



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:274	SUBJECT PROPERTY:	981 Book Road West, Ancaster
ZONE:	A1 (Agriculture)	ZONING BY-LAW:	Hamilton Zoning By-law 05-200, as Amended 15-173

APPLICANTS: Owner: Nick & Lena Schillaci
Agent: Ian Jonkman

The following variances are requested:

1. An Accessory Building shall be permitted to be located within the Front Yard instead of the requirement that no Accessory Buildings or structures are permitted within a front or flankage yard.

PURPOSE & EFFECT: To permit an Accessory Building within the Front Yard

Notes:

- i. Be advised, as per elevation drawings, the proposed Accessory Structure is indicated to be 11'- 8-3/8" (6.01 metres). As per Section 4.8.1.2 a), a maximum of 6.0 metres is permitted for an Accessory Structure within an A1 Zone. Additional variances may be required should the proposed Accessory Building exceed the 6.0 metres in height.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, February 13, 2025
TIME:	3:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)

	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment
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For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

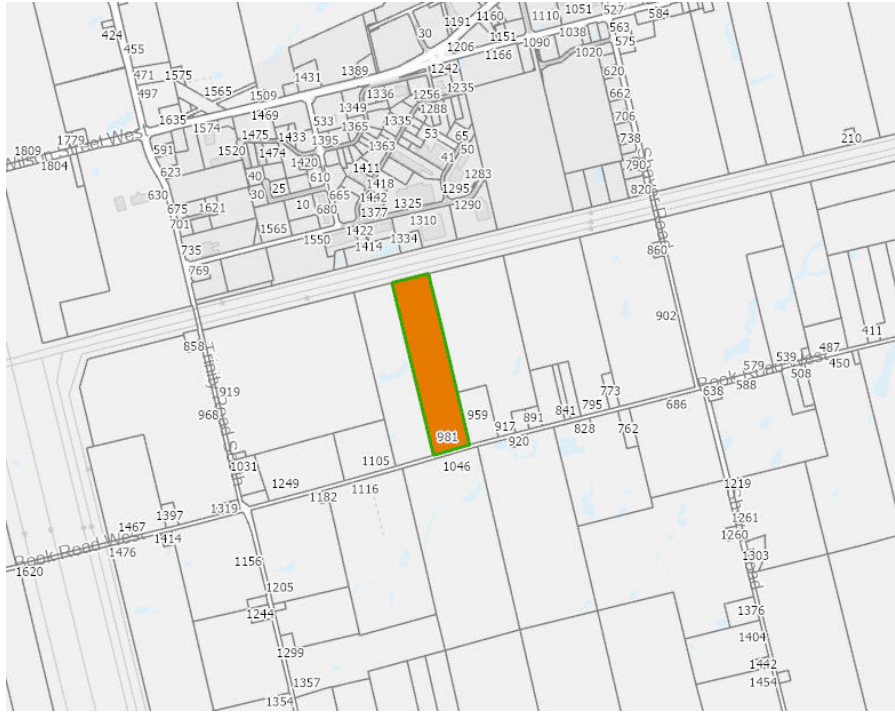
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon February 11, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon February 12, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:274, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: January 27, 2025

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



Schillaci Accessory Building

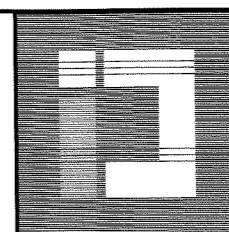


DRAWING INDEX

A.1	Title Page
A.2	East & West Elevations
A.3	North & South Elevations
A.4	Foundation Plan
A.5	Main Floor Plan
A.6	Roof Plan
A.7	Building Sections & Details
A.8	General Notes
A.9	Site Plan

PROJECT INFORMATION

ITEM	DESCRIPTION
1.	Building Area & Gross Area = 1,500 sq. ft.
2.	Storeys = 1 storey
3.	Specified Snow Load = 1.225 kPa



GENERAL NOTES

1. The contractor must check and verify all dimensions on the job prior to construction.
2. Before ordering roof trusses, verify all dimensions on site.
3. Drawings are not to be scaled.
4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & municipal By-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
5. If there are any desired changes to the design of the building in which the building permit was issued for, the designer must be notified of such 'desired changes' and give approval before the change commences.
6. If any errors are discovered on the drawings, the designer must be notified before construction commences.

No.	DATE	DESCRIPTION
001	05.14.2024	Preliminary Design
002	11.19.2024	Issued For Review

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: **45579**
 Firm BCIN: **103245**
Ian Jonkman

