



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

|                         |                  |                          |  |
|-------------------------|------------------|--------------------------|--|
| <b>APPLICATION NO.:</b> | <b>A-25:002</b>  | <b>SUBJECT PROPERTY:</b> | 1195 Mud Street East, Stoney Creek                         |
| <b>ZONE:</b>            | A1 (Agriculture) | <b>ZONING BY-LAW:</b>    | Hamilton Zoning By-law 05-200, as Amended by By-law 15-173 |

**APPLICANTS:**      Owner: Bruce McLean  
                                 Agent: Zig Zilinskas

The following variances are requested:

1. A maximum gross floor area of 256.0 square metres and a maximum building height of 6.7 metres shall be permitted for all buildings accessory to the single detached dwelling instead of the requirement that all buildings accessory to a single detached dwelling shall not exceed a maximum gross floor area of 200 square metres and shall have a maximum building height of 6.0 metres.

**PURPOSE & EFFECT:**      To facilitate the construction of a building accessory to an existing single detached dwelling.

**Notes:**

1. Insufficient information has been provided to determine eave and gutter encroachment into the required side and rear yard. Additional variances may be required if conformity cannot be achieved.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

|              |                                    |
|--------------|------------------------------------|
| <b>DATE:</b> | <b>Thursday, February 13, 2025</b> |
| <b>TIME:</b> | <b>1:35 p.m.</b>                   |

**A-25:002**

|               |   |
|---------------|---|
| <b>PLACE:</b> | <b>Via video link or call in (see attached sheet for details)</b>   |
|               | <b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>  |
|               | <b>To be streamed (viewing only) at</b><br><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a> |

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

**PUBLIC INPUT**

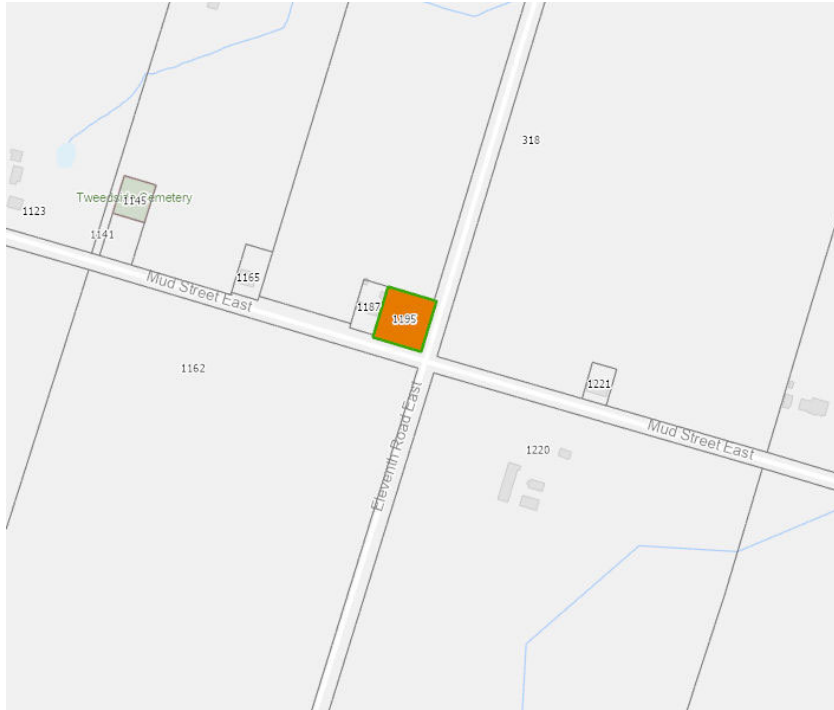
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon February 11, 2025

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon February 12, 2025

**FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:002, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: January 27, 2025

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

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E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

