



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:283	SUBJECT PROPERTY:	24 Bedrock Drive, Stoney Creek
ZONE:	R4-33 (Single Residential)	ZONING BY-LAW:	Stoney Creek Zoning By-law 3692-92, as Amended by by-law 17-186 and 18-253

APPLICANTS: Owner: Thejes Kodinjinal Matthew, Denlia Tintu Alex
Agent: Abhay Vaid

The following variances are requested:

1. An unenclosed porch shall be permitted to project 0.3 metres into the required side yard instead of the requirement that an unenclosed porch may project into any required front yard 1.5 metres and any required rear yard not more than 4.0 metres.

PURPOSE & EFFECT: To facilitate the construction of an unenclosed porch to an existing single detached dwelling to accommodate access to a proposed secondary dwelling unit located in the basement.

Notes:

1. Please be advised that the proposed secondary dwelling unit requires one (1) parking space in addition to the required and existing two (2) parking spaces for the existing single detached dwelling. Insufficient information has been provided to determine zoning compliance with parking requirements. Additional variances may be required if conformity cannot be met.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, February 13, 2025
TIME:	1:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon February 11, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon February 12, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:283, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: January 27, 2025

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

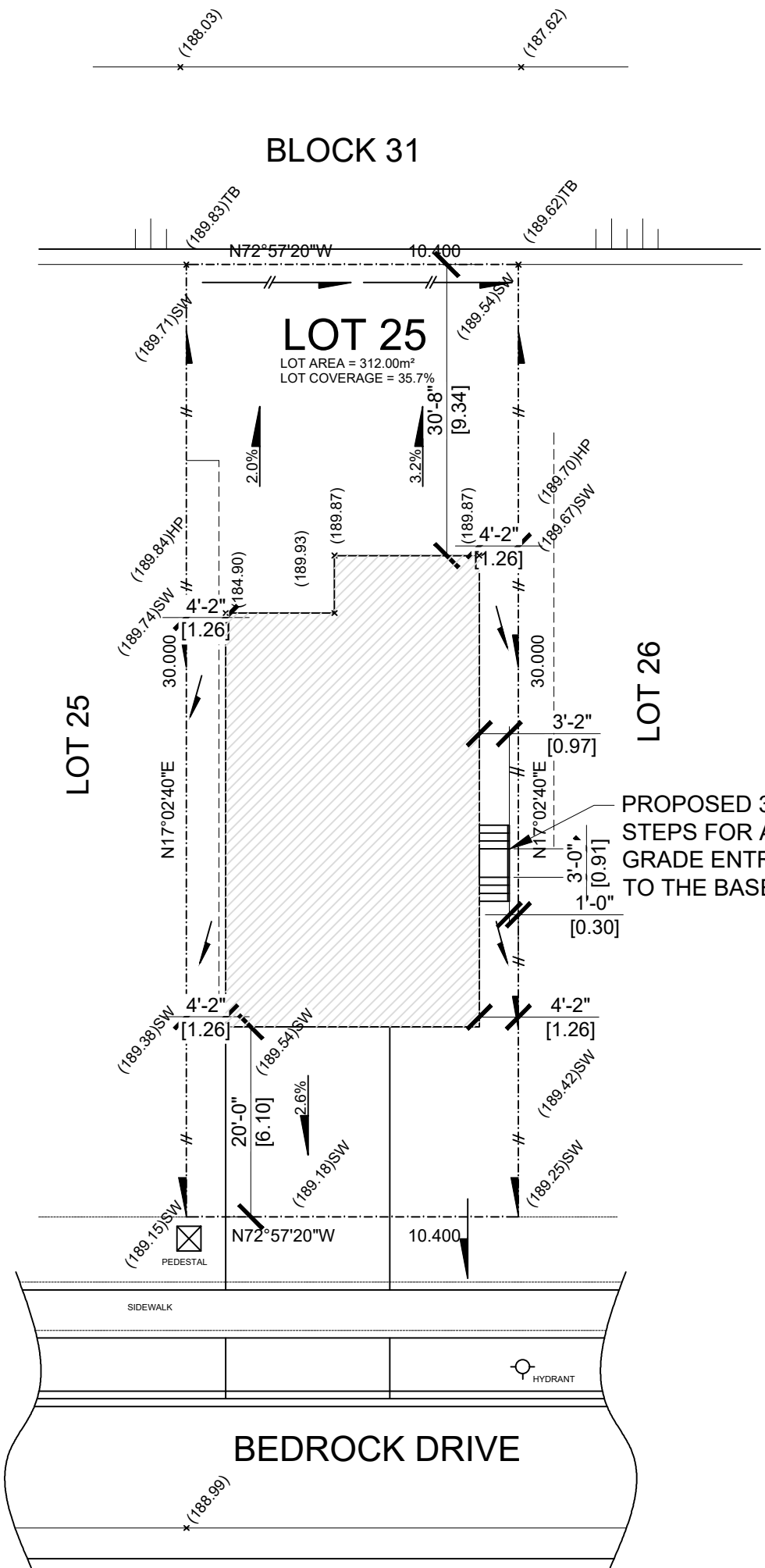
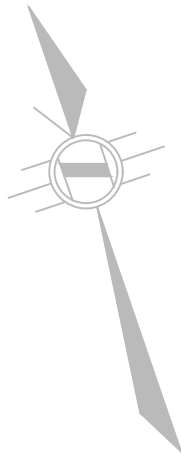
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



1 **SITE PLAN**
 Scale: 1/16" = 1'-0"

V.A.ARCHITECT INC.
 UNIT 103,
 120 TRADERS BLVD. E.,
 MISSISSAUGA, ON.

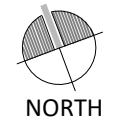
Tel : (905) 501-1000
 Email : vaainc@gmail.com
 Web : www.vaainc.ca

REVISIONS			
NO.	DATE	PARTICULAR	BY

DRAWINGS ISSUE			
NO.	DATE	PARTICULAR	BY
1	09.09.2024	ISSUED FOR CLIENT SIGN OFF	
2	16.10.2024	ISSUED FOR ZONING COMPLIANCE	
3	08.11.2024	ISSUED FOR ZONING COMPLIANCE	
4	13.11.2024	RE ISSUED FOR ZONING COMPLIANCE	
5	03.12.2024	ISSUED FOR C of A MV	

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SEALS:



CLIENT:

T.M.

