELLI	KEN BEKENDAM	
	23-46 SCALE: 3/8" = 1'-0" DRAWN BY:	







3 FOUNDATION DETAIL 1" = 1'-0"

KING legal second suites.com

CITY ELECTRONIC STAMP:

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647 **OFFICE ADDRESS:** 979 MAIN ST. E, HAMILTON ,ON

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC.

- 1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36" 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE 2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.
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NOR	TH POSITION:	
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NO. DATE: GENERAL DESCRIPTION: INITIALS:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED **DWELLING UNIT**

SHEET NAME: CDOSS SECTION -3

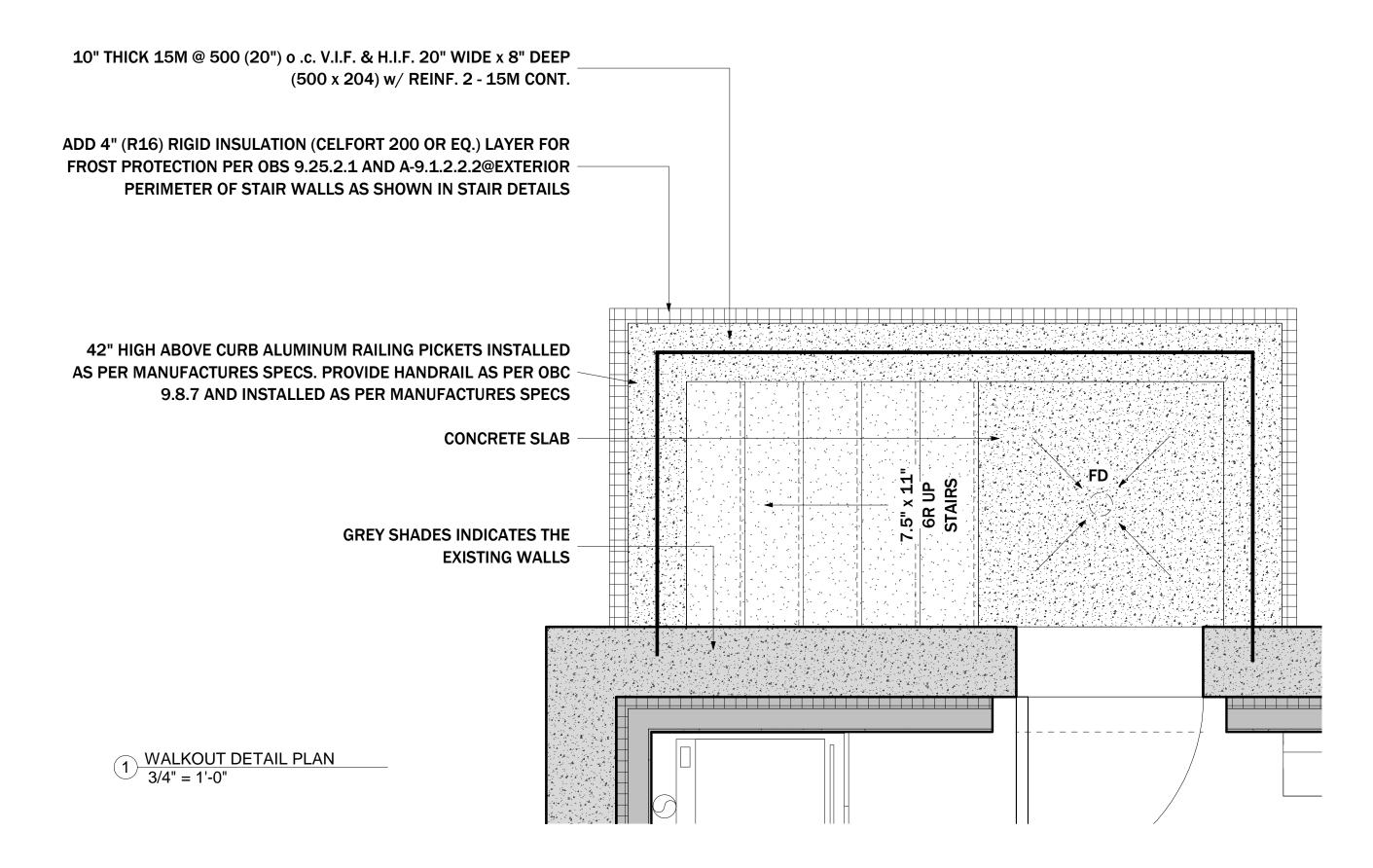
CROSS SECTION -3	
PROJECT NO.	DATE:
23-46	12/19
SCALE:	REVISION:
As indicated	

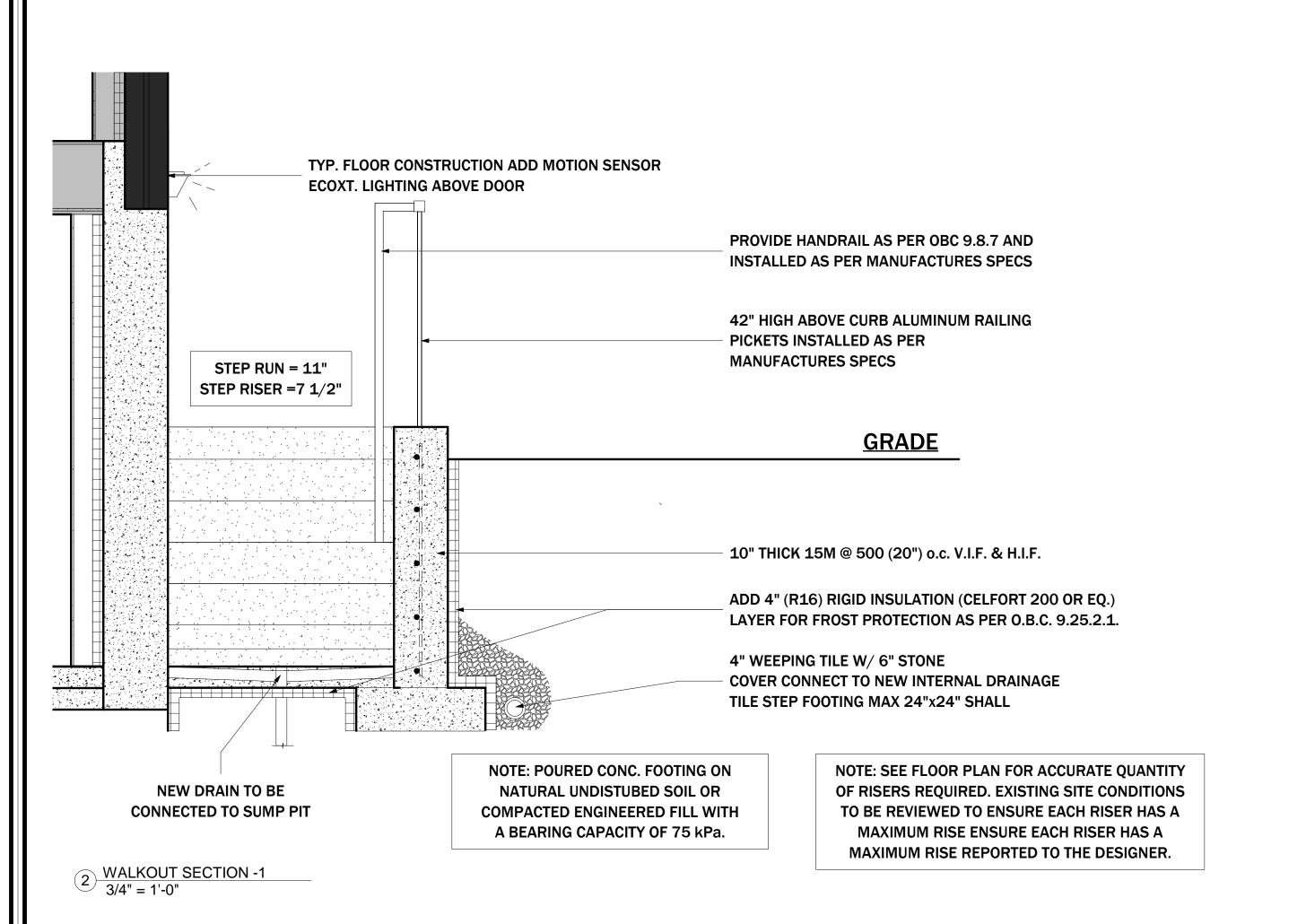
DANILO MARTINELLI SHEET NO.

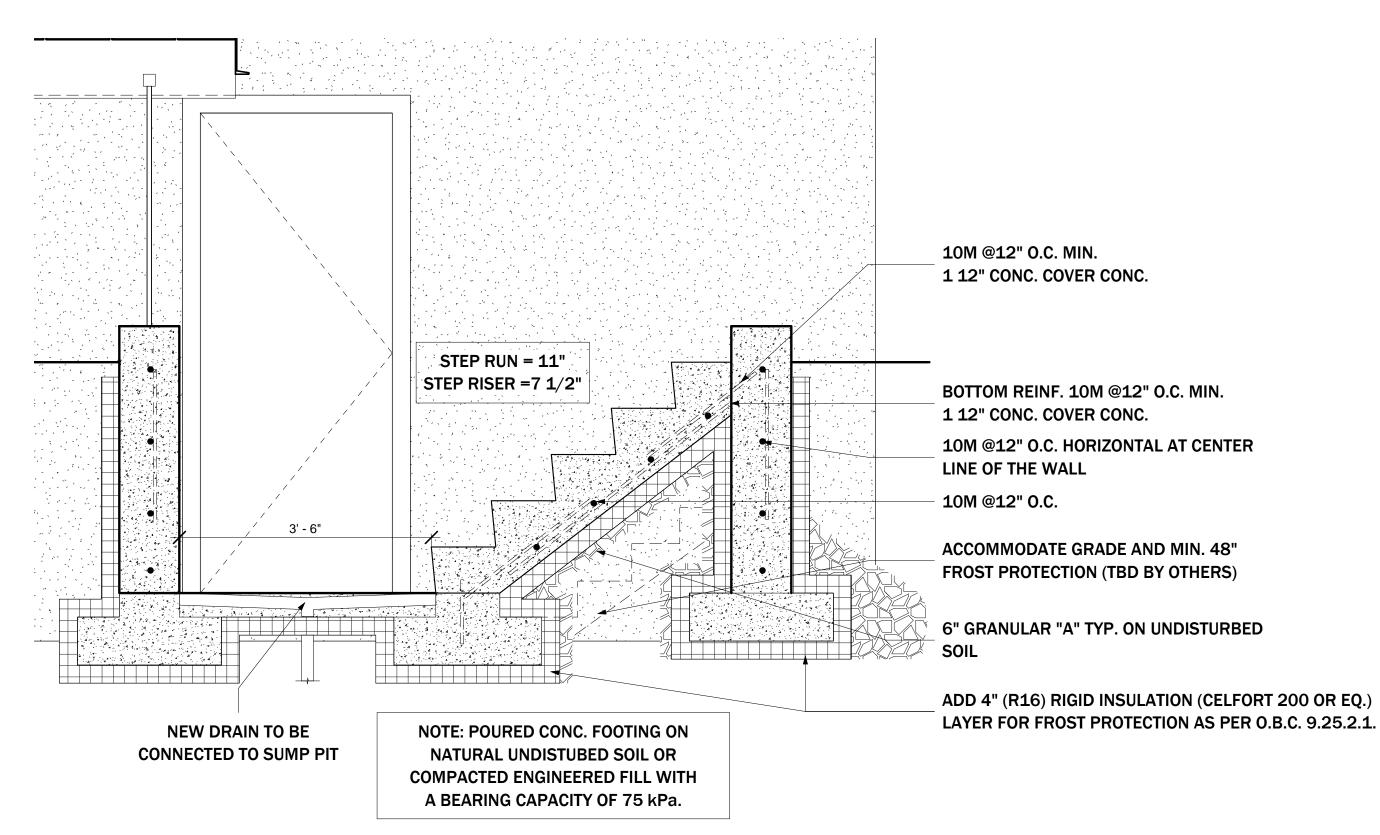
DRAWN BY:

REVIEWED BY:

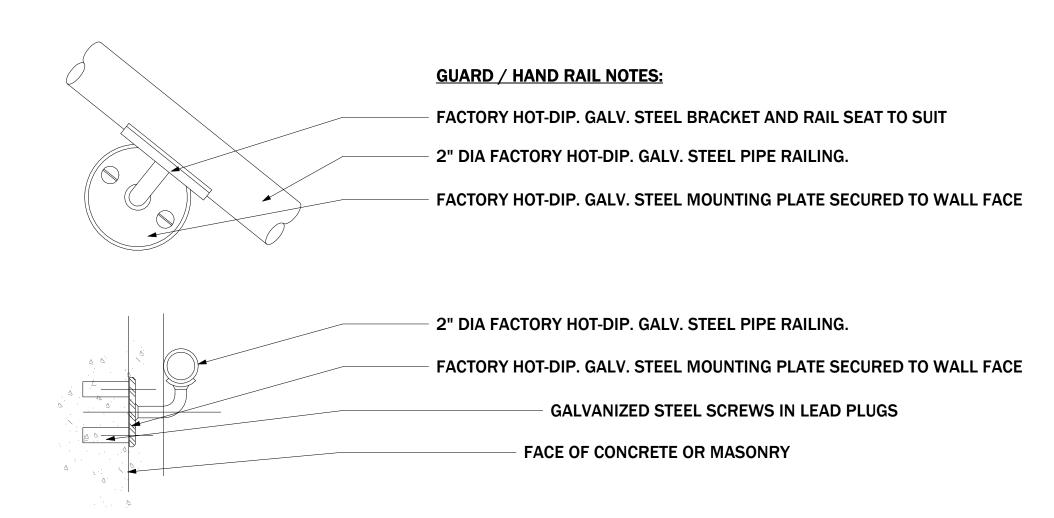
KEN BEKENDAM







3 WALKOUT SECTION - 2
3/4" = 1'-0"



NOTES: 4" MAX SPACE BETWEEN PICKETS, OPENING THROUGH ANY GUARD SHALL BE OF SIZE WHICH WILL PREVENT THE PASSAGE OF A SPHERICAL OBJECT HAVING A DIAMETER OF MORE THAN 4". GUARDS SHALL BE DESIGNED AND INSTALLED SO THAT NO MEMBER ATTACHED ON WALKING SURFACE WILL FACILITATE CLIMBING. GUARDS TO RESIST LOADS AS PER O.B.C. 9.8.7.7.(1)(a)

4 HAND RAIL DETAILS
1/2" = 1'-0"



CITY ELECTRONIC STAMP:

ARE OWNED AND OPERATED BY KING HOMES INC

LEAD DESIGNER & CONSULTANT: CELL PHONE:

KEN BEKENDAM, B.A BUSCOM, L.T. kenbekendam@gmail.com

OFFICE ADDRESS: OFFICE PHO
979 MAIN ST. E, HAMILTON ,ON 855 - 546 - 4

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under 2.17.5.1 of the building code

Name Signature BCIN

REGISTRATION INFORMATION

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KING HOMES INC. 121307

GENERAL NOTES:

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	NOR	TH POSITION:	
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ı	03		
	02		
ı	01		

DATE: GENERAL DESCRIPTION: INITIALS:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

SHEET NAME:

WALKOUT DETAILS

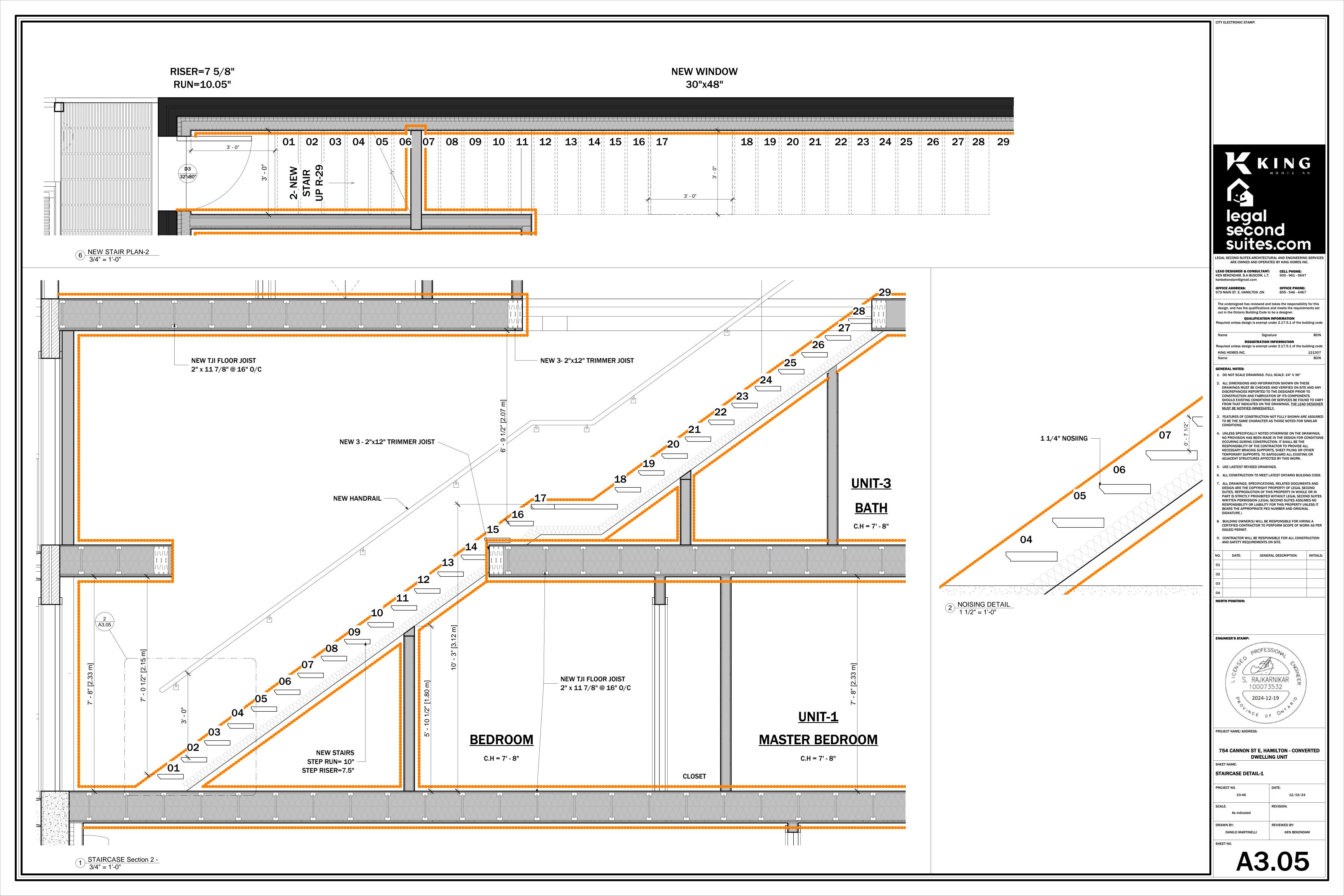
PROJECT NO.

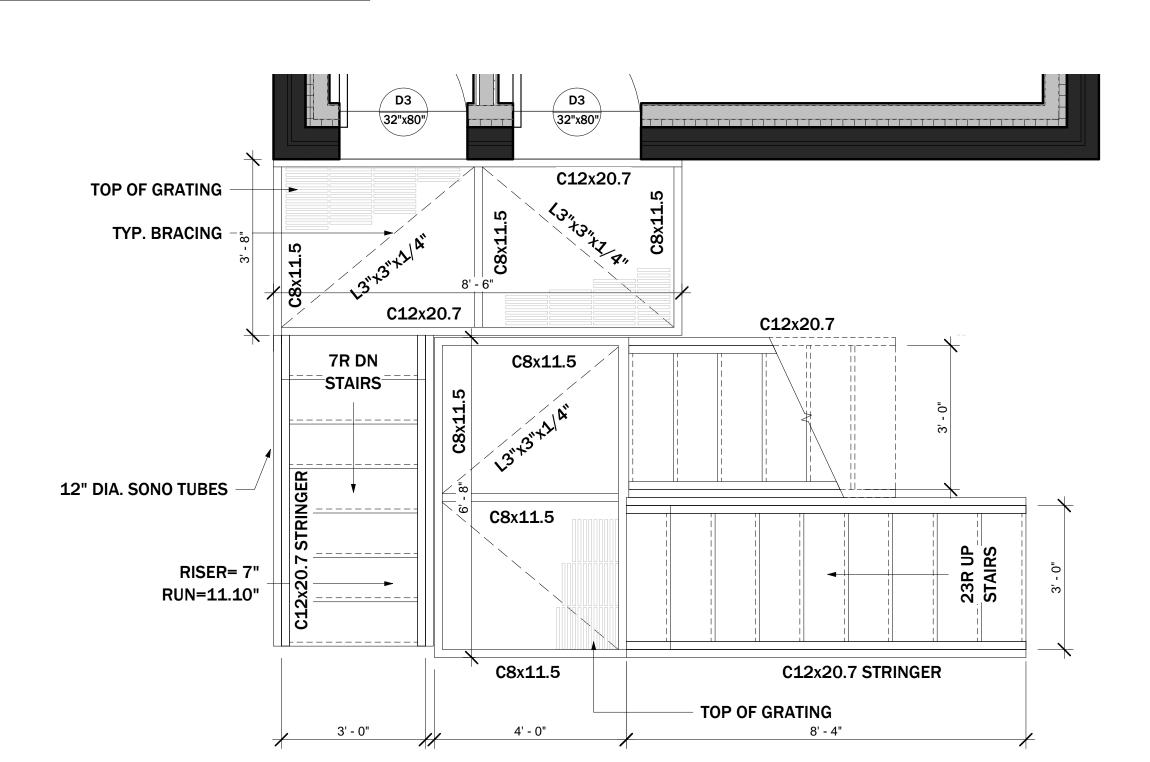
23-46 12/19/24

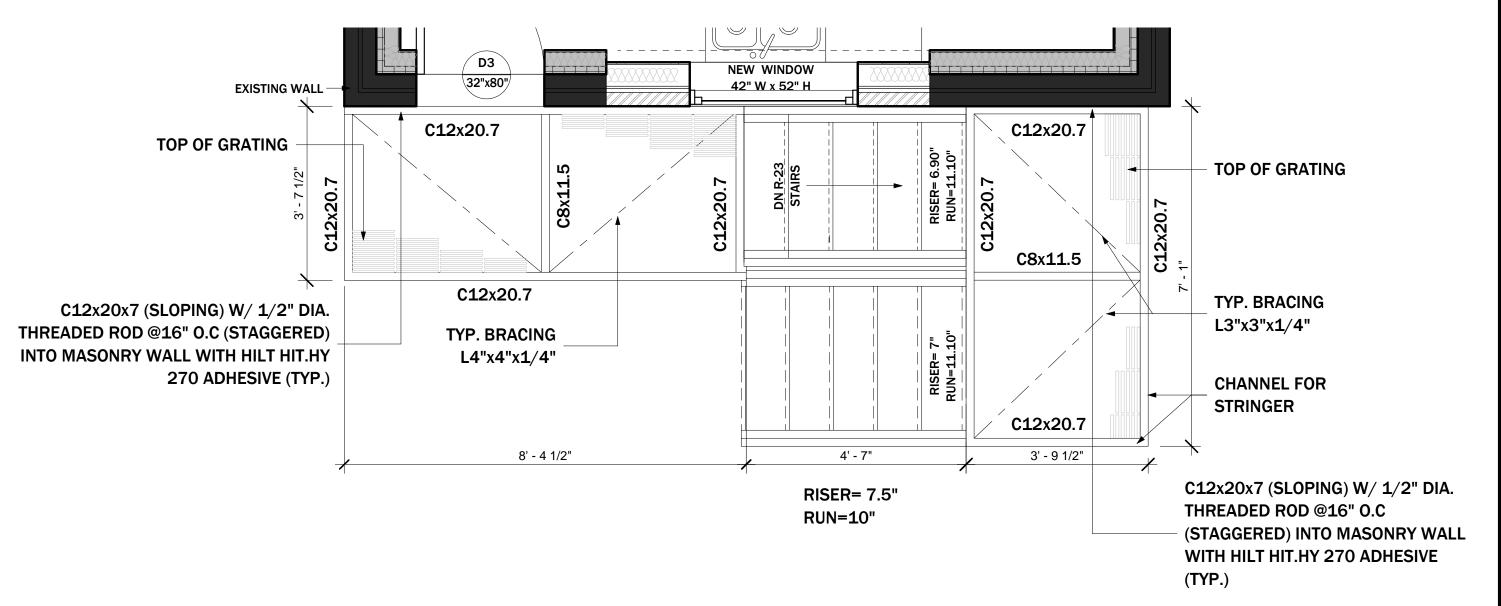
SCALE: REVISION:
As indicated

DRAWN BY: REVIEWED BY:
DANILO MARTINELLI KEN BEKENDAM

SHEET NO.







1 SECTION-A 1/2" = 1'-0"

LIVE LOAD ON EXTERIOR METAL STAIRS = 4.8 KPa

___ _ PROPOSED 2ND____ FLOOR 8' - 9 1/2" . 5" [1.05 m] TOS EL. L3"x3"x1/4" BRACE L3"x3"x1/4" BRACE PROPOSED 1ST

FLOOR
0' - 0" TOS EL. 11" [1.50 | 4"x4" H.S.S COLUMN (TYP) GRADE -4' - 11" - 4"x4" H.S.S COLUMN (TYP) 12" DIA. SONO TUBES 12" DIA. SONO TUBES

D3 32"x80" BASE PLATE 4"x4" H.S.S COLUMN (TYP) 12" DIA. SONO TUBES 3' - 7 1/2" BASE PLATE -4"x4" H.S.S COLUMN (TYP) 12" DIA. SONO TUBES 4"x4" H.S.S COLUMN (TYP) 2' - 2" 3' - 7 1/2" 5' - 11 1/2" 3' - 5 1/2"

3 FRONT ELEVATION - METAL STAIRCASE 1/2" = 1'-0"





LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT:
KEN BEKENDAM, B.A BUSCOM, L.T.
kenbekendam@gmail.com

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON

CELL
905 605 607 -

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Name BCIN

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NO. DATE: GENERAL DESCRIPTION: INITIALS:

01		
02		
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04		

NORTH POSITION:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

STRUCTURAL DETAIL OF METAL STAIRS

PROJECT NO.