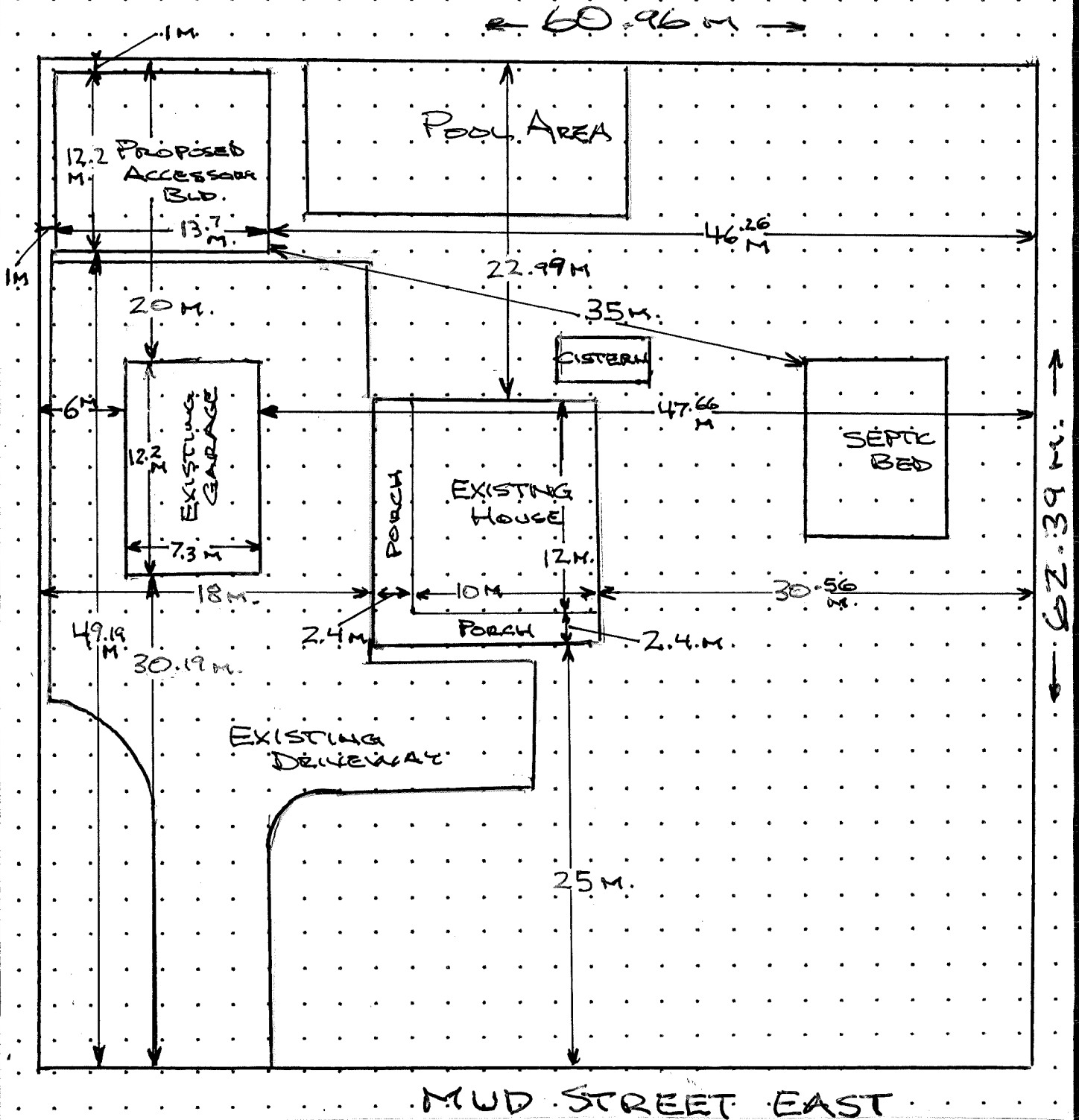
Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

# SITE PLAN

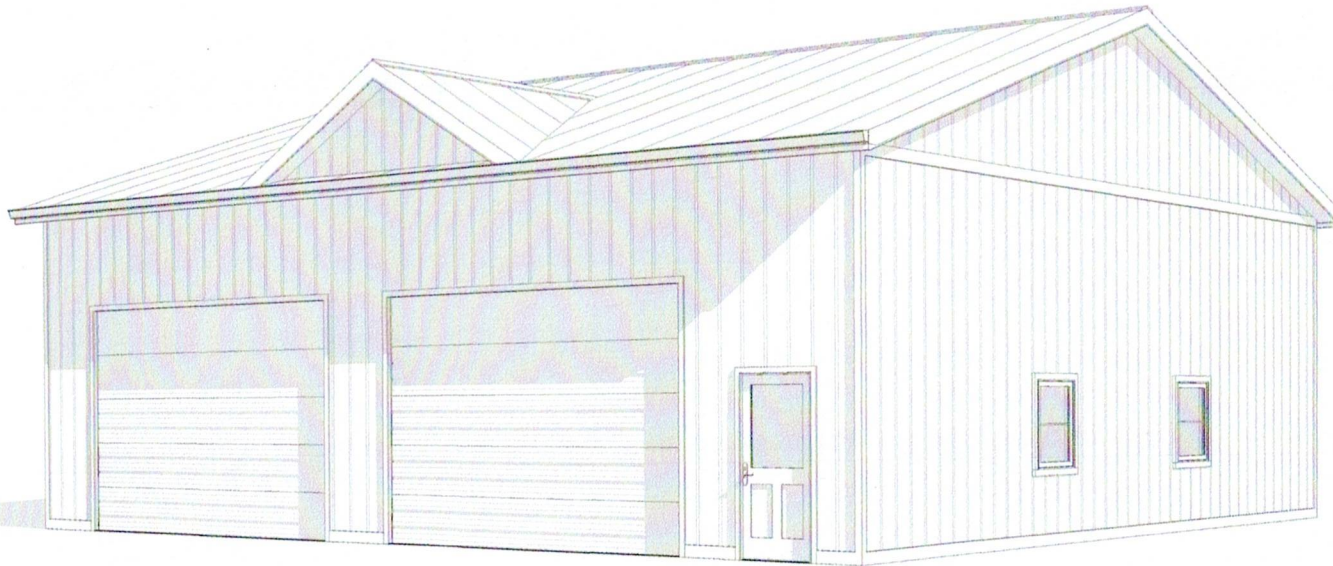
1095 MUD ST. EAST  
HAMILTON, ONTARIO  
L.B.S.-303



MUD STREET EAST

# BRUCE McLEAN STORAGE BUILDING

1195  
1155 MUD STREET EAST  
STONEY CREEK, ON  
L8J 3E4



| DRAWING LIST            |                |
|-------------------------|----------------|
| Sheet Title             | Drawing Number |
| ELEVATIONS & NOTES      | S-1            |
| FOUNDATION & FLOOR PLAN | S-2            |
| DETAILS                 | S-3            |



1333 HIGHWAY #3  
DUNNVILLE, ONTARIO  
N1A 2W7  
phone: (905) 774-4307

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WHICH THEY WERE ISSUED.