PROJECT:

BASEMENT APARTMENT
24 BEDROCK DRIVE,
STONEY CREEK, ON

SHEET TITLE:

SITE PLAN

DRAWN:

HT Sheet No:

CHECKED:

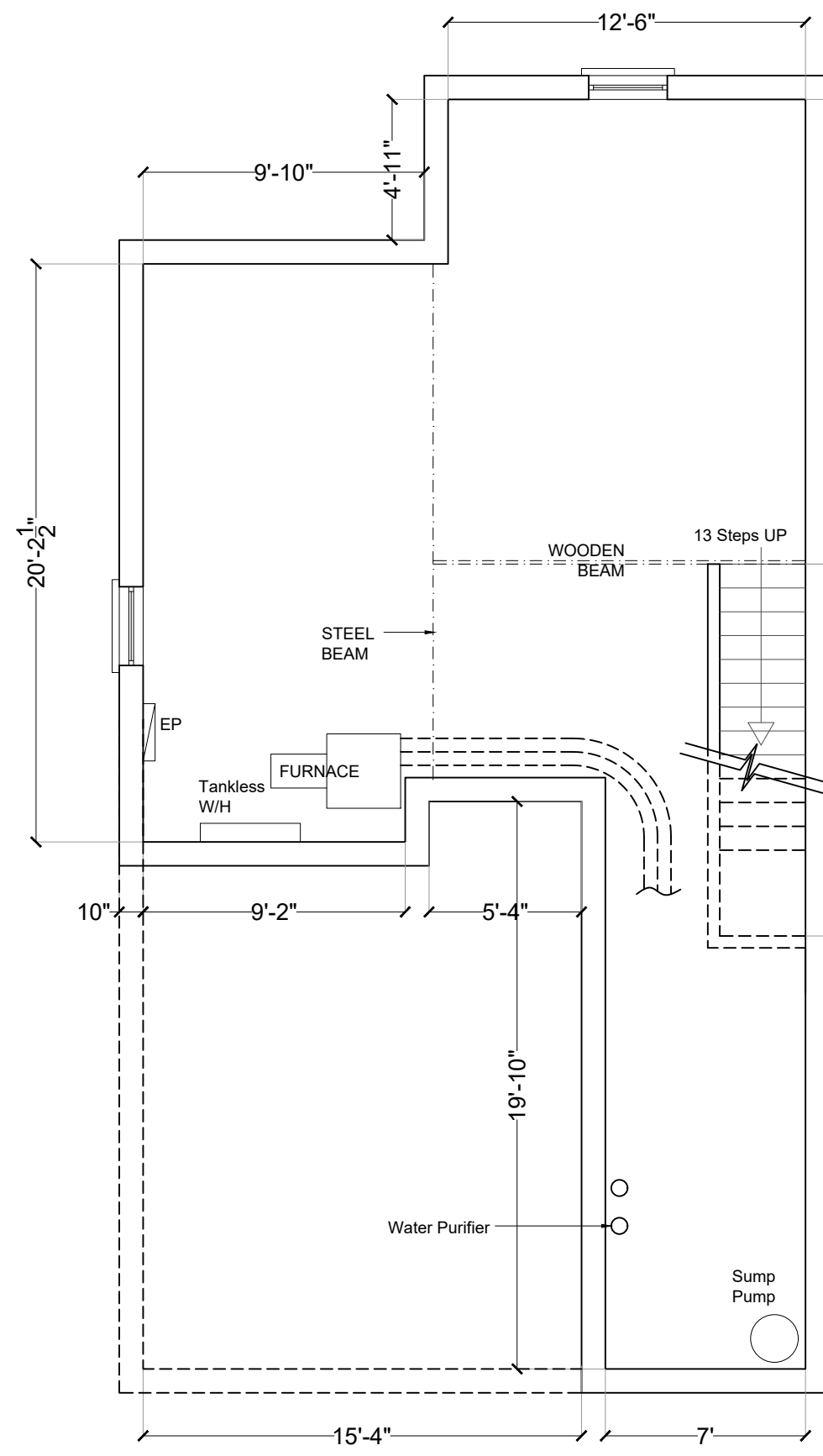
AV

APPROVED:

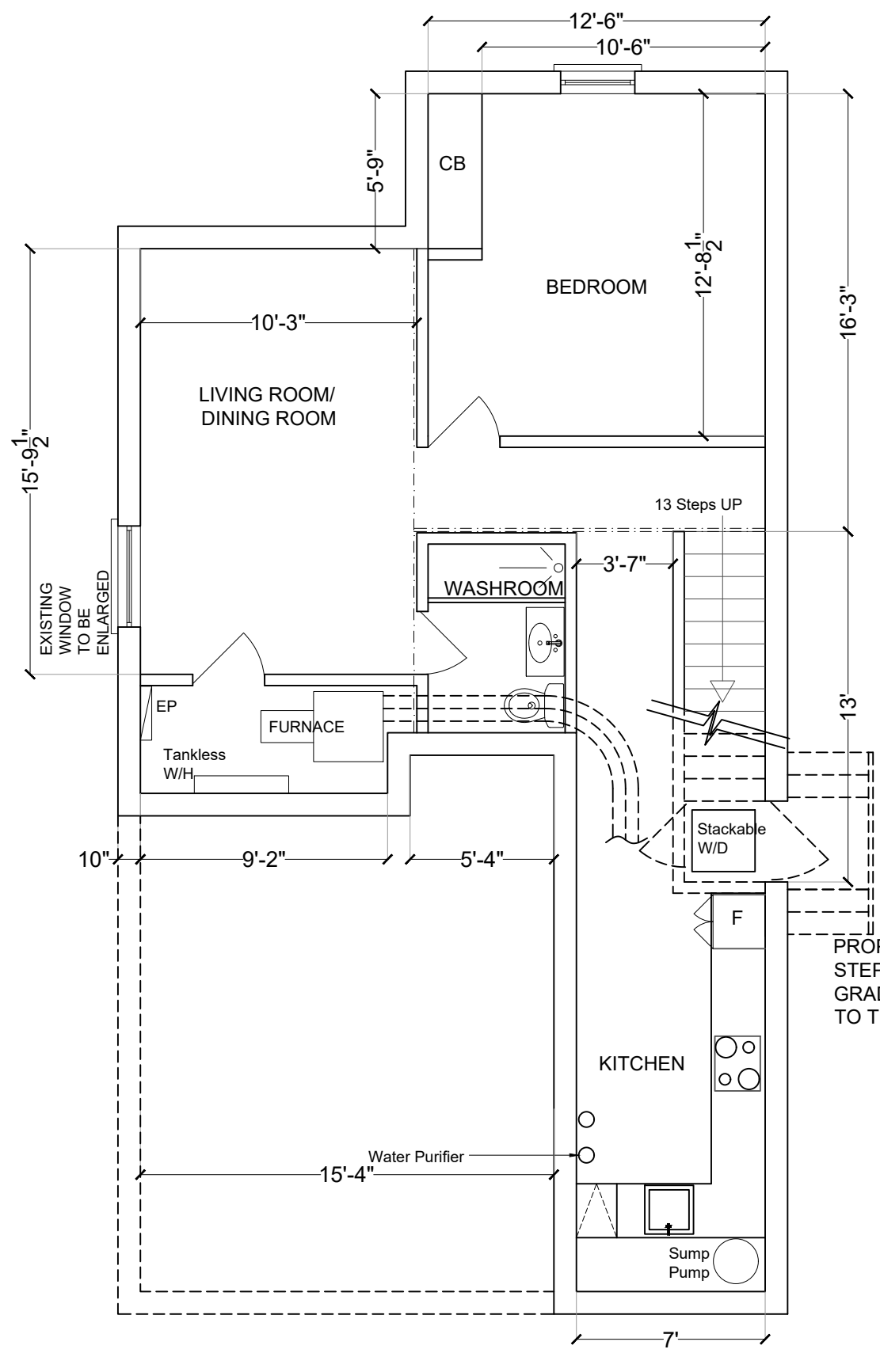
A100

SEPTEMBER 03, 2024

1/16"=1'-0" Project No: 2024-057



EXISTING BASEMENT PLAN



PROPOSED BASEMENT PLAN

1

EXISTING & PROPOSED BASEMENT PLAN

Scale: 3/16" = 1'-0"

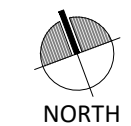
V.A.ARCHITECT INC.
 UNIT 103,
 120 TRADERS BLVD. E.,
 MISSISSAUGA, ON.
 Tel : (905) 501-1000
 Email : vaainc@gmail.com
 Web : www.vaainc.ca

REVISIONS			
NO.	DATE	PARTICULAR	BY

DRAWINGS ISSUE			
NO.	DATE	PARTICULAR	BY
1	09.09.2024	ISSUED FOR CLIENT SIGN OFF	
2	16.10.2024	ISSUED FOR ZONING COMPLIANCE	
3			

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SEALS:



CLIENT:

T.M.

PROJECT:

BASEMENT APARTMENT
 24 BEDROCK DRIVE,
 STONEY CREEK, ON

SHEET TITLE:

EXISTING & PROPOSED
 BASEMENT PLAN

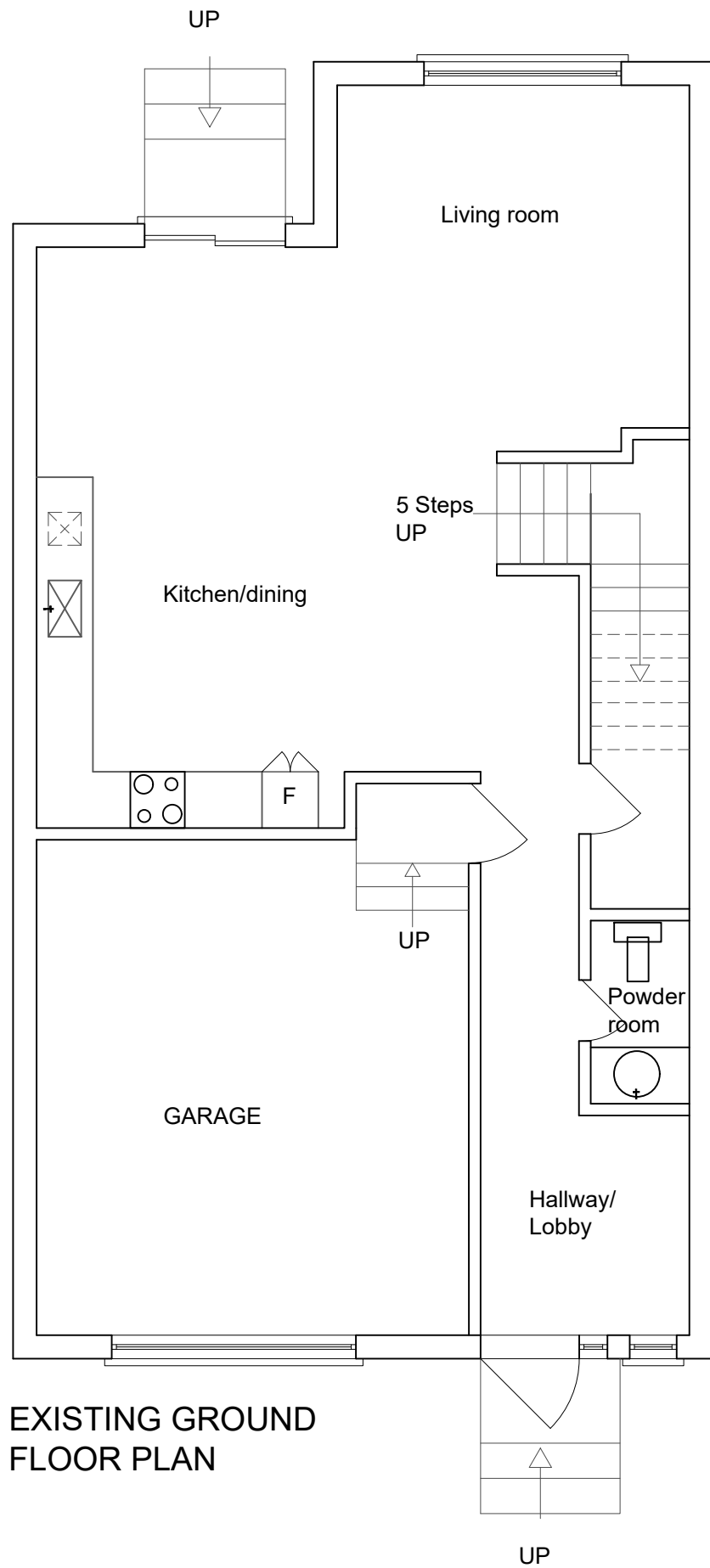
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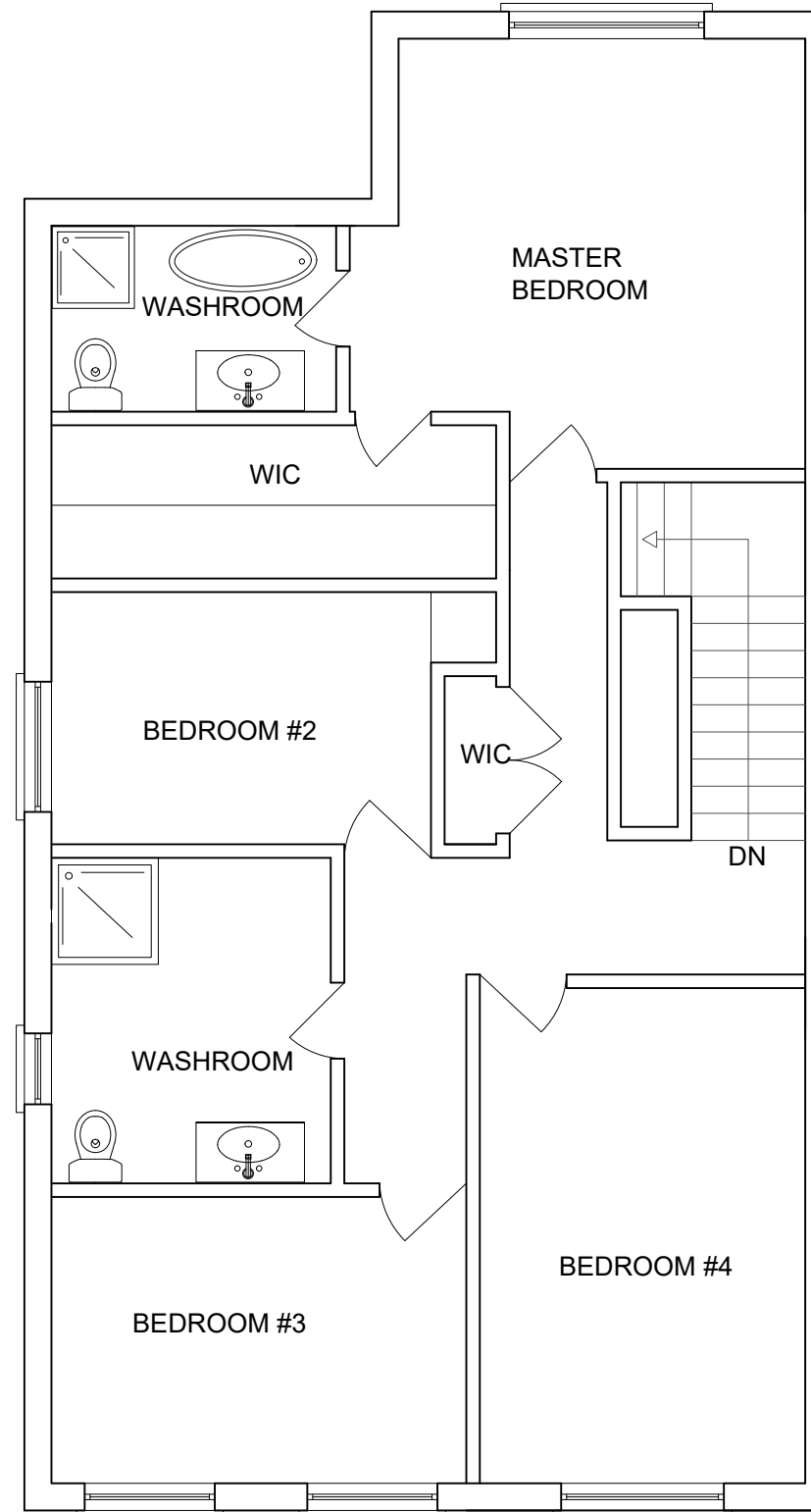
APPROVED: A101

DATE: SEPTEMBER 03, 2024

SCALE: 3/16"=1'-0" Project No: 2024-057



EXISTING GROUND FLOOR PLAN



EXISTING SECOND FLOOR PLAN



V.A.Architect Inc.

UNIT 103,
120 TRADERS BLVD. E.,
MISSISSAUGA, ON.

Tel : (905) 501-1000
Email : vaainc@gmail.com
Web : www.vaainc.ca

REVISIONS			
NO.	DATE	PARTICULAR	BY

DRAWINGS ISSUE			
NO.	DATE	PARTICULAR	BY
1	09.09.2024	ISSUED FOR CLIENT SIGN OFF	
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SEALS:



NORTH

CLIENT:

T.M.

PROJECT:

BASEMENT APARTMENT

24 BEDROCK DRIVE,
STONEY CREEK, ON

SHEET TITLE:

EXISTING GROUND FLOOR
& SECOND FLOOR PLAN

DRAWN: HT Sheet No:

CHECKED: AV

APPROVED: -

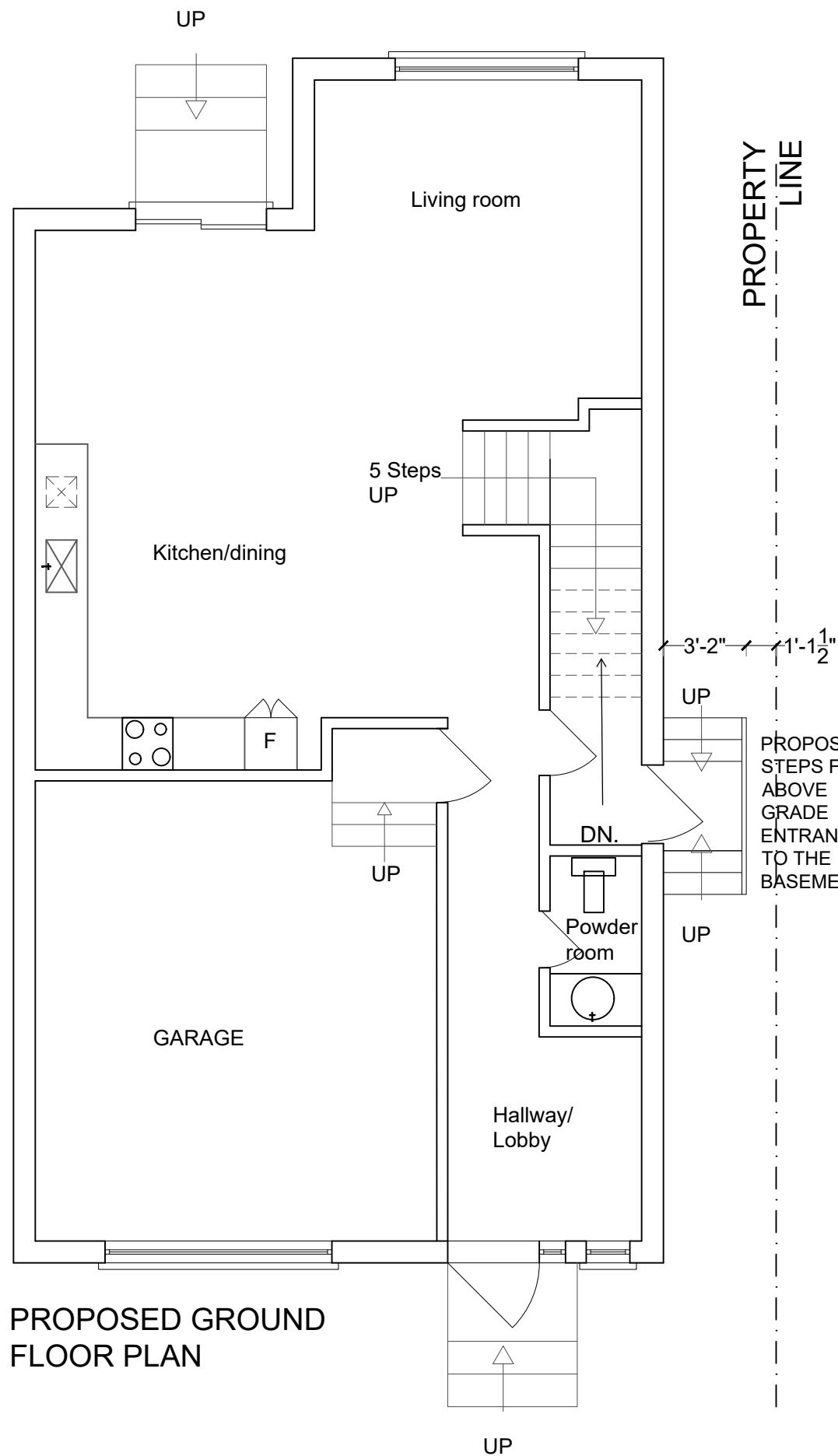
A102

DATE: SEPTEMBER 03, 2024

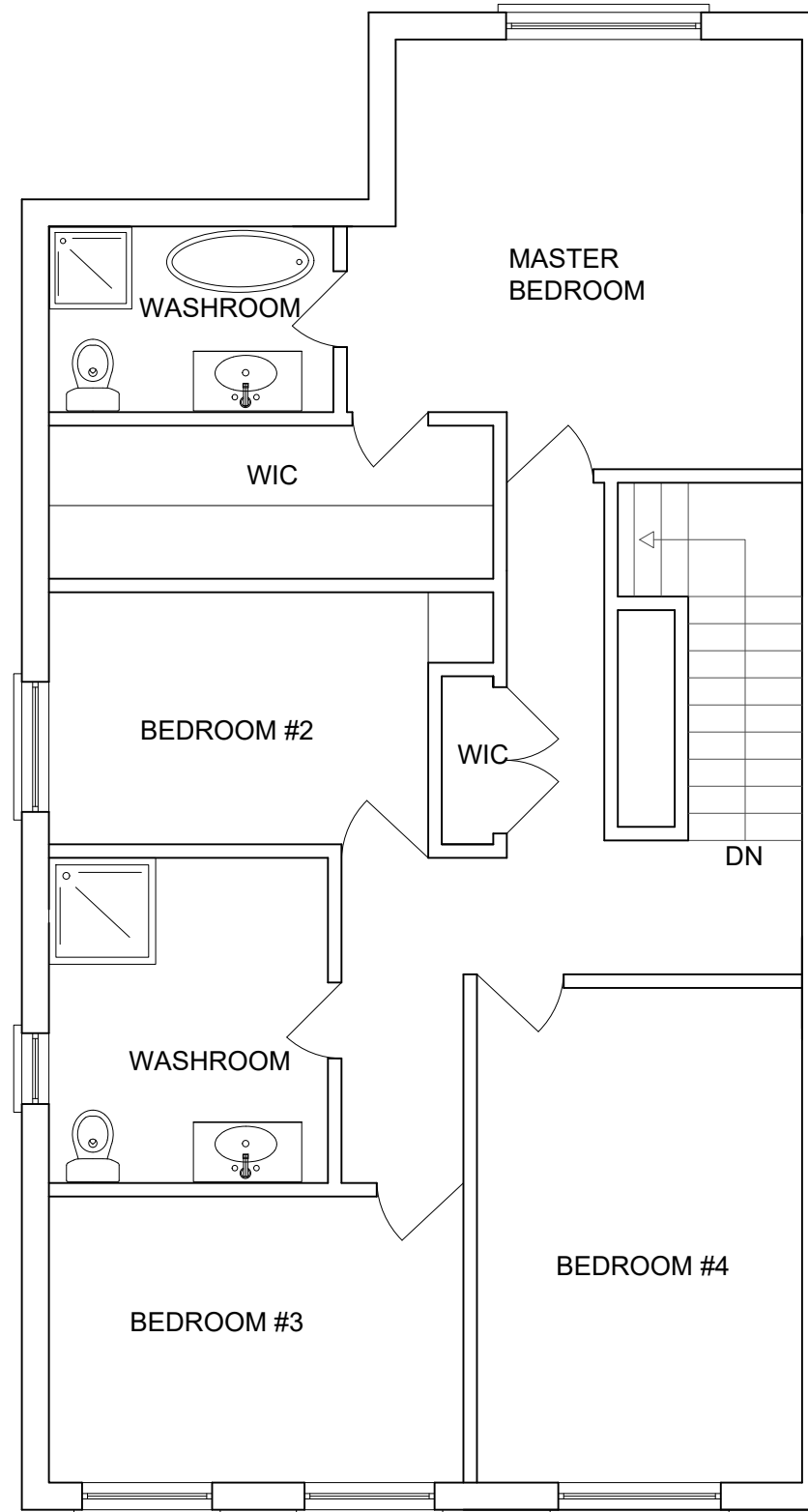
SCALE: 3/16"=1'-0" Project No: 2024-057

1 EXISTING GROUND FLOOR & SECOND FLOOR PLAN

Scale: 3/16" = 1'-0"



PROPOSED GROUND FLOOR PLAN



PROPOSED SECOND FLOOR PLAN (NO CHANGE)



V.A.Architect Inc.

UNIT 103,
120 TRADERS BLVD. E.,
MISSISSAUGA, ON.

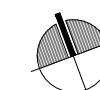
Tel : (905) 501-1000
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REVISIONS			
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DRAWINGS ISSUE			
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SEALS:



NORTH

CLIENT:

T.M.

PROJECT:

BASEMENT APARTMENT

24 BEDROCK DRIVE,
STONEY CREEK, ON

SHEET TITLE:

PROPOSED GROUND FLOOR & SECOND FLOOR PLAN

DRAWN: HT Sheet No:

CHECKED: AV

APPROVED: -

A103

DATE: SEPTEMBER 03, 2024

SCALE: 3/16"=1'-0" Project No: 2024-057

1

PROPOSED GROUND FLOOR & SECOND FLOOR PLAN

Scale: 3/16" = 1'-0"



Hamilton

November 5, 2024

FILE: ALR
FOLDER: ZCR-24-075
ATTENTION OF: Kayla Medeiros
TELEPHONE: (905) 546-2424
EXTENSION: 5867

ABHAY VAID
103-120 TRADERS BOULEVARD EAST
MISSISSAUGA ON, L4Z 2H7

Attention:

RE: APPLICABLE LAW REVIEW – ZONING BYLAW COMPLIANCE REVIEW