23-46

DATE:

12/19/24

SCALE:

REVISION:

1/2" = 1'-0"

DRAWN BY:

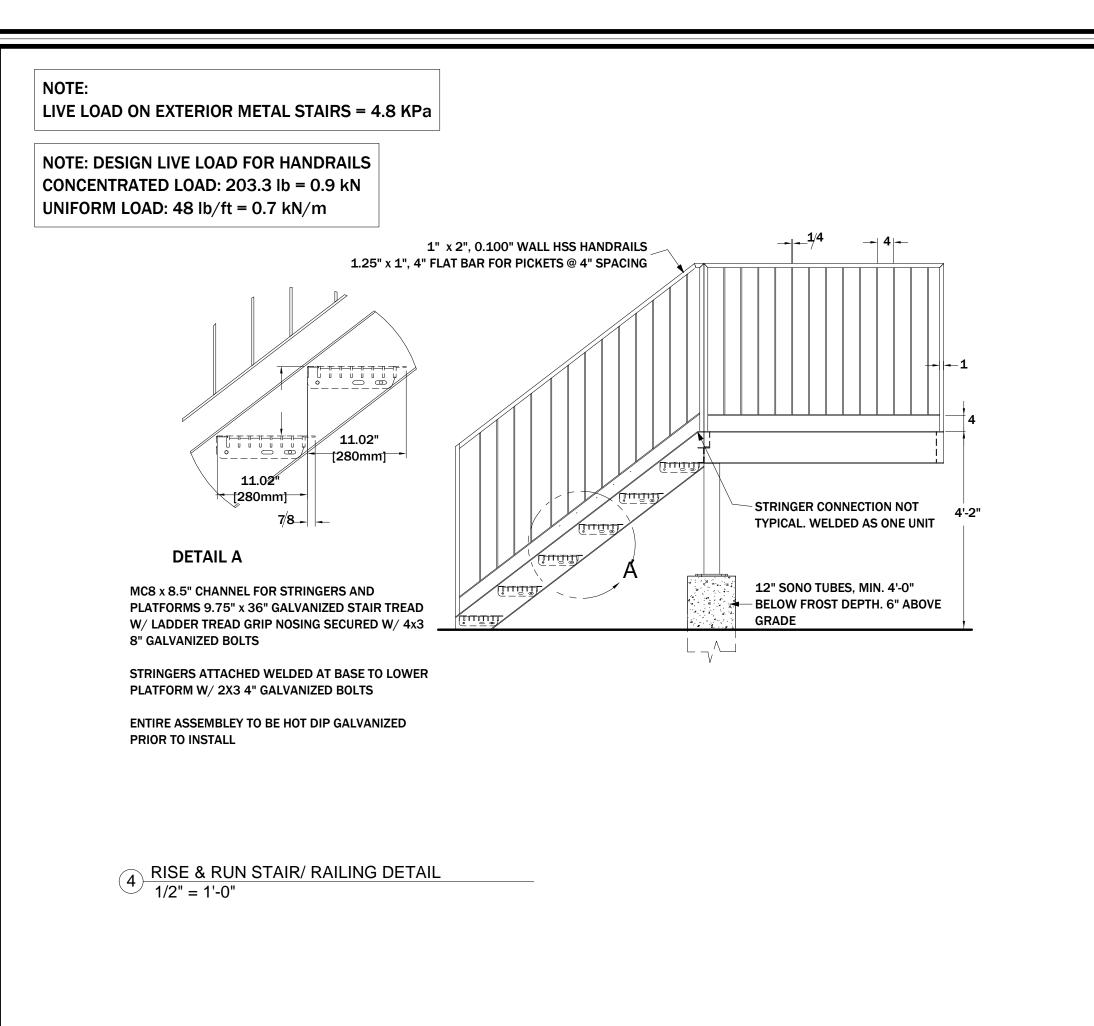
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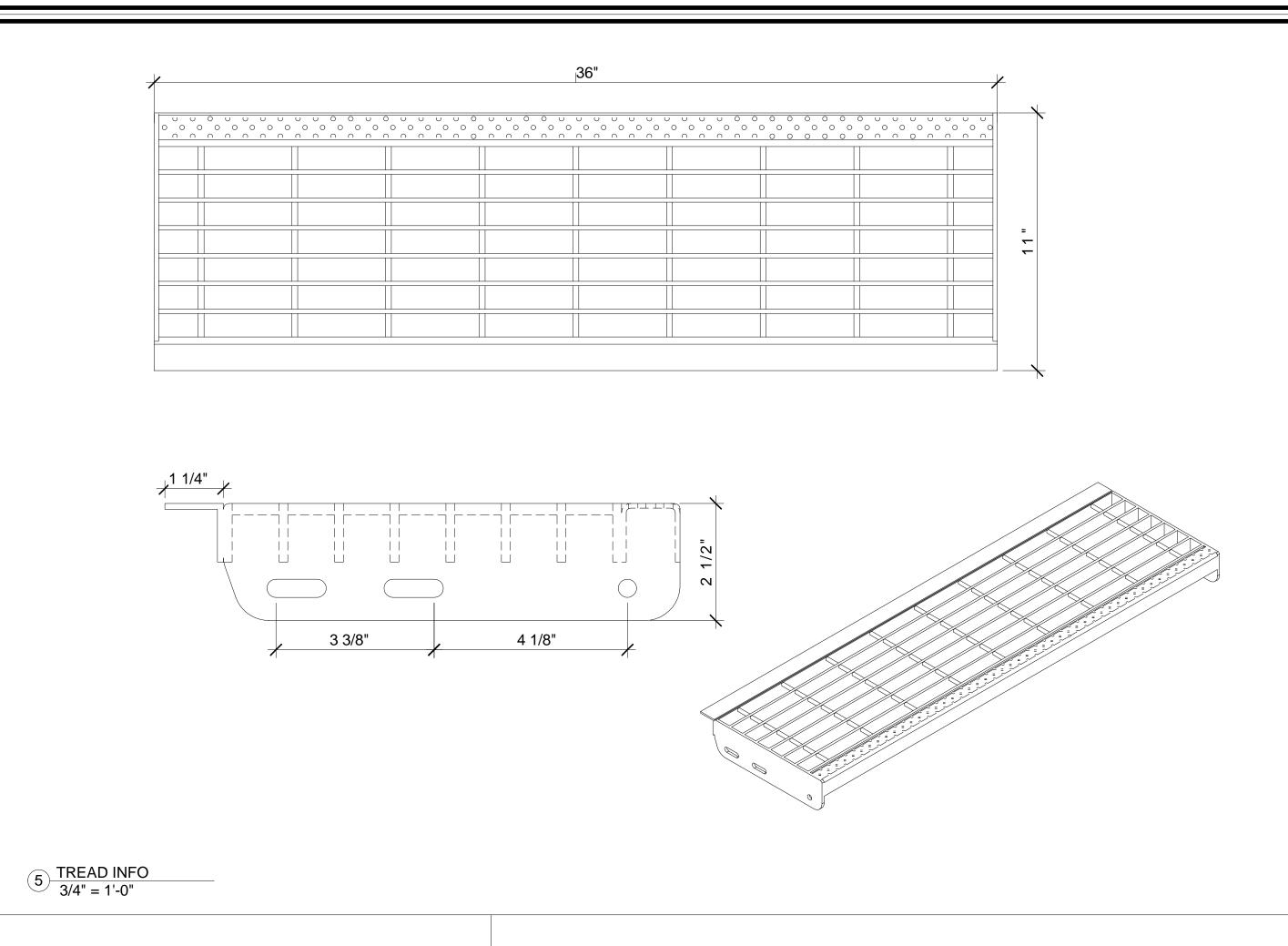
SHEET NO.