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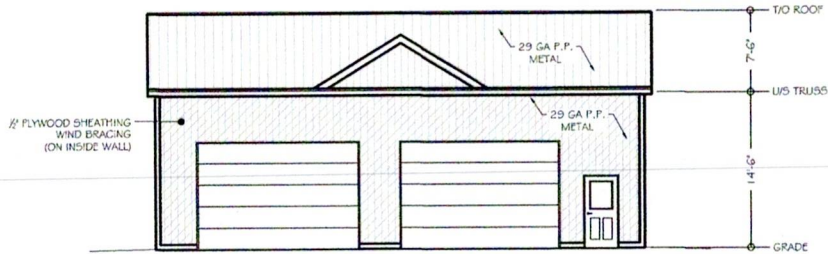
BRUCE McLEAN  
STORAGE BUILDING  
1195  
1155 MUD STREET EAST  
STONEY CREEK, ON  
L8J 3E4

DRAWING  
**TITLE PAGE**

|                   |                        |
|-------------------|------------------------|
| SCALE<br>AS NOTED | FILE NUMBER<br>V1-25-4 |
|-------------------|------------------------|

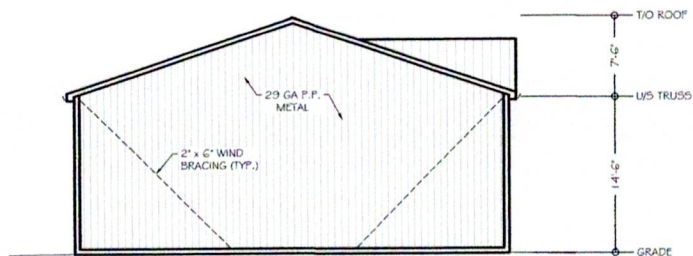
DWG-2025-VIKING BUILDING SYSTEMS - McLEAN STORAGE BUILDING - V1-25-4

|                         |                       |
|-------------------------|-----------------------|
| DRAWN BY<br>LP          | DRAWING NUMBER<br>S-0 |
| DATE<br>JANUARY 9, 2025 |                       |
| SHEET NUMBER<br>TITLE   |                       |



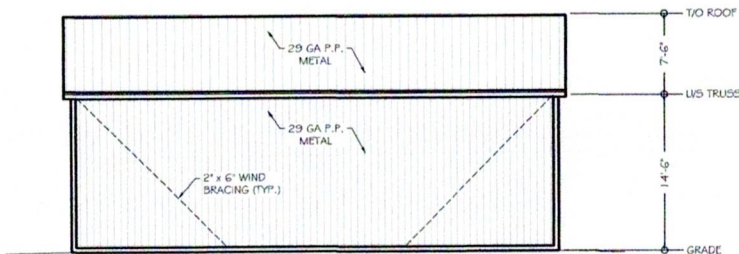
ELEVATION - FRONT

SCALE: 1/8" = 1'-0"



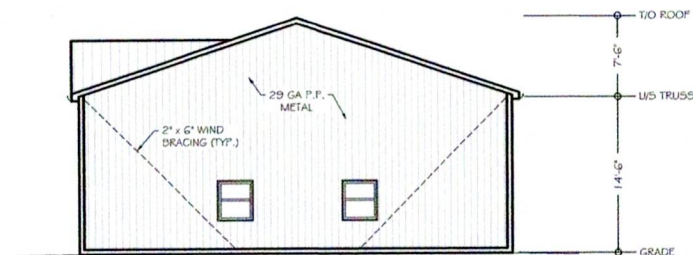
ELEVATION - SIDE

SCALE: 1/8" = 1'-0"



ELEVATION - REAR

SCALE: 1/8" = 1'-0"



ELEVATION - SIDE

SCALE: 1/8" = 1'-0"

**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR.
- ANY CHANGES / OMISSIONS TO BE REPORTED TO ENGINEER PRIOR TO CONSTRUCTION.
- ALL WORK TO CONFORM TO O.B.C. 2024
- NOTIFY ENGINEER 48 HRS. IN ADVANCE FOR INSPECTION OF FOOTING EXCAVATION AND FRAMING.
- REMOVE ALL TOP SOIL AND ORGANIC MATERIAL.
- ALL FOOTINGS TO BE ON UNDISTURBED SOIL AND MIN. OF 4'-0" BELOW LINE OF FINISHED GRADE.
- SOIL BCG. CAPACITY TO SUSTAIN A MIN. 3000 P.S.F.