NAME SIGNATURE



580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION

Schillaci Accessory Building
 981 Book Road West,
 Ancaster, ON L9G 3L1

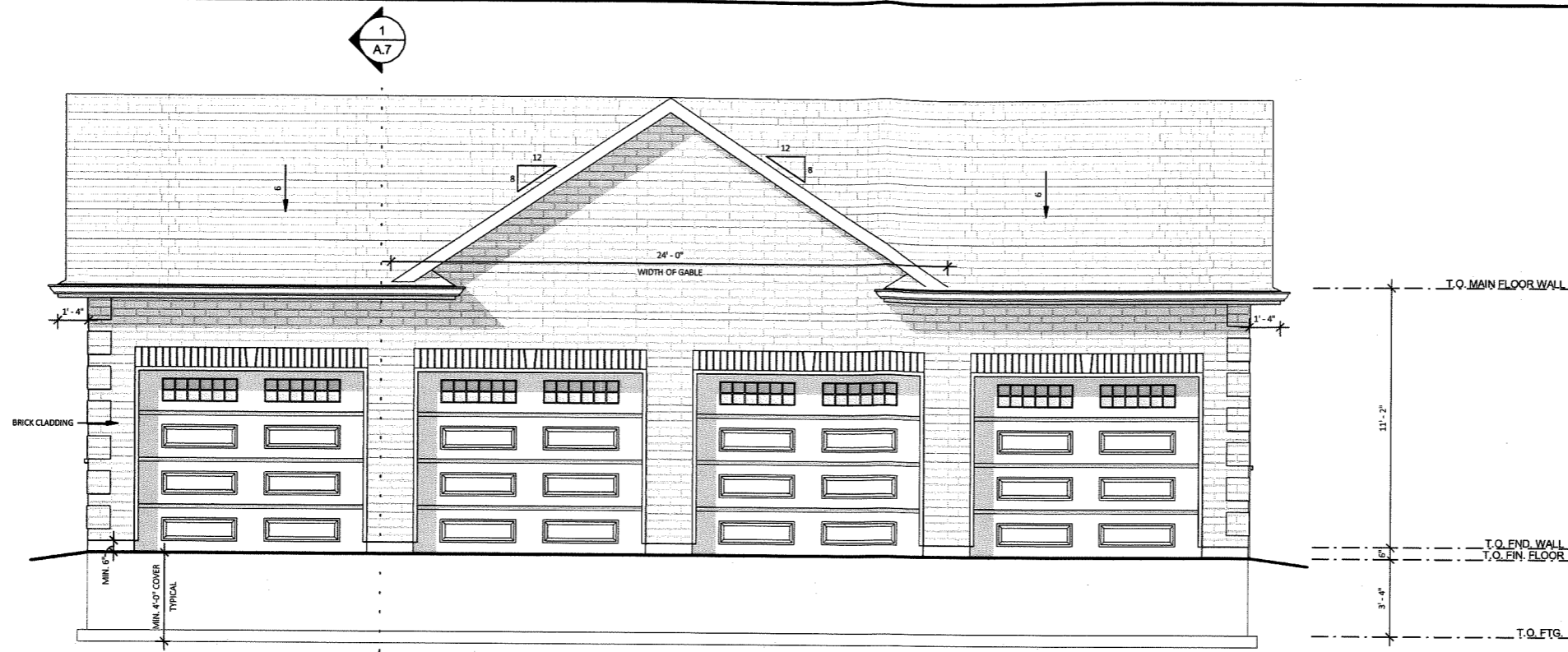
SHEET TITLE

Title Page

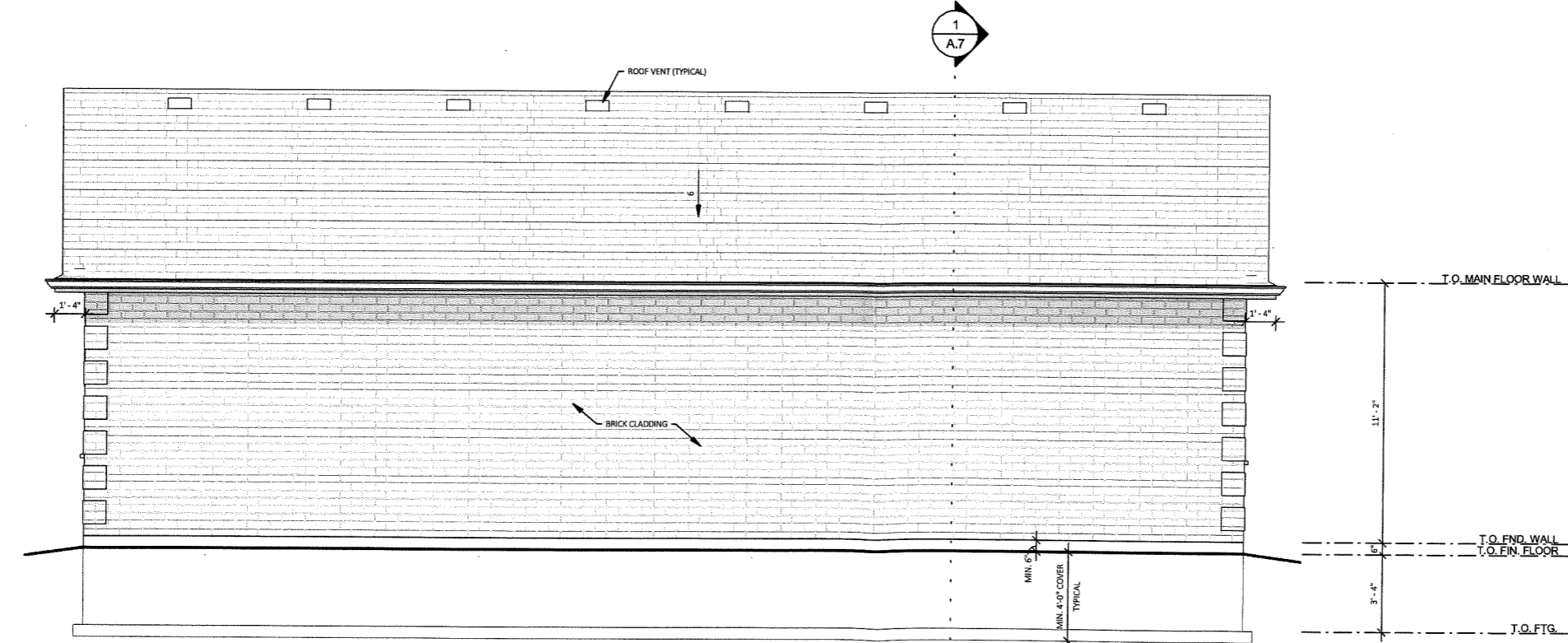
OWNER: N.Schillaci
 DRAWN BY: B.Powell
 CHECKED BY: I.Jonkman

DATE: 11.19.2024
 SHEET: A.1
 SCALE: 1/4" = 1'-0" OF 8

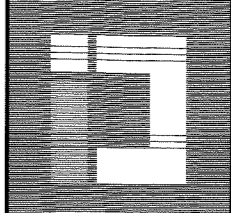
PROJECT No. : J23028



1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



GENERAL NOTES

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No.	DATE	DESCRIPTION
DRI	05.14.2024	Preliminary Design
DR2	11.19.2024	Issued For Review

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
Individual BCIN: 45579
Firm BCIN: 103245
Ian Jonkman

NAME SIGNATURE

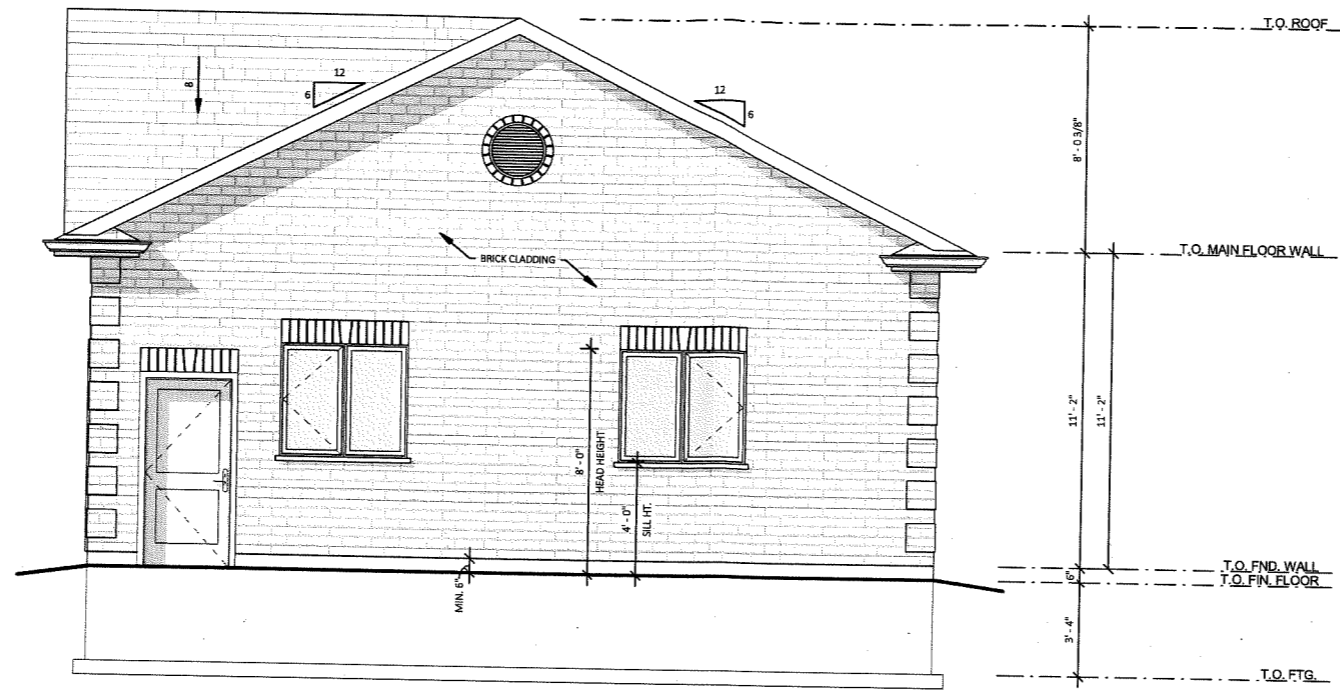
iDESIGN DRAFTING
580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0
Office: 519-647-3223
Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
Schillaci Accessory Building
981 Book Road West,
Ancaster, ON L9G 3L1

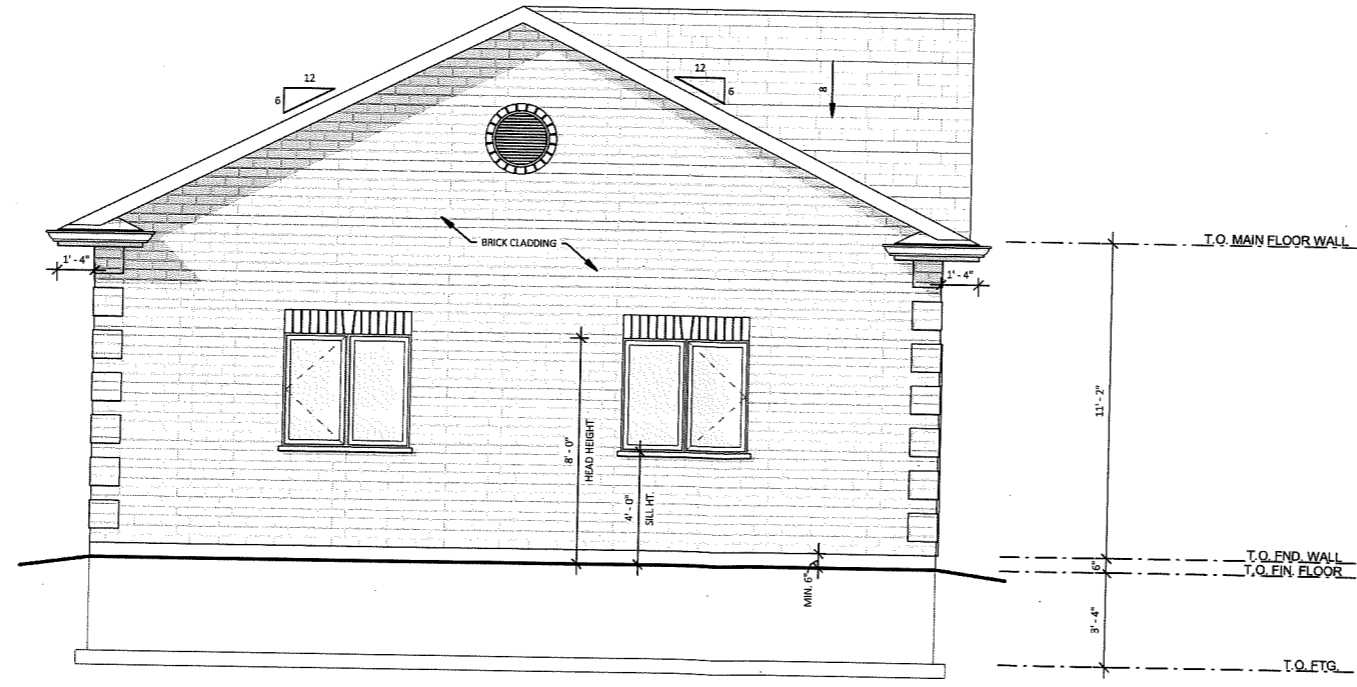
SHEET TITLE
East & West Elevations

OWNER: N.Schillaci
DRAWN BY: B.Powell
CHECKED BY: I.Jonkman

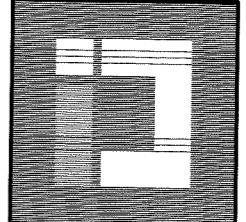
DATE 11.19.2024
SCALE 1/4" = 1'-0" OF 8
SHEET A.2