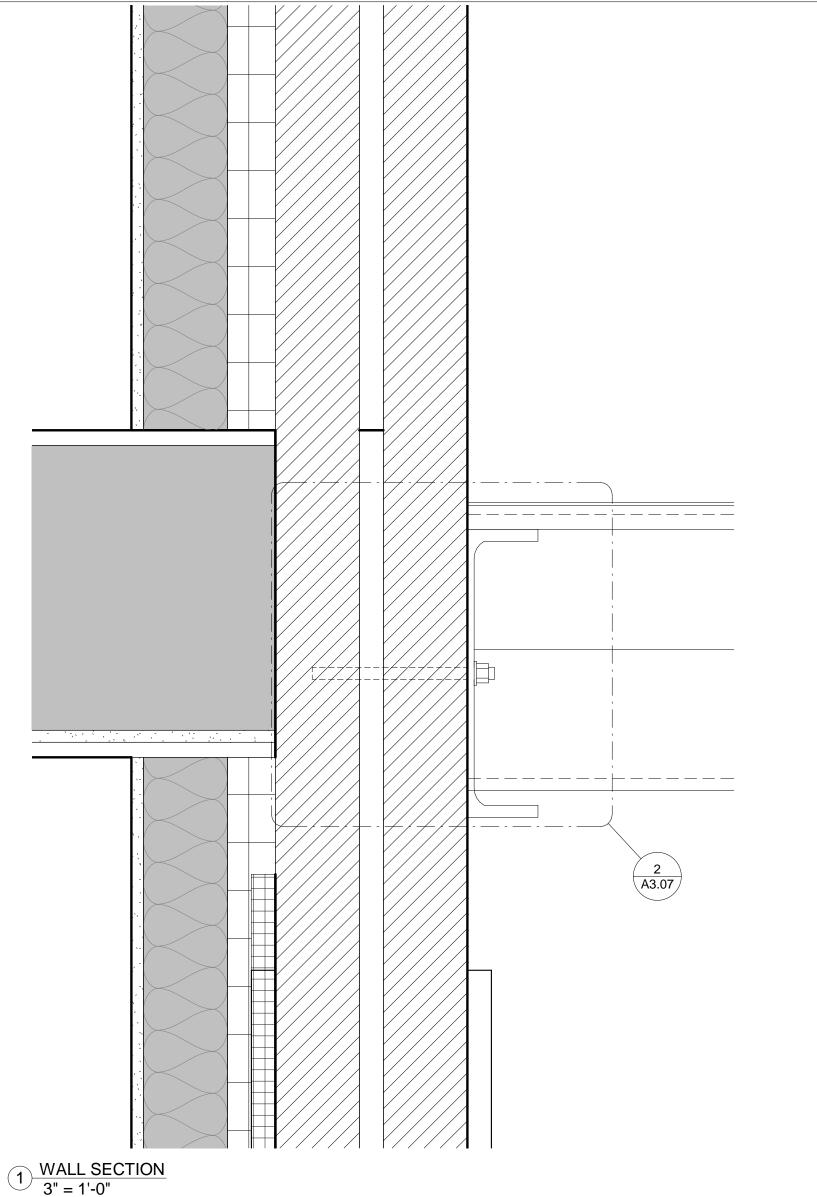
DANILO MARTINELLI

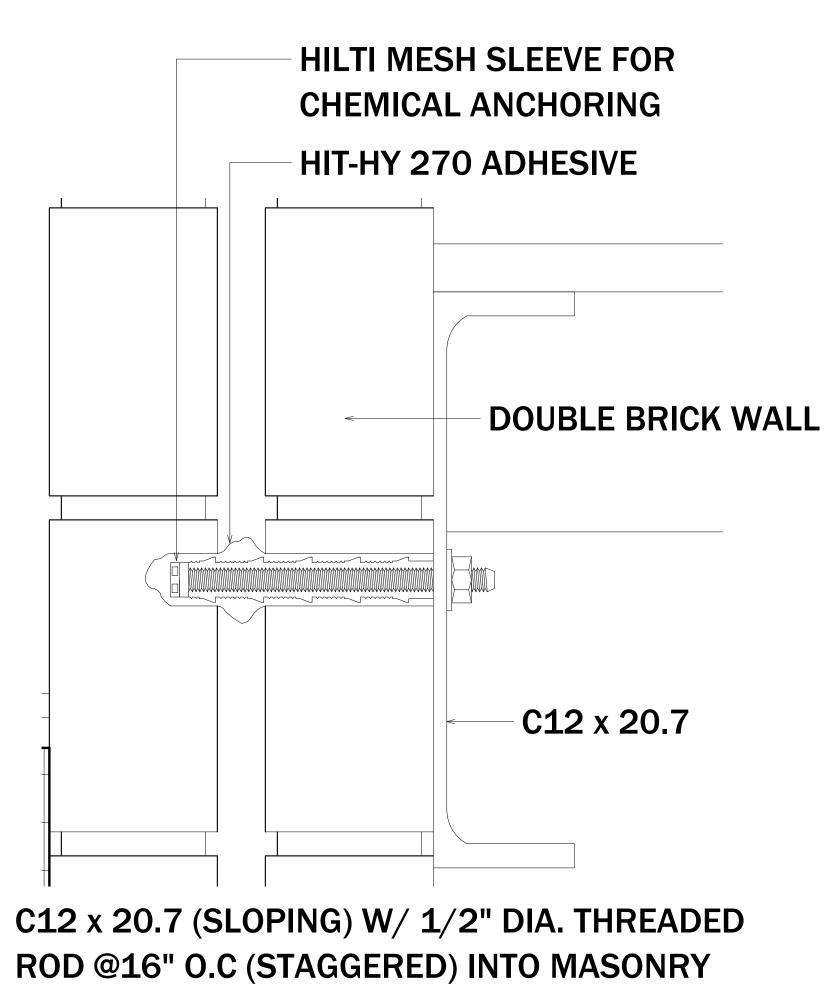
A3.06

KEN BEKENDAM





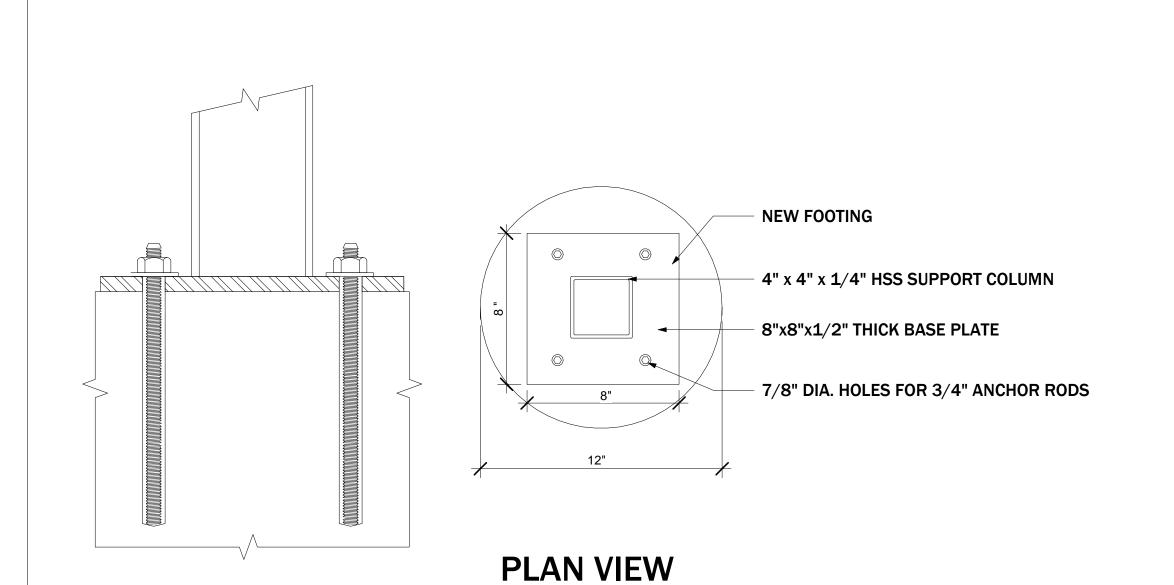




WALL WITH HILT HIT.HY 270 ADHESIVE + MESH

SLEEVE HIT-SC 18x85 (TYP.)

WALL SECTION - CALLOUT 1
6" = 1'-0"



HSS TO CONCRETE FOUNDATION CONNECTION DETAIL-'D':
ELEVATION VIEW

STRUCTURAL DETAIL CONFORM TO PART 4

6 HSS DETAIL CONNECTION
1/2" = 1'-0"



CITY ELECTRONIC STAMP:

KEN BEKENDAM, B.A BUSCOM, L.T. kenbekendam@gmail.com

OFFICE ADDRESS:
979 MAIN ST. E, HAMILTON ,ON

OFFICE PHONE:
855 - 546 - 4467

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QUALIFICATION INFORMATION

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Name Signature BCIN

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KING HOMES INC. 121307

Name BCIN

GENERAL NOTES:

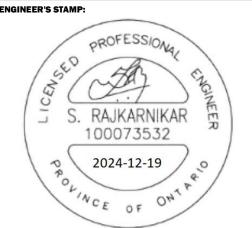
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NOR	TH POSITION:	
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PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

HEET NAME:

PROJECT NO. DATE:

23-46 12/19/24

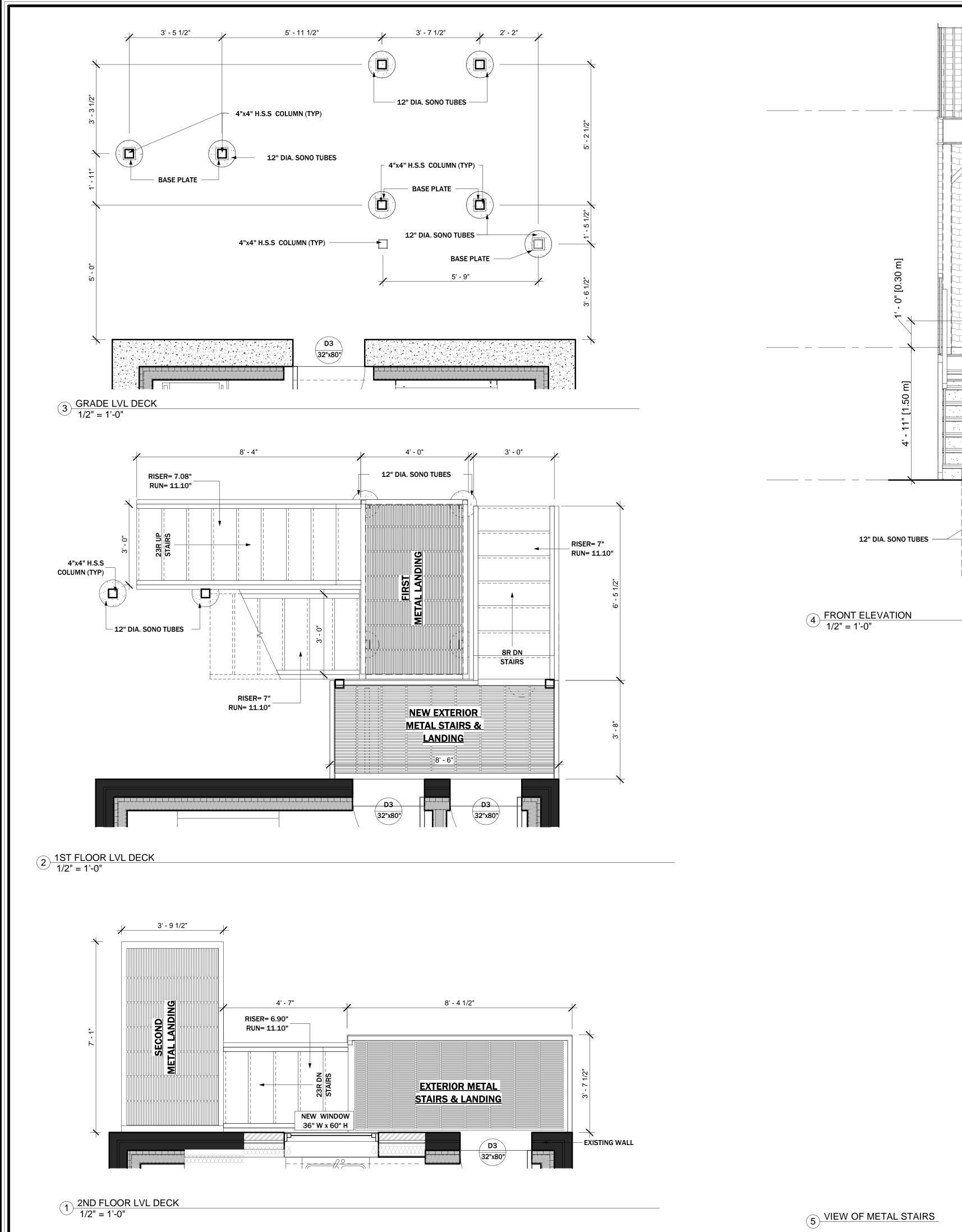
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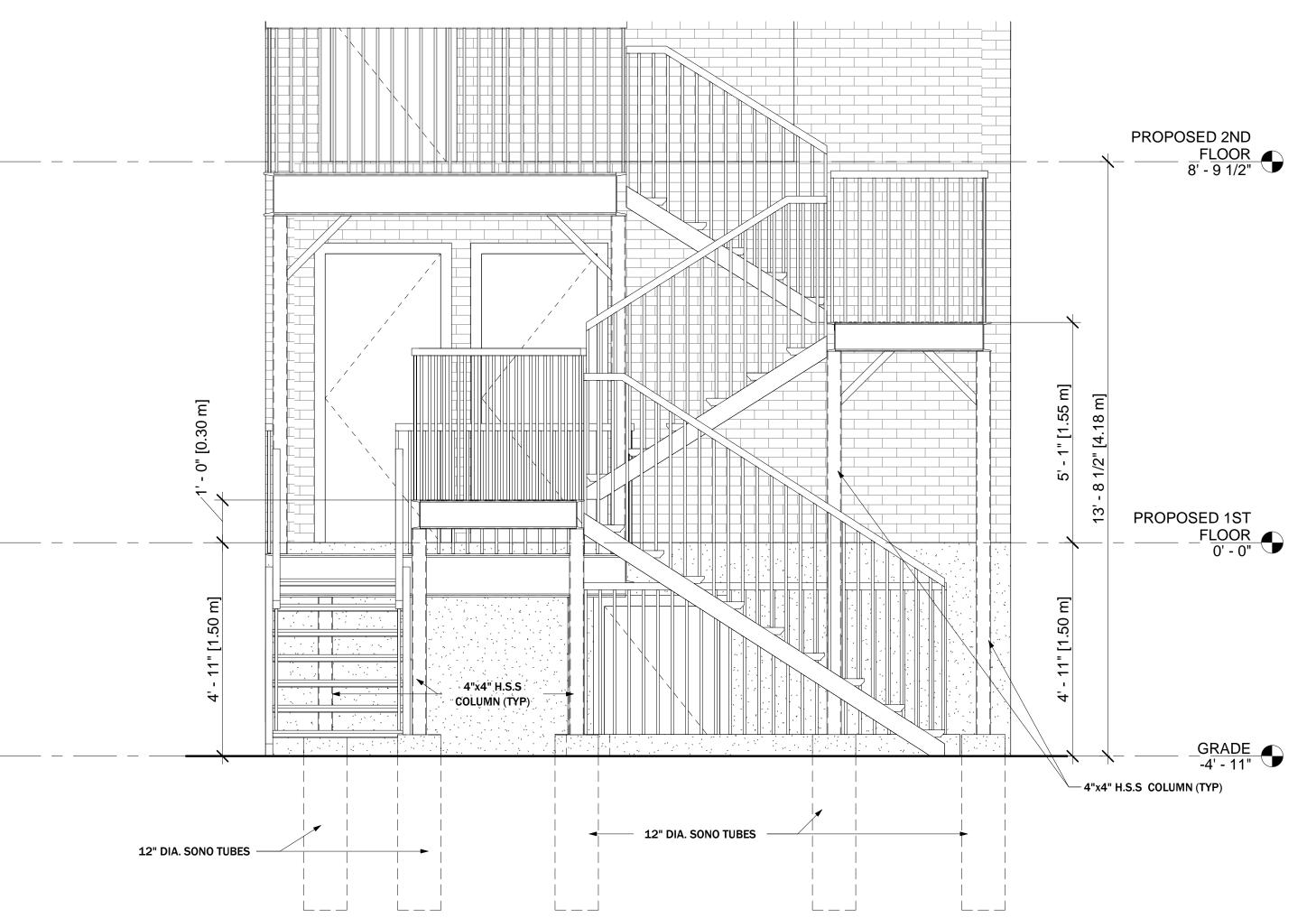
As indicated

DRAWN BY: REVIEWED BY:

DANILO MARTINELLI KEN BEKENDAM

SHEET NO.