**CONCRETE NOTES:**

- ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS
- 32 MPa FOR SLAB ON GRADE
- 25 MPa FOR WALLS AND FOOTINGS
- SLUMP: 3" ± 1"
- MAX WATER CEMENT RATIO .45 (USE WATER REDUCING AGENT TO IMPROVE WORKABILITY AND WATER TO BE ADDED ON SITE USE VIBRATORY EQUIPMENT TO ACHIEVE UNIFORM DENSITY)
- AIR ENTRAINMENT 5% - 8%
- REINFORCING STEEL TO HAVE MIN. YIELD STRENGTH OF 400 MPa WITH MIN. 3" COVER.
- MINIMUM SPLICE LENGTH (1.0M - 1.07) (1.5M - 2.41)

**LUMBER NOTES:**

- ALL LUMBER TO BE SPT GRADE #2 OR BETTER UNLESS OTHERWISE SPECIFIED.
- LUMBER EXPOSED TO MOISTURE TO BE PRESSURE TREATED
- ALL LUMBER SET IN THE GROUND TO BE RATED FOR

**GROUND CONTACT**

- ALL FACTORS IN CONTACT WITH PRESSURE TREATED MATERIAL TO BE COMPATIBLE WITH PRESSURE TREATED CHEMICALS
- ALL STEEL SIDING IN CONTACT WITH PRESSURE TREATED WOOD TO BE ISOLATED WITH A LAYER OF ICE & WATER SHIELD OR EQUAL
- SUBMIT ENGINEERED TRUSS DRAWINGS
- TRUSS BRACING AND STRAPPING AS SPECIFIED BY ENGINEERED TRUSS DRAWING
- TRUSS TIE DOWN TO SUSTAIN UPLIFT SHOWN ON TRUSS DESIGN AND TO BE CONTINUOUS ON FOUNDATION WALL
- ALL UNTELS TO BE 2" x 2" x 10' UNLESS OTHERWISE SPECIFIED

**SPECIFIED ROOF TOP CHORD LOADS: HAMILTON (ABOVE ESCARPMENT- EAST OF JOHN C. MUNRO INTL. AIRPORT)**

- SNOW LOAD = 1.5 kPa (3.1 psf)
- FIBR LOAD = 0.4 kPa (8.4 psf)
- HOURLY WIND PRESSURE (1/50) = 0.46 kPa
- DEAD LOAD = 0.20 kPa (4.2 psf)

**REQUIRED INSPECTIONS BY KLS ENGINEERING LTD.**

|                                     |                          |
|-------------------------------------|--------------------------|
| <input checked="" type="checkbox"/> | FOOTINGS (PRIOR TO POUR) |
| <input checked="" type="checkbox"/> | FRAMING / FINAL          |

TO BOOK INSPECTIONS, CALL (905) 774-4307

MUNICIPALITY APPROVED DRAWINGS TO BE CONFIRMED BY KLS ENGINEERING PRIOR TO CONSTRUCTION. PLEASE NOTIFY KLS ENGINEERING MINIMUM 48 HOURS IN ADVANCE FOR AN INSPECTION REQUEST. MUNICIPALITY INSPECTIONS ARE STILL REQUIRED.



1333 HIGHWAY #3  
DUNNVILLE, ONTARIO  
N1A 2W7  
phone: (905) 774-4307

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| 9  | ISSUED FOR PERMIT | JAN 16/25     | LF |
| 10 | PERSON OF NOTE    | DATE OF ISSUE | BY |