1 NORTH ELEVATION
A.3 1/4" = 1'-0"



2 SOUTH ELEVATION
A.3 1/4" = 1'-0"



- GENERAL NOTES**
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 4. All construction is to meet the current requirements of the Ontario Building Code (O.B.C.) & municipal by-laws. The required permits & approvals are to be obtained before the contractor commences with the work.
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No.	DATE	DESCRIPTION
DRL	05.14.2024	Preliminary Design
DRL	11.19.2024	Issued For Review

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: **45579**
 Firm BCIN: **103245**
Ian Jonkman

NAME: _____ SIGNATURE: _____

IDESIGN DRAFTING
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

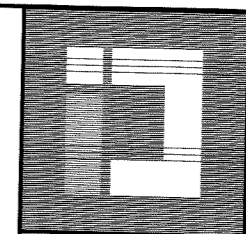
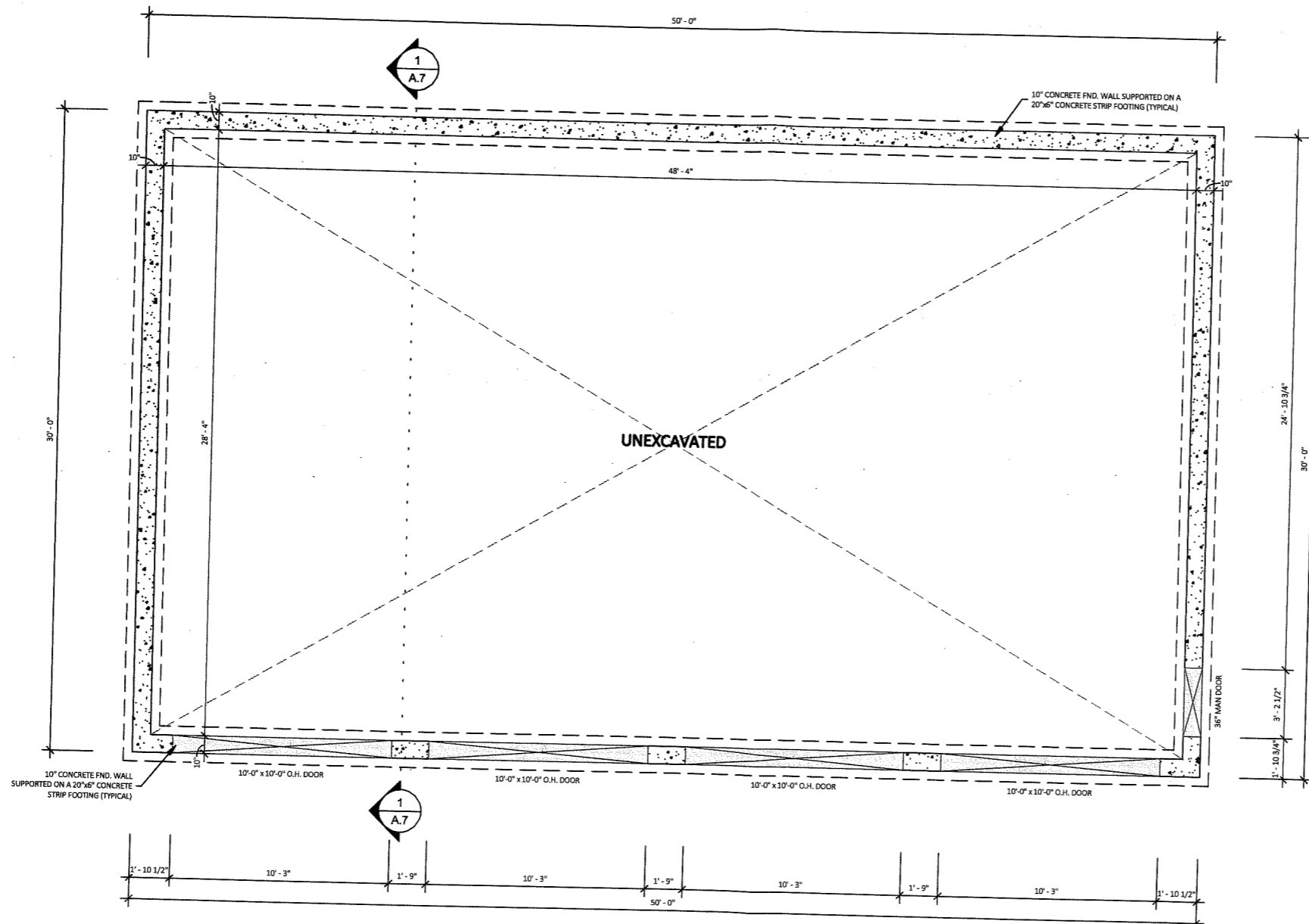
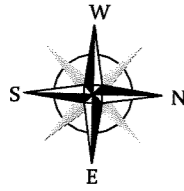
PROJECT INFORMATION

Schillaci Accessory Building
 981 Book Road West,
 Ancaster, ON L9G 3L1

SHEET TITLE
 North & South Elevations

OWNER: N.Schillaci
DRAWN BY: B.Powell
CHECKED BY: I.Jonkman

DATE: 11.19.2024 **SHEET** **A.3**
SCALE: 1/4" = 1'-0" OF 8
PROJECT No.: J23028



GENERAL NOTES

1. The contractor must check and verify all dimensions on the job prior to construction.
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No.	DATE	DESCRIPTION
108	05.14.2024	Preliminary Design
109	11.19.2024	Issued For Review