FROM ELEVATION
1/2 = 1-0



CITY ELECTRONIC STAMP:

ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 0647

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OFFICE ADDRESS: OFFI
979 MAIN ST. E, HAMILTON ,ON 855

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	NOR	TH POSITION:	
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ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

METAL STAIRS DETAIL

 PROJECT NO.
 DATE:

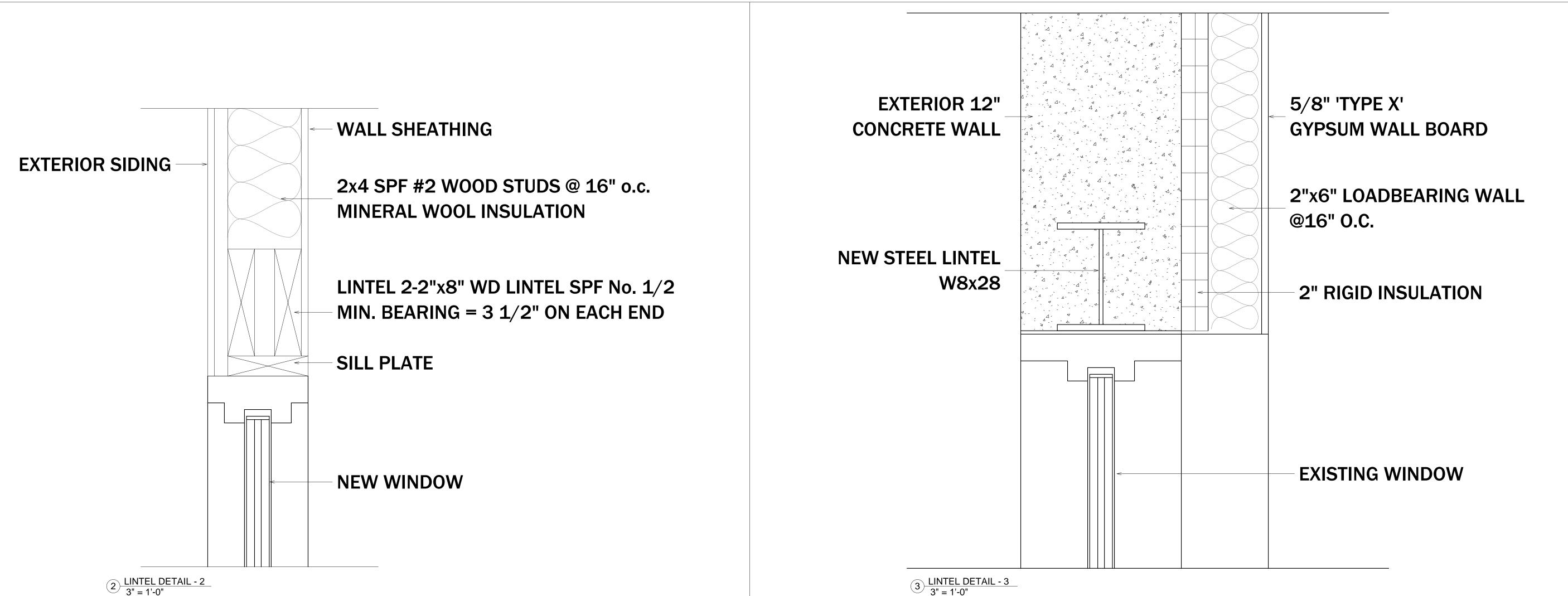
 23-46
 12/19/24

 SCALE:
 REVISION:

 1/2" = 1'-0"
 REVIEWED BY:

 DANILO MARTINELLI
 KEN BEKENDAM

SHEET NO.



KING
HOMESTICE

Legal
Second
Suites.com

L SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, L.T. kenbekendam@gmail.com

CITY ELECTRONIC STAMP:

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ICE ADDRESS: OFFICE PHO

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ENGINEER'S STAMP:



PROJECT NAME/ADD

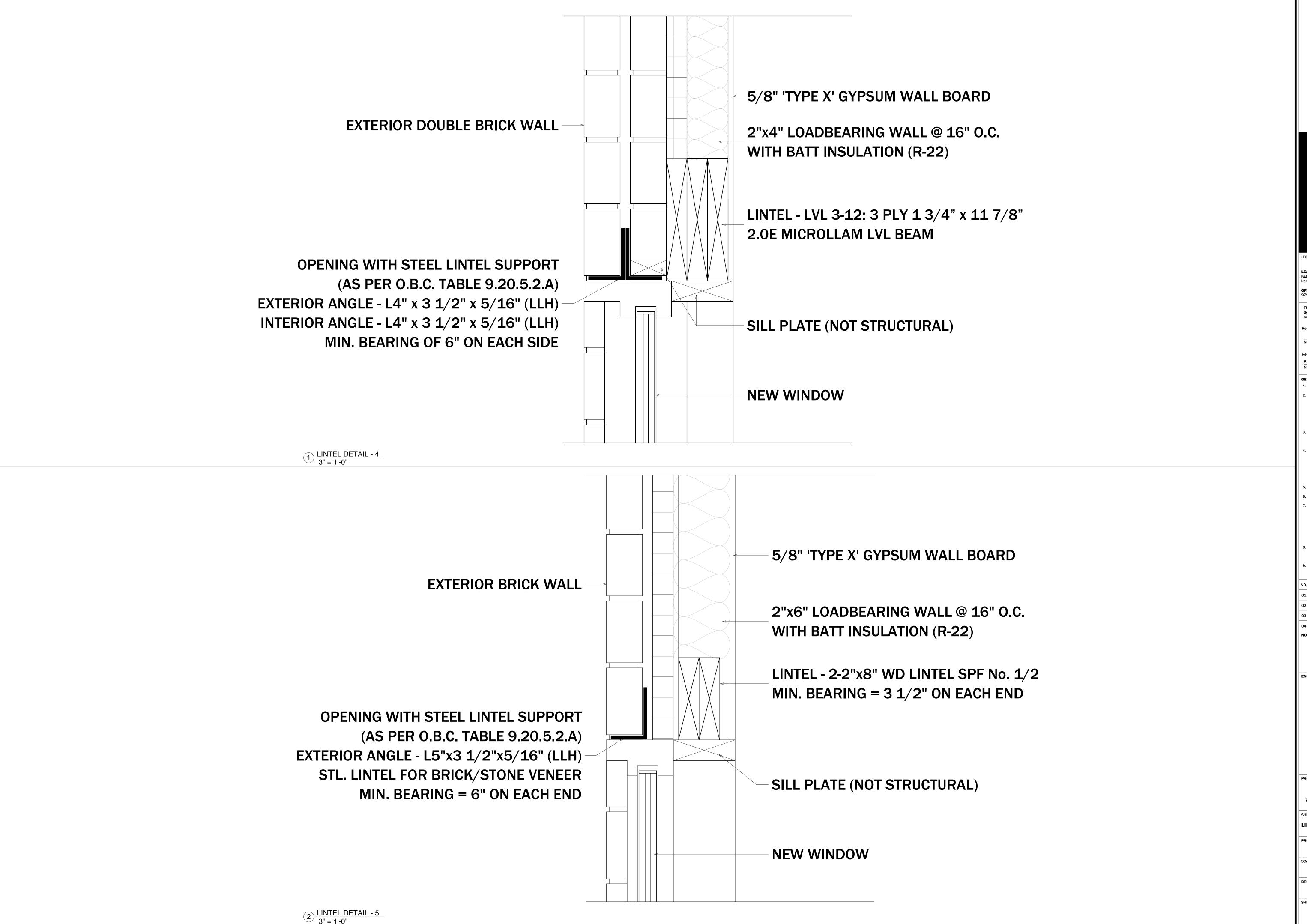
754 CANNON ST E, HAMILTON - CONVERTED
DWELLING UNIT

SHEET NAME:

LINTEL DETAILS - 1/2

PROJECT NO.	DATE:
23-46	12/19/24
SCALE:	REVISION:
3" = 1'-0"	
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

SHEET NO.

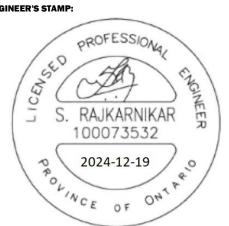




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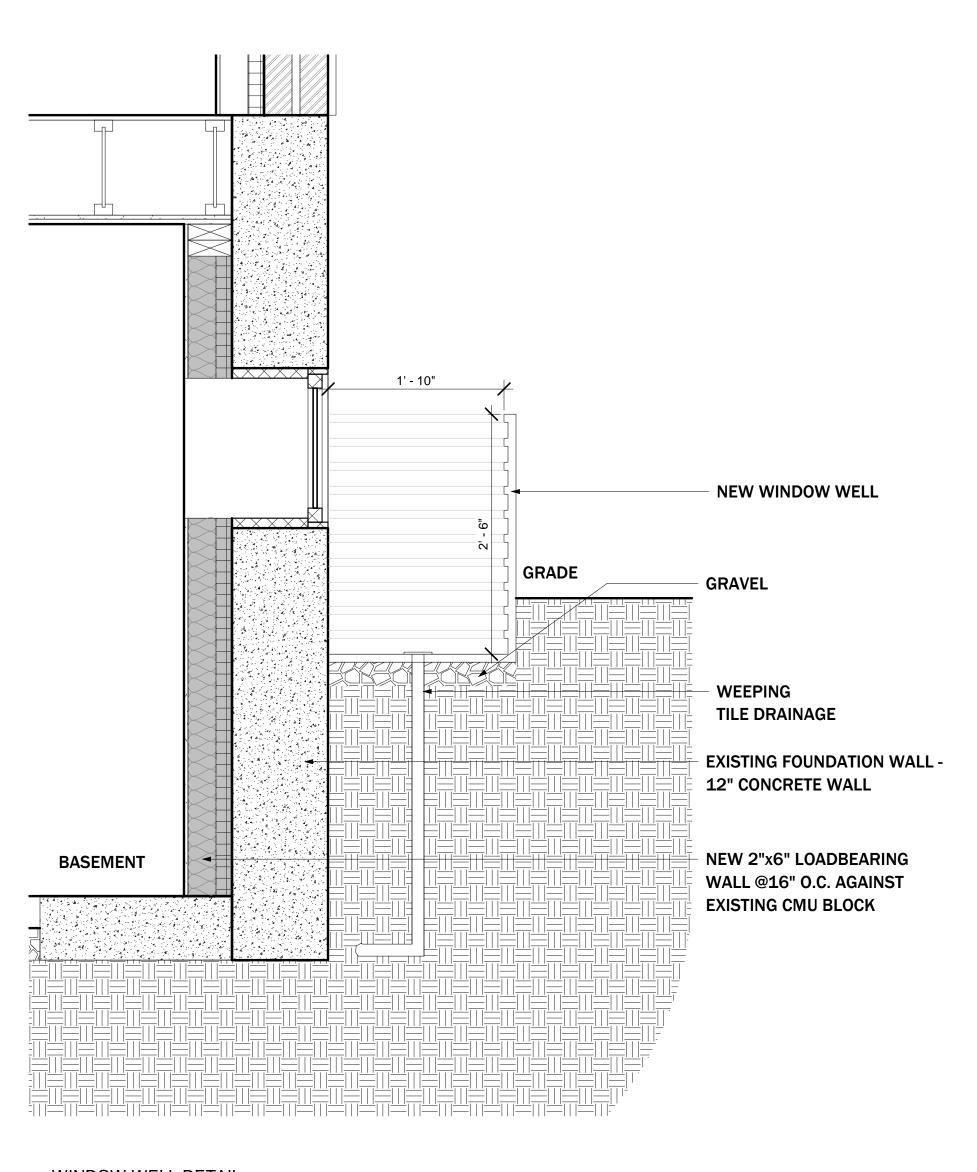
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LINTEL DETAILS - 2/2

PROJECT NO.	DATE:
23-46	12/19/24
SCALE:	REVISION:
3" = 1'-0"	
DRAWN BY:	REVIEWED BY:



3 WINDOW WELL DETAIL
1" = 1'-0"



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Name BCIN

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ı	NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
ı	01			
ı	02			
ı	03			
1	04			