PRESENT ZONING: R4-33 (STONEY CREEK ZONING BY-LAW 3692-92)
ADDRESS: 24 BEDROCK DRIVE, STONEY CREEK

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

COMMENTS:

1. The applicant is proposing to construct steps on the side yard for an above grade entrance to a basement apartment.
2. This application has been made in support of a building permit application.
3. This property is zoned R4 Single Residential with Special Exception 33, which states the following:

Notwithstanding the provisions of Paragraphs (a), (b), (d), and (g) of Subsection 6.5.3 of the Single Residential "R4" Zone, Zone Regulations and Subsection 4.13.1 "Special Setbacks – Daylight Triangles" the regulations of the Residential "R4-33" Zone, Modified, as established for those lands zoned "R4-33" by this By-law, the following shall apply:

(a) Minimum Lot Area Corner Lot 340 square metres

(b) Minimum Lot Frontage Corner Lot 11.0 metres

(d) Minimum Side Yard

- 1. 1.2 metres shall be provided on the garage side and 0.6 metres shall be provided on the non – garage side of the dwelling unit, subject to a maintenance easement registered on title for any minimum side yard that is less than 1.2*

metres, with said maintenance easement permitting encroachment for maintenance purposes only for no more than 0.6 metres into the side yard with a side yard setback less than 1.2 metres.

A 0.6 metre side yard setback shall not be permitted adjacent to any side lot line less than 1.2 metres.

3. Minimum Flankage Yard: 1.8 metres.

(g) Maximum Lot Coverage 46 %

All other regulations of the Residential “R4” Zone shall apply. Notwithstanding Section 4.13.1, the following shall apply: Any lot located at the intersection of two or more roads will require a minimum yard to the hypotenuse of the daylight triangle of 2.0 metre for a building or porch, including porch foundations walls, and 1.0 metres for eaves or gutters.