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: 45579
 Firm BCIN: 109245
Ian Jonkman

NAME: _____ SIGNATURE: _____

IDESIGN
 DRAFTING
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

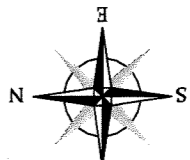
PROJECT INFORMATION
 Schillaci Accessory Building
 981 Book Road West,
 Ancaster, ON L9G 3L1

SHEET TITLE
 Foundation Plan

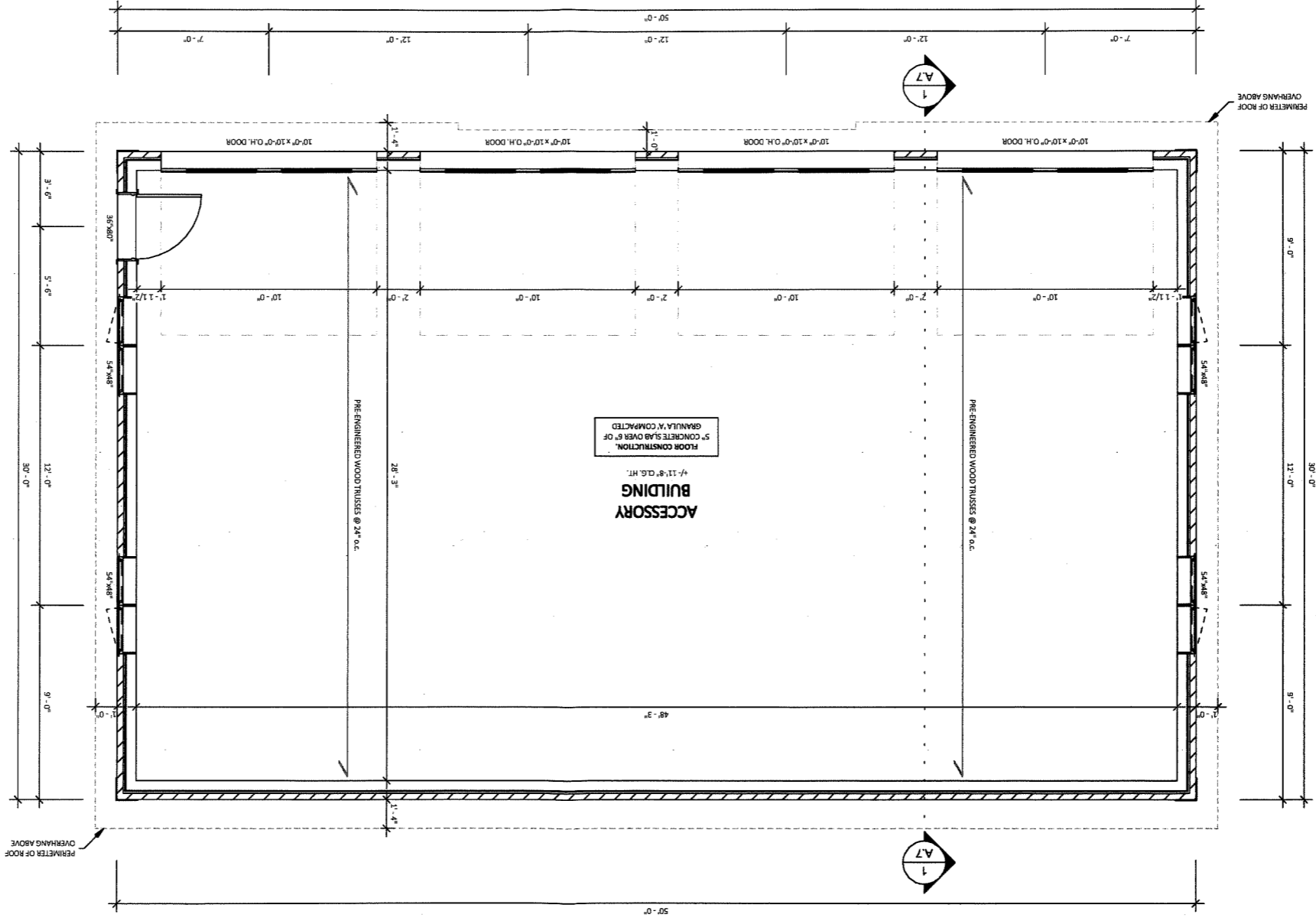
OWNER: N.Schillaci
DRAWN BY: B.Powell
CHECKED BY: I.Jonkman

DATE: 11.19.2024
SHEET: A.4
SCALE: 1/4" = 1'-0"

1 FOUNDATION PLAN
 A.4 1/4" = 1'-0"



1/4" = 1'-0"
A.5
1
MAIN FLOOR PLAN



PROJECT INFORMATION	
Schillaci Accessory Building 981 Book Road West, Ancaster, ON L9G 3L1	
SHEET TITLE Main Floor Plan	
OWNER: N. Schillaci	
DRAWN BY: B. Powell	
CHECKED BY: Jonkman	
DATE 11.19.2024	SHEET A.5
SCALE 1/4" = 1'-0" OF 8	
PROJECT No.: J23028	

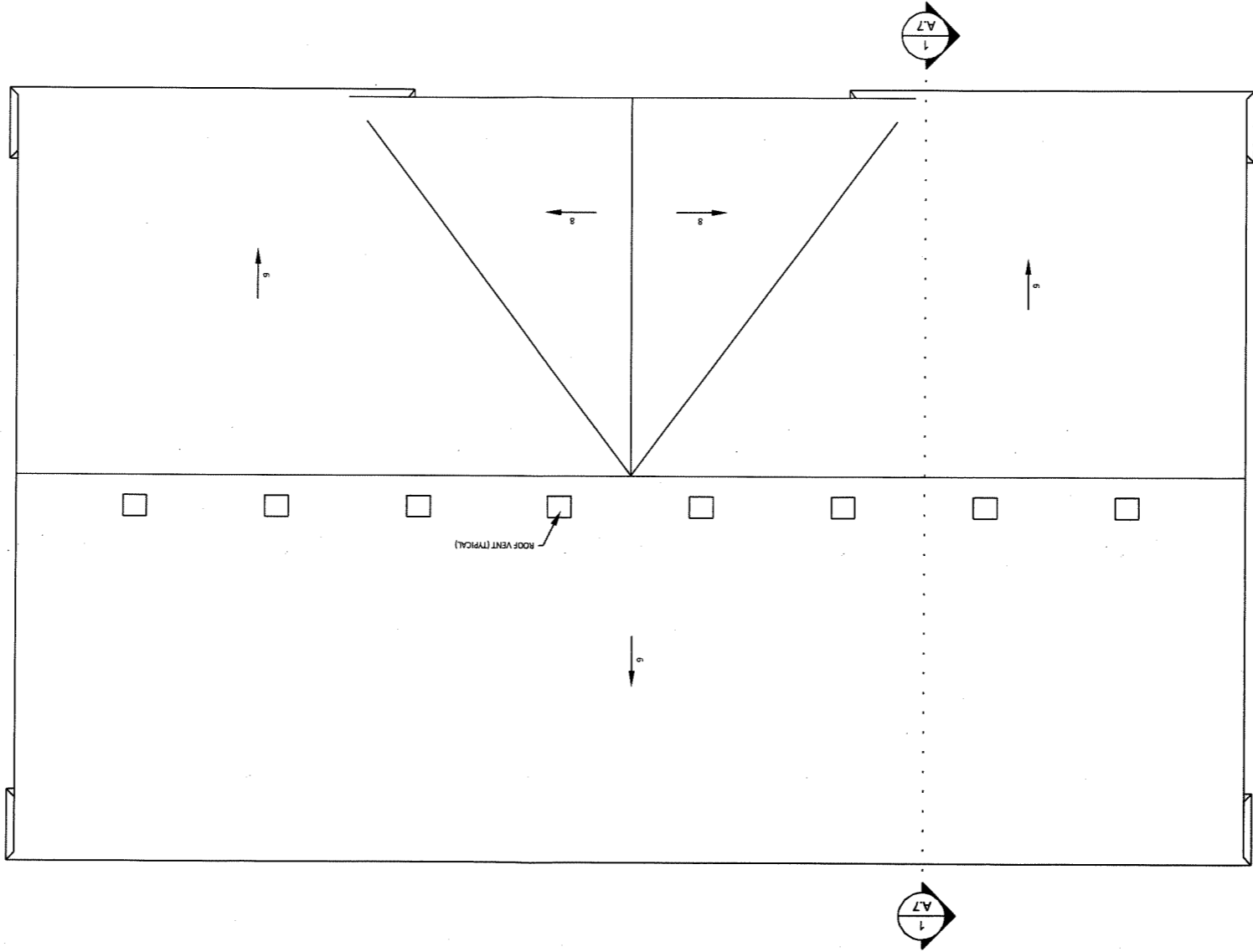
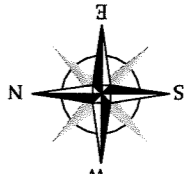
NAME SIGNATURE	
Ian Jonkman Individual BCIN: 45279 Firm BCIN: 103245	
on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.	
Ian Jonkman reviews and takes responsibility for the design work	

No.	DATE	DESCRIPTION
05.14.2024	11.19.2024	Preliminary Design Issued For Review
DWG		

GENERAL NOTES

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1 ROOF PLAN
1/4" = 1'-0"




GENERAL NOTES

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NO.	DATE	DESCRIPTION
001	05.14.2024	Preliminary Design
002	11.19.2024	Issued for Review

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code. Individual BCIN: 45579 Firm BCIN: 108245 Ian Jonkman

NAME SIGNATURE

 Ian Jonkman

DESIGN DRAFTING
 580 Sherfield Rd., R.R.#1,
 Troy, Ontario L0N 2B0
 Office: 519-647-3223
 Cell: 519-751-8412
 Fax: 519-647-3223

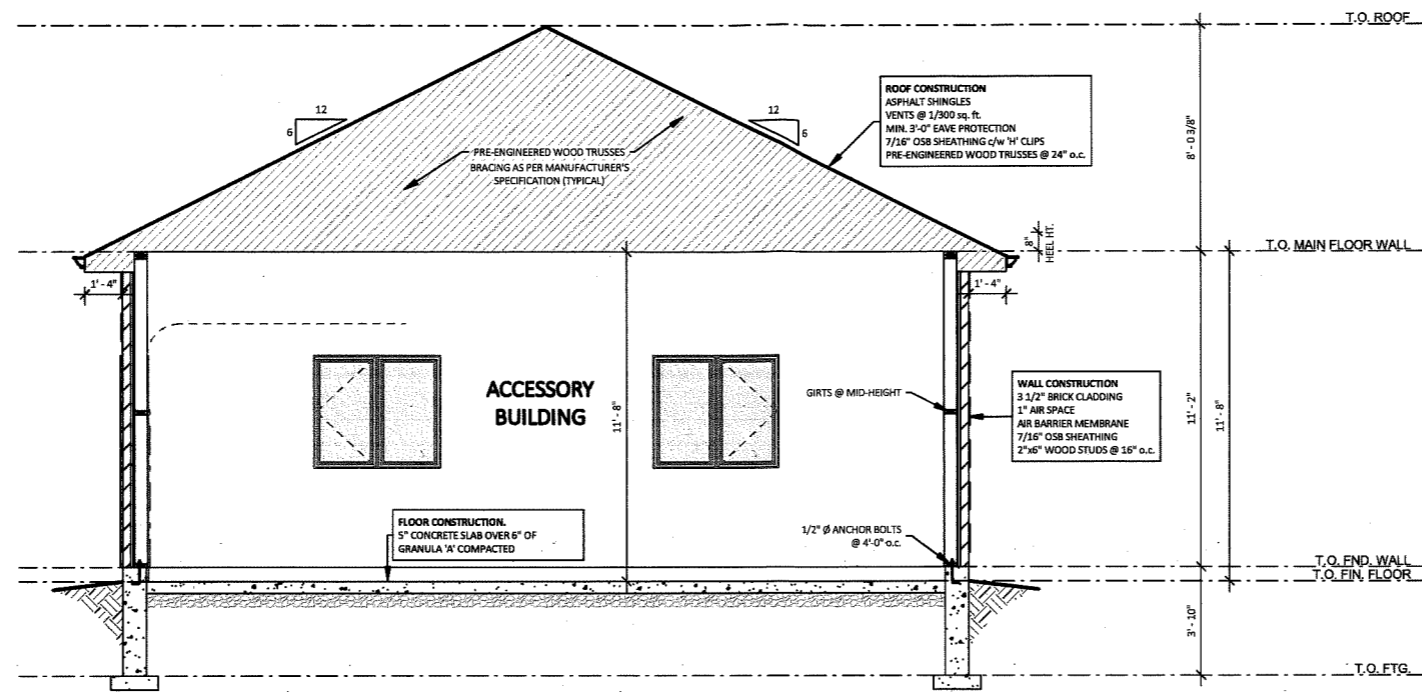
PROJECT INFORMATION
 Schilliack Accessory Building
 981 Book Road West,
 Ancaster, ON L9G 3L1

SHEET TITLE
 Roof Plan

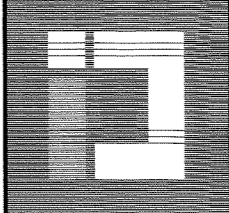
OWNER: N.Schilliack
DRAWN BY: B.Powell
CHECKED BY: I.Jonkman

DATE: 11.19.2024
SHEET: A.6
SCALE: 1/4" = 1'-0"
 OF 8

PROJECT NO.: J23028



1 CROSS SECTION
A.7 1/4" = 1'-0"



GENERAL NOTES

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No.	DATE	DESCRIPTION
DES	08.14.2024	Preliminary Design
DIR	11.19.2024	Issued For Review

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
 Individual BCIN: **45579**
 Firm BCIN: **103245**
Ian Jonkman
 NAME SIGNATURE

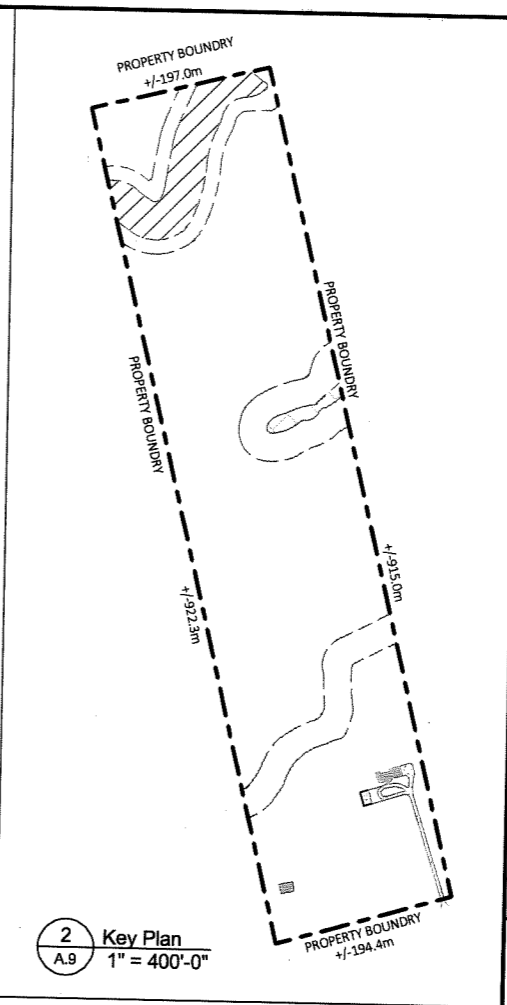
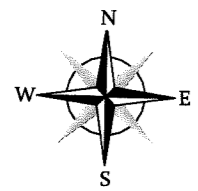
IDESIGN DRAFTING
 580 Sheffield Rd., R.R.#1,
 Troy, Ontario L0R 2B0
 Office: 519-647-3223
 Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
 Schillaci Accessory Building
 981 Book Road West,
 Ancaster, ON L9G 3L1

SHEET TITLE
 Building Sections & Details

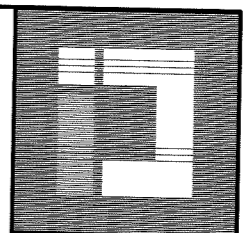
OWNER: N.Schillaci
DRAWN BY: B.Powell
CHECKED BY: I.Jonkman

DATE 11.19.2024 **SHEET**
SCALE 1/4" = 1'-0" **A.7**
 OF 8



2 Key Plan
A.9 1" = 400'-0"

1 Site Plan
A.9 1/64" = 1'-0"



GENERAL NOTES

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NO.	DATE	DESCRIPTION
DRE	05.14.2024	Preliminary Design
DRE	11.19.2024	Issued For Review

Ian Jonkman reviews and takes responsibility for the design work on behalf of a firm, Andy Jonkman Construction Ltd., registered under sub-section 3.2.4. of Division C of the Building Code.
Individual BCIN: 45579
Firm BCIN: 103245
Ian Jonkman

NAME: _____ SIGNATURE: _____

IDESIGN DRAFTING
580 Sheffield Rd., R.R.#1,
Troy, Ontario L0R 2B0
Office: 519-647-3223
Cell: 519-751-8412 i-design.ca

PROJECT INFORMATION
Schillaci Accessory Building
981 Book Road West,
Ancaster, ON L9G 3L1

SHEET TITLE
Site Plan

OWNER: N.Schillaci
DRAWN BY: B.Powell
CHECKED BY: I.Jonkman

DATE: 11.19.2024 **SHEET:** A.9



580 Sheffield Rd., R.R.#1
Troy, Ontario L0R 2B0
T 519-647-3223 F 519-647-2910
andyjonkmanconstruction.com

December 6, 2024

Committee of Adjustment
City Hall, 5th Floor
71 Main St. W.
Hamilton, ON.
L8P 4Y5

Attn: Committee of Adjustment

Re: Minor Variance Application Re. 981 Book Rd. West Ancaster, ON
Answers provided for Section 3.1
Answers provided for Section 3.2

3.1 Nature and extent of relief applied for:


The application is to seek relief from the bylaw to allow a detached accessory building to be built in the front yard of this property. Bylaw 05-200 states that no accessory building may be built in the front or flankage yard.