NORTH POSITION:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

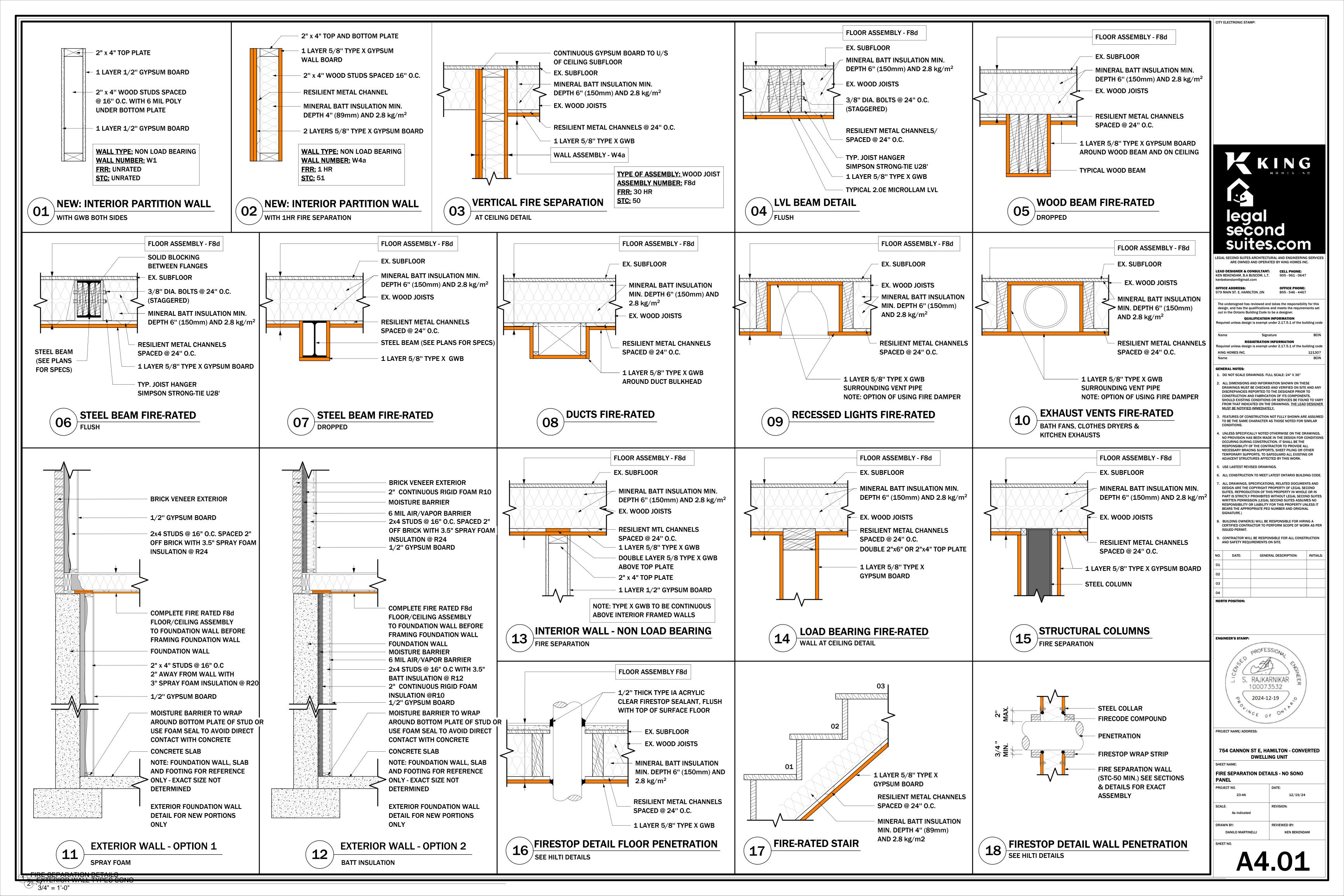
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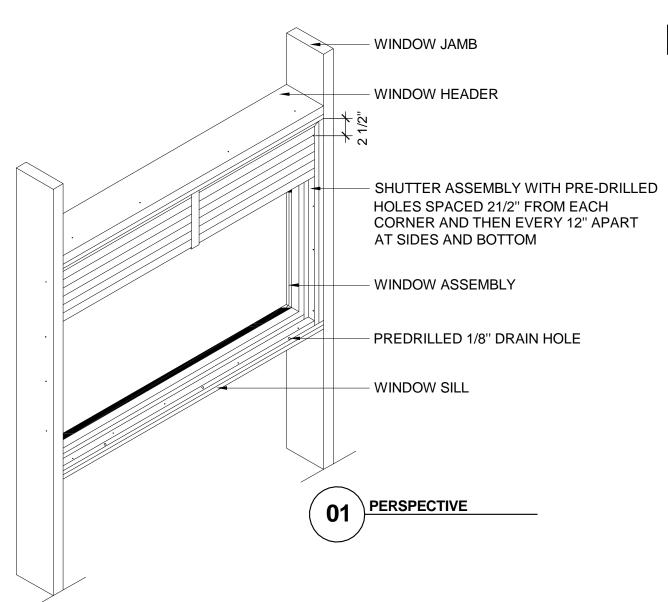
WINDOW WELL DETAILS

PROJECT NO.	DATE:
23-46	12/19/24
SCALE: 1" = 1'-0"	REVISION:
DRAWN BY:	REVIEWED BY:
DANILO MARTINELLI	KEN BEKENDAM

ET NO.

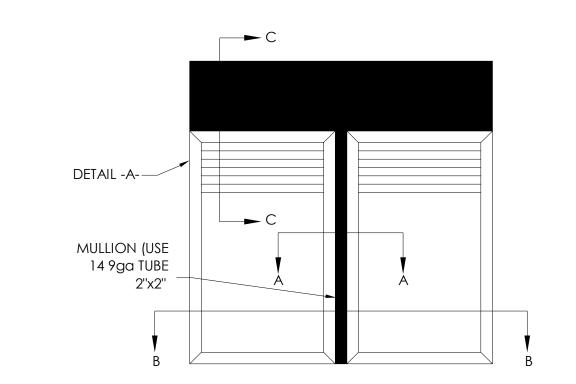
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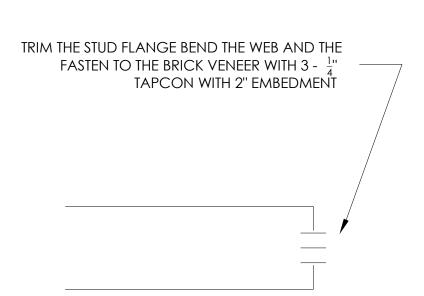




FIREOXX SHUTTER

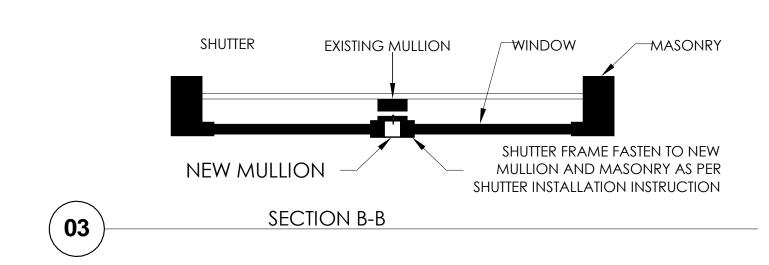
WARNOCK HERSEY LISTED 20 MINUTE RATED FIRE SHUTTER MEETS CAN/ULC S104-10

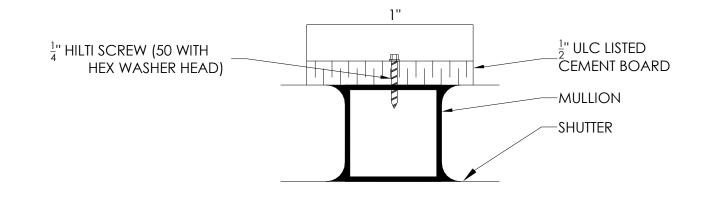




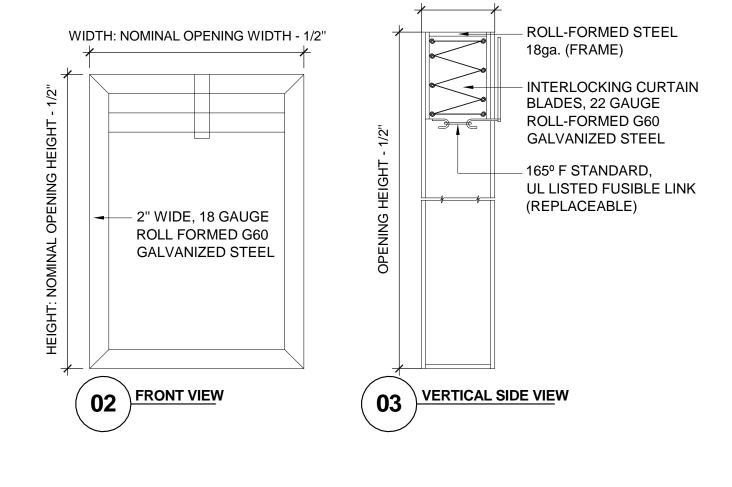
DETAIL -1 GANG MOUNT OF SHUTTERS (01

DETAIL -A-(02)





SECTION A-A 04



CONTINUOUS 16 ga. ANGLE 2 $\frac{1}{2}$ " x 1 $\frac{1}{2}$ " (LLV) FASTEN TO BRICK VENEER WITHTAPCON @ 12"
O.C WITH 3" EMBEDMENT FASTEN
TO CEMENT BOARD WITH 2 TAPCON @ 12" O.C

EXTERIOR JAMB MOUNTED FIRE SHUTTER INSTALLATION INSTRUCTIONS SHUTTER SIZES TO A MAXIMUM OF 42" WIDE AND 60" HIGH

SHUTTER TO BE MOUNTED TO BRICK JAMB OR EQUIVALENT NON-COMPUSTABLE SURFACE

1. PREPARE AND CLEAN THE EXTERIOR SIDE OF THE WINDOW OPENING. 2. PLACE FIRE SHUTTER WITH CORNER BRACKETS FACING THE WINDOW INTO THE WINDOW OPENING WITH A 1/4" SPACE FROM THE FACE OF THE WINDOW.

3. SHIM THE SHUTTER ASSEMBLY WITH A MINIMUM 1/4" GAP TO WINDOW OPENING AT BOTTOM AND SIDES. SHIM WHERE PRE-DRILLED HOLES ARE LOCATED TO PREVENT

4. LOCATE PRE-DRILLED HOLES AT SIDES AND BOTTOM AND INSERT SCREWS AS REQUIRED TO SECURE SHUTTER ASSEMBLY. (SEE TABLE 1 FOR THE REQUIRED SCREWS). 5. TO INSTALL SCREWS AT TOP CORNER, CAREFULLY REMOVE THE FUSIBLE LINK HOLDING STRAP WITH ONE HAND AND HOLD BOTTOM OF CURTAIN BLADE WITH THE OTHER HAND ALLOWING CURTAIN TO DROP. INSTALL SCREWS AND RESET CURTAIN TO UPRIGHT POSITION AND RE-SET FUSIBLE LINK HOLDING STRAP.

USE CAUTION WHEN LOWERING CURTAIN BLADE 6. REMOVE ALL SHIMS AND TIGHTLY FILL GAPS WITH RATED MINERAL

WOOL AND APPLY A GOOD QUALITY CAULKING, FILLING ALL GAPS

BETWEEN THE FIRE SHUTTER AND MOUNTING SURFACE. 7. TEST DROP CURTAIN TO ENSURE IT WILL FREE FALL WITHOUT

OBSTRUCTION. 8. RESET CURTAIN IN UPRIGHT POSITION AND SECURE WITH FUSIBLE

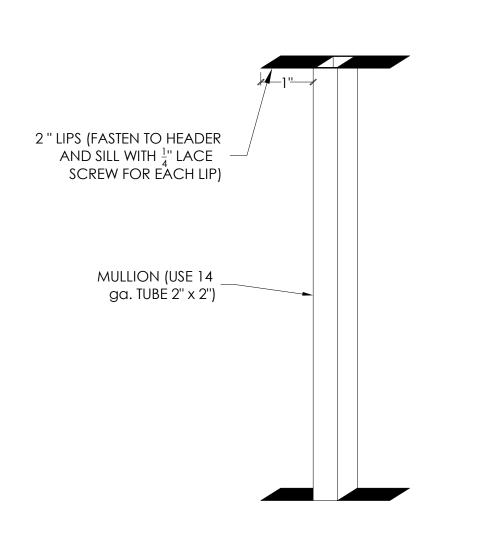
LINK STRAPING.

1. INSTALL IN ACCORDANCE WITH INSTRUCTIONS TO MAINTAIN APPROVED LISTING.

TARIF 01

OPENING			SCREW HEAD	MIN.
MATERIAL SCREW TYPE			TYPE	PENETRATION
CONCRETE	#8 DX-KWIK	OR EQUIVALENT	FLAT HEAD	1 1/2"
LIGHT GAUGE STEEL	#8 KWIK-PRO SELF DRILLING	OR EQUIVALENT	FLAT HEAD	1/2"
MASONRY	#8 DX-KWIK	OR EQUIVALENT	FLAT HEAD	1 1/2"
STEEL	#8 KWIK-PRO SELF DRILLING	OR EQUIVALENT	FLAT HEAD	1/2"
WOOD	#8 ROBERTSON SCREW	OR EQUIVALENT	FLAT HEAD	1 1/2"

NEW HEADER SUPPORTING CEMENT BOARD $\frac{1}{2}$ " ULC LISTED CEMENT BOARD SHUTTER 2 - x 12 - 20 SCREW (SMS WITH HEX WASHER HEAD) @ 12" SECTION C-C



MULLION DETAILS (06)

legal second LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES

CITY ELECTRONIC STAMP:

LEAD DESIGNER & CONSULTANT: KEN BEKENDAM, B.A BUSCOM, L.T.

ARE OWNED AND OPERATED BY KING HOMES INC.

OFFICE ADDRESS: 979 MAIN ST. E, HAMILTON ,ON The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code

REGISTRATION INFORMATION Required unless design is exempt under 2.17.5.1 of the building code KING HOMES INC.

1. DO NOT SCALE DRAWINGS. FULL SCALE: 24" X 36"

2. ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE LEAD DESIGNER MUST BE NOTIFIED IMMEDIATELY.

3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITION OCCURING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

USE LASTEST REVISED DRAWINGS.

6. ALL CONSTRUCTION TO MEET LATEST ONTARIO BUILDING CODE.

7. ALL DRAWINGS, SPECIFICATIONS, RELATED DOCUMENTS AND DESIGN ARE THE COPYRIGHT PROPERTY OF LEGAL SECOND SUITES. REPRODUCTION OF THIS PROPERTY IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT LEGAL SECOND SUITES WRITTEN PERMISSION (LEGAL SECOND SUITES ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THIS PROPERTY UNLESS IT BEARS THE APPROPRIATE PEO NUMBER AND ORIGINAL

8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER

9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE.