BRUCE MCLEAN  
STORAGE BUILDING  
1145  
1145 MUD STREET EAST  
STONEY CREEK, ON  
L0J 3E4

DRAWING  
**ELEVATIONS**

SCALE AS NOTED  
REV NUMBER V1-25-4

DWG. DESIGNING BUILDING SYSTEMS - MCLEAN STORAGE BUILDING - V1-25-4

DRAWN BY LF  
DATE JANUARY 9, 2025  
SHEET NUMBER 1 OF 3  
DRAWING NUMBER S-1



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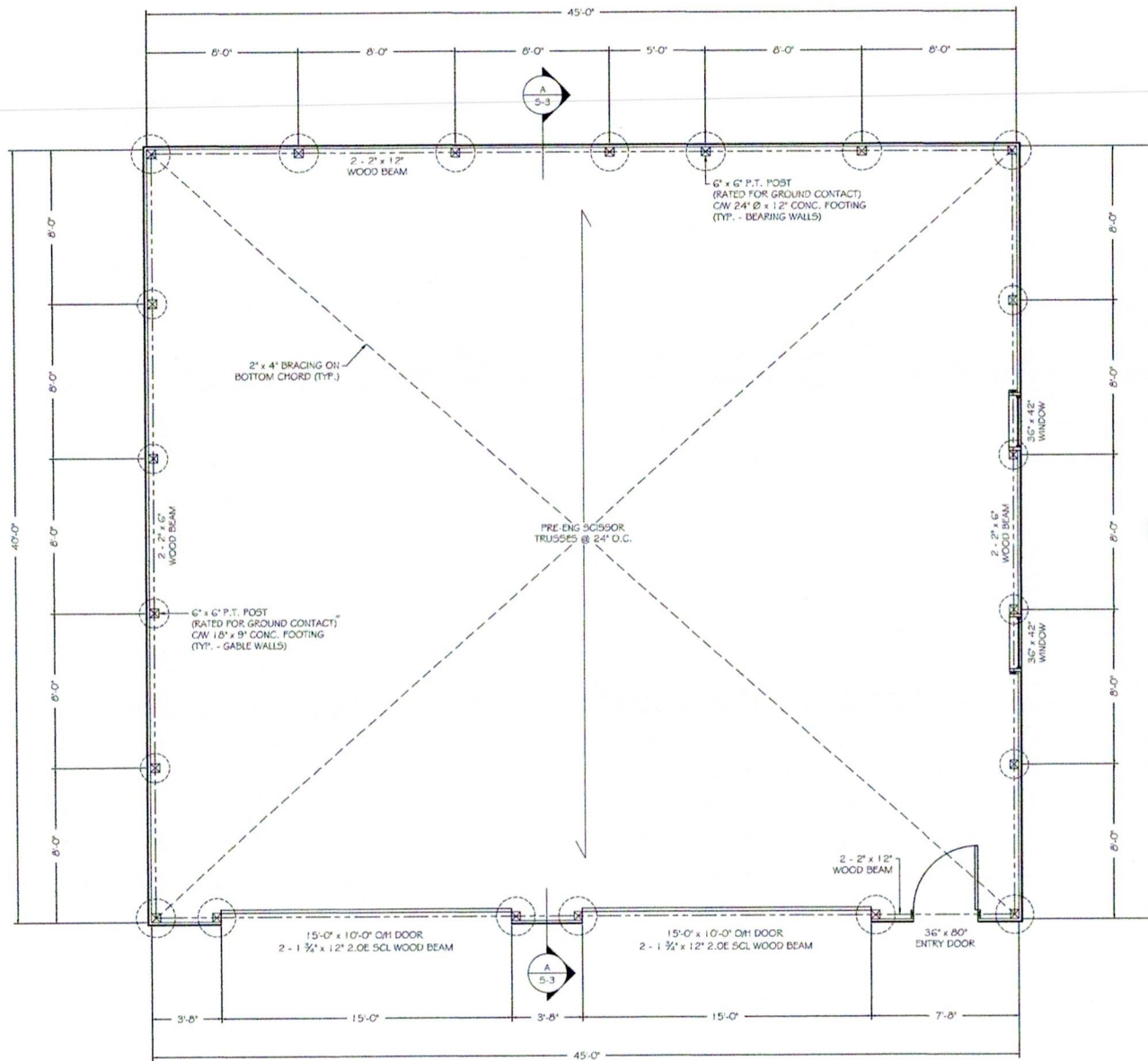
BRUCE MCLEAN  
STORAGE BUILDING  
1150 PAUL STREET EAST  
STONEY CREEK, ON  
L0A 2E4

FOUNDATION & FLOOR PLAN

|          |             |
|----------|-------------|
| SCALE    | FILE NUMBER |
| AS NOTED | VI-25-4     |

PROJ: 2025-VI-BUILDING SYSTEMS - MCLEAN STORAGE BUILDING - VI-25-4

|                 |                |
|-----------------|----------------|
| DRAWN BY        | ISSUING NUMBER |
| LP              |                |
| DATE            |                |
| JANUARY 9, 2025 | 5-2            |
| SHEET NUMBER    |                |
| 2 OF 3          |                |



FOUNDATION & FLOOR PLAN  
SCALE: 1/4" = 1'-0"





1333 HIGHWAY #3  
DUNNVILLE, ONTARIO  
N1A 2W7  
phone: (905) 774-4307

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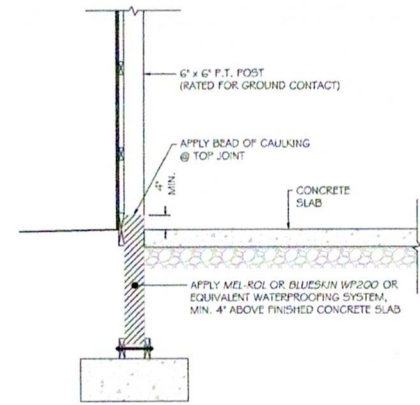
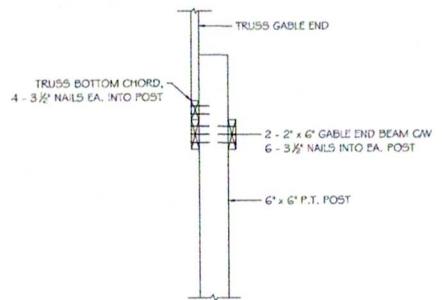
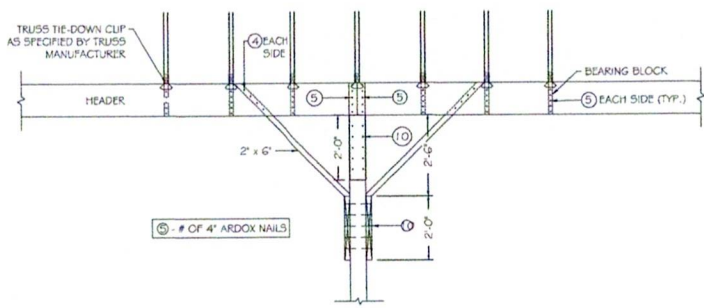
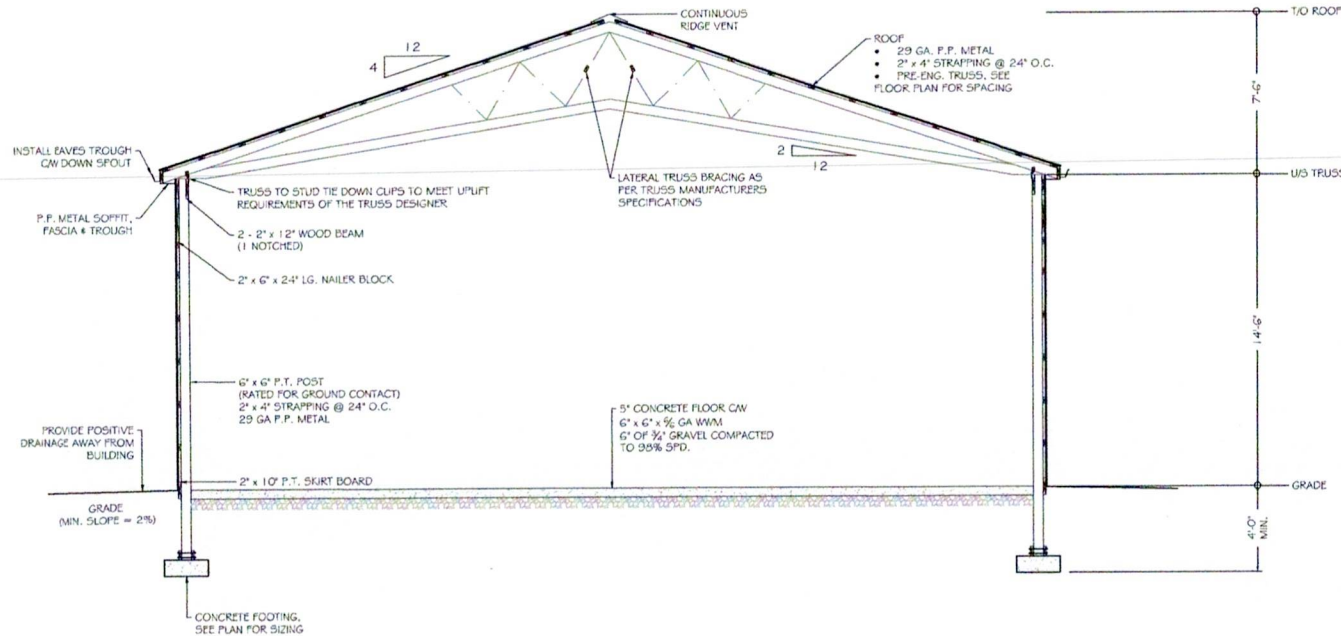
BRUCE MCLEAN  
STORAGE BUILDING  
1150 MUD STREET EAST  
STONEY CREEK, ON  
L8J 3E4