4. This property is deemed an interior lot and for zoning purposes the lot line along Bedrock Drive is deemed the front line.
5. The proposed use of a secondary dwelling unit is permitted within the current “R4-33” (Single Residential) Zone and with accordance with Section 6.1.7.1 within the Stoney Creek Hamilton Zoning By-law 3692-92.
6. This property may be converted to container greater then two (2) but no more then four (4) dwelling units. Parking has not been shown on the site plan and therefore parking requirements have not been reviewed for zoning compliance.
7. The proposed development has been reviewed and compared to the standards of the “R4-33 (Single Residential) Zone, as indicated in the following chart:

R4-33 Zone – Single Residential / Amending By-laws 17-186, 18-253

	Required By Zoning By-Law	Provided	Conforming/ Non- Conforming
Section 6.5 “R4” SINGLE RESIDENTIAL ZONE, SPECIAL EXCEPTION: R4-33 (Stoney Creek Zoning By-law 3692-92)			
Permitted Uses For Each Lot [as per section 6.5.2 of Stoney Creek Zoning By-law 3692-92]	(a) A single detached dwelling (b) Uses, buildings or structures accessory to a permitted use (c) A Home Occupation (d) In addition to the uses permitted in Section 6.5.2 (a), (b), and (c), on a lot identified on Figure	Appears to be a single detached dwelling.	Appears to Conform

	Required By Zoning By-Law	Provided	Conforming/ Non- Conforming
	1 of Part 15: Special Figures, the following additional uses are permitted: 1. A Semi-Detached Dwelling 2. A Duplex 3. Street Townhouses		
Zone Regulations For The Use Permitted Under Section 6.5.2 (a) [as per section 6.5.3 of Stoney Creek Zoning By-law 3692-92]	(a) Minimum Lot Area Interior Lot- 310 square metres	312 square metres	Conforms
	(b) Minimum Lot Frontage Interior Lot - 10 metres	10.4 metres	Conforms
	(c) Minimum Front Yard - 6 metres	6.10 metres	Conforms
	(d) Minimum Side Yard - No part of any dwelling shall be located closer than 1.25 metres except as provided in clauses 1, 2 and 3 below: 1. An attached garage or attached carport may be erected at a distance of not less than 1 metre from a side lot line which does not abut a flankage street; 2. On an interior lot, where no attached garage or attached carport is provided, the minimum side yard on one side shall be 3 metres; and 3. On a corner lot, the minimum side yard abutting the flankage lot line shall be 3 metres, except that an attached garage or attached carport which fronts on the flankage lot line shall not be located within 5.5 metres of the flankage lot line.	1.26 metres provided on both side yards of the existing dwelling	Conforms
[as per Part 6 R4-33 of Stoney Creek Zoning By-law 3692-92]	1.2 metres shall be provided on the garage side and 0.6 metres shall be provided on the non – garage side of the dwelling unit, subject to a maintenance easement registered on title for any minimum side yard that is less than 1.2 metres, with said maintenance easement permitting encroachment for maintenance purposes only for no more than 0.6 metres into the side yard with a side yard setback less than 1.2 metres. A 0.6 metre side yard setback shall not be permitted adjacent to any side lot line less than 1.2 metres.	1.26 metres is provided on both side yards of the existing dwelling	Conforms
[as per section 6.5.3 of Stoney Creek Zoning By-law 3692-92]	(e) Minimum Rear Yard - 7.5 metres	9.4 metres	Conforms
	(f) Maximum Building Height - 11 metres	Elevations have not been provided	Unable to determine compliance

	Required By Zoning By-Law	Provided	Conforming/ Non- Conforming
[as per Part 6 R4-33 of Stoney Creek Zoning By-law 3692-92]	(g) Maximum Lot Coverage 40 percent Minimum Lot Coverage 46%	35.7% as indicated on site plan	Conforms
Zone Regulations For The Use Permitted Under Section 6.5.2 (d) [as per section 6.5.3.1 of Stoney Creek Zoning By-law 3692-92]	(a) Semi-detached dwellings shall comply with the provisions of Sections 6.6.3, 6.6.4, 6.6.5, 6.6.5.1, 6.6.5.2, and 6.6.6. (b) Duplex dwelling shall comply with the provisions of Sections 6.5.3, 6.7.4, 6.7.5, 6.7.6, 6.7.6.1, and 6.7.6.2. (c) Street townhouse dwellings shall comply with the provisions of Sections 6.9.3, 6.9.4, 6.9.5, and 6.9.5.1	Not proposed	Not Applicable
Regulations For Parking For The Use Permitted Under Section 6.5.2 (a) [as per section 6.5.4 of Stoney Creek Zoning By-law 3692-92]	Minimum number of parking spaces - 2 per dwelling unit of which only one may be provided in the required front yard. Tandem parking is permitted.	Parking has not been shown	Unable to determine compliance
Regulations for Converted Dwellings [as per section 6.5.6.2 of Stoney Creek Zoning By-law 3692-92]	Converted dwellings are permitted in accordance with Section 6.1.7.3	See below	See below
Section 6.1.7.1 and 6.1.7.3 Regulations for Converted Dwellings (amended by By-law 22-138 and 22-196, Stoney Creek Zoning By-law 3692-92)			
Secondary Dwelling Unit [as per section 6.1.7.1 of Stoney Creek Zoning By-law 3692-92]	a) For lands within a "R1", "R2", "R3", "R4", "R5", "R6", "RM1", "RM2", and "RM3" Zone, a maximum of one Secondary Dwelling Unit shall be permitted within a Single Detached Dwelling, a Semi-Detached Dwelling, or a Street Townhouse Dwelling on a divided or undivided lot and shall not result in a change to the defined dwelling type on the lot.	Property is located in a R4-33 Zone. Current use of dwelling has not been provided. Floor plans are only provided for basement dwelling unit.	Unable to determine compliance
	(b) All the regulations of the By-law applicable to the existing dwelling shall continue to apply unless specifically provided in Section 6.1.7.1.	Current use of dwelling has not been provided. Floor plans are only provided for basement dwelling unit.	Unable to determine compliance
	(c) There shall be no outside stairway above the first floor other than a required exterior exit.	Exterior side yard stairs are proposed on the first floor.	Conforms