ı				
	NO.	DATE:	GENERAL DESCRIPTION:	INITIALS:
	01			
1	02			

NORTH POSITION:

ENGINEER'S STAMP: S. RAJKARNIKAR 100073532 2024-12-19

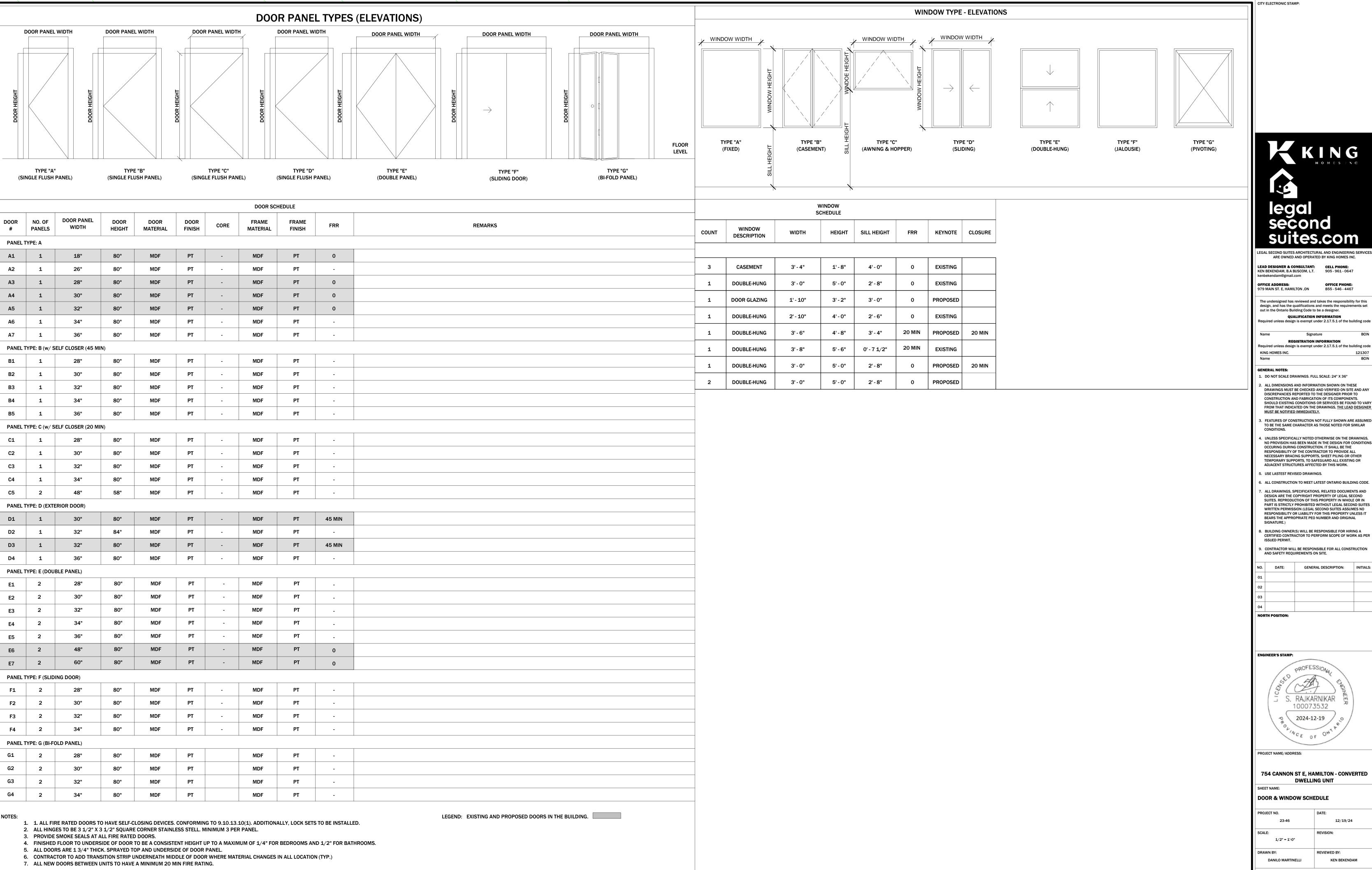
PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED **DWELLING UNIT**

FIRE SHUTTER DETAILS PROJECT NO.

12/19/24 SCALE: 12" = 1'-0" DRAWN BY: REVIEWED BY:

SHEET NO.



*GC TO SITE VERIFY DOOR HEIGHT AND WIDTH

LEGAL SECOND SUITES ARCHITECTURAL AND ENGINEERING SERVICES ARE OWNED AND OPERATED BY KING HOMES INC.

kenbekendam@gmail.com

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- 3. FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR
- 4. UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING SUPPORTS, SHEET PILING OR OTHER
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- 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION AND SAFETY REQUIREMENTS ON SITE. GENERAL DESCRIPTION: INITIALS:

ORTH POSITION:				
4				
3				
2				
1				



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED **DWELLING UNIT**

DOOR & WINDOW SCHEDULE

12/19/24 1/2" = 1'-0" REVIEWED BY: DANILO MARTINELLI

SHEET NO.

EXISTING WALLS PROPOSED WALLS EXISTING FOUNDATION W/ NEW LOADBEARING INSULATED STUD WALL - W4 (1H, FRR, STC N/A) EXISTING FOUNDATION WALL (CONTRACTOR TO VERFIY) W4 **W1 EXISTING 12" CONCRETE FOUNDATION WALL** POURED CONCRETE FOUNDATION WALL **T2.3.4.E** SB-2 PROVIDE BITUMOUS DAMPPROOFING AND DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL 2x4 WOOD STUD WALL SPACED 16" O.C. (LOAD BEARING) (20MIN FRR) PROVIDE PARGING ON ALL EXPOSED CONCRETE ABOVE GRADE 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN SURFACE AREA MASS OF 2.8 KG/sqM R22 T2.3.4.A SB-2 **EXISTING EXTERIOR BRICK WALL** NEW 5/8" 'TYPE X' GYPSUM WALL BOARD (40 MIN FRR) **W2 EXISTING 8" DOUBLE BRICK VENEER AS PER ELEVATIONS** 1/2" SPRUCE PLYWOOD SHEATHING TOTAL ASSEMBLY = 1H 2x4 SPF #2 WOOD STUDS @ 16" o.c. 1/2" GYPSUM BOARD. EXISTING EXTERIOR DOUBLE BRICK WALL W/ NEW LOADBEARING INSULATED STUD WALL - W5 (5H, FRR, STC N/A) W5 T2.1.1 SB-2 DOUBLE BRICK WALL 178mm (4H FRR) EXISTING INTERIOR NON-LOADBEARING STUD WALL **W3 T2.3.4.E** SB-2 **EXISTING LATH AND PLASTER BOTH SIDES** NEW 2"x4" LOADBEARING WALL @ 16" O.C., DOUBLE PLATE AT TOP (20 MIN FRR) EXISTING 2"x4" WOOD STUDS 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN SURFACE AREA MASS OF 2.8 KG/sqM R22 <u>T2.3.4.A</u> SB-2 5/8" TYPE X GYPSUM BOARD ON ONE SIDE (40MIN FRR) TOTAL ASSEMBLY = 5H EXISTING EXTERIOR BRICK WALL W/ NEW LOADBEARING INSULATED STUD WALL - W6 (2H, FRR, STC N/A) T2.1.1 SB-2 90mm SOLID BRICK (1H FRR) 1" AIR SPACE, COMPLETE WITH MORTAR MESH FULL HEIGHT. **T2.3.4.E** SB-2. NEW 2"x6" LOADBEARING WALL @ 16" O.C., DOUBLE PLATE AT TOP (20 MIN FRR) FILL STUD CAVITY WITH BATT INSULATION (R-22) T2.3.4.A SB-2 5/8" TYPE X GYPSUM BOARD ON ONE SIDE (40MIN FRR) TOTAL ASSEMBLY = 2H NEW VERTICAL PARTITION (WALL EXTERIOR W7) - S10a NEW EXTERIOR SIDING WALL (WALL EXTERIOR W7a - EW1b **W7** \langle W7Aangle(1H, FRR, STC 38) (45 MIN, FRR, STC N/A) • EXTERIOR HARDIE FIBER-CEMENT SIDING EXTERIOR HARDIE FIBER-CEMENT SIDING • 41-mm X 92-mm STEEL STUDS 0.84 mm ONE OR TWO LAYERS OF GYPSUM BOARD ON INSIDE THICKNESS SPACED @ 16" O.C. (10 MIN FRR) 2x4 WOOD STUDS @ 16" O.C. (NON LOADBEARING) 89mm THICK ABSORPTIVE MATERIAL 89mm THICK ABSORPTIVE MATERIAL • 2 LAYERS OF 5/8" TYPE X GYPSUM BOARD BOTH 1/2" TYPE X GYPSUM BOARD **SIDES** TAPED & MUD, PRIMED & MIN. 2 COATS OF PAINT NEW INTERIOR NON-LOADBEARING STUD WALL **W8** • 1/2" GYPSUM WALL BOARD BOTH SIDES NEW 2"x4" WOOD STUD WALL SPACED @ 16" O.C NEW INTERIOR FIRE RATED STUD WALL - W4a (1HR FRR, STC51) **W9** * SEPARATION BETWEEN RESIDENTIAL SUITES TO HAVE A FIRE RESISTANCE RATING OF 60 MINS AS PER O.B.C. 3.3.4.2.1(1) • NEW 2"x4" STUD WALL SPACED 16" O.C. • 3.5" THICK ABSORPTIVE MATERIAL IN CAVITY (FIBRE FROM ROCK/SLAG W/ MIN 90mm & MIN. SURFACE AREA MASS OF 2.8 KG/SQM RESILIENT METAL CHANNELS SPACED 24" O.C. 2 LAYERS 5/8" TYPE X GYPSUM BOARD ON CHANNEL SIDE 1 LAYER 5/8" TYPE X GYPSUM BOARD ON OTHER SIDE

WALL/FLOOR SCHEDULE

PROPOSED FLOOR

NEW HORIZONTAL PARTITION (CEILING) - WNR/FCA 45-06 (45MIN FRR)

- 48/24 TONGUE-AND-GROOVE, SPAN-RATED SHEATHING. 40/20 TONGUE-AND-GROOVE, SPAN-RATED SHEATHING IS PERMITTED WITH PROPRIETARY GYPSUM AS LISTED IN WNR/FCA 45-06
- 11 7/8" TJI @ 16" O.C.

F1

- PROPRIETARY 5/8" TYPE C GYPSUM BOARD
- RESILIENT CHANNELS AT 16" ON-CENTRE, MAXIMUM
- OPTIONAL (NOT REQUIRED): MINIMUM 3½" THICK GLASS FIBRE INSULATION OR NON-COMBUSTIBLE INSULATION, RATED R-30 OR LESS

KING
HOMESING

legal
second
suites.com

ARE OWNED AND OPERATED BY KING HOMES INC.

LEAD DESIGNER & CONSULTANT: CELL PHONE:
KEN BEKENDAM, B.A BUSCOM, L.T. 905 - 961 - 06
kenbekendam@gmail.com

OFFICE ADDRESS: 979 MAIN ST. E, HAMILTON ,ON

The undersigned has reviewed and takes the responsibility for this design, and has the qualifications and meets the requirements set

out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1 of the building co-

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code
KING HOMES INC. 121307

GENERAL NOTES:

CITY ELECTRONIC STAMP:

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- 8. BUILDING OWNER(S) WILL BE RESPONSIBLE FOR HIRING A
 CERTIFIED CONTRACTOR TO PERFORM SCOPE OF WORK AS PER
 ISSUED PERMIT
- 9. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONSTRUCTION

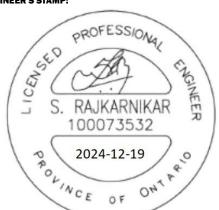
I	AND SAFETY REQUIREMENTS ON SITE.				
ı	NO.	DATE:	GENERAL DESCRIPTION:	INITIALS	

Revision 1

03

NORTH POSITION:

ENGINEER'S STAMP:



PROJECT NAME/ADDRESS:

754 CANNON ST E, HAMILTON - CONVERTED DWELLING UNIT

HEET NAME:

WALL/FLOOR SCHEDULE

 PROJECT NO.
 DATE:

 23-46
 12/19/24

 SCALE:
 REVISION:

 1/4" = 1'-0"
 1 Date 1

 DRAWN BY:
 REVIEWED BY:

 DANILO MARTINELLI
 KEN BEKENDAM

SHEET NO.

A4.04

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

- 1. To permit porch 5'-11 1/2" [1.82m] into the required front yard whereas the zoning bylaw 4.6 of Hamilton Zoning bylaw 05-200 requires a porch, deck or canopy to encroach into any required yard to a maximum of 1.5 meters, or to a maximum of half the distance of the required yard, whichever is the lesser.
- 2. To permit stairs 5'-11 1/2" [1.82m] into the required front yard whereas the zoning bylaw 4.6 of Hamilton Zoning bylaw 05-200 requires a porch, deck or canopy to encroach into any required yard to a maximum of 1.5 meters, or to a maximum of half the distance of the required yard, whichever is the lesser.
- 3. To permit zero parking spaces whereas the the zoning bylaw 4.34(e) of Hamilton Zoning By-law 5-200 requires 1 parking space for the fourth dwelling unit.