DETAILS

SCALE: AS NOTED DRAWING NUMBER: V1-25-4

INVS-2025-1150 BUILDING SYSTEMS - MCLEAN STORAGE BUILDING - V1-25-4

DESIGN BY: LP DRAWING NUMBER: S-3  
DATE: JANUARY 9, 2025  
SHEET NUMBER: 3 OF 3





HOUSE



21

\* Some Classic's Have  
TO BE OUTSIDE...











\*LIFT REQUIRED  
TO MAKE USE  
OF GROUND SPACE...

19

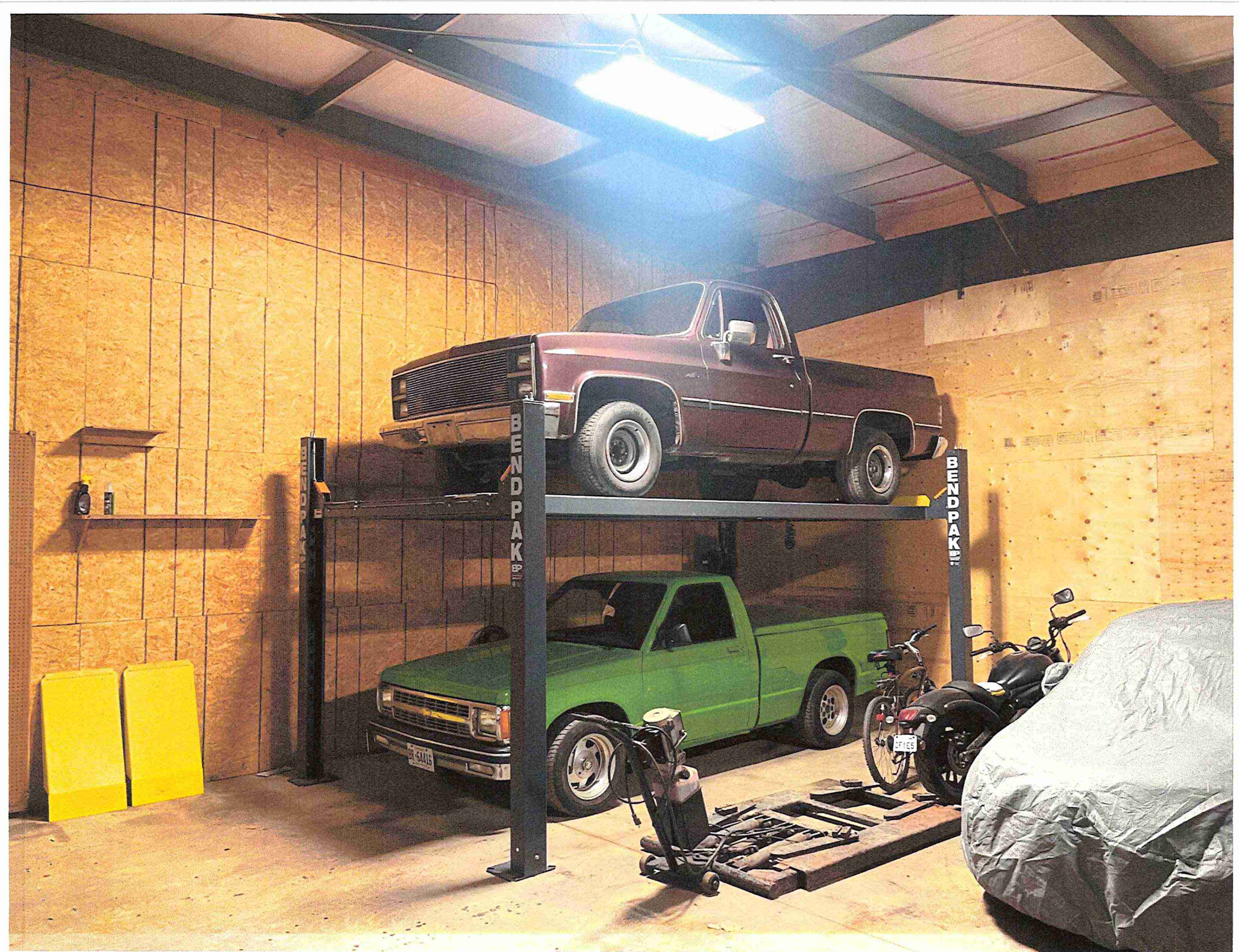
PRESENTLY STORING  
OFF SITE AT A HIGH COST...