	Required By Zoning By-Law	Provided	Conforming/ Non- Conforming
	(d) A maximum of one entrance shall be permitted on the front façade of a dwelling containing a Secondary Dwelling Unit	Information has not been provided to indicated front façade entrance of dwelling.	Appears to Conform
Regulations for Converted Dwellings [as per section 6.1.7.3 of Stoney Creek Zoning By-law 3692-92]	(a) For the purpose of Section 6.1.7.3, a Converted Dwelling shall mean a single detached or duplex dwelling, existing as of August 12, 2022 converted to contain greater than two but no more than four Dwelling Units.	Current use of dwelling has not been provided. Floor plans are only provided for basement dwelling unit.	Unable to determine compliance
	(b) A Converted Dwelling shall only be permitted on a lot in an R1, R2, R3, R4, R5 or R6 Zone identified on Figure 1 of Part 15: Special Figures (i) In addition to Section 6.1.7.3 (b), a Converted Dwelling shall be permitted on a lot in in any RM1 zone shown on Schedule "A" of this By-law.	Current use of dwelling has not been provided. Floor plans are only provided for basement dwelling unit.	Unable to determine compliance
	(c) All the regulations of this By-law applicable to the existing dwelling shall continue to apply unless specifically provided for in Section 6.1.7.3.	Current use of dwelling has not been provided. Floor plans are only provided for basement dwelling unit.	Unable to determine compliance
	(d) Notwithstanding any applicable regulations of this By-law, no more than four Dwelling Units shall be permitted on a lot subject to Converted Dwelling permissions and identified in Section 6.1.7.3 (b).	Floor plans are only provided for one (1) dwelling unit located in the basement.	Unable to determine compliance
	(e) No parking spaces are required for Dwelling Units within a Converted Dwelling, provided the required parking spaces which existed on August 12, 2022 for the existing dwelling shall continue to be provided and maintained. (i) Notwithstanding Section 6.1.7.3 (e), one parking space is required for the following conditions: A. For the fourth Dwelling Unit in a Converted Dwelling; and, B. For the fourth Dwelling Unit on a lot.	Site plan demonstrating parking has not been provided; therefore, parking has not been reviewed.	Unable to determine compliance
Section 4.19 Yard Encroachments (Stoney Creek Zoning By-law 3692-92)			
General Application [as per section 4.19.1 d) of Stoney Creek Zoning By-law 3692-	Balconies, canopies, unenclosed porches and decks, including a cold cellar underneath same, may project into any required front yard 1.5 metres. Balconies, canopies, unenclosed porches and decks may project into any required rear yard	The side yard steps are deemed as an unenclosed porch, which is not permitted in the side	Non-conforming

	Required By Zoning By-Law	Provided	Conforming/ Non- Conforming
92]	not more than 4 metres. Balconies and decks may project into a privacy area of a townhouse development not more than 4.5 metres. Notwithstanding the foregoing, any deck or patio which is less than .3 metres in height may be located in any required yard.	yard.	

Regards,



for the Manager of Zoning and Committee of Adjustment



Hamilton

Mailing Address:
Hamilton City Hall
71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Planning and Economic Development Department
Physical Address: 71 Main Street West, 6th Floor
Phone: 905-546-2424 Ext.5339 Fax: 905-540-6142

March 21, 2022

FILE No.: S714-021

LOT GRADING APPROVAL
24 BEDROCK DR.
STONEY CREEK, ON
L8J 0K6

Re: **Lot Grading Approval Notification for Plan 62M-1261, Lot 25, (STONEY CREEK)**

Dear Occupant:

Your lot was designed, inspected and certified to be in accordance with the development grading plans; ensuring that surface drainage is directed away from the building preventing ponding, flooding, foundation settlement/damage and neighbourhood complaints.

It is the Homeowner's continuing responsibility to maintain the grading of their property as approved by the City, particularly when landscaping, fencing, erecting sheds or altering your property grades along the side and rear lot lines where well defined swales are formed.

For your information, included with this letter please find the City of Hamilton Homeowner's Guide to Lot Grading and Drainage Brochure, a copy of the Lot Grading Certification letter for your lot and a copy of the as-built plot plan for your lot.

Should you have any questions regarding this matter you may contact our office at (905) 546-2424 Ext. 5339

Joyce Rogers
Construction Clerk

MUNICIPAL ENGINEERS / DEVELOPMENT CONSULTANTS

October 25, 2021

City of Hamilton
Planning and Economic Development Department
Growth Management
71 Main Street West
Hamilton, Ontario
L8P 4Y5

Attn.: Candice Hall

RE: Nash Neighbourhood, Phase 1 – 62M-1261
MUNICIPAL No. 24 Bedrock Drive

Dear Candice:

Please be advised that our office has inspected the final lot grading for the following lot on October 15, 2021:

LOT
25

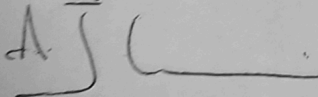
ADDRESS
24 Bedrock Drive

We hereby certify that the lot has been graded in general conformance to the approved grading plan and that the intent of the lot drainage pattern has been adhered to. No drainage problems were evident at the time of our inspection.

The water service box for this lot was located at grade and found to be free from defect or damage.

The builder has satisfied the lot grading requirements of the City of Hamilton Subdivision Agreement.

Yours truly,



A. J. Cameracci, P. Eng.

c.c. Priva Homes
161 Rebecca Street
Hamilton, ON L8R-1B9
Attention: L. Di Silvestro

Received
NOV 01 2021
Growth Management
Consultation

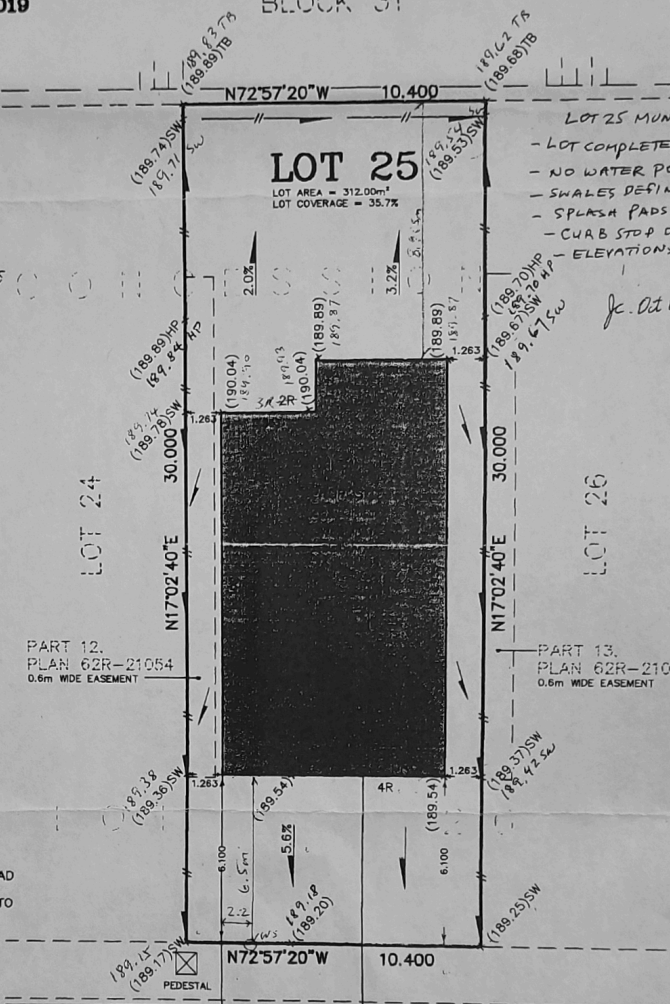
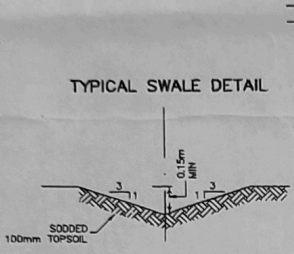


SITE AND GRADING PLAN
OF
LOT 25
PLAN 62M-1261
GEOGRAPHIC
TOWNSHIP OF SALT FLEET
IN THE
CITY OF HAMILTON

SCALE 1:150 METRIC

S.D. McLAREN, O.L.S. - 2019

BLOCK 31



LOT 25 MUN 24 BEDROCK DR
- LOT COMPLETELY SODDED
- NO WATER PONDING
- SWALES DEFINED
- SPLASH PADS INSTALLED
- CURB STOP OK
- ELEVATIONS AS OCT 15 2021
jc. At 15TH 2021

NOTES:
BUILDER TO VERIFY ELEVATION OF SERVICE CONNECTIONS PRIOR TO BASEMENT EXCAVATION TO CONFIRM THAT SUFFICIENT FALL IS PROVIDED FOR GRAVITY SERVICES.
U/S FOOTINGS TO BE MINIMUM OF 1.2m BELOW FINISHED GRADE.
ALL DWELLINGS TO BE EQUIPPED WITH SUMP PUMPS.

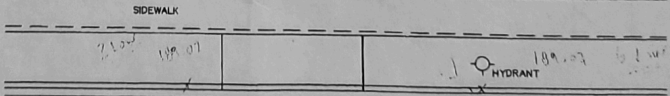
METRIC NOTE
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BENCHMARK NOTE:
MONUMENT 008860622
COMMENCING AT THE INTERSECTION OF HIGHWAY 20 AND GREEN MOUNTAIN ROAD PRODUCED IN A WESTERLY DIRECTION ALONG GREEN MOUNTAIN ROAD 0.5km TO STATION LOCATED ON THE SOUTH SIDE OF GREEN MOUNTAIN
ELEVATION: 200.282m

PROPOSED HOUSE ELEVATIONS:
GARAGE FLOOR = 189.54 / 189.60
TOP OF FOUNDATION = 190.19
MAIN FLOOR = 190.49
BASEMENT FLOOR = 187.85
U/S OF FOOTING = 187.82

LEGEND:

000.00	DENOTES	EXISTING ELEVATION
(000.00)	"	PROPOSED ELEVATION
-/-	"	DIRECTION OF FLOW
-/-	"	PROPOSED SWALE
R	"	RISER
*	"	REVISED DIMENSION
⊙	"	SUMP PUMP
TW	"	TOP OF WALL
BW	"	BOTTOM OF WALL
RYCB	"	R.YARD CATCH BASIN



BEDROCK DRIVE

No.	DESCRIPTION	DATE	BY
2	NEW HOUSE DESIGN	DEC. 23, 2019	KM
1	INITIAL DRAWING	OCT. 28, 2018	LC

REVISIONS

A.T. McLaren Limited
LEGAL AND ENGINEERING SURVEYS
89 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L8N 2B9
PHONE (905) 527-8599 FAX (905) 527-0032

Drawn KM Checked SDM Scale 1:150 Dwg.No. 35795-25

DATE: DECEMBER 23, 2019
S.D. McLAREN, O.L.S.



Hamilton

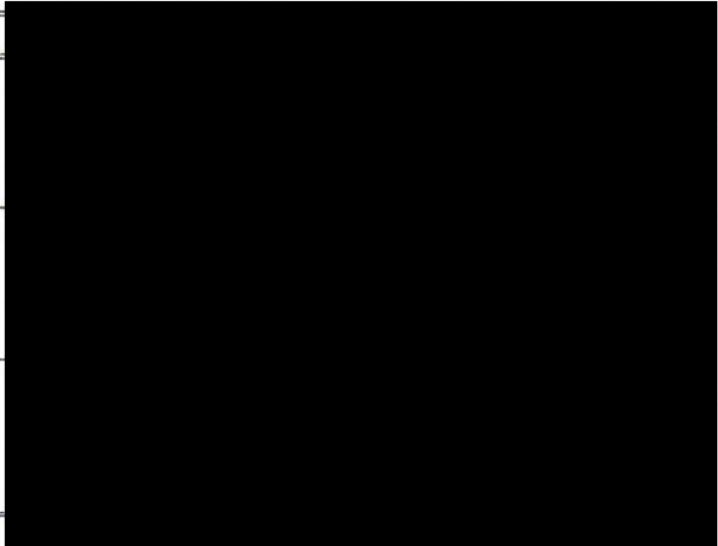
Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cota@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Thejes Kodinjinal Mathew
Applicant(s)	
Agent or Solicitor	ABHAY VAID



1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Cheque

Credit over phone*



*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	24 BEDROCK DRIVE, STONEY CREEK, ON. L8J 0K6		
Assessment Roll Number	003510814270000		
Former Municipality			
Lot	25	Concession	
Registered Plan Number	PLAN 62M-126	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for: SIDE YARD STEPS ARE DEEMED AS AN- UNENCLOSED PORCH, WHICH IS NOT PERMITTED IN SIDE YARD; THEREFORE VARIANCE/RELIEF IS REQD. FOR SIDE YARD STEPS LEADING TO ABOVE GRADE ENTRANCE TO THE BASEMENT (Second Dwelling Unit)

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

AS PER SECTION 4.19.1(d) of Stoney Creek Zoning Bylaw 3692-92 Unenclosed Porch / Side yard Steps are not permitted.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
10.4 mts.	30.00 mts.	312 sq.mts.	15.0 - 20.0 mts.

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2 STOREY SINGLE- DETACHED DWELLING	6.10 mts.	9.4 mts.	1.26 mts each side	2021-22

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SIDE YARD STEPS	6.10 mts.	9.4 mts.	0.3 mts. on RHS side yard	To be constructed

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
2-storey Single - Detached dwelling	110 sq. mts.	173 sq. mts.	2	9.25 mts.

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Side yard steps	2.36 sq. mts.	2.36 sq. mts.	Above grade entrance to basement	1.67 mts.

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
 municipal road, seasonally maintained
 municipal road, maintained all year
 right of way
 other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
PROPOSED SECOND DWELLING UNIT IN THE BASEMENT WITH SIDE YARD -
STEPS LEADING TO ABOVE GRADE ENTRANCE TO THE BASEMENT.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
SINGLE DETACHED DWELLING

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands: 2021-22

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
SINGLE DETACHED DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
SINGLE DETACHED DWELLING

7.4 Length of time the existing uses of the subject property have continued:
SINCE BUILT/OCCUPIED (2-3 YEARS)

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

Please see Section 7.0 of the attached Zoning review letter sent by
Kayla Medeiros (Zoning & Committee of Adjustment); dated Nov. 20/2024.

7.6 What is the existing zoning of the subject land? R4-33

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 4

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/~~Planning Justification Report~~
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance (ZONING REVIEW LETTER, Dated Nov./20/2024, ISSUED BY MANAGER, ZONING & C of A MU)
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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