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

Building Division 71 Main Street West

Hamilton, Ontario, Canada, L8P 4Y5

Phone: 905.546.2720 Fax: 905.546.2764





January 05, 2024

FILE: AI R 23-315857-00 ALR FOLDER: ATTENTION OF: Ross McIntosh (905) 546-2424 TELEPHONE NO: **EXTENSION:** 2077

Christopher Houghton 979 MAIN ST E HAMILTON, ON L8M 1N2

Attention:

Re: APPLICABLE LAW REVIEW - ZONING BYLAW

Present Zoning: R1A LOW DENSITY RESIDENTIAL (SMALL LOT)

Address: 754 CANNON ST E, HAMILTON, ON

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

COMMENTS:

- 1. This applicant is proposing to convert the existing single-family dwelling to a single-family dwelling containing 4 dwelling units.
- 2. The proposed use is permitted within the current zoning.

3. <u>LRT - Transit Corridor Land</u> 30m Buffer Zone:

A Corridor Development Permit is required from Metrolinx to construct any buildings, structure, road, utility infrastructure, or to conduct any excavation, dewatering or other Prescribed Work pursuant to the Building Transit Faster Act and its Regulation. Please contact development.coordinaor@metrolinx.com for more information.

4. Zoning Policy: ZON-041

Additions to Dwellings Legal Non-Complying in Location:

Any proposed addition(s) to a dwelling which do not further aggravate the existing legally establish non-complying yard setbacks shall be permitted and shall not require an application for minor variance, provided that the existing yard setbacks are maintained or are moving closer to compliance with the yard setback requirements of the applicable zone.

The addition(s) shall still be required to meet all other applicable zoning requirements, including but not limited to height, lot coverage, minimum landscaped area and parking regulations.

Encroachments shall be permitted into the existing legal non-complying yard setback in accordance with the applicable regulations within the Zoning By-law.

5. The proposed converted dwelling has been reviewed under the R1a Zone & Converted Dwelling

regulations of the City of Hamilton Zoning By-law No. 05-200;

Accessory Buildings

of Hamilton Zoning By-

[as per section 15.2.2.1(i)

R1a Zone – Low Density Residential (Small Lot) (Section 15.2 of Hamilton Zoning By-law 05-200) Conforming/ Provided **By-law Requirement** Non-Conforming **SECTION 15.2.2 - R1A REGULATIONS** Minimum Lot Area 270.0 m² 167.22m² Deemed to [as per section Comply 15.2.2.1(a) of Hamilton Zoning By-law 05-200] Minimum Lot Width $9.0 \, \mathrm{m}$ 6.10m Deemed to [as per section Comply 15.2.2.1(b) of Hamilton Zoning By-law 05-200] Minimum Setback from 3.0m 3.38m Conforms the Front Lot Line [as per section 15.2.2.1(c) of Hamilton Zoning By-law 05-200] 1.2m Minimum Setback from West:0.52m Deemed to a Side Lot Line Comply East: 0.33m [as per section 15.2.2.1(d) of Hamilton Zoning By-law 05-200] Minimum Setback from 3.0m No Flankage lot line N/A a Flankage Lot Line [as per section 15.2.2.1(e) of Hamilton Zoning By-law 05-2001 Minimum Setback from 7.5m 13.07m Conforms a Rear Lot Line [as per section 15.2.2.1(f) of Hamilton Zoning By-law 05-200] Maximum Building 10.5m 9.54m Conforms Height [as per section 15.2.2.1(g) of Hamilton Zoning By-law 05-200] See section 4.34 Parking In accordance with the No existing parking spaces or [as per section requirements of Section 5 of proposed parking spaces (E)(i) below. 15.2.2.1(h) of Hamilton this By-law. Zoning By-law 05-200] Notwithstanding Section 5.6 c) i., 2 parking spaces shall be required for a Single Detached **Dwellings**

No Accessory Buildings

proposed.

N/A

In accordance with the requirements of

Section 4.8 of this By-law.

law 05-200]			
ln ac	GENERAL PROVISION Excordance with the requirements of Section 4 of		
Permitted Yard Encroachments [as per section 4.6 of Hamilton Zoning By-law 05-200]	a) The usual projections of window sills, chimney breasts, belt courses, cornices, eaves, troughs and other similar architectural features, ductwork, venting and other similar appurtenances may be permitted in any required yard, provided that no such feature shall project more than 0.6 metres into the required yard, or to a maximum of half the distance of the required yard, whichever is the lesser;	Not Proposed	N/A
	b) A fire escape or exterior staircase may encroach into a required side or rear yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser;	Exterior Staircase encroaches into front yard is a required exterior exit for dwelling unit See 4.33.1 below	Conforms
	c) An unenclosed ramp for wheelchair access may encroach into any required yard to no maximum distance;	Not proposed	N/A
	d) A porch, deck or canopy may encroach into any required yard to a maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser	Stairs of porch encroach >1.5m into required front yard	Non-Conforming
Mechanical and Unitary Equipment [as per section 4.9 of Hamilton Zoning By-law 05-200]	Hot boxes, air conditioners and pumps (including heat pumps and swimming pool pumps) and other similar mechanical equipment shall be located only in accordance with the following regulations: a) Within a required front yard, provided such equipment shall have a minimum setback of 3.0 metres from the street line, a minimum setback of 0.6 metres from a side lot line and is screened from the street by an enclosure or landscaping; and,	Applicant to Note.	
Additional Dwelling	b) Within a required side yard or required rear yard provided such equipment has a minimum setback of 0.6 metres from the side lot line or rear lot line. (c) There shall be no outside stairway above	Additional designation of the second	0.05.00
Unit [as per section 4.33.1 of Hamilton Zoning By-law	the first floor other than a required exterior exit.	Additional stairway above first floor is a required exterior exit for dwelling unit	Conforms
05-200]	(d) A maximum of one entrance shall be permitted on the front façade of a dwelling containing an Additional Dwelling Unit.i) Notwithstanding Section 4.33.1 (d) an additional entrance may be located on the	Two entrances located on front façade. Basement entrance not considered to be located on front façade. Subject lands identified on	Conforms

	front façade of the principal dwelling for lands identified on Figure 24 of Schedule F – Special Figures.	figure 24 of Schedule F	
In acc	CONVERTED DWELLIN cordance with the requirements of Section 4.34 c		
Conversion of Dwelling [as per section 4.34(a) of Hamilton Zoning By-law 05-200]	For the purpose of Section 4.34, a Converted Dwelling shall mean a Single Detached Dwelling or Duplex Dwelling, existing as of August 12, 2022, converted to contain greater than two but no more than four Dwelling Units.	Single Family Dwelling being converted to a single-family dwelling with four dwelling units	Conforms
Permitted Zones [as per section 4.34(b) of Hamilton Zoning By-law 05-200]	A Converted Dwelling shall be permitted on a lot in an "R1" or "R1a" Zone.	R1a Zone	Conforms
Applicable Zone Regulations to the Existing Dwelling [as per section 4.34(c) of Hamilton Zoning By-law 05-200]	All the regulations of this By-law applicable to the existing dwelling shall continue to apply unless specifically provided in Section 4.34.	Noted.	
Maximum Number of Dwelling Units [as per section 4.34(d) of Hamilton Zoning By-law 05-200]	Notwithstanding any applicable regulations of this By-law, no more than four Dwelling Units shall be permitted on a lot subject to Converted Dwelling permissions as identified in Section 4.34 (b).	Four Dwelling Units proposed	Conforms
Parking Spaces [as per section 4.34(e) of Hamilton Zoning By-law 05-200]	No parking spaces are required for Dwelling Units within a Converted Dwelling, provided the required parking spaces which existed on August 12, 2022 for the existing dwelling shall continue to be provided and maintained. i) Notwithstanding Section 4.34 (e), one parking space is required for the	No parking spaces existing or proposed	Non-Conforming
	following conditions: A. For the fourth Dwelling Unit in a Converted Dwelling, and, B. For the fourth Dwelling Unit on a lot.		

- 4. This review is based on the plans submitted with the application.
- 5. Construction of the proposed converted dwelling containing a total of four (4) dwelling units is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setback and construction types.
- 6. All fencing shall conform to Hamilton Fence By-law 10-142.
- 7. The designer shall ensure that the fire access route conforms to the Ontario Building Code.



Committee of Adjustment

City Hall, 5th Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME			
Registered Owners(s)	Michael Sifontes			
Applicant(s)				
Agent or Solicitor	Ken Bekendam King Homes Inc			
.2 All correspondent	ce should be sent to	☐ Purcha		☐ Owner☒ Agent/Solicitor
.3 Sign should be sent to		☐ Purcha ☐ Applica		☐ Owner☒ AgentSolicitor
.4 Request for digital	al copy of sign	□Yes*	⊠ No	
If YES, provide e	mail address where si	gn is to be s	ent	
.5 All corresponden	ce may be sent by ema	ail	✓ Yes*	□No
(if applicable). Or		submitted wi	Il result in the	AND the Applicant/Agent voiding of this service. email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	754 Cannon St E, Hamilton, ON, Canada			
Assessment Roll Number	01004201735000			
Former Municipality	Hamilton			
Lot		Concession		
Registered Plan Number		Lot(s)		
Reference Plan Number (s)		Part(s)		

2.2	Are there any easements or restrictive covenants affecting the subject land?
	☐ Yes ☒ No If YES, describe the easement or covenant and its effect:
3.	PURPOSE OF THE APPLICATION
	ditional sheets can be submitted if there is not sufficient room to answer the following estions. Additional sheets must be clearly labelled
All d	dimensions in the application form are to be provided in metric units (millimetres, metres, hectares,)
3.1	Nature and extent of relief applied for:
	See attached ALR and additional sheet
	☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling
3.2	Why it is not possible to comply with the provisions of the By-law? Existing site constriants
3.3	Is this an application 45(2) of the Planning Act. ☐ Yes ☐ No If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
6.10	27.43	167.22	

4.2 Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)						
Existing:						
Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction		
See site plan						
Proposed:						
Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction		
See site plan						
4.3. Particulars of a sheets if neces Existing:	all buildings and struct ssary):	tures on or proposed	forthe subject lands (attach additional		
Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height		
See site plan						
Proposed:						
Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height		
See site plan						
 4.4 Type of water supply: (check appropriate box) ☑ publicly owned and operated piped water system ☐ privately owned and operated individual well ☐ other means (speciments) ☑ Ditches 4.5 Type of storm drainage: (check appropriate boxes) ☑ Ditches 						
swales			other means	s (specify)		

4.6	□ system privately owned and operated individual □ septic system other means (specify)
4.7	Type of access: (check appropriate box) ☐ provincial highway ☐ municipal road, seasonally maintained ☐ municipal road, maintained all year ☐ municipal road, maintained all year
4.8	Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.): Converted Dwelling - 4 units
4.9	Existing uses of abutting properties (single detached dwelling duplex, retail, factoryetc.): Single Detached Dwelling
7	HISTORY OF THE SUBJECT LAND
7.1	Date of acquisition of subject lands: unknown
7.2	Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc) Single detached dwelling
7.3	Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc) Single detached dwelling
7.4	Length of time the existing uses of the subject property have continued: Unknown
7.5	What is the existing official plan designation of the subject land?
	Rural Hamilton Official Plan designation (if applicable):
	Rural Settlement Area:
	Urban Hamilton Official Plan designation (if applicable) Neighbourhoods
	Please provide an explanation of how the application conforms with the Official Plan.
7.6	What is the existing zoning of the subject land?
7.8	Has the owner previously applied for relief in respect of the subject property? (Zoning By-lawAmendment or Minor Variance) Yes No
	If yes, please provide the file number:

7.9	Is the subject property the subject Planning Act?	ct of a current application for consent under Section 53 of the		
	riaming riot:	☐ Yes	🔼 No	
	If yes, please provide the file nur	mber:		
7.10	If a site-specific Zoning By-law Artwo-year anniversary of the by-la			ed for the subject property, has the
		☐ Yes	☐ No	n/a
7.11	If the answer is no, the decision of application for Minor Variance is application not being "received" for	allowed must be i		•
8	ADDITIONAL INFORMATION			
8.1	Number of Dwelling Units Existing	g: 1	_	
8.2	Number of Dwelling Units Propos	sed: 4	_	
8.3	Additional Information (please inc	lude separate she	et if need	ed):

All Applications 11.1 Application Fee X Site Sketch Complete Application form X Signatures Sheet 11.4 Other Information Deemed Necessary Cover Letter/Planning Justification Report Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance ☐ Minimum Distance Separation Formulae (data sheet available upon request) Hydrogeological Assessment Septic Assessment Archeological Assessment ☐ Parking Study

COMPLETE APPLICATION REQUIREMENTS