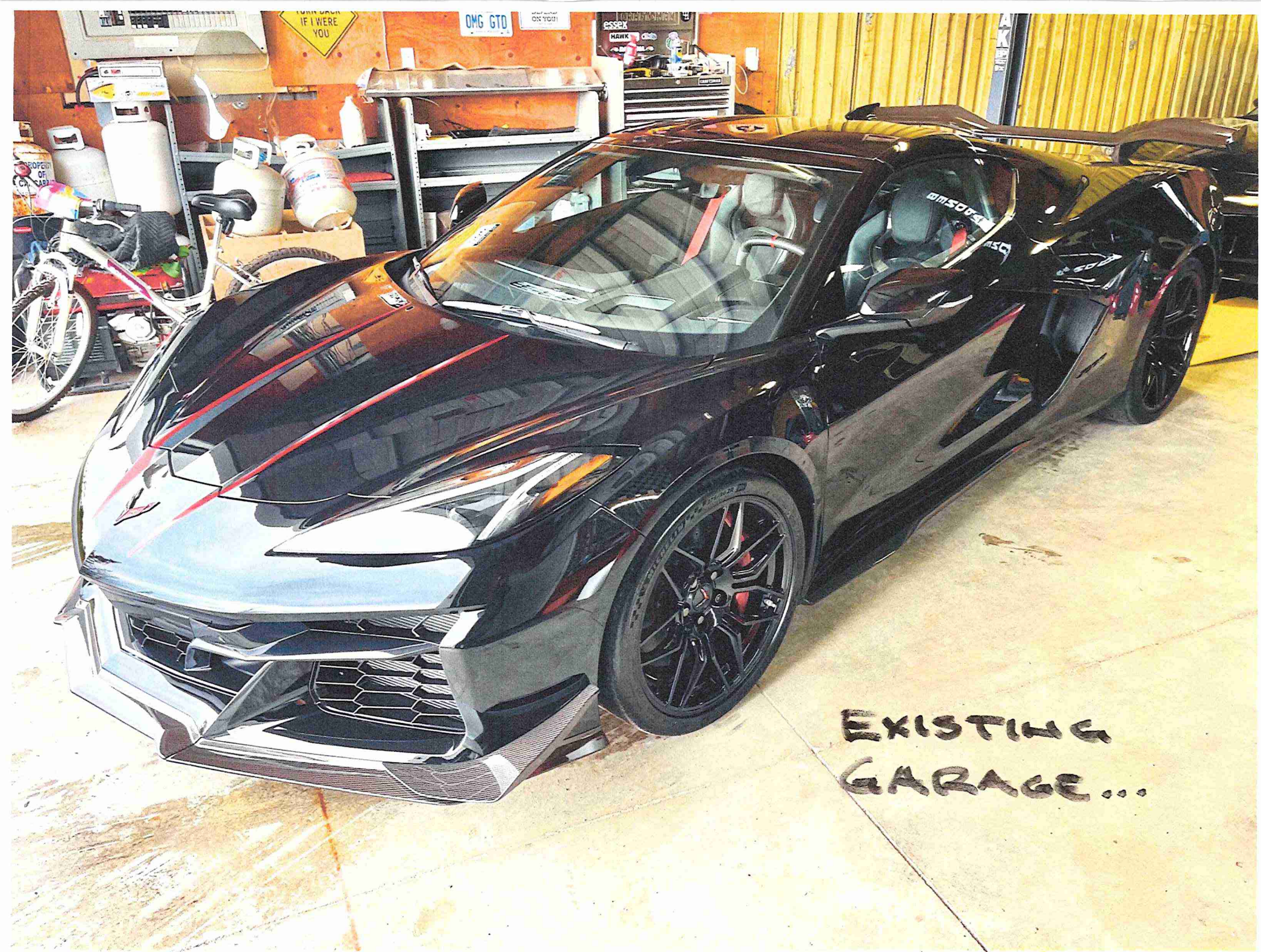












EXISTING  
GARAGE...









Hamilton

Committee of Adjustment

City Hall, 5<sup>th</sup> Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

|                      | NAME                          |
|----------------------|-------------------------------|
| Registered Owners(s) | BRUCE McLEAN                  |
| Applicant(s)         | BRUCE McLEAN<br>ZIG ZILINSKAS |
| Agent or Solicitor   | ZIG ZILINSKAS                 |



1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes\*

No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

Yes\*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

In person

Cheque

Credit over phone\*

\*Must provide number above

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:

|                           |  |            |  |
|---------------------------|--|------------|--|
| Municipal Address         | 1195 MUD ST. EAST, STONEY CREEK / HAMILTON |            |  |
| Assessment Roll Number    | L8J-3C3                                    |            |  |
| Former Municipality       |  |            |  |
| Lot                       |  | Concession |  |
| Registered Plan Number    |  | Lot(s)     |  |
| Reference Plan Number (s) |  | Part(s)    |  |

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

**3. PURPOSE OF THE APPLICATION**

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for: \*INCREASE OF ALLOWABLE ACCESSORY BUILDINGS FROM 2,047 sq (190m<sup>2</sup>) (5%) TO 2,760 sq (256m<sup>2</sup>) \* INCREASE ALLOWABLE HEIGHT FROM 19'6" (6M) TO 22' (6.7M) PEAK TO GRADE

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law? SIZE AND HEIGHT INCREASE REQUIRED FOR PERSONAL VEHICLES (4) AND CLASSIC CAR COLLECTION, PROPERTY MAINTENANCE EQUIPMENT. \* ADDITIONAL HEIGHT REQUIRED FOR CLASSIC CAR LIFT

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

**4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION**

4.1 Dimensions of Subject Lands:

|               |                  |                    |                 |
|---------------|------------------|--------------------|-----------------|
| Lot Frontage  | Lot Depth        | Lot Area           | Width of Street |
| 200' (60.96M) | 204' 7" (62.39M) | 40,946 sq (94,000) | 9 M.            |

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

| Type of Structure | Front Yard Setback | Rear Yard Setback | Side Yard Setbacks | Date of Construction |
|-------------------|--------------------|-------------------|--------------------|----------------------|
| HOUSE             | 25 M.              | 22.99 M.          | 18 M. / 30.56 M.   | 2000                 |
| GARAGE            | 30.19 M            | 20 M.             | 6 M / 47.66 M      | 2000                 |

Proposed:

| Type of Structure | Front Yard Setback | Rear Yard Setback | Side Yard Setbacks | Date of Construction |
|-------------------|--------------------|-------------------|--------------------|----------------------|
| ACCESSORY BLD.    | 49.19 M.           | 1 M.              | 1 M. / 46.26 M.    | SPRING 2025          |

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

| Type of Structure | Ground Floor Area  | Gross Floor Area   | Number of Storeys | Height |
|-------------------|--------------------|--------------------|-------------------|--------|
| HOUSE             | 120 M <sup>2</sup> | 208 M <sup>2</sup> | 2                 | 8 M    |
| GARAGE            | 89 M <sup>2</sup>  | 89 M <sup>2</sup>  | 1                 | 4 M    |

Proposed:

| Type of Structure | Ground Floor Area    | Gross Floor Area     | Number of Storeys | Height |
|-------------------|----------------------|----------------------|-------------------|--------|
| ACCESSORY BLD.    | 167.1 M <sup>2</sup> | 167.1 M <sup>2</sup> | 1                 | 6.7 M. |

4.4 Type of water supply: (check appropriate box)

- publicly owned and operated piped water system
- privately owned and operated individual well

- lake or other water body
- other means (specify)

CISTERN HOLDING TANK.

4.5 Type of storm drainage: (check appropriate boxes)

- publicly owned and operated storm sewers
- swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED DWELLING. SFD

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

RESIDENTIAL / AGRICULTURAL

**7 HISTORY OF THE SUBJECT LAND**

7.1 Date of acquisition of subject lands:

AUG. / 2021

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE FAMILY DWELLING... SFD

7.4 Length of time the existing uses of the subject property have continued:

2000

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): SPECIALTY CZOP

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) \_\_\_\_\_

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? A-1

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: \_\_\_\_\_

7.9 Is the subject property the subject of a current application for consent under Section 53 of the Planning Act?

Yes

No

If yes, please provide the file number: \_\_\_\_\_

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: N/A.

8.3 Additional Information (please include separate sheet if needed):

\* ACCESSORY BUILDING TO BE USED FOR S.F.D.  
NOT AGRICULTURAL USE

\* EXTRA SPACE REQUIRED FOR EXISTING PERSONAL VEHICLES (4), AND CLASSIC CAR COLLECTION (SEE ATTACHED) AS WELL AS EQUIPMENT + WORK BENCH TO MAINTAIN PROPERTY, POOL, HOME...

\* HEIGHT INCREASE REQUIRED TO ALLOW FOR A CAR LIFT, TO STORE CLASSIC VEHICLE COLLECTION...

\* NEED TO MAINTAIN VALUE OF CARS BY BETTER PROTECTION...

(\* SEE ATTACHED EXAMPLES)

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee (CREDIT CARD PAYMENT)
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
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