



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-24:278	SUBJECT PROPERTY:	16-22 King Street East, Dundas
ZONE:	C5a, 555 (Mixed Use Medium Density – Pedestrian Focus)	ZONING BY-LAW:	Zoning By-law City of Hamilton 05-200, as Amended by By-law No. 17-240

APPLICANTS: Owner: MIR Developments Inc
 Applicant: MIR Development Inc. c/o Reza Soufian
 Agent: AJ Lakatos Planning Consultants c/o Joe Lakatos

The following variances are requested:

1. A maximum building height of 30.5 metres shall be permitted instead of the maximum building height of 25.0 metres;
2. A front yard setback of 3.0 metres shall be permitted for the portion of a building exceeding 16.5 metres in height instead of the minimum required front yard setback of 3.9 metres for the portion of a building exceeding 16.5 metres in height;
3. A maximum gross floor area of 8,273 square metres and a minimum of 2.5% gross floor area used for commercial purposes shall be permitted instead of the required total gross floor area of 7,623 square metres and a minimum of 6.0% gross floor area used for commercial purposes;
4. A Minimum 48% of the area of the ground floor façade along the King Street West lot line shall be composed of windows and doors shall be permitted instead of the minimum required 50% of the area of the ground floor façade along the King Street West lot line shall be composed of windows and doors;

PURPOSE & EFFECT: To permit the construction of a nine (9) storey mixed use building containing a commercial use on the ground floor and residential dwelling unit(s) above.

Notes:

1. Please note, the materials submitted include a Zoning Compliance Review in Support of a Minor Variance as well as stamped drawings included with the Zoning Compliance Review. The proposed development does not appear to have been altered following this review and as such the recommended variances provided at the time of the Zoning Compliance Review align with the variances requested by the applicant; no additional variances are required to permit the development as proposed.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, February 13, 2025
TIME:	3:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

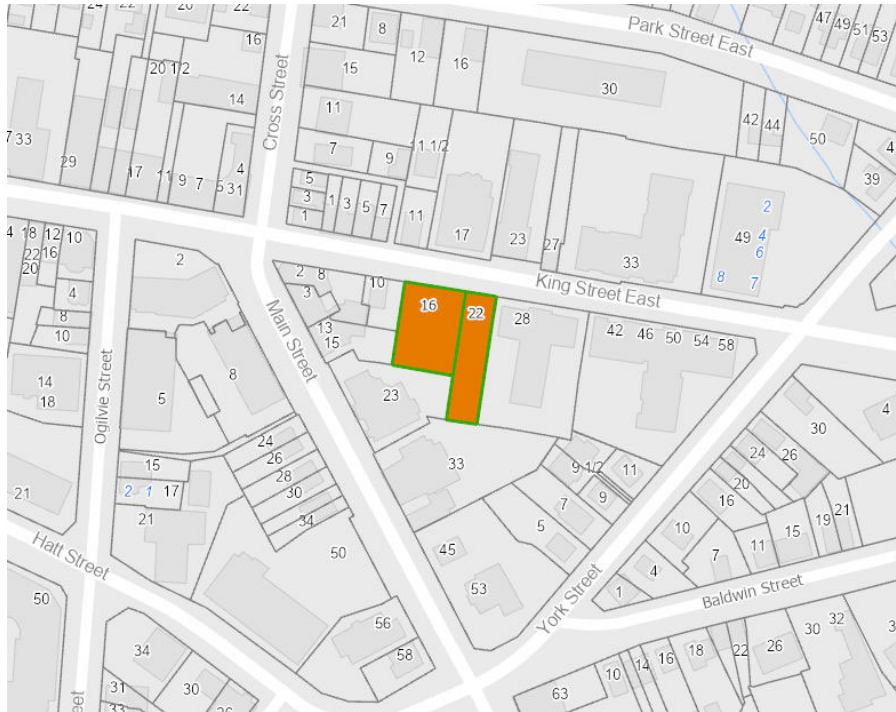
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon February 11, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon February 12, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:278, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: January 27, 2025

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

Undertaking FILE# DA-18-077
16-22 King Street East, Dundas Ontario

I, (We) _____, the owner(s) of the land, hereby undertake and agree without reservation,

(a) to comply with all the content of this plan and drawing and not to vary therefrom;

(b) to perform the facilities, works or matters mentioned in Section 41(7)(a) of The Planning Act shown on this plan and drawing on or before _____;

(c) to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways; and,

(d) in the event that the Owner does not comply with the plan dated _____, the owner agrees that the City may enter the land and do the required works, and further the Owner authorizes the City to use the security filed to obtain compliance with this plan.

(e) "Caution: Notwithstanding current surface conditions, the property has been determined to be an area of archeological potential. Although an archeological assessment is not required by the City of Hamilton, the proponent is cautioned that during development activities, should deeply buried archeological materials be found on the property the Ontario Ministry of Tourism, Culture and Sport (MTCSS) should be notified immediately (416.314.7143). In the event that human remains are encountered during construction, the proponent should immediately contact both MTCSS and the Registrar or Deputy Registrar of the Cemeteries Regulation Unit of the Ministry of Small Business and Consumer Services (416.326.8392)"

(f) That the Owner agrees to include any noise warning clauses on title and in all offers and agreements of purchase and sale or lease for all residential units.

(g) That the Owner agrees to establish any noise mitigation measures identified in the required Environmental Noise Study.

(h) That the Owner agrees to affix the physical municipal number to the building in a manner that is visible from the street, or a sign at the front entrance with either the municipal number or full address.

(i) That the Owner submit to the Legislative Approvals section of Growth Management, a final unit numbering list indicating the unit numbers that will be assigned to each unit on each floor of the building.

(j) That the Owner agrees to coordinate address with staff from the Growth Planning Section.

(k) Canada Post's multi-unit policy, which requires that the Owner/developer provide the centralized mail facility (Lock Box Assembly) at their own expenses (less than 100 units will require a front loading Lock Box Assembly & more than 100 units will require a rear loading Lock Box Assembly which will require a mail room) will be in effect for buildings and complexes with a common lobby, common indoor or sheltered space.

(l) That the Owner agrees to include on all offers of purchase and sale, a settlement that advises the prospective purchasers:

