



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-24:154</b>	<b>SUBJECT PROPERTY:</b>	1107 Main Street, Hamilton
<b>ZONE:</b>	TOC1, 772 (Transit Oriented Corridor Mixed Use Medium Density)	<b>ZONING BY-LAW:</b>	Hamilton Zoning By-law 05-200, as Amended No. 22-163

**APPLICANTS:**      Owner: 1107 Main Street Inc.  
                                 Agent: Up Consulting Ltd c/o David Galbraith

The following variances are requested:

1. A Finished Floor Elevation of any dwelling unit shall be permitted to be at grade instead of the minimum 0.5 metre Finished Floor Elevation required.
2. A maximum setback from Dow Avenue shall be 5.023 metres instead of the maximum 4.5 metres required.
3. A minimum setback shall be 9.3 metres for any portion of a building exceeding 37.5 metres in height instead of the minimum 9.3 metres required for any portion of a building exceeding 36.0 metres in height.
4. A minimum setback shall be 13.8 metres for any portion of a building exceeding 22.0 metres in height for the portion of the building abutting Cline Avenue and Dow Avenue instead of the minimum 14.3 metres required for any portion of a building exceeding 22.0 metres in height.

**PURPOSE & EFFECT:**      To permit the construction of a fifteen (15) storey mixed use building.

**Notes:**

- i. Please note, the variances and comments have been provided based on the material submitted at the time the application was formally submitted on June 14, 2024.
- ii. Please note, insufficient information has been provided to determine the minimum rear yard setback to the portion of a building exceeding 22.0 metres in height. Should the proposed

## A-24:154

portion of the building exceeding 22.0 metres in height be setback less than the required 33.5 metres from the rear lot line, additional variances may be required.

- iii. Please note, it appears a “Gravel Stone” area is proposed along a portion of the lot line that abuts the Institutional Zone to the rear of the property and is indicated to overlap with the required 3 metres Planting Strip. Should a 3.0 metre Planting Strip, as defined under Section 3, not be provided along the lot line abutting an Institutional Zone, additional variances may be required.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, February 13, 2025</b>
<b>TIME:</b>	<b>2:35 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon February 11, 2025

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon February 12, 2025

## FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:154, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.





Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



**SITE PLAN NOTES**

- All work involved in the construction, relocation, repair of municipal services for the project shall be to the satisfaction of the Director of Planning and Chief Planner, Planning and Economic Development Department.
- Fire Route Signs and 3-Way Fire Hydrants shall be established to the satisfaction of the City Fire Department and at the expense of the owner.
- Main driveway dimensions at the property line boundaries are plus or minus 7.5 m unless otherwise stated.
- All driveways from property lines for the first 7.5 m shall be within 5% maximum grade, thereafter, all driveways shall be within 10% maximum grades.
- The approval of this plan does not exempt the owner's bonded contractor from the requirements to obtain the various permits/approvals normally required to complete a construction project, such as, but not limited to the following:
  - Building Permit
  - Sewer and Water Permits
  - Road Cut Permits
  - Relocation of Services
  - Approach Approval Permits
  - Encroachment Agreements (if required)
  - Committees of Adjustment
  - Sign Permits
- Abandoned accesses must be removed and the curb and boulevard resurfaced with soil at the owner's expense to the satisfaction of the Corridor Management Section, Public Works Department.
- For visibility triangles at the vehicular access points, the following note to be provided:
 

"5 metre by 5 metre visibility triangles in which the maximum height of any objects or mature vegetation is not to exceed a height of 0.60 metres above the corresponding perpendicular centreline elevation of the adjacent street."
- Signage is not approved through the Site Plan Process. All signs must comply with Hamilton Sign By-law No. 10-197.
- Lighting must be directed on site and must not spill over to adjacent properties or street.
- CALL BEFORE YOU DIG, arrange for underground hydro cable locate(s) and gas pipes before beginning construction by contacting Ontario One, 1-800-400-2255.
- Caution: Notwithstanding current surface conditions, the property has been determined to be an area of archaeological potential. Although an archaeological assessment is not required by the City of Hamilton, the proponent is cautioned that during development activities, should deeply buried archaeological materials be found on the property the Ontario Ministry of Citizenship and Multiculturalism (MCM) should be notified immediately (416-212-8896). In the event that human remains are encountered during construction, the proponent should immediately contact both MCM and the Registrar or Deputy Registrar of the Cemeteries Regulation Unit of the Ministry of Government and Consumer Services (416-212-7499).

**UNDERTAKING**

RE: FILE No. DA-23-003

I, (We) \_\_\_\_\_ the owner(s) of the land, hereby undertake and agree without reservation, to comply with all the content of this plan and drawing and not to vary therefrom;

(b) to perform the facilities, works or matters mentioned in Section 41(7) (a) of the Planning Act shown on this plan and drawing in accordance with the conditions of approval as set out in the Letter of Approval dated \_\_\_\_\_;

(c) to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways; and,

(d) in the event that the Owner does not comply with the plan dated \_\_\_\_\_ the City may enter the land and do the required works, and the Owner authorizes the City to use the security filed to obtain \_\_\_\_\_;

(e) to physically affix the municipal number (1107) or full address (1107 Main Street West) to the building or on a sign in accordance with the City's Sign By-law, in a manner that is visible from the street, to the satisfaction of the Director of Growth Management

(f) The Ultimate Streetscape Landscape Plan reflects the design of the proposed streetscape along Main Street, in the absence of a finalized LRT Corridor design plan and based on the existing street configuration, all to the satisfaction of the City. The ultimate streetscape design may change once the LRT Corridor design plan is finalized. Note conditions for securities in the External Works Agreement.

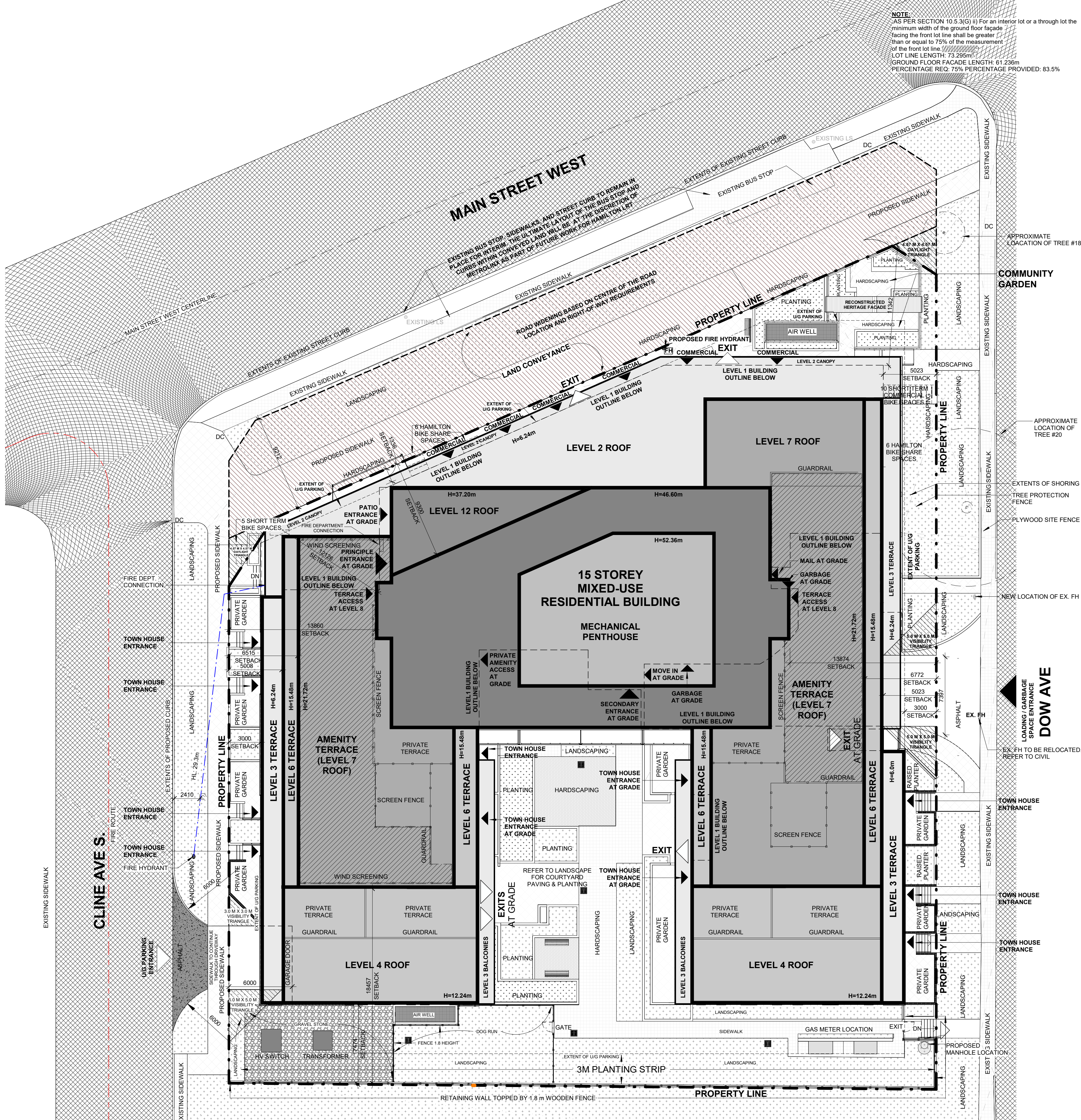
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Witness (signature) \_\_\_\_\_ Owner(s) (signature) \_\_\_\_\_ (seal)

Witness (print) \_\_\_\_\_ Owner (print) \_\_\_\_\_

Address of Witness \_\_\_\_\_

Section (b) Revised March 11, 2004



**SITE DATA**

DATA	REQUIRED	PROVIDED
ZONING	ZONING - TOC-1	
LOT AREA - PRE ROAD WIDENING	N/A	5,169.3 m <sup>2</sup>
LOT AREA - POST ROAD WIDENING	N/A	4,517.0 m <sup>2</sup>
FRONT YARD (m)	MAX. 13.3' (m)	12.13 m
ABOVE 36.0 (m) HEIGHT	MIN. 9.3' (m)	9.3 m
EXTERIOR SIDE YARD (m)	MAX. 4.5' (m)	5.03 m
ABOVE 7.8 (m) HEIGHT	MIN. 5.0' (m)	5.0 m
ABOVE 16.5 (m) HEIGHT	MIN. 6.5' (m)	6.52 m
ABOVE 22.0 (m) HEIGHT	MIN. 14.3' (m)	13.86 m
REAR YARD (m)	MIN. 7.5' (m)	7.5 m
ABOVE 13.5 (m) HEIGHT	MIN. 14.5' (m)	18.46 m
ABOVE 18.0 (m) HEIGHT	MIN. 17.5' (m)	18.46 m
ABOVE 22.0 (m) HEIGHT	MIN. 33.5' (m)	33.59 m

**BUILDING DATA**

DATA	REQUIRED	PROVIDED
TOTAL DENSITY (# of units)	-- (units)	308 units
BUILDING AREA (m <sup>2</sup> )	-- (m <sup>2</sup> )	2,688.5 m <sup>2</sup> / 28949.5 SF
GROSS FLOOR AREA** ABOVE GRADE (m <sup>2</sup> )	-- (m <sup>2</sup> )	19,392.2 m <sup>2</sup> / 208735 SF
FLOOR AREA RATIO	--	3.75 (As per pre road) / 4.29 (As per post road)
UG PARKING FLOOR AREA (m <sup>2</sup> )	-- (m <sup>2</sup> )	7,195 m <sup>2</sup> / 77446.34 SF
NUMBER OF STOREYS	--	15
BUILDING HEIGHT (m)	47.0' (m) MAX.	46.600 (m) to roof
COMMERCIAL AREA (m <sup>2</sup> )	-- (m <sup>2</sup> )	548.8 m <sup>2</sup> / 5907 SF
RETAIL (m <sup>2</sup> )	--	313.2 m <sup>2</sup> / 3,371 SF
CAFE/RESTAURANT (m <sup>2</sup> )	--	235.6 m <sup>2</sup> / 2,535 SF
RESIDENTIAL SALEABLE AREA (m <sup>2</sup> )	-- (m <sup>2</sup> )	15,486 m <sup>2</sup> / 166,699 SF
INTERIOR AMENITY AREA (m <sup>2</sup> )	-- (m <sup>2</sup> )	116.02 m <sup>2</sup> / 1,248.83 SF
OUTDOOR AMENITY AREA (m <sup>2</sup> )	--	272.2 m <sup>2</sup> / 2,930 SF
COURTYARD	--	521.8 m <sup>2</sup> / 5,616 SF
ROOF TERRACE	--	449.6 m <sup>2</sup> / 4,839 SF
PRIVATE BALCONY	--	1,962 m <sup>2</sup> / 21,119 SF

**VEHICLE PARKING DATA**

DATA	REQUIRED	PROVIDED
<b>RESIDENTIAL PARKING</b>		
a) DWELLING UNITS LESS THAN 50 SQ. M IN GFA	132	39
b) DWELLING UNITS GREATER THAN 50 SQ. M IN GFA	132	11
UNITS 1-3	0.3X3	0.9
UNITS 3-14	0.7X11	7.7
UNITS 15-50	0.85X36	30.6
UNITS 51+	1.0X82	82
<b>TOTAL RESIDENTIAL PARKING</b>	<b>160</b>	<b>159</b>
VISITOR PARKING	0	11
COMMERCIAL PARKING	0	--
<b>TOTAL:</b>	<b>160</b>	<b>169</b>

**PARKING STALL BREAKDOWN**

BARRIER FREE PARKING (INCL. UNDERGROUND - LEVEL 2)	1 + 3% = 6	7
UNDERGROUND - LEVEL 2		3 to 85 STALLS
UNDERGROUND - LEVEL 1		3 to 84 STALLS

**BICYCLE PARKING DATA**

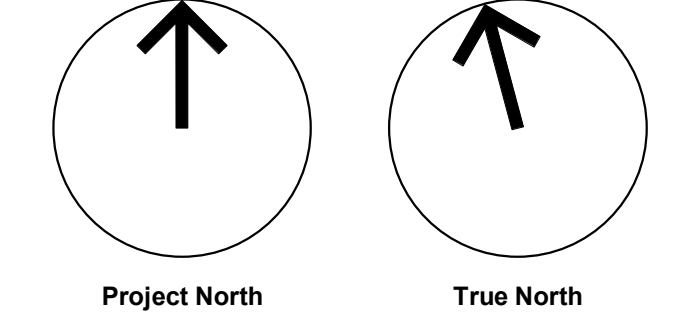
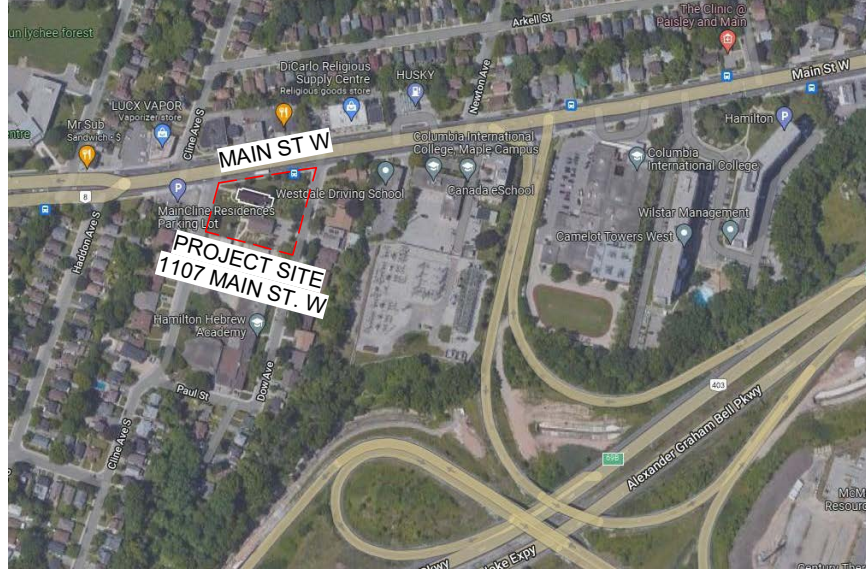
DATA	REQUIRED	PROVIDED
<b>SHORT TERM BICYCLE PARKING</b>		
RESIDENTIAL	5	6
COMMERCIAL	10	10
<b>SHORT TERM TOTAL:</b>	<b>15</b>	<b>16</b>
<b>LONG TERM BICYCLE PARKING</b>		
RESIDENTIAL	0.5 / units + 302 x 0.5 = 151	172
COMMERCIAL	--	0
<b>LONG TERM TOTAL:</b>	<b>151</b>	<b>172</b>
HAMILTON BIKE SHARE PARKING	--	6
<b>TOTAL:</b>	<b>166</b>	<b>178</b>

**LANDSCAPING DATA**

DATA	REQUIRED	PROVIDED
LANDSCAPE AREA (%)	10%	30.58%
LANDSCAPE AREA ON GRADE (m <sup>2</sup> )	517 m <sup>2</sup>	963.1 m <sup>2</sup>
AMENITY TERRACE (m <sup>2</sup> )	-	178.3 m <sup>2</sup>

**UNIT TYPE BREAKDOWN**

UNITS	UNITS NO	UNITS NO
STUDIO	67	21.7%
1 BED	17	5.5%
1 BED + DEN	116	37.7%
2 BED	101	32.8%
2 BED + DEN	4	1.3%
3 BED	3	0.8%
<b>TOTAL</b>	<b>308</b>	<b>0%</b>



**GENERAL NOTES**

- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
- All work shall comply with the 2012 Ontario Building Code and amendments.
- Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
- All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
- All documents remain the property of the architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
- The material contained herein reflects the consultants best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on/or decisions to be made based on them are the responsibility of such third parties.
- The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.
- FIRE ACCESS ROUTE SIGNAGE TO BE INSTALLED TO THE SATISFACTION OF THE HAMILTON FIRE DEPARTMENT.

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
32	2023-11-21	ISSUED FOR COORDINATION
30	2023-11-06	TREE REVISIONS
26	2023-08-25	ISSUED FOR SPA
25	2023-01-XX	RE-ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR OPAZBA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-08-11	RE-ISSUED FOR SPA
18	2021-04-26	ISSUED FOR COORDINATION
17	2021-04-21	ISSUED FOR REVIEW
15	2020-12-01	ISSUED FOR OPAZBA
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING

Client: \_\_\_\_\_

Project Name / Address: \_\_\_\_\_

**IN8  
1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-003

Project No: 19052

Drawing Date: 07/22/19

Checked by: JAA

Drawn by: M.S.

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 1:01:11 PM

**SITE PLAN**

Drawing Scale: As indicated

Status: MINOR VARIANCE

Revision No: **r40**

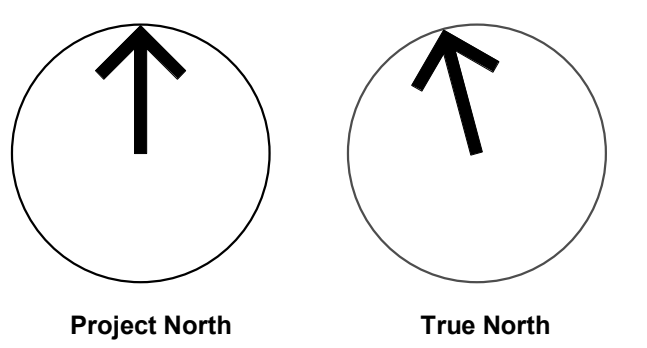
Drawing No: \_\_\_\_\_



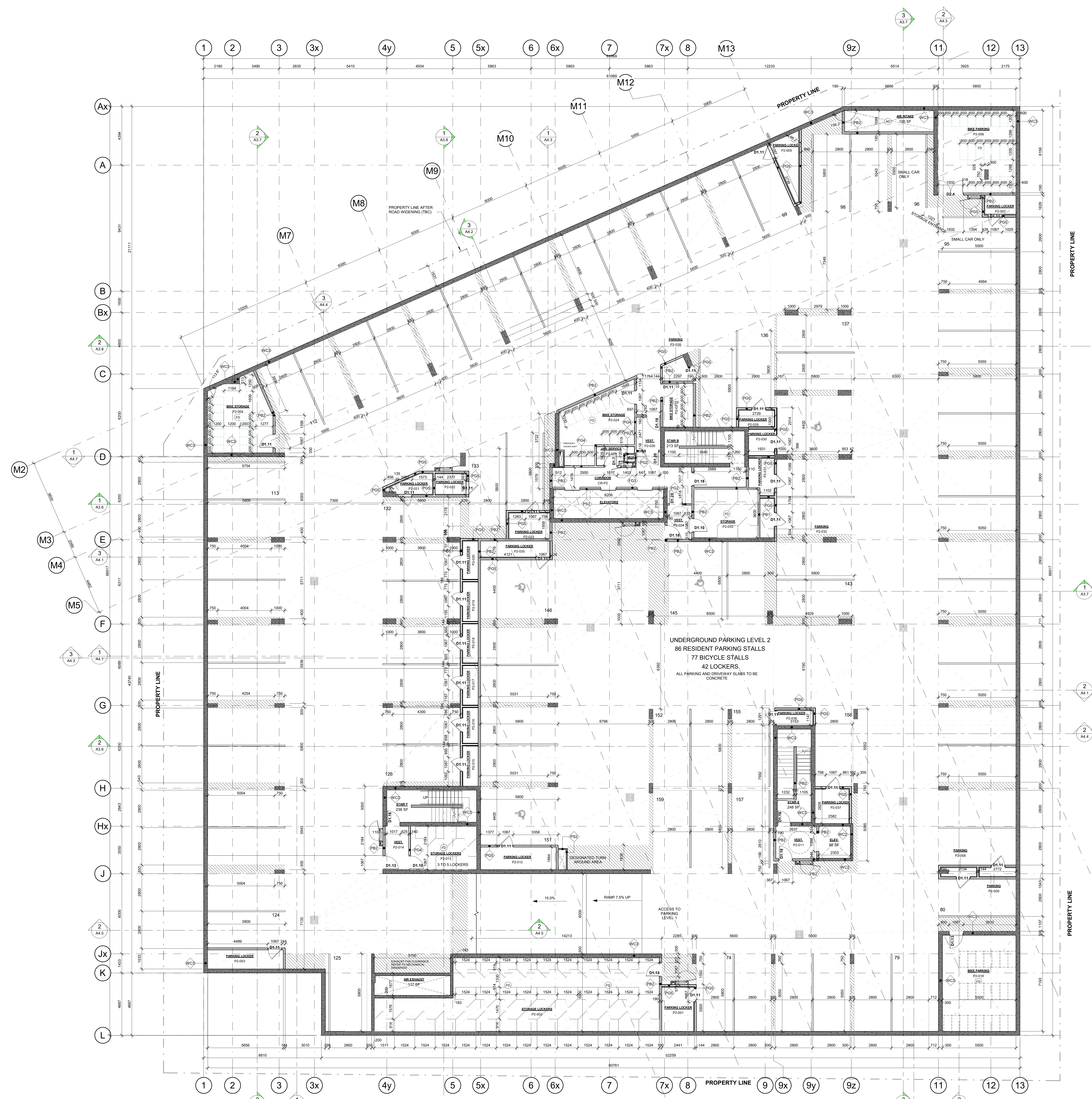
**A1.1**

Do not scale drawings. Contractors must check and verify all dimensions and report any discrepancies to the Architect before proceeding with the work. All documents remain the property of the Architect. Unauthorized use, modification, and/or reproduction of these documents is prohibited without written permission. The Contract Documents were prepared by the Consultant for the account of the Owner. The material contained herein reflects the Consultants best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance on/or decisions to be made based on them are the responsibility of such third parties. The Consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the Contract Documents. Autodesk Docs://19052 - 1107 Main St, Hamilton (IN8)19052 - 1107 Main St West Hamilton\_V2.rvt





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is not a part of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL P2 FLOOR PLAN  
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	PRE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-10-18	ISSUED FOR SPA
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-11-08	STRUCTURAL COORDINATION
26	2023-09-20	ISSUED FOR SPA
24	2023-09-30	ISSUED FOR SPA
23	2023-11-28	ISSUED FOR CHAIRMAN
22	2023-10-26	ISSUED FOR COORDINATION
21	2023-08-11	PRE-ISSUED FOR SPA
18	2023-04-26	ISSUED FOR COORDINATION
17	2023-04-26	ISSUED FOR REVIEW
14	2023-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

No. Date Revision

Client:

Project Name / Address:

**IN8**  
**1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052

Drawing Date: 12/18/19

Client: M.S. JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:39:35 PM

**LEVEL P2 FLOOR PLAN**

Ontario Association of Architects

Scale: 1:100

Status: MINOR VARIANCE

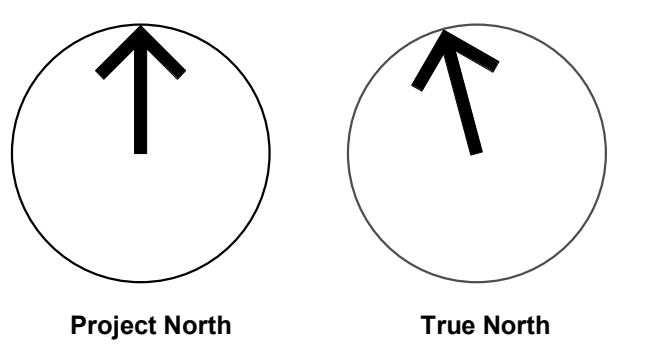
Revision No: r40

Drawing No: 7524

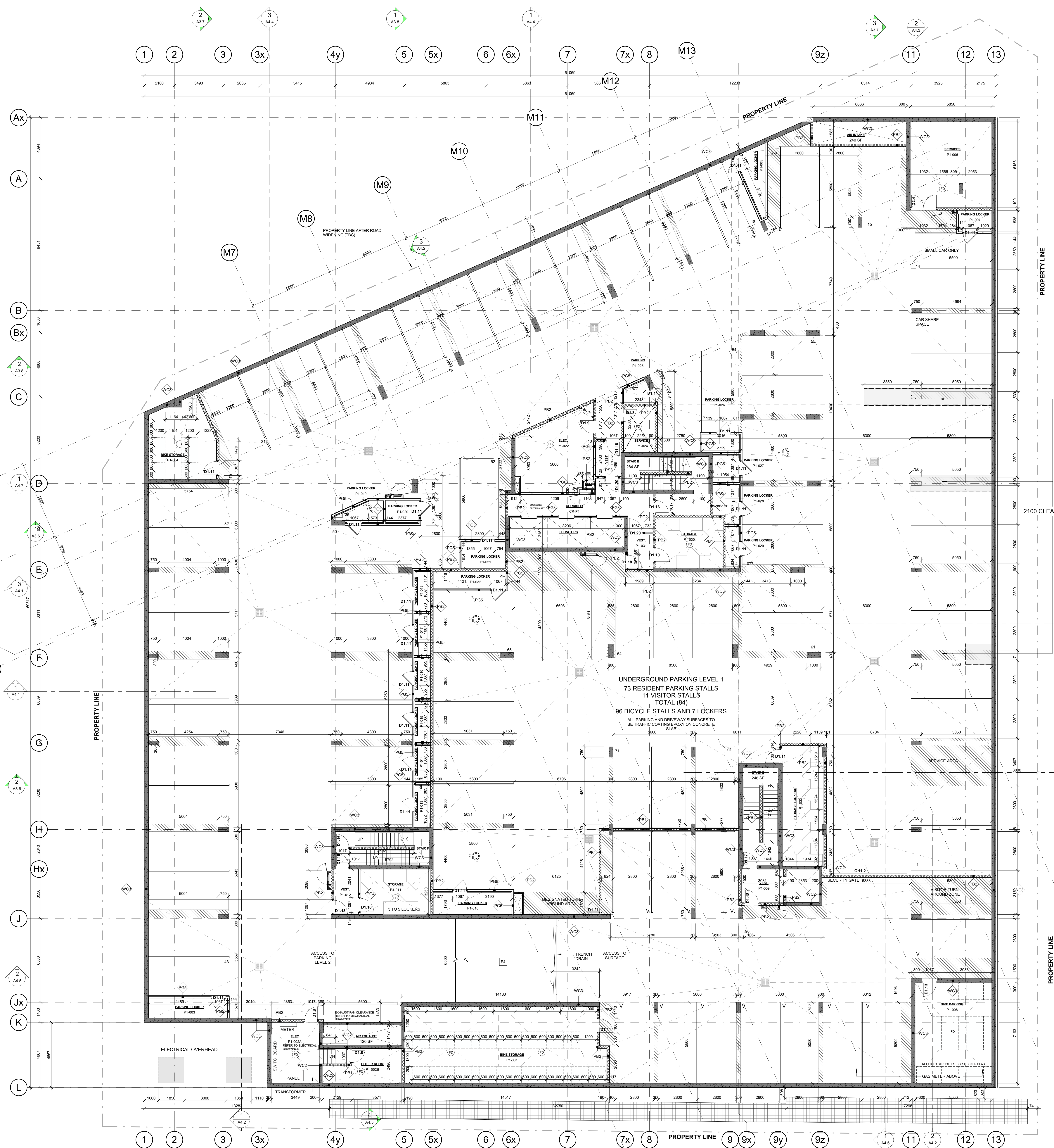
**A2.1**

The information contained herein is the property of SRM architects+urban+designers. It is to be used only for the project and site for which it was prepared. No part of this information may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of SRM architects+urban+designers. The information contained herein is the property of SRM architects+urban+designers. The information contained herein is the property of SRM architects+urban+designers. The information contained herein is the property of SRM architects+urban+designers.





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is not a true and correct reproduction of the contract documents, or any reliance, or/or decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



**UNDERGROUND PARKING LEVEL 1**  
 73 RESIDENT PARKING STALLS  
 11 VISITOR STALLS  
 TOTAL (84)  
 96 BICYCLE STALLS AND 7 LOCKERS  
 ALL PARKING AND DRIVEWAY SURFACES TO BE TRAFFIC CONTINGENCY ON CONCRETE SLAB

**1 LEVEL P1 FLOOR PLAN**  
 1 - 1/8"

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-11-08	STRUCTURAL COORDINATION
26	2023-08-25	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR CP/ALPHA
22	2021-10-30	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
19	2021-05-04	ISSUED FOR COORDINATION
18	2021-04-26	ISSUED FOR COORDINATION
17	2021-04-21	ISSUED FOR REVIEW
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

**IN8**  
**1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project Name / Address: **IN8 1107 MAIN ST. W**

Project No: 19052

Drawing Date: 12/18/19

Checked by: M.S. JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:39:40 PM

**LEVEL P1 FLOOR PLAN**

Drawing Scale: 1:100

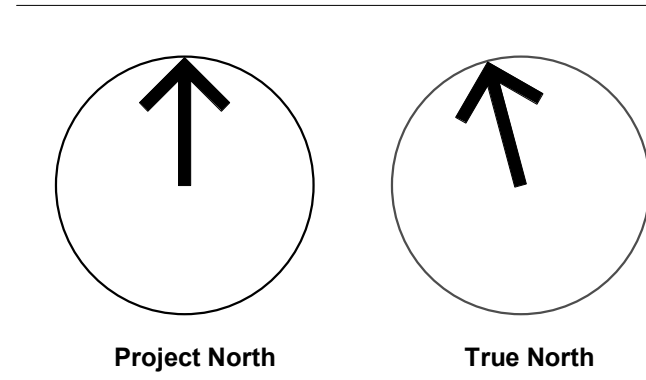
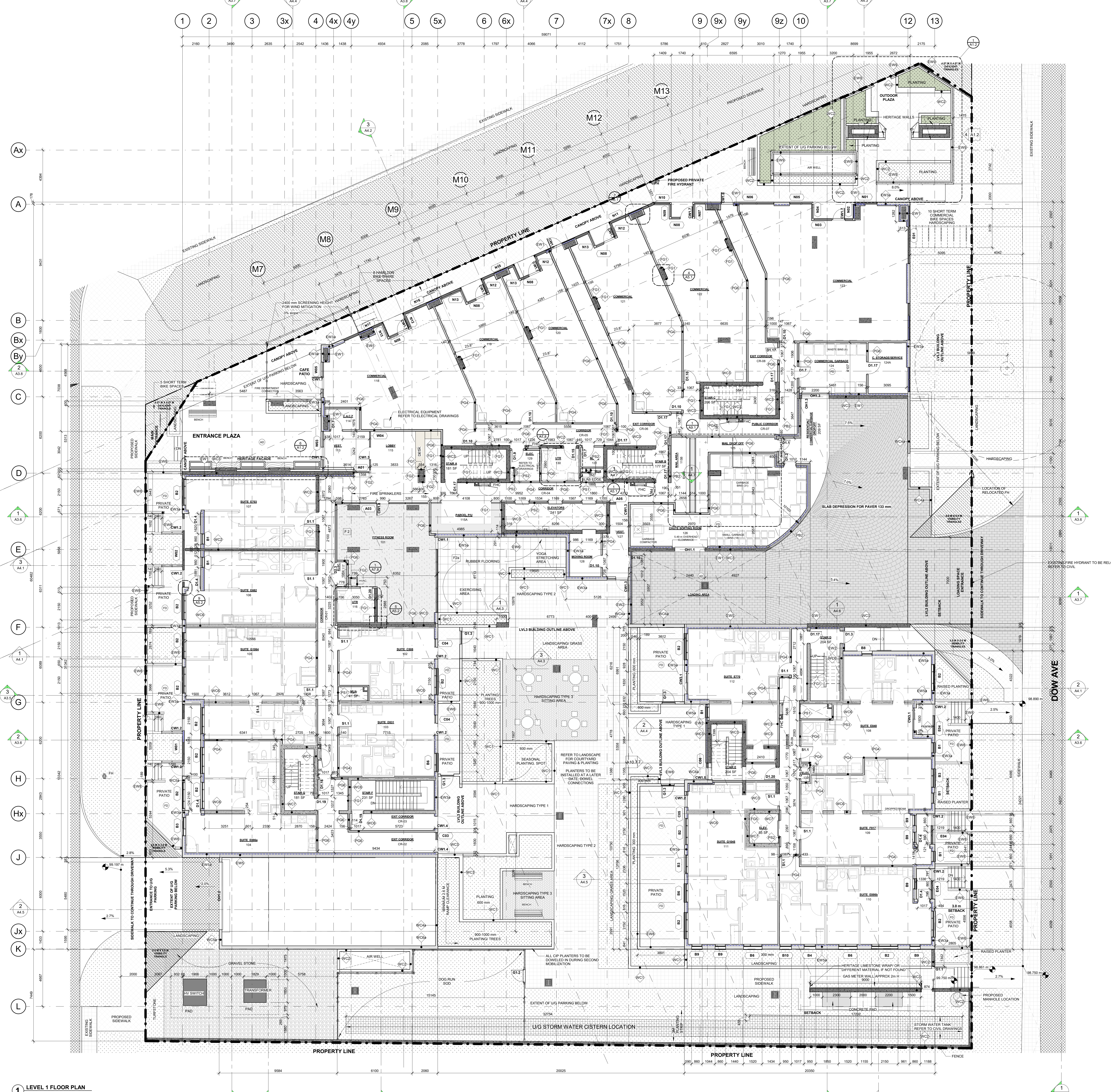
Status: MINOR VARIANCE

Revision No: **r40**

Drawing No: **A2.2**

SRM architects+urban+designers  
 1107 Main St, Hamilton (IN8) #1002 - 1107 Main St West Hamilton, ON L7Y 4V1  
 The information contained herein is the property of SRM architects+urban+designers. It is to be used only for the project and site identified herein. No part of this information may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of SRM architects+urban+designers. The information contained herein is the property of SRM architects+urban+designers. It is to be used only for the project and site identified herein. No part of this information may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of SRM architects+urban+designers.





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a first party matter of the contract documents, or any reliance on or decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-04-08	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-11-08	STRUCTURAL COORDINATION
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2023-08-30	ISSUED FOR SPA
23	2023-11-28	ISSUED FOR SPA
21	2023-08-11	ISSUED FOR SPA
18	2023-04-26	ISSUED FOR COORDINATION
17	2023-04-21	ISSUED FOR REVIEW
14	2023-11-17	ISSUED FOR REZONING
13	2023-09-09	ISSUED FOR CLIENT REVIEW
11	2023-02-22	ISSUED FOR CLIENT REVIEW
10	2023-02-11	ISSUED FOR REZONING
2	2023-03-18	ISSUED FOR PRE-CONSULTATION

Project Name / Address:  
**IN8**  
**1107 MAIN ST. W**  
 City of Hamilton Site Plan File Number: DA-23-023  
 Project No: 19052  
 Drawing Date: 12/18/21  
 Created by: M.S. JAA  
 Office Location: KITCHENER  
 Plot Date / Time: 5/28/2024 12:39:48 PM  
 Drawing Name:

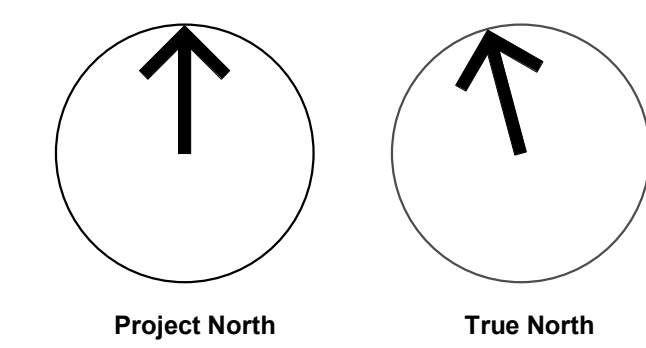
**LEVEL 1 FLOOR PLAN**

Drawing Scale: 1:100  
 Status: MINOR VARIANCE  
 Revision No: **r40**  
 Drawing No: **A2.3**

The information contained herein is the property of SRM Architects+urban+designers. It is to be used only for the project and site identified herein. It is not to be used for any other project or site without the written consent of SRM Architects+urban+designers. The information contained herein is not to be used for any other project or site without the written consent of SRM Architects+urban+designers. The information contained herein is not to be used for any other project or site without the written consent of SRM Architects+urban+designers.

**1 LEVEL 1 FLOOR PLAN**  
 1:100





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party's use of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	THE ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
29	2023-11-13	ISSUED FOR COORDINATION
28	2023-11-08	STRUCTURAL COORDINATION
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR COORDINATION
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	THE ISSUED FOR SPA
18	2021-04-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REVISIONS
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-25	ISSUED FOR CLIENT REVIEW
10	2020-01-11	ISSUED FOR REVISIONS

No. Date Revision

Client:

Project Name / Address:

**IN8**  
**1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052

Drawing Date: 12/18/19

Drawn by: M.S. Checked by: JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:39:56 PM

**LEVEL 2 FLOOR PLAN**

Drawing Name:

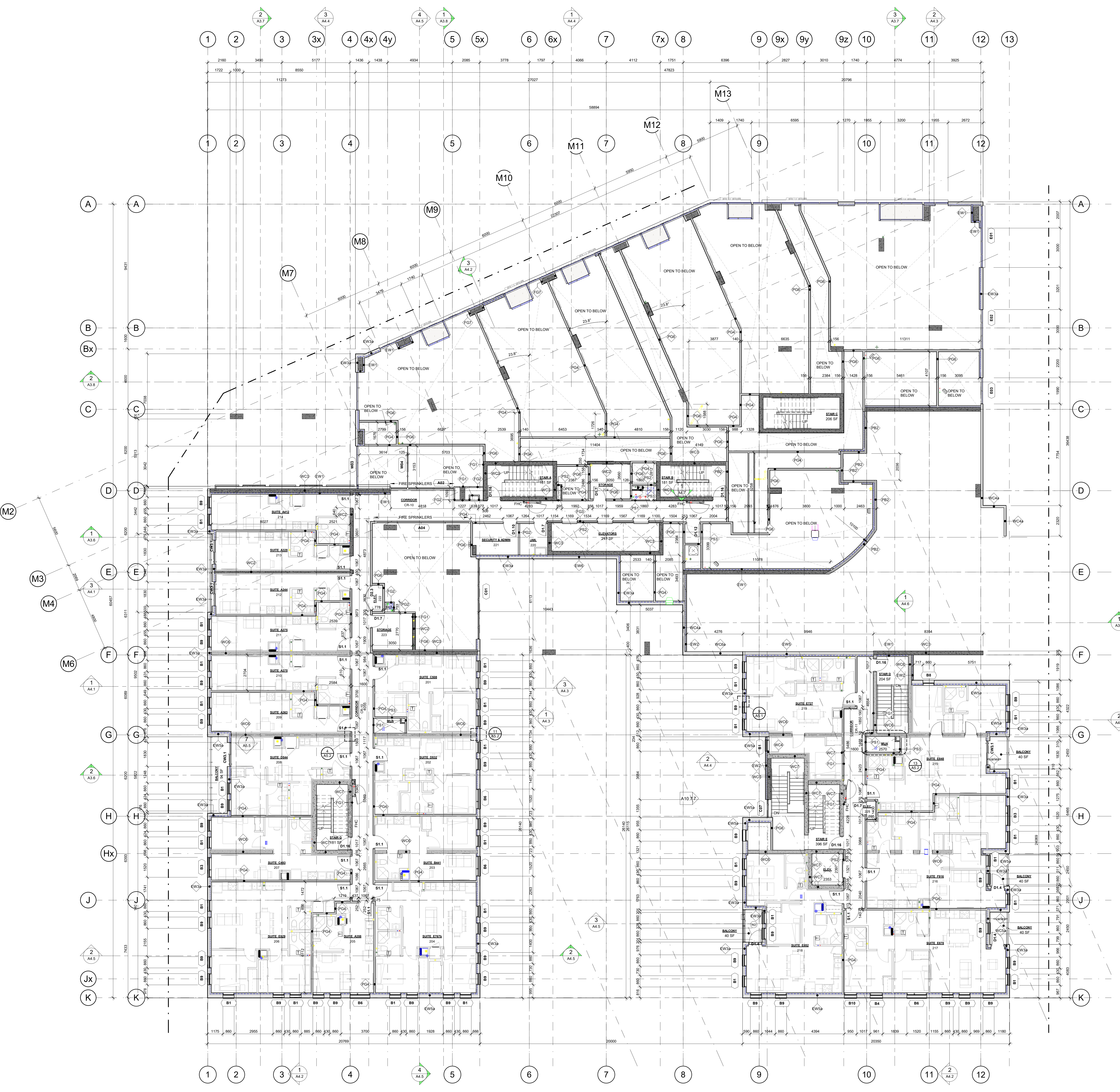
Drawing Scale: 1:100

Status: MINOR VARIANCE

Revision No: r40

Drawing No: A2.4

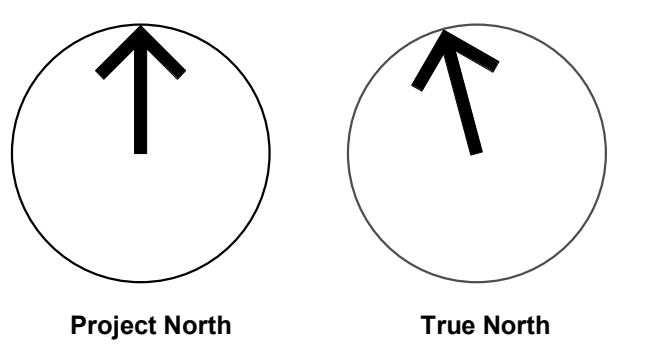
ONTARIO ASSOCIATION OF ARCHITECTS  
MEMBER OF THE PROFESSION OF ARCHITECTS  
REGULATED BY THE ONTARIO GOVERNMENT



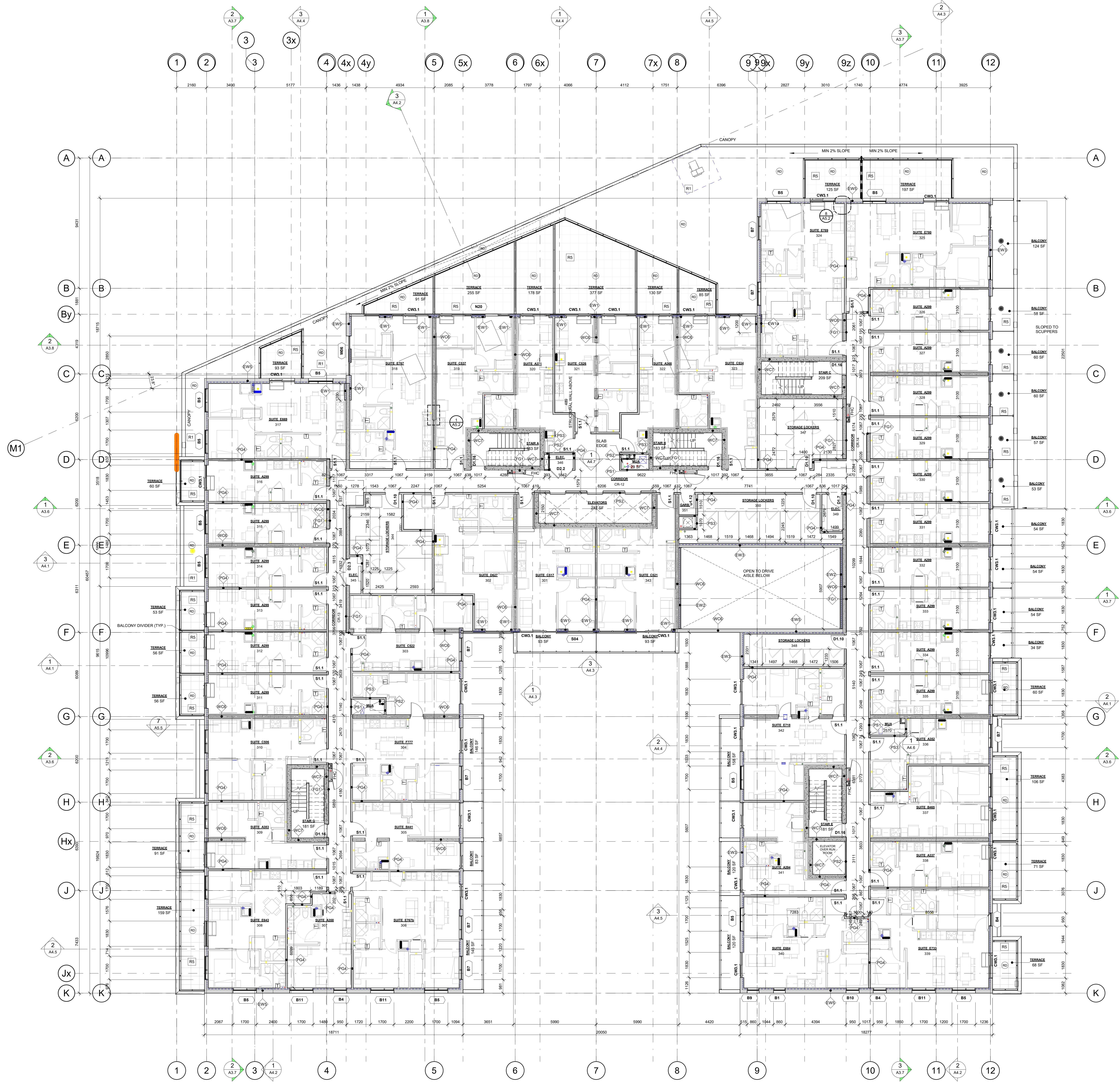
**1 LEVEL 2 FLOOR PLAN**

This document is the property of SRM Architects+urban+designers. It is to be used only for the project and site identified herein. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of SRM Architects+urban+designers. The drawings are the property of SRM Architects+urban+designers and shall remain the property of SRM Architects+urban+designers. The drawings are the property of SRM Architects+urban+designers and shall remain the property of SRM Architects+urban+designers. The drawings are the property of SRM Architects+urban+designers and shall remain the property of SRM Architects+urban+designers.





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgment in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL 3 FLOOR PLAN

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	THE ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2023-08-30	ISSUED FOR SPA
23	2023-11-28	ISSUED FOR COORDINATION
22	2023-10-26	ISSUED FOR COORDINATION
21	2023-10-11	RE ISSUED FOR SPA
18	2023-10-26	ISSUED FOR COORDINATION
14	2023-11-17	ISSUED FOR REZONING
13	2023-09-09	ISSUED FOR CLIENT REVIEW
11	2023-02-22	ISSUED FOR CLIENT REVIEW
10	2023-02-11	ISSUED FOR REZONING
2	2023-03-18	ISSUED FOR PRE-CONSULTATION

Project Name / Address: **IN8 1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052

Drawing Date: 12/18/19

Client: M.S. | Architect: JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:40:04 PM

**SRM architects+urban+designers**

Drawing Name: **LEVEL 3 FLOOR PLAN**

Drawing Scale: 1:100

Status: MINOR VARIANCE

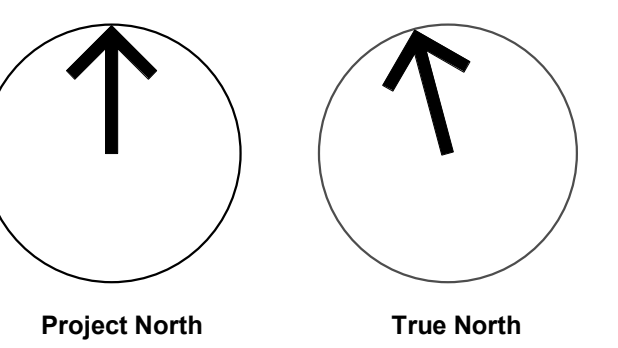
Revision No: **r40**

Drawing No: 7554

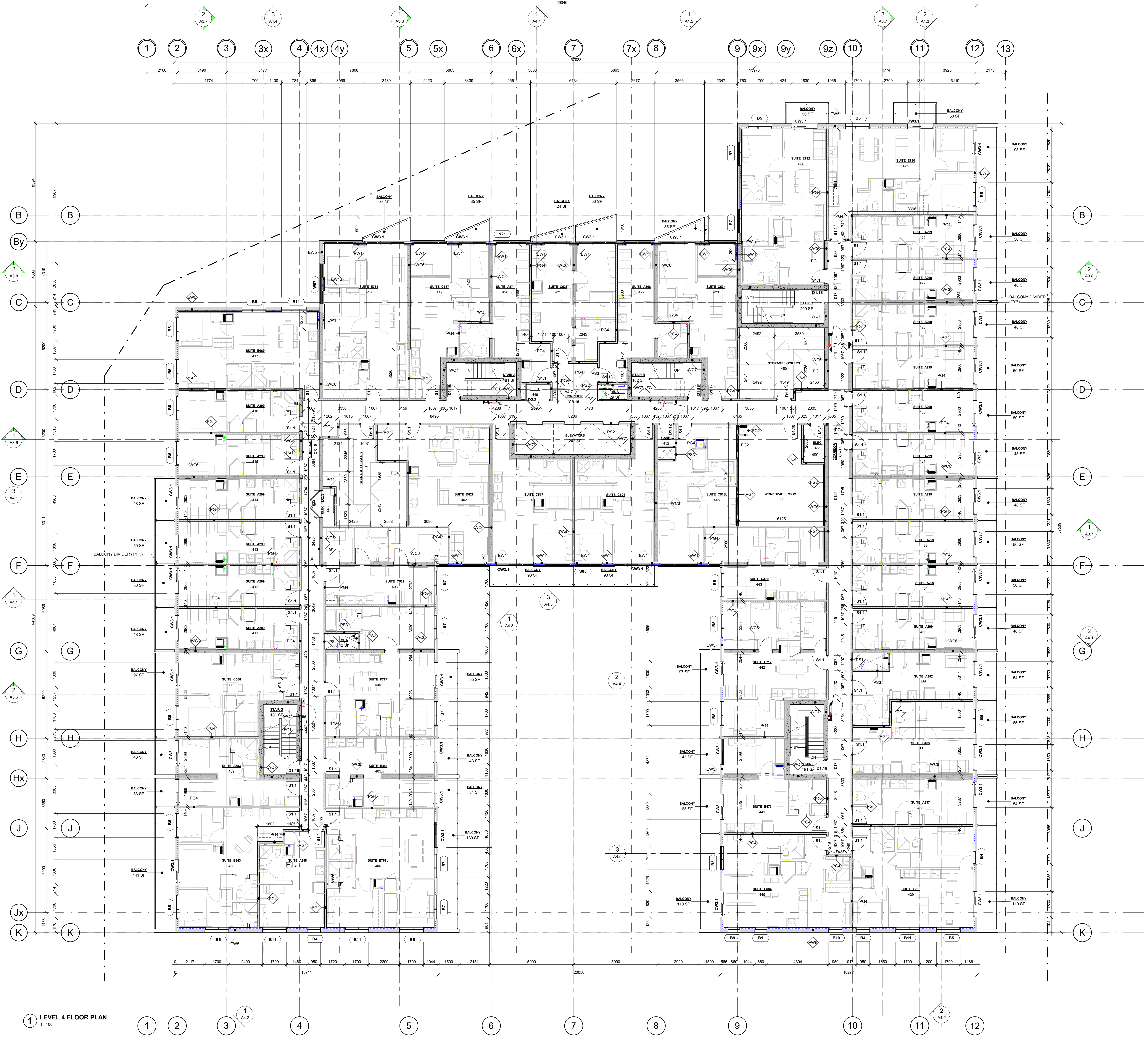
**A2.5**

The information contained herein is the property of SRM Architects+Urban+Designers. It is to be used only for the project and site identified herein. No part of this information may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of SRM Architects+Urban+Designers. The information contained herein is provided for your information only and does not constitute an offer of any financial product or service. The information contained herein is provided for your information only and does not constitute an offer of any financial product or service. The information contained herein is provided for your information only and does not constitute an offer of any financial product or service.





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party's use of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL 4 FLOOR PLAN  
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR EPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
30	2023-11-21	ISSUED FOR COORDINATION
28	2023-08-25	ISSUED FOR EPA

Project Name / Address  
**IN8  
1107 MAIN ST. W**

City of Hamilton Site Plan File Number: SA-23-023

Project No: 19052  
Drawing Date: 07/24/23  
Client: JAA  
Office Location: KITCHENER  
Plot Date / Time: 5/28/2024 12:40:12 PM

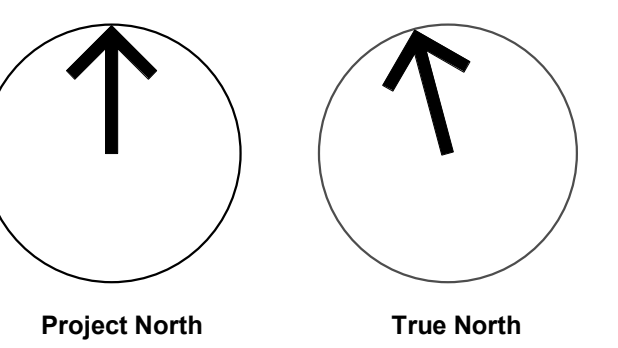
**LEVEL 4 FLOOR PLAN**

Drawing Scale: 1:100  
Status: MINOR VARIANCE  
Revision No: r40  
Drawing No: 7554

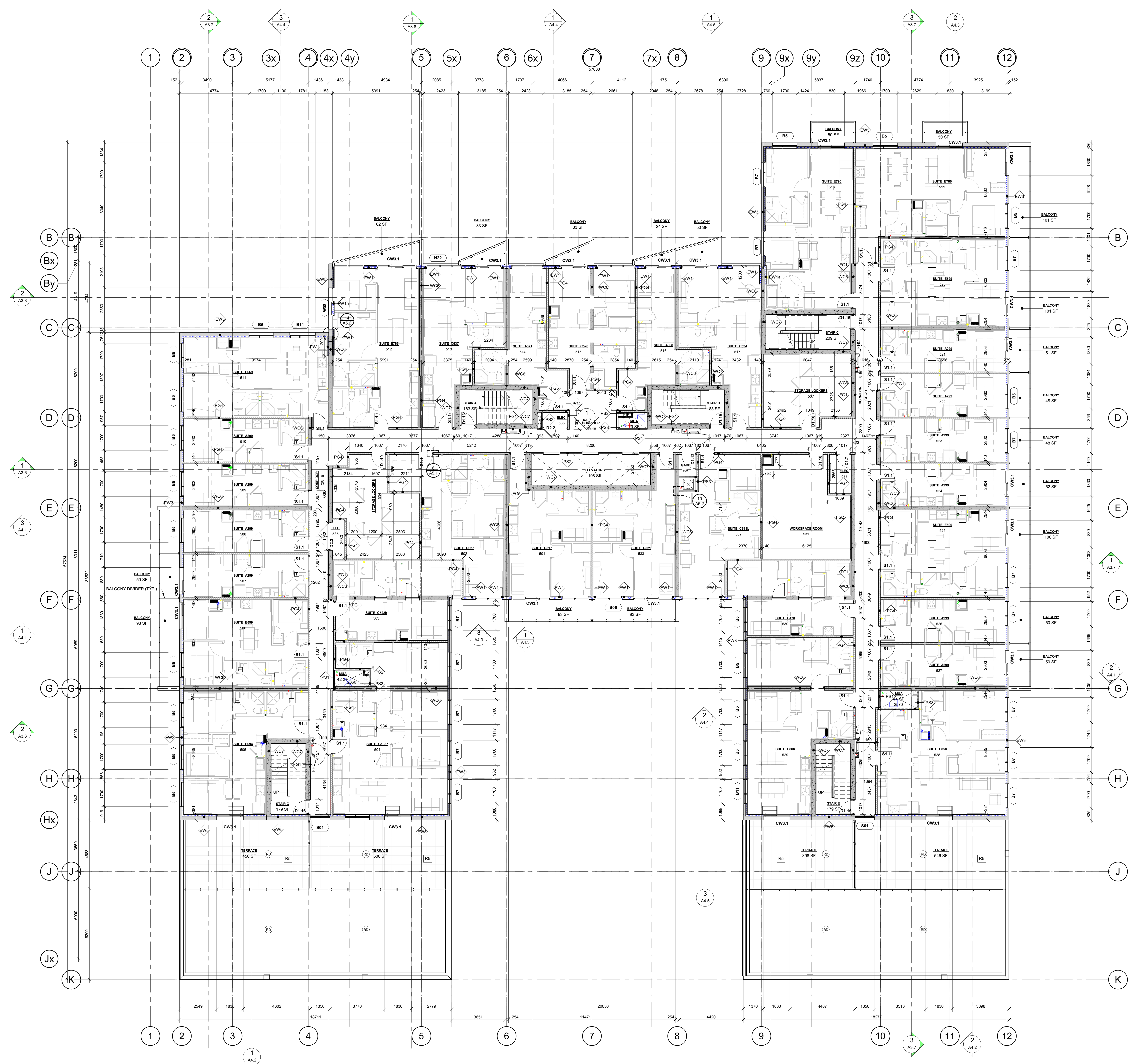
**A2.6**

The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party's use of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgment in light of the information available to him at the time of preparation. Any use which is not a part of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



**1 LEVEL 5 FLOOR PLAN**  
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	PRE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
27	2023-09-19	ISSUED FOR COORDINATION
29	2023-11-13	ISSUED FOR SPA
28	2023-08-25	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR SPA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	PRE-ISSUED FOR SPA
18	2021-06-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

No. Date Revision

Project Name / Address  
**IN8**  
**1107 MAIN ST. W**  
City of Hamilton Site Plan File Number: DA-23-003

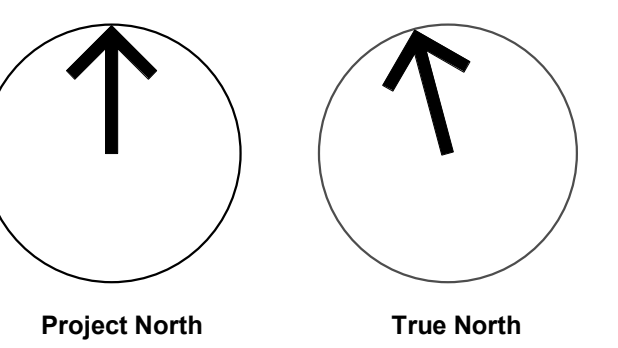
Project No: 19052  
Drawing Date: 12/18/19  
Drawing Title: M.S  
Checked by: JAA  
Office Location: KITCHENER  
Plot Date / Time: 5/28/2024 12:40:19 PM

**LEVEL 5 FLOOR PLAN**

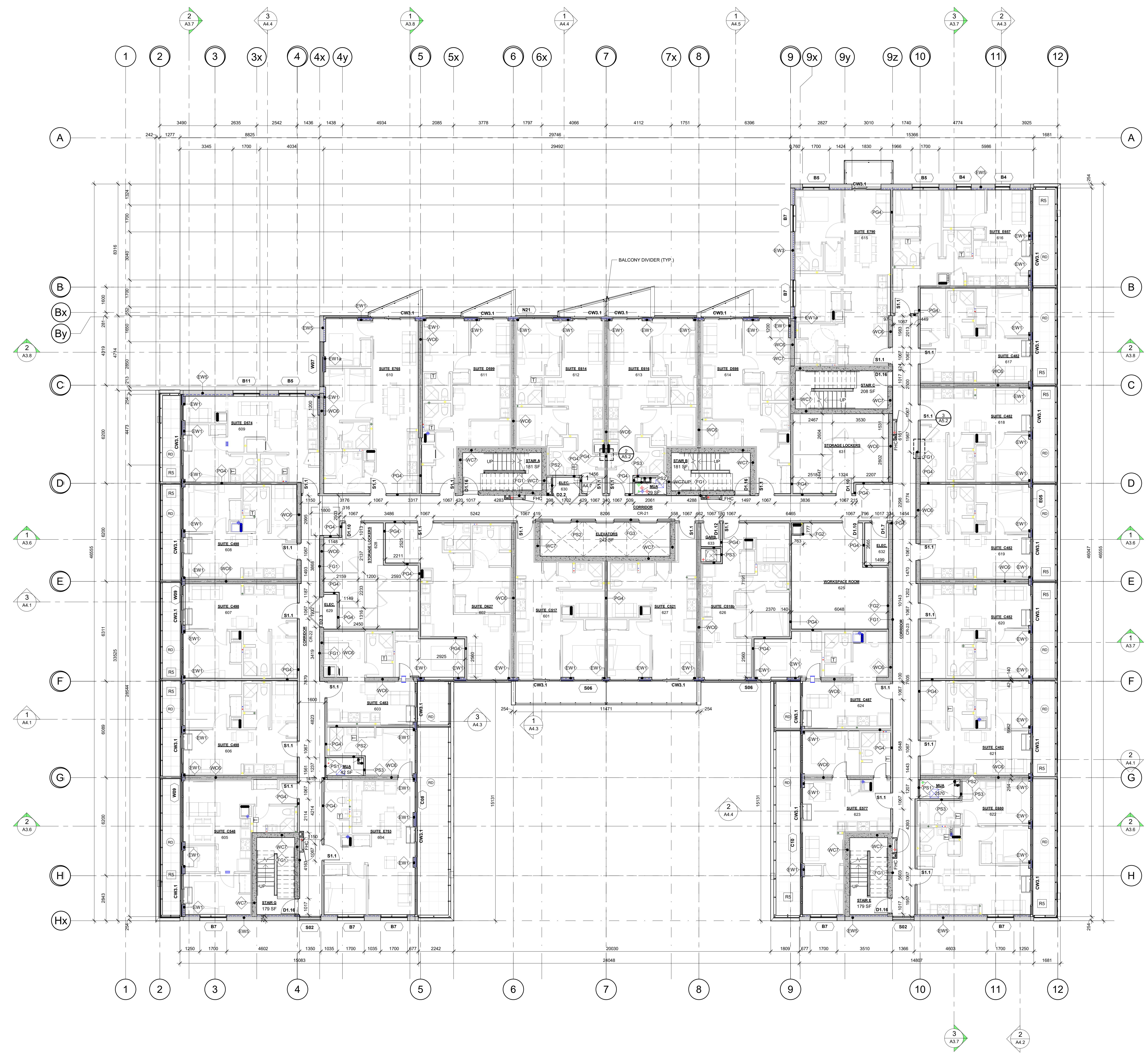
Ontario Association of Architects  
Architects  
Professional Licence  
Drawing No: 19052  
Drawing Title: M.S  
Checked by: JAA  
Office Location: KITCHENER  
Plot Date / Time: 5/28/2024 12:40:19 PM  
Drawing Scale: 1:100  
Status: MINOR VARIANCE  
Revision No: r40  
Drawing No: A2.7

The information contained herein is the property of SRM architects+urban+designers. It is provided for the use of the client only and is not to be distributed, copied, or otherwise used without the written consent of SRM architects+urban+designers. The information contained herein is not to be used for any other purpose. SRM architects+urban+designers is not responsible for any errors or omissions in this document. The information contained herein is not to be used for any other purpose. SRM architects+urban+designers is not responsible for any errors or omissions in this document. The information contained herein is not to be used for any other purpose. SRM architects+urban+designers is not responsible for any errors or omissions in this document.





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



**1 LEVEL 6 FLOOR PLAN**  
1 : 100

No.	Date	Revision
40	2024-09-28	ISSUED FOR MINOR VARIANCE
38	2024-09-15	REVISED FOR TENDER
37	2024-09-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-06-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
29	2023-11-13	ISSUED FOR COORDINATION
27	2023-09-19	1 <sup>ST</sup> REVISION
26	2023-08-25	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA

Project Name / Address: **IN8 1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052

Drawing Date: 12/13/21

Drawn by: M.S. | Checked by: JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:40:26 PM

**LEVEL 6 FLOOR PLAN**

Drawing Scale: 1 : 100

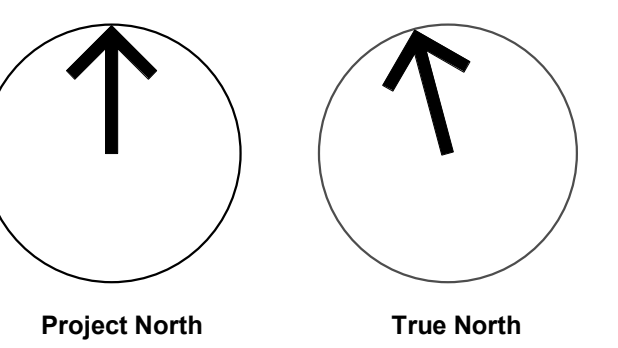
Status: MINOR VARIANCE

Revision No: r40

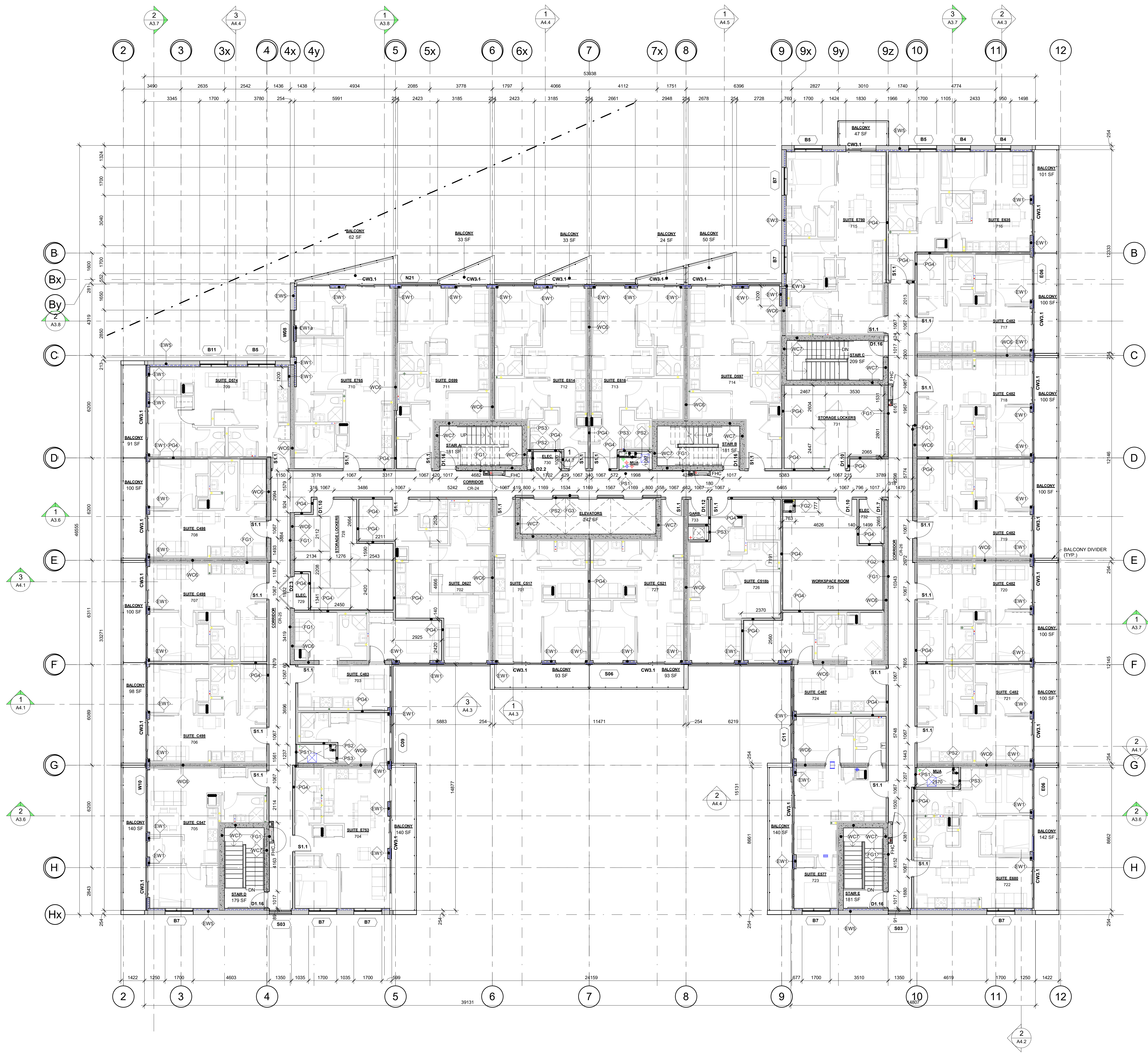
Drawing No: A2.8

The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

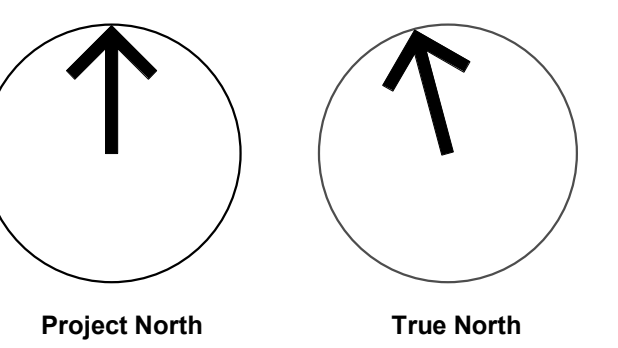




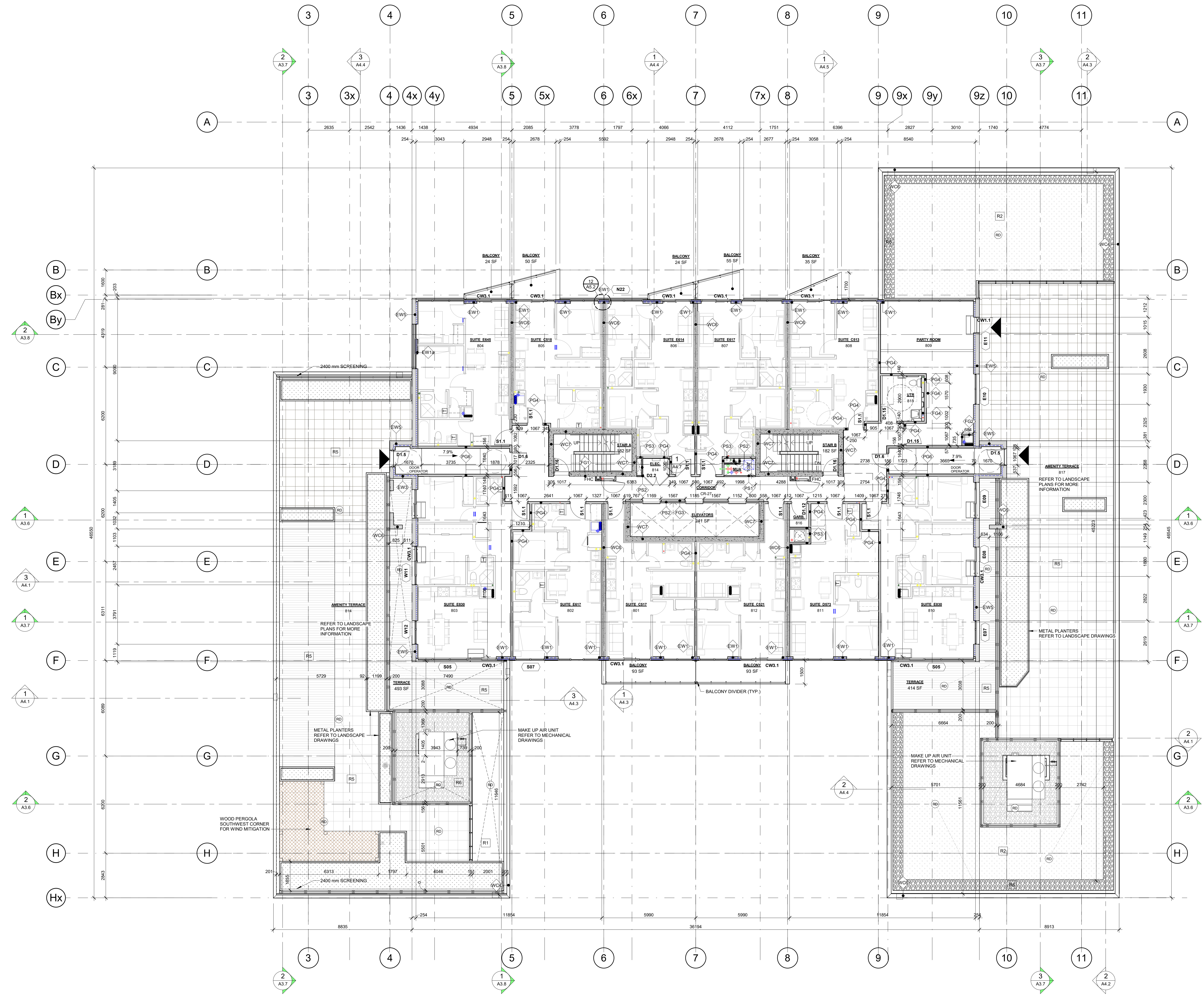
- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.







- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



**1 LEVEL 8 FLOOR PLAN**  
1 : 100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-22	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-12-12	ISSUED FOR MARKETING REVISIONS
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2023-08-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR DP/ALZ/IA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-09-11	RE-ISSUED FOR SPA
18	2021-08-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

No. Date Revision

Project Name / Address

**IN8**  
**1107 MAIN ST. W**

City of Hamilton Site Plan File Number: SA-23-023

**SRM**  
architects+  
urban+designers

Project No: 19052  
Drawing Date: 12/18/19  
Drawn by: M.S. Checked by: JAA  
Office Location: KITCHENER  
Plot Date / Time: 5/28/2024 12:40:39 PM

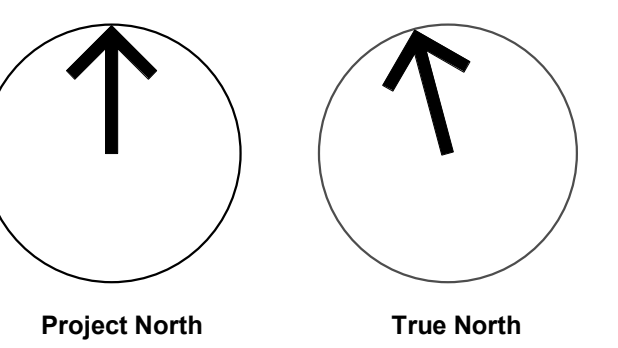
**LEVEL 8 FLOOR PLAN**

Ontario Association of Architects  
Architects  
Professional Licence  
7554

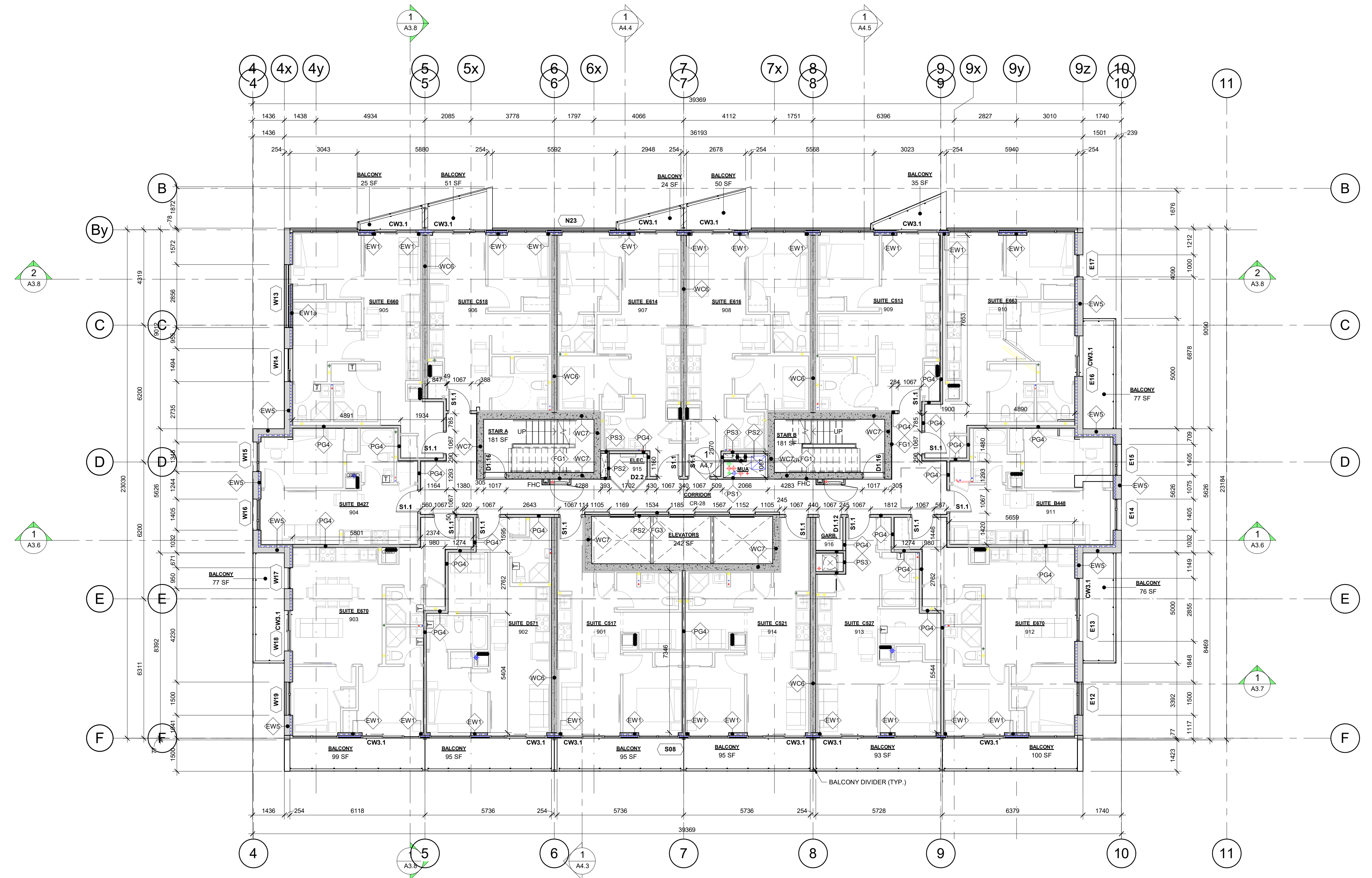
Drawing Scale: 1 : 100  
Status: MINOR VARIANCE  
Revision No: r40  
Drawing No: A2.10

The information contained herein is the property of SRM architects+urban+designers. It is to be used only for the project and site for which it is prepared. It is not to be used for any other project or site without the written consent of SRM architects+urban+designers. The information contained herein is not to be used for any other project or site without the written consent of SRM architects+urban+designers. The information contained herein is not to be used for any other project or site without the written consent of SRM architects+urban+designers.





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/for decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



**1 LEVEL 9, 11 FLOOR PLAN**  
1:100

The drawings are the property of SRM architects+urban+designers. No part of these drawings may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of SRM architects+urban+designers. The drawings are prepared for the project described in the title block. The drawings are not to be used for any other project without the prior written permission of SRM architects+urban+designers. The drawings are not to be used for any other project without the prior written permission of SRM architects+urban+designers.

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2023-08-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR OPA/ZA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR ZBA
18	2021-06-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

Client:

Project Name / Address:

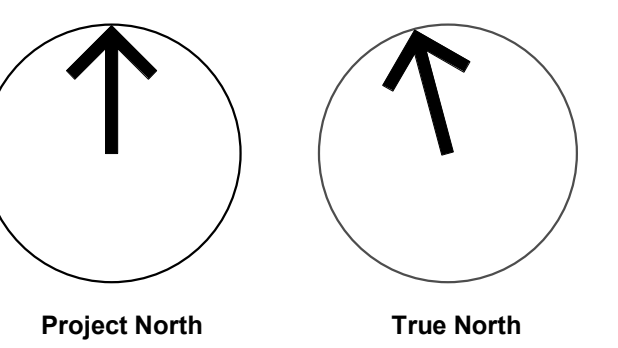
**IN8**  
**1107 MAIN ST. W**  
City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052  
Drawing Date: 12/18/19  
Drawn by: M.S. | Checked by: JAA  
Office Location: KITCHENER  
Plot Date / Time: 5/28/2024 12:40:44 PM

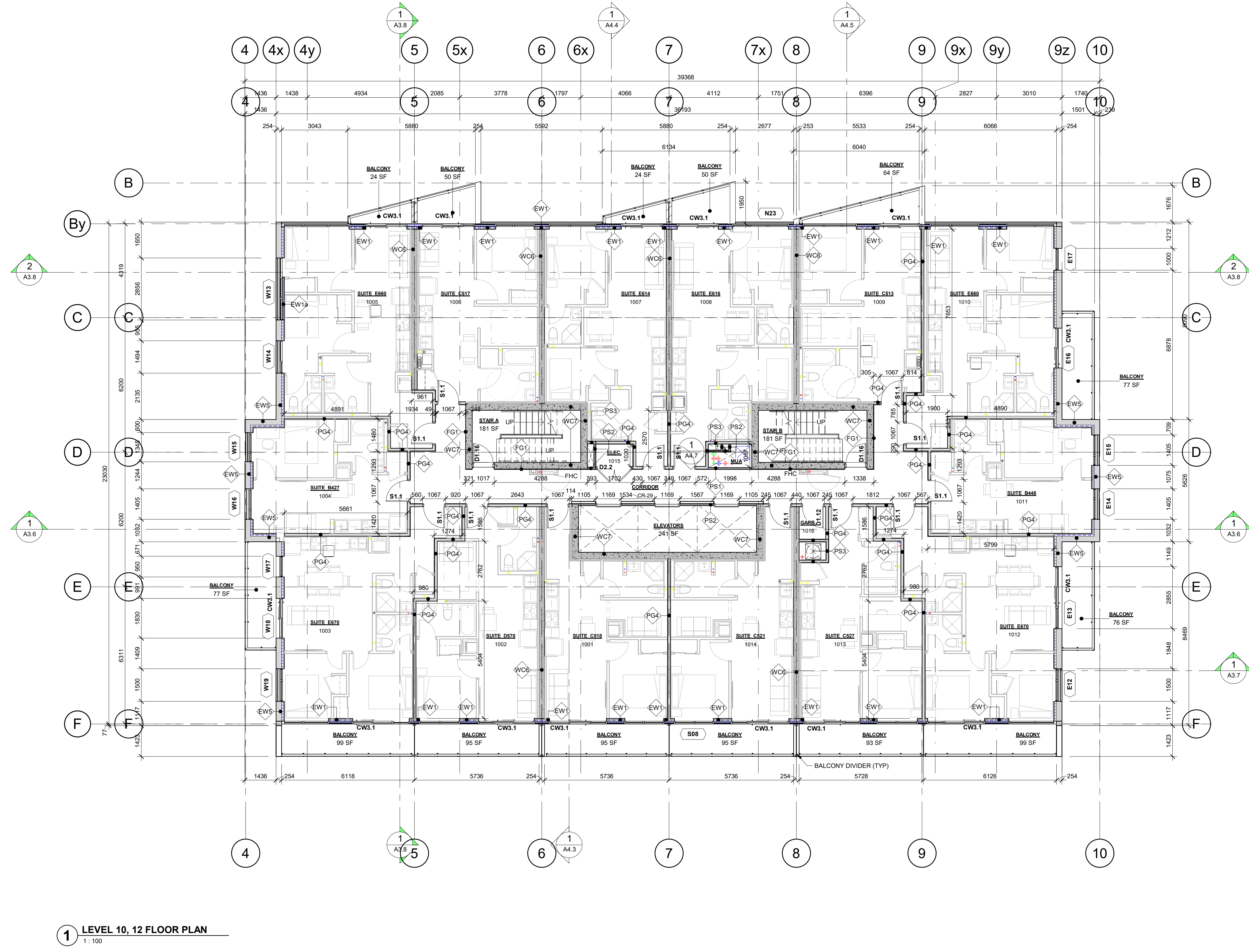
**LEVEL 9, 11 FLOOR PLAN**

Ontario Association of Architects  
Drawing Scale: 1:100  
Status: MINOR VARIANCE  
Revision No: r40  
Drawing No: 7554  
**A2.11**





- GENERAL NOTES**
1. Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  2. All work shall comply with the 2012 Ontario Building Code and amendments.
  3. Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  4. All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  5. All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  6. The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance, or/or decisions to be made based on them are the responsibility of such third parties.
  7. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 LEVEL 10, 12 FLOOR PLAN  
1:100

The information contained herein is the property of SRM Architects+urban+designers. It is to be used only for the project and site for which it was prepared. It is not to be used for any other project or site without the written consent of SRM Architects+urban+designers. The information contained herein is not to be used for any other project or site without the written consent of SRM Architects+urban+designers. The information contained herein is not to be used for any other project or site without the written consent of SRM Architects+urban+designers.

No.	Date	Revision
46	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	PRE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
27	2023-09-19	CLIENT REVISIONS
26	2023-08-25	ISSUED FOR SPA
24	2023-08-30	ISSUED FOR SPA
23	2021-11-26	ISSUED FOR OPA/OPA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
18	2021-06-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REZONING
13	2020-09-09	ISSUED FOR CLIENT REVIEW
11	2020-02-27	ISSUED FOR CLIENT REVIEW
10	2020-02-11	ISSUED FOR REZONING
2	2019-03-18	ISSUED FOR PRE-CONSULTATION

Project Name / Address: **IN8 1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

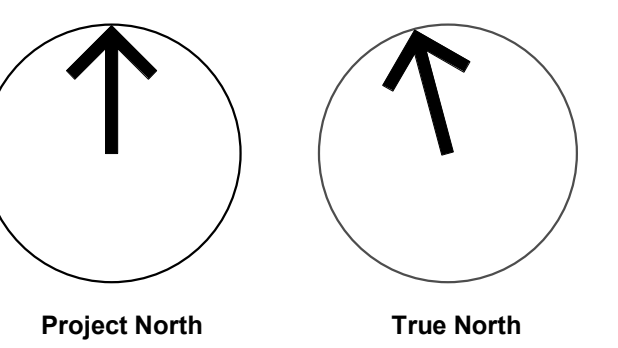
Project No: 19052  
Drawing Date: 5/3/2024  
Drawn by: M.S. | Checked by: JAA  
Office Location: KITCHENER  
Plot Date / Time: 5/28/2024 12:40:48 PM

**SRM**  
architects+  
urban+designers

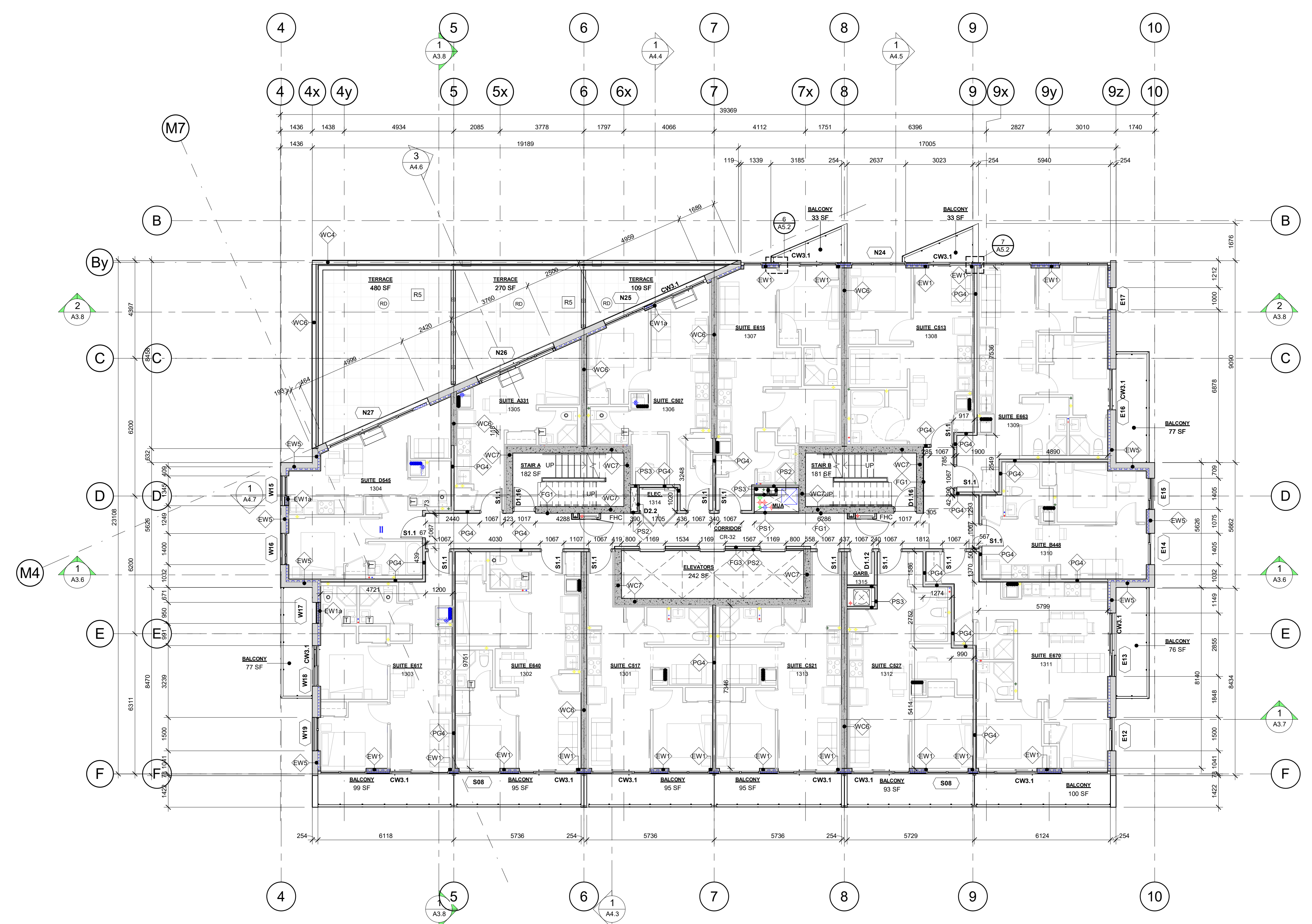
Drawing Title: **LEVEL 10,12 FLOOR PLAN**

Drawing Scale: 1:100  
Status: MINOR VARIANCE  
Revision No: **r40**  
Drawing No: **A2.12**





- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  - All work shall comply with the 2012 Ontario Building Code and amendments.
  - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  - All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  - The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, error or decisions to be made based on them are the responsibility of such third parties.
  - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



**1 LEVEL 13 FLOOR PLAN**  
1:100

The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, error or decisions to be made based on them are the responsibility of such third parties. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
33	2023-09-19	CLIENT REVISIONS
28	2023-08-25	ISSUED FOR SPA
24	2022-09-27	ISSUED FOR SPA
23	2021-11-20	ISSUED FOR OPA/ISA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
18	2021-04-26	ISSUED FOR COORDINATION
14	2020-11-17	ISSUED FOR REDLINING

Project Name / Address:  
**IN8**  
**1107 MAIN ST. W**  
 City of Hamilton Site Plan File Number: DA-23-023  
 Project No: 19052  
 Drawing Date: 09/18/20  
 Drawn by: M.S. | Checked by: JAA  
 Office Location: KITCHENER  
 Plot Date / Time: 5/28/2024 12:40:53 PM

**LEVEL 13 FLOOR PLAN**  
 Drawing Scale: 1:100  
 Status: MINOR VARIANCE  
 Revision No: **r40**  
 Drawing No: **A2.13**







MATERIAL LEGEND		
	1	PRECAST CONCRETE - SAND/YELLOW MASONRY VENEER
	2	PRECAST CONCRETE - WHITE
	3	PRECAST CONCRETE - CHARCOAL MASONRY VENEER
	4	RECLAIMED HERITAGE MASONRY
	5	SPANDREL PANEL
	6	GLAZING - TINT 2
	7	ALUMINUM MULLION
	8	METAL PANEL - DARK ANODIZED
	9	METAL PANEL - WHITE ANODIZED
	10	PRE-CAST CONCRETE CORNICE
	11	METAL CANOPY - CHARCOAL
	12	LOUVER BLANKING PANEL
	13	GLASS PANEL - CLEAR

- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  - All work shall comply with the 2012 Ontario Building Code and amendments.
  - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  - All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  - The materials contained herein reflect the consultant's best judgement in light of the information available to him at the time of preparation. Any use which a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 NORTH ELEVATION  
1 - 100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-12-18	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR SPA
18	2021-04-28	ISSUED FOR COORDINATION
15	2020-12-01	ISSUED FOR PERMITS
14	2020-11-17	ISSUED FOR REZONING
10	2020-03-11	ISSUED FOR REZONING

Project Name / Address: **IN8 1107 MAIN ST. W**

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052

Drawing Date: 12/15/19

Client: M.S. JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:41:26 PM

**NORTH ELEVATION**

Drawing Scale: As indicated

Status: MINOR VARIANCE

Revision No: r40

Drawing No: 7554

**A3.1**

The materials shown on this drawing are for informational purposes only. The materials shown on this drawing are not intended to be used as a guide for construction. The materials shown on this drawing are not intended to be used as a guide for construction. The materials shown on this drawing are not intended to be used as a guide for construction.







MATERIAL LEGEND	
	1 PRECAST CONCRETE - SAND/YELLOW MASONRY VENEER
	2 PRECAST CONCRETE - WHITE
	3 PRECAST CONCRETE - CHARCOAL MASONRY VENEER
	4 RECLAIMED HERITAGE MASONRY
	5 SPANDREL PANEL
	6 GLAZING - TINT 2
	7 ALUMINUM MULLION
	8 METAL PANEL - DARK ANODIZED
	9 METAL PANEL - WHITE ANODIZED
	10 PRE-CAST CONCRETE CORNICE
	11 METAL CANOPY - CHARCOAL
	12 LOUVER BLANKING PANEL
	13 GLASS PANEL - CLEAR

- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  - All work shall comply with the 2012 Ontario Building Code and amendments.
  - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  - All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  - The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

2 VARIATION IN THE TEXTURAL TREATMENT OF THE WHITE PRECAST



1 EAST ELEVATION  
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-11-18	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR ZBA
18	2021-04-28	ISSUED FOR COORDINATION
15	2020-12-01	ISSUED FOR OPINION
14	2020-11-17	ISSUED FOR REZONING
10	2020-03-11	ISSUED FOR REZONING

Project Name / Address  
**IN8**  
**1107 MAIN ST. W**  
City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052  
Drawing Date: 12/18/19  
Drawn by: M.S  
Checked by: JAA  
Office Location: KITCHENER  
Plot Date / Time: 5/28/2024 12:45:18 PM

**SRM**  
architects+  
urban+designers

**EAST ELEVATION**

Ontario Association of Architects  
ARCHITECTS  
REGULATED PROFESSION  
LICENCE

Drawing Scale: As indicated  
Status: MINOR VARIANCE  
Revision No: r40  
Drawing No: A3.3

The architect has prepared this drawing in accordance with the Ontario Building Code and the Ontario Building Code Act. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any damage to property or persons caused by the use of this drawing. The architect is not responsible for any damage to property or persons caused by the use of this drawing. The architect is not responsible for any damage to property or persons caused by the use of this drawing.



MATERIAL LEGEND	
	1 PRECAST CONCRETE - SAND/YELLOW MASONRY VENEER
	2 PRECAST CONCRETE - WHITE
	3 PRECAST CONCRETE - CHARCOAL MASONRY VENEER
	4 RECLAIMED HERITAGE MASONRY
	5 SPANDREL PANEL
	6 GLAZING - TINT 2
	7 ALUMINUM MULLION
	8 METAL PANEL - DARK ANODIZED
	9 METAL PANEL - WHITE ANODIZED
	10 PRE-CAST CONCRETE CORNICE
	11 METAL CANOPY - CHARCOAL
	12 LOUVER BLANKING PANEL
	13 GLASS PANEL - CLEAR

- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  - All work shall comply with the 2012 Ontario Building Code and amendments.
  - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  - All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  - The materials contained herein reflect the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party matter of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third parties.
  - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.



1 WEST ELEVATION  
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
38	2024-05-15	RE-ISSUED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-04-17	ISSUED FOR MINOR VARIANCE
35	2024-03-20	ISSUED FOR TENDER
34	2023-11-18	ISSUED FOR SPA
24	2022-09-30	ISSUED FOR SPA
22	2021-10-26	ISSUED FOR COORDINATION
21	2021-06-11	RE-ISSUED FOR ZBA
18	2021-04-28	ISSUED FOR COORDINATION
15	2020-12-01	ISSUED FOR PERMITS
14	2020-11-17	ISSUED FOR REZONING
10	2020-05-11	ISSUED FOR REZONING

IN8  
1107 MAIN ST. W

City of Hamilton Site Plan File Number: DA-23-023

Project No: 19052

Drawing Date: 07/22/2022

Client: M.S. JAA

Office Location: KITCHENER

Plot Date / Time: 5/28/2024 12:47:24 PM

Drawing Name: WEST ELEVATION

Ontario Association of Architects

Architects

Professional Licence

7554

As indicated

MINOR VARIANCE

r40

A3.4

The information contained herein is the property of SRM Architects+urban+designers. It is to be used only for the project and site identified herein. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of SRM Architects+urban+designers. The information contained herein is provided for your reference only and does not constitute a contract. The information contained herein is provided for your reference only and does not constitute a contract. The information contained herein is provided for your reference only and does not constitute a contract.