3.2 Why is it not possible to comply with the provisions of the By-law.

The existing topography (grades) and property lines don't allow for an accessory building to be built beside or behind the house.

On the right hand side of the house there is an existing asphalt parking lot that provides access into the attached garage on the house. From the edge of the asphalt the grade drops off steeply to the property line. The grade difference is too great to build a structure and there is not enough room from the property line to the house to fit a structure in.

The house is a walk-out meaning the basement along the back of the house has direct access to the outside. There is a grade difference of about 2.45m from the house/garage floor to the back walk out. This grade difference in the back yard does not make it feasible to build a detached garage in the back yard.



On the right hand side of the house there is a large swale that separates the house from the field. It would not be feasible to build a garage there without major earth works to the landscaped area and the field next to it.

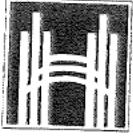
The existing lot conditions do not provide flexibility for a detached accessory building location. If the lot was level there would be a lot more options of where to put the building. The proposed garage location is located on the hill relatively at the same height as the house. The existing driveway has a loop that goes in front of the house. The proposed garage location will tie in seamlessly to the existing driveway that is there without impacting the overall grading of the property. The property is large exceeding 44 acres and the proposed garage would be well set off the road (118.96m) that we do not feel the new garage will impact the aesthetics of the property and while still being visible from the road it will be subtle due to the large setback from the road. Once the garage is built the owner intends to plant some trees around the garage to provide privacy which will further decrease the visibility.

If you have any further questions, please do not hesitate to contact me.

Sincerely,

Ian Jonkman, Arch. Dipl. Tech.
Andy Jonkman Construction Ltd.





Hamilton

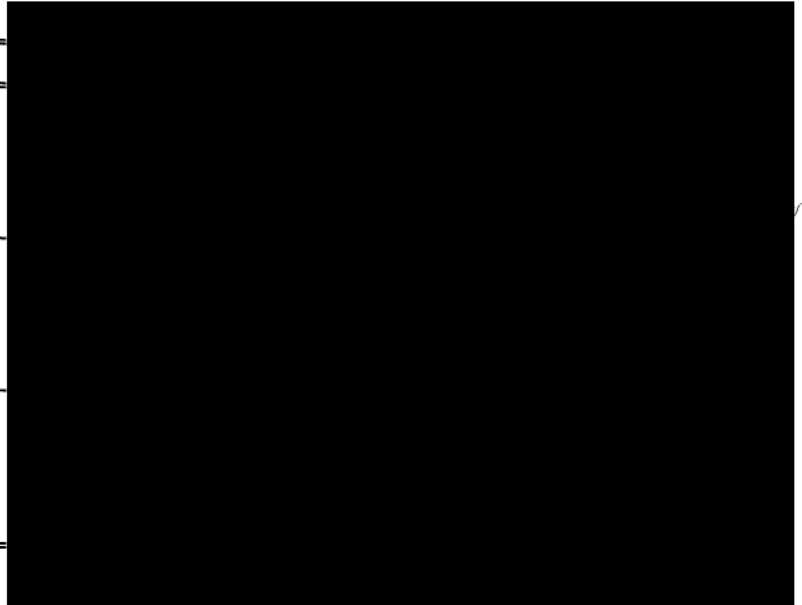
Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Nick & Lena Schillaci
Applicant(s)	
Agent or Solicitor	Ian Jonkman



1.2 Primary contact

Applicant

Owner
 Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner
 Agent/Solicitor

1.4 Request for digital copy of sign

Yes* No

If YES, provide email address where sign is to be sent



1.5 All correspondence may be sent by email

Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person
 Cheque

Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	981 Book Rd. West		
Assessment Roll Number	140410462000000		
Former Municipality	Ancaster		
Lot	Pt Lot 33	Concession	4
Registered Plan Number	Plan 62R-11035	Lot(s)	lot 33
Reference Plan Number (s)		Part(s)	3

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Build an accessory building in the front yard of the house. *Refer to ADDITIONAL SHEET ACCOMPANYING THIS APPLICATION.*

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Refer to additional sheet accompanying this application.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
+/- 194.4m	+/- 922.3m	44.5 acres	+/- 6.096m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Family Dwelling	136.20m	765.14m	144.82m & 24.35m	September 2020
Implement Shed	49.29m	860.64m	16.84m & 163.98m	UNKNOW. OWNER BOUGHT PROPERTY IN 1997 AND IT ALREADY THERE.

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Accessory Building	49.29m	860.641m	124.46m & 61.97m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Family Dwelling	283.08 sq. m.	360 sq. m.	2	8.68m
Implement Shed	151.62 sq m.	151.62 sq m.	1	5.18m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Accessory Building	139.35 sq. m.	139.35 sq. m.	1	6.0 m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
- publicly owned and operated sanitary sewage
 - system privately owned and operated individual
 - septic system other means (specify) _____
- 4.7 Type of access: (check appropriate box)
- provincial highway
 - municipal road, seasonally maintained
 - municipal road, maintained all year
 - right of way
 - other public road
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
single detached dwelling with agricultural crops on the fields
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
single detached dwelling with agricultural crops on the fields

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
December 12, 1997
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single detached dwelling with agricultural crops on the fields
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single detached dwelling with agricultural crops on the fields
- 7.4 Length of time the existing uses of the subject property have continued:
December 12, 1997. Was vacant farmland before the house was built.
- 7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Protected Countryside - Greenbelt

Rural Settlement Area: N/A

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

The property is being maintained for single family dwelling and farmland use *which is permitted for this property.*

7.6 What is the existing zoning of the subject land? Zoning By-law 05-200? AGRICULTURE (A1) ZONE

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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