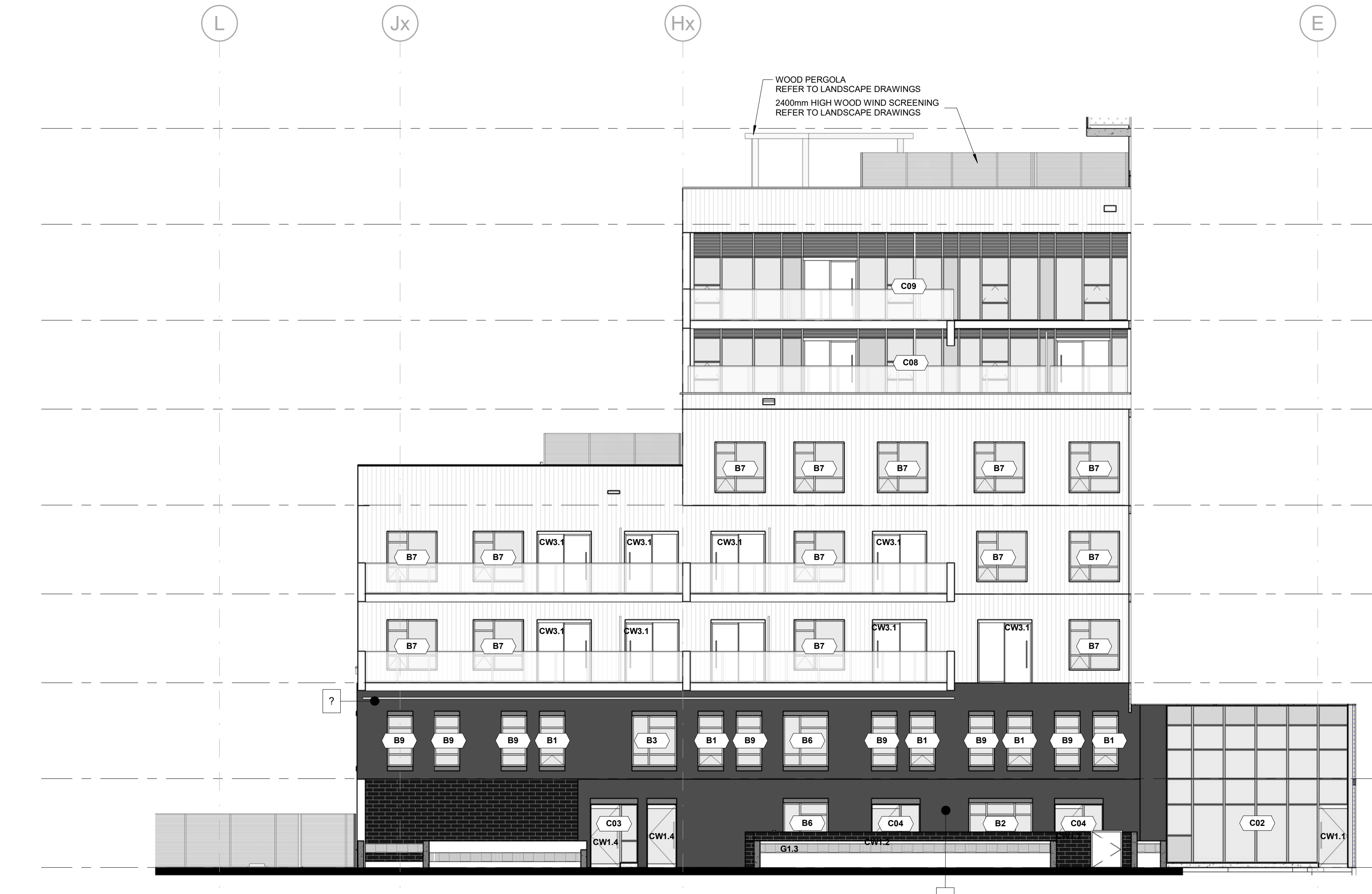
MATERIAL LEGEND	
1	PRECAST CONCRETE - SAND/YELLOW MASONRY VENEER
2	PRECAST CONCRETE - WHITE
3	PRECAST CONCRETE - CHARCOAL MASONRY VENEER
4	RECLAIMED HERITAGE MASONRY
5	SPANDREL PANEL
6	GLAZING : TINT 2
7	ALUMINUM MULLION
8	METAL PANEL: DARK ANODIZED
9	METAL PANEL: WHITE ANODIZED
10	PRE-CAST CONCRETE CORNICE
11	METAL CANOPY: CHARCOAL
12	LOUVER BLANKING PANEL
13	GLASS PANEL - CLEAR

- GENERAL NOTES**
- Do not scale drawings. Written dimensions shall have precedence over scaled dimensions.
  - All work shall comply with the 2012 Ontario Building Code and amendments.
  - Contractors must check and verify all dimensions and specifications and report any discrepancies to the architect before proceeding with the work.
  - All contractors and sub-contractors shall have a set of approved construction documents on site at all times.
  - All documents remain the property of the architect. Unauthorised use, modification, and/or reproduction of these documents is prohibited without written permission. The contract documents were prepared by the consultant for the account of the owner.
  - The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third party.
  - The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.

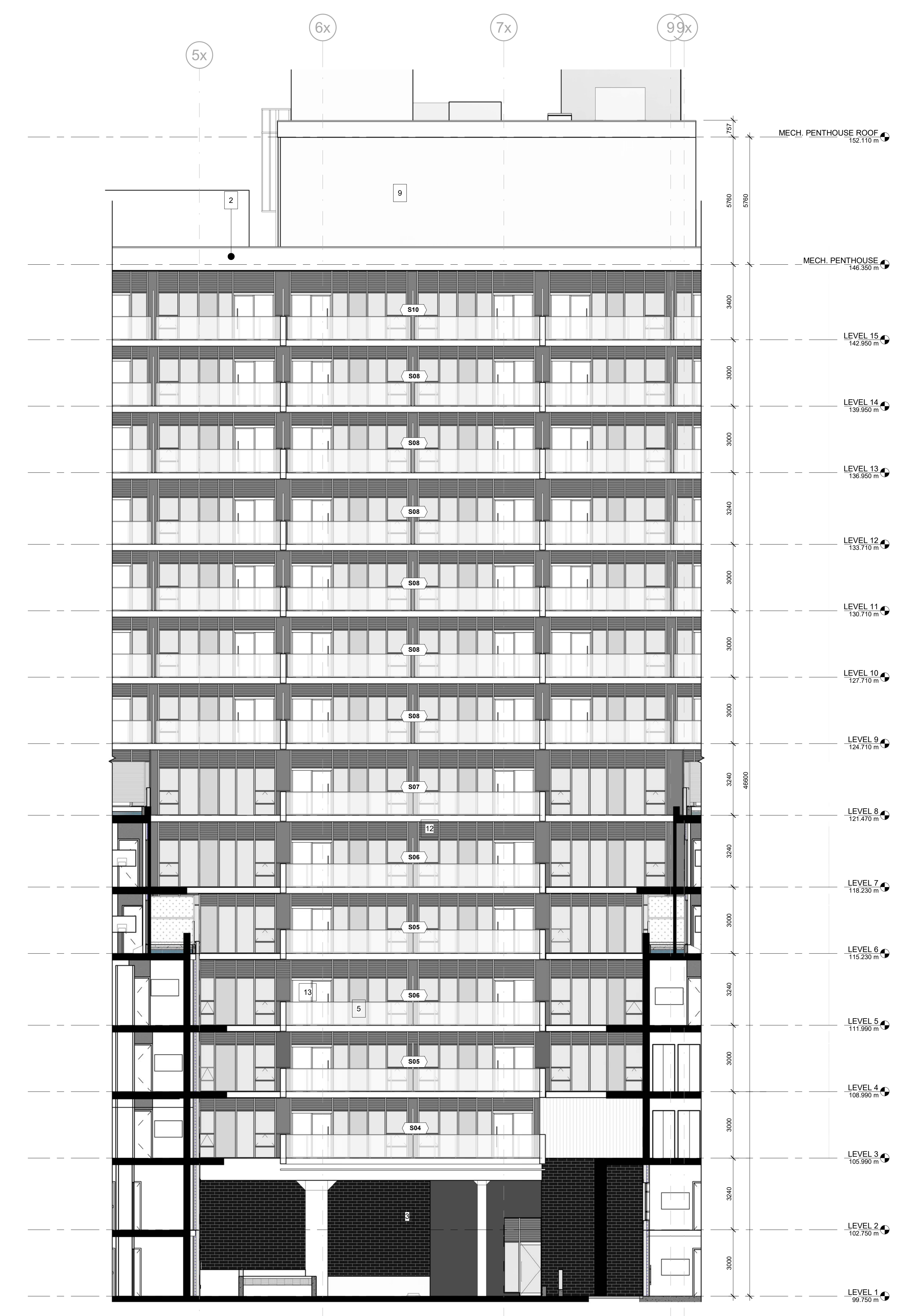
2 VARIATION IN THE TEXTURAL TREATMENT OF THE WHITE PRECAST



1 COURTYARD ELEVATION EAST WING  
1:100



2 COURTYARD ELEVATION WEST WING  
1:100



3 COURTYARD ELEVATION NORTH  
1:100

No.	Date	Revision
40	2024-05-28	ISSUED FOR MINOR VARIANCE
39	2024-05-15	REVISED FOR TENDER
37	2024-05-03	ISSUED FOR SITE PLAN APPROVAL
36	2024-03-20	ISSUED FOR TENDER
24	2022-09-30	ISSUED FOR SPA
21	2021-06-11	REVISED FOR ZBA
18	2021-04-28	ISSUED FOR COORDINATION

Client: \_\_\_\_\_

Project Name / Address: \_\_\_\_\_

**IN8**  
**1107 MAIN ST. W**  
City of Hamilton Site Plan File Number: DA-23-023

**SRM**  
architects+  
urban+designers

Drawing Date: 01/21/21  
Checked by: JAA  
Office Location: KITCHENER  
Plot Date / Time: 5/28/2024 12:48:21 PM

Drawing Name: **COURTYARD ELEVATIONS**

Ontario Association of Architects  
As indicated  
MINOR VARIANCE  
r40  
A3.5

The material contained herein reflects the consultant's best judgement in light of the information available to him at the time of preparation. Any use which is a third party makes of the contract documents, or any reliance, or/and decisions to be made based on them are the responsibility of such third party. The consultant accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on the contract documents.





May 30, 2024

Committee of Adjustment Coordinator  
Planning & Development  
City of Hamilton  
71 Main Street West, 5th Floor  
Hamilton, ON, L8P 4Y5

**Re: Minor Variance Application – 1107 Main Street West, Hamilton  
UP Consulting Project No. 006**

On behalf of my client, 1107 Main Street Inc. c/o Darryl Firsten, please accept this letter and the following materials as the complete minor variance application for the proposed development of the property municipally know as 1107 Main Street West, Hamilton:

- Architectural drawings prepared by SRM Architects
- Minor Variance application form
- Application fee in the amount of \$3,900 made payable to the City of Hamilton (to be delivered)

As you are aware, my client is advancing planning applications contemplating the redevelopment of the subject property for the purposes of a 15 storey residential apartment building. To date, the applicant has previously applied for an Official Plan Amendment and corresponding site specific Zoning By-Law Amendment which was approved by City of Hamilton Council in 2022. The proposed development is also subject to Site Plan Application DA-23-003, which received conditional approval on October 11, 2023.

Through the detailed design process which has occurred following the approval of the Official Plan Amendment and Zoning By-Law Amendment applications, a number of minor by-law deficiencies have been identified, which are the basis for this minor variance application.

This letter provides an overview of the proposed development, the site and its context, the land use planning framework which applies to the property, and the variances now requested. This letter also provides an overview of the 'Four Tests for a Variance' set out in the Planning Act, and how the variances are minor in nature, maintain the general purpose and intent of the Official Plan and Zoning By-Law, and are desirable for the use and development of the property.

### **Site Description and Context**

The subject property is located at 1107 Main Street West, Hamilton in the Ainslie Wood East neighbourhood of the City. The subject property is a through lot which has a lot area of approximately 5,170 sq. m with 66 m of frontage along Main Street West, 60.3 m of frontage along Cline Avenue South and approximately 86.5 m of frontage on Dow Avenue. The property currently contains an institutional building / church known as Grace Evangelical Lutheran Church, which is listed on the City of Hamilton's Inventory of Buildings of Architectural and / or Historical Interest. The location of the subject property and a photo showing the existing church building are shown on Figures 1 and 2 on the following page.



Figure 1: Site Location (Source: Google Earth)



Figure 2: Existing Church Building (Source: Google Earth)

The subject property is located in close proximity to a range and mix of commercial, residential and institutional uses as summarized in the following table.

<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
Commercial and retail uses	Adas Israel Synagogue and Hebrew Academy	Columbia International College / Boarding School	Low Rise Residential Neighbourhood
Student Accommodations	Low density residential neighbourhood	Commercial / retail uses	McMaster University and Children's Hospital
Dalewood Recreation Centre	Stroud Park	Residential Apartment Buildings	Institutional / Religious Uses
McMaster Children's Hospital	Provincial Highway 403	Westdale Secondary School	Commercial / retail uses
McMaster Main Campus	Brantford Hamilton Rail Trail	Commercial Plazas	Major Commercial Node

### **Summary of Proposal**

As shown on the Site Plan prepared by SRM Architects, the applicant is proposing the redevelopment of the subject property to contain a 15 storey mixed use building containing 308 residential units and approximately 549 sq. m of commercial floor space. A total of 171 parking stalls are proposed of which 11 are proposed to be dedicated as visitor spaces and the remaining for the residential use of the development.

The proposed development contemplates a U-shaped building with the tower being located centrally on the site, towards the Main Street West frontage. Two six-storey wings are proposed along the Cline Avenue and Dow Avenue frontages, framing the site. Building step-backs are proposed along the southern, eastern and western facades to provide transition in massing to adjacent residential areas.

Figure 3 shows the proposed site plan for the development. Figures 4-7 show the proposed building elevations.



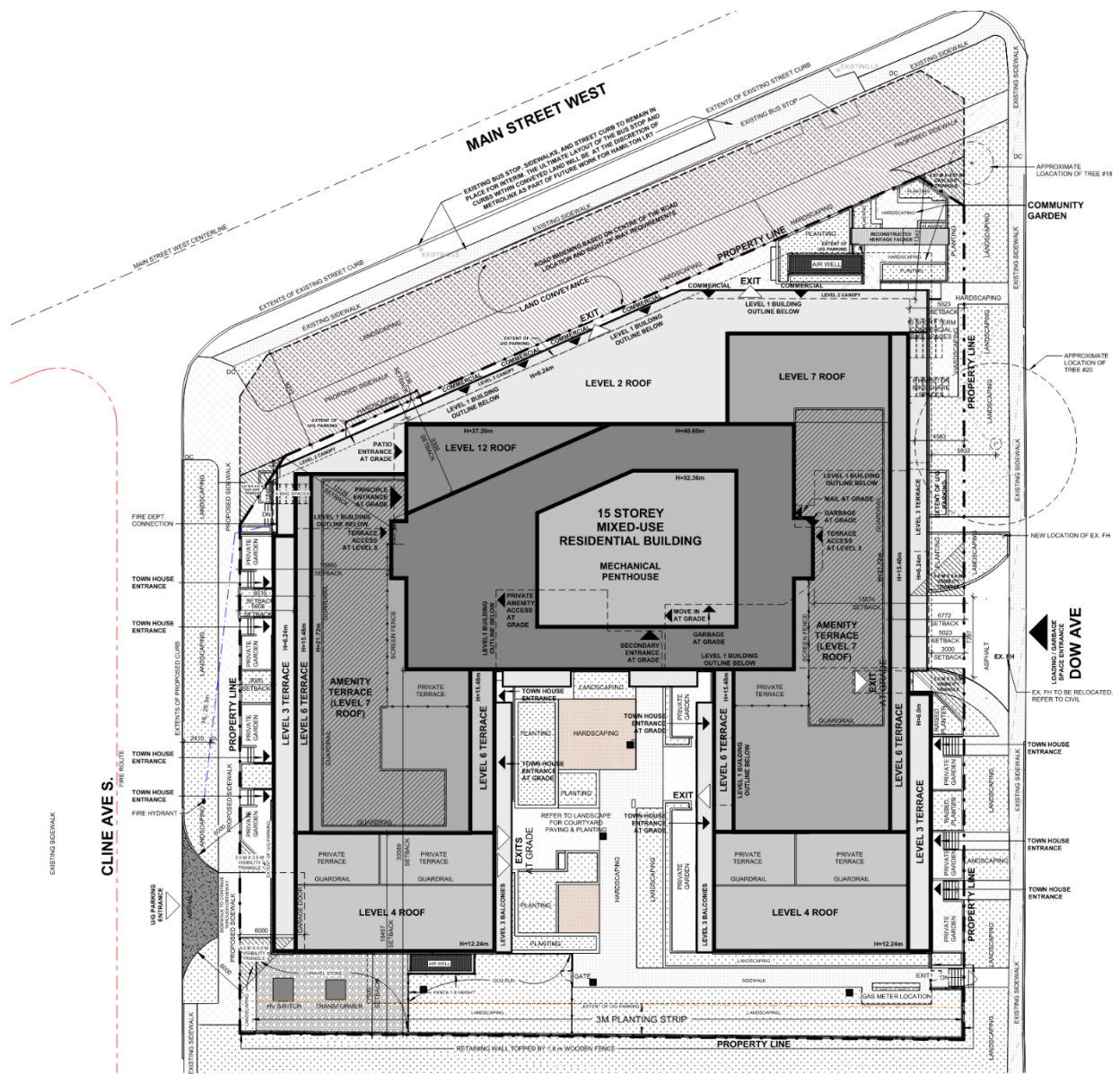


Figure 3: Proposed Site Plan (Source: SRM Architects)





Figure 4: North (Main Street Facing) Building Elevations (Source: SRM Architects)



Figure 5: South Elevation (Source: SRM Architects)



Figure 6: Eastern Building Elevation (Source: SRM Architects)



Figure 7: Western Building Elevation (Source: SRM Architects)



## Previous Land Use Planning Applications

As noted, the subject property has been the subject of a previous Official Plan Amendment and Zoning By-Law Amendment applications, which were approved in 2022. The purpose of these applications was to allow for the contemplated 15 storey mixed use building. Specifically, the purpose of these applications is summarized below:

### Official Plan Amendment:

To establish a new Area Specific Policy within Site Specific Policy - Area E within the Mixed Use – Medium Density designation in the Ainslie Wood Westdale Secondary Plan, to permit a 15 storey, mixed use development, on the subject property.

### Zoning By-Law Amendment:

To modification to the Transit Oriented Corridor Mixed Use Medium Density (TOC1) Zone to Transit Oriented Corridor Mixed Use Medium Density (TOC1, 772, H75) Zone, to permit a 15 storey mixed use development on the subject property.

As part of the implementing by-law for the Zoning By-Law Amendment, a number of site-specific requirements and regulations were applied to the subject property, including the following:

Regulation	Requirement
Minimum Finished Floor Elevation of any dwelling unit	*0.5 metres above grade
Maximum Building Setback from a Street Line	<p><b>Main Street</b> Maximum 13.3 metres</p> <p>Notwithstanding the above, a minimum setback of 9.3 metres from Main Street West for any portion of the building exceeding 36.0 metres in height.</p> <p><b>Cline Avenue and Dow Avenue</b> *Maximum 4.5 metres from Cline Avenue South and Dow Avenue;</p> <p>Notwithstanding the above, the following minimum setbacks shall apply from Cline Avenue South and Dow Avenue</p> <p>A. 5.0 metres for any portion of the building exceeding a height of 7.8 metres</p> <p>B. 6.5 metres for any portion of the building exceeding a height of 16.5 metres; and,</p> <p>C. *14.3 metres for any portion of the building exceeding a height of 22.0 metres, except for an enclosed stairwell.</p>

Minimum Rear Yard	<p>14.5 metres for any portion of the building exceeding a height of 13.5 metres;</p> <p>17.5 metres for any portion of the building exceeding a height of 18.0 metres; and,</p> <p>33.5 metres for any portion of the building exceeding a height of 22.0 metres, except for an enclosed stairwell.</p>
Maximum Building Height	47.0 metres
Built Form for New Development	<p>1. A maximum of two driveways shall be permitted;</p> <p>2. A driveway on Dow Avenue shall have a maximum width of 7.5 metres and a driveway on Cline Avenue South shall have a maximum width of 6.0 metres; and,</p> <p>3. A driveway on Main Street West shall not be permitted.</p>
Visual Barrier	A visual barrier shall be required along any lot line abutting an Institutional Zone and may include a gate. ix)
Planting Strip	A planting strip with a minimum width of 3.0 metres shall be provided along any lot line abutting an Institutional Zone, except for a walkway to a gate.

I note that the proposed development adheres to all of these by-law requirements save for:

- Minimum Finished Floor Elevation of any dwelling unit be 0.5 metres above grade
- Maximum setback from Dow Avenue (4.5 metres required, whereas 5.023 metres proposed)
- Building setback from Main Street above 36 metres in building height (proposing a building setback of 9.3 m for any portion of the building exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height).
- Minimum Setback of the building exceeding a height of 22.0 metres from Cline and Dow Avenue (13.8 m proposed whereas 14.3 m required)

In addition to the application of site specific regulations and requirements, a holding provision was applied to the property dealing with matters related to wind; heritage conservation, salvage and reuse; and conservation of heritage resources. I note that an application to remove the holding provision was submitted to the City of Hamilton on October 13, 2023 which is under final review.



## Required Variance Applications

As noted above, as a result of detailed design undertaken as part of the site plan application for the project, there have been several slight changes in the site and building design now proposed. As a result of these revisions, variances are requested to:

- Permit ground level units at grade, whereas the By-Law requires a Minimum Finished Floor Elevation of any dwelling unit be 0.5 metres above grade.
- Permit a yard setback from Dow Avenue of 5.023 m whereas the by-law establishes a maximum setback of 4.5 metres; and,
- Permit a building setback of 9.3 m from the Main Street frontage for the exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height.
- Permit a Minimum Setback of the building exceeding a height of 22.0 metres from Cline and Dow Avenue of 13.8 m, whereas 14.3 m required.

Land use planning rationale with respect to these required variances is discussed in the following subsections of this letter.

### Discussion: 'Four Tests' of a Minor Variance

The Planning Act establishes 'four tests' which are to be assessed when considering the appropriateness of a minor variance. These are:

- Does the variance maintain the general intent and purpose of the Official Plan?
- Does the variance maintain the general intent and purpose of the Zoning By-Law?
- Is the variance appropriate and desirable for the use and development of the lands?
- Is the application minor in nature?

The following subsections of this letter discuss these tests and provide land use planning rationale with respect to the same.

#### **Variance No. 1:**

Proposing a building line setback of 5.023 m whereas Zoning By-Law requires a maximum setback of 4.5 m.

##### *1. Does the variance maintain the general intent and purpose of the Official Plan?*

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan does not speak to setback related matters, and the site specific policies of the Official Plan do not include reference to any required minimum or maximum setback from Dow Avenue.

I note that this setback has been contemplated since the submission of the original Official Plan Amendment and Zoning By-Law Amendment applications, and included on the drawing package submitted and endorsed by City Council. Despite this, the site specific regulation did not reflect the setback proposed from Dow Avenue and was an inadvertent omission from the implementing by-law. In this regard, it is my opinion that the requested variance is administrative

in nature and reflective of the decision of Council on the original Official Plan Amendment and Zoning By-Law Amendment applications.

*2. Does the variance maintain the general intent and purpose of the Zoning By-Law?*

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law.

As shown on the proposed site plan, the development contemplates a maximum building setback of 5.023 m whereas the site-specific zoning requires the building to be set back no more than 4.5 m. As noted, this setback has been contemplated since the submission of the original Official Plan Amendment and Zoning By-Law Amendment applications, and included on the drawing package submitted and endorsed by City Council. Despite this, the site specific regulation did not reflect the setback proposed from Dow Avenue and was an inadvertent omission from the implementing by-law. In this regard, it is my opinion that the requested variance is administrative in nature and reflective of the decision of Council on the original Official Plan Amendment and Zoning By-Law Amendment applications.

*3. Is the variance appropriate and desirable for the use and development of the property?*

Yes. It is my professional opinion that the proposed use and variance are desirable for the area. As noted, this setback has always been contemplated and the design, inclusive of this setback, was supported by City staff. As the development concept has remained generally the same, and that the setback has not increased since the approval of the Official Plan and Zoning By-Law Amendment, it is my opinion that the setback remains appropriate.

*4. Is the application minor in nature?*

Yes. Given the foregoing, it is my professional opinion that the variance is minor in nature as the required relief is necessary to address an oversight at the Zoning By-Law implementation phase. Further, the requested relief of slightly more than 0.5 m is inconsequential and does not constitute a significant departure from the by-law requirement.

**Variance No. 2:**

Proposing a building setback of 9.3 m for any portion of the building exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height.

*1. Does the variance maintain the general intent and purpose of the Official Plan?*

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan does not contain policy direction specifically identifying setback requirements relative to height, but does include policy direction encouraging compatible built forms and transition in massing to low rise areas and to the public realm. In my opinion, the requested relief is minor in nature and maintain the overall purpose and intent of the Official Plan in this regard by still providing meaningful transitions and stepback from the front of the development to minimize massing implications at the street level along Main Street

*2. Does the variance maintain the general intent and purpose of the Zoning By-Law?*

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law. The site-specific zoning contains regulations and requirements related to building stepbacks / setbacks from the Main Street frontage as the overall height of the building increases. The purpose of these regulations is to ensure that Main Street maintains a pedestrian level scale of development and to ensure that the tower of the development is appropriately setback to minimize shadowing/shade and massing implications onto and over the public realm.

Through the detailed design process, the floor to floor heights of the development have been slightly adjusted to accommodate the pre-cast construction methodology which is proposed to be used to construct the building. As a result, the height of the first twelve floors has been increased by approximately 1.5 m past the 36 m height mark to accommodate the precast structure requirements. Accordingly, the setback distance of 9.3 m is now provided at the 37.5 m height mark of the building.

In my opinion, this requested variance maintains the general intent and purpose of the Zoning By-Law as it relates to the proposed development, as the required setback distance is still provided, albeit slightly higher than required by the By-Law. This 1.5 m height increase is negligible within the context of the overall development and does not constitute a significant departure from the by-law requirements.

*3. Is the variance appropriate and desirable for the use and development of the property?*

Yes. It is my professional opinion that the proposed use and variance are desirable for the area. As noted, the overall development concept has remained largely the same since approval by City council and that the modest increase in floor-to-floor heights is desirable for the use of the property since will allow for overhead ceiling heights that occupants will find more comfortable. The slight increase in floor to floor heights has led to this required variance, but does not represent a significant change from the intended land use as endorsed by City council.

*4. Is the application minor in nature?*

Yes. It is my professional opinion that the variance is minor in nature. The requested relief responds to the determined construction methodology. The required setback distance (9.3 m) is still provided, however this distance is not achieved for an additional 1.5 m in building height. In my opinion, this is minor in nature and in keeping with the originally proposed development concept.

**Variance No. 3:**

Dwelling unit proposed at grade whereas the By-Law requires a minimum finished floor elevation of 0.5 m above grade for any dwelling unit.

*1. Does the variance maintain the general intent and purpose of the Official Plan?*

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan is silent on the matter, but does include design direction supporting the integration of compatible land uses and urban design direction to ensure that ground level units are designed to be compatible and sympathetic to the surrounding neighbourhood. In my opinion, the design includes ground level units with direct



pedestrian accesses thereto, with several units have steps/stoops on their street facing facades. The Official Plan also includes direction to support the provision of barrier free / accessible units, which the variance will help to facilitate. In my opinion, the proposed variance will maintain the general intent and purpose of the Official Plan.

*2. Does the variance maintain the general intent and purpose of the Zoning By-Law?*

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law. Based on the City Staff Report for the Official Plan Amendment and Zoning By-Law Amendment, it is my understanding that the purpose of requiring a minimum finished floor elevation for ground level units “is to avoid rear lotting and ensure buildings are designed with front porch conditions facing the street” and “to provide a development scale that is reflective of the neighbourhood which is dominated by low rise dwellings accessed at grade.”

As shown on the proposed architectural drawings, the ground level units proposed along both Dow Avenue and Cline Avenue South have been designed to front onto the municipal street and will direct accesses to the public realm and many units including front porches and stoops. In my opinion, the proposed design which orients units towards the public realm is in keeping with the purpose and intent of the Zoning By-Law and satisfies this Planning Act test.

*3. Is the variance appropriate and desirable for the use and development of the property?*

Yes. It is my professional opinion that the proposed use and variance are desirable for the area. As discussed, the purpose of this regulation is to ensure that units are streetfacing and that the development is provided at a scale reflective of the neighbourhood. In my opinion, the requested variance is appropriate and desirable for the use of the property as the design of the building includes street facing ground level units, in keeping with the intent of the by-law.

*4. Is the application minor in nature?*

Yes. It is my professional opinion that the variance is minor in nature. As noted, the development will contain street-facing units which is the intent of the regulation. The variance requested is not being sought to deviate from this direction, but rather is being requested to ensure barrier free accessibility and to support the logical development of the property.

**Variance No. 4**

Proposing a building setback of 13.8 m for portions of the building exceeding 22 m in height, whereas 14.3 m is required. This variance is required to account for ‘bump-outs’ from the tower between level 8 and 15 which is necessary to align parts of the structural pre-cast system to transfer loads from the upper tower down through the podium structure.

*1. Does the variance maintain the general intent and purpose of the Official Plan?*

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Official Plan. The Official Plan is silent on the matter, but does include design direction to ensure appropriate setbacks between towers and adjacent lands. In our opinion, the slightly reduced setback where the building is greater than 22 m in height is negligible, and the

13.8 m setback contemplated will provide ample separation between the tower and adjacent lands.

*2. Does the variance maintain the general intent and purpose of the Zoning By-Law?*

Yes. It is my professional opinion that the proposed variance maintains the general intent and purpose of the Zoning By-Law. As noted above, this slight variance has been requested to account for two structural bump outs between levels 8-15 which are required to account for the proposed structural precast system to transfer loads from the taller portions of the tower to its base. These bump outs are limited in length, with the remainder of the tower facades abiding by the otherwise required 14.3 m setback.

*3. Is the variance appropriate and desirable for the use and development of the property?*

Yes. It is my professional opinion that the variance is desirable for the use and development of the property, as it will support the proposed structural system. The development has been considered and supported by council and this revision is necessary to implement the broader development concept for the lands.

*4. Is the application minor in nature?*

Yes. It is my professional opinion that the variance is minor in nature. As noted, the 'bump outs' will be limited in length relative to the rest of the façade, and the overall reduction in setback distance of 0.5 m is negligible.

**Conclusion**

We trust that the information provided in this letter along with the attached architectural drawings provides you with sufficient information for the review and processing of the minor variance application. Should you require anything further, or should you wish to discuss, please do not hesitate to contact me.

Sincerely,



David Galbraith, MCIP RPP  
President, UP Consulting



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION  
UNDER SECTION 45 OF THE PLANNING ACT**

**1. APPLICANT INFORMATION**

	NAME	
Registered Owners(s)	1107 Main Street Inc.	
Applicant(s)	Up Consulting Ltd c/o David Galbraith	
Agent or Solicitor		
		Phone:
		E-mail:

1.2 Primary contact  Applicant  Owner  Agent/Solicitor

1.3 Sign should be sent to  Applicant  Owner  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type  In person  Credit over phone\*  Cheque

\*Must provide number above



## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1107 Main Street West, Hamilton		
Assessment Roll Number			
Former Municipality			
Lot	PIN 17464-0282 (LT)	Concession	
Registered Plan Number	728	Lot(s)	21-33
Reference Plan Number (s)	62R-11411	Part(s)	8

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

## 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

- Minimum Finished Floor Elevation of any dwelling unit be 0.5 metres above grade
- Maximum setback from Dow Avenue (4.5 metres required, whereas 5.023 metres proposed)
- Building setback from Main Street above 36 metres in building height (proposing a building setback of 9.3 m for any portion of the building exceeding 37.5 m in height, whereas the Zoning By-Law requires a minimum setback of 9.3 m for any portion of the building above 36 m in height).
- Minimum Setback of the building exceeding a height of 22.0 metres from Cline and Dow Avenue (13.8 m proposed whereas 14.3 m required)

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Variances resulting from detailed design which has led to slight deviations from site specific zoning for the project

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
66 m & 60.3 & 86.5 m	Varies	5170 sq m	

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Church	3.996 m	32.256 m	16.273 m / 13.421 m	01/09/1959

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
15 Storey Apartment	12.13 m	7.5 m	5 m	Proposed

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
15 Storey Apartment	2,689 sq. m	19,392.2 sq.m	15	46.6

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)  
 \_\_\_\_\_

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)  
 \_\_\_\_\_



4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

15 storey mixed use building (~550 sq m of at-grade commercial) containing 308 residential units

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Primarily residential

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2020

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Institutional / church

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Institutional / church

7.4 Length of time the existing uses of the subject property have continued:

Approximately 60 years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): NA

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Mixed Use – Medium Density

Please provide an explanation of how the application conforms with the Official Plan.

Development conforms to site specific OP policy applicable to lands which permits a high rise mixed use development

7.6 What is the existing zoning of the subject land? TOC1, 772, H75

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: \_\_\_\_\_



---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes       No

If yes, please provide the file number: \_\_\_\_\_

**8 ADDITIONAL INFORMATION**

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 308

8.3 Additional Information (please include separate sheet if needed):

See cover letter and attached architectural drawings

---

**11 COMPLETE APPLICATION REQUIREMENTS**

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- x  Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study

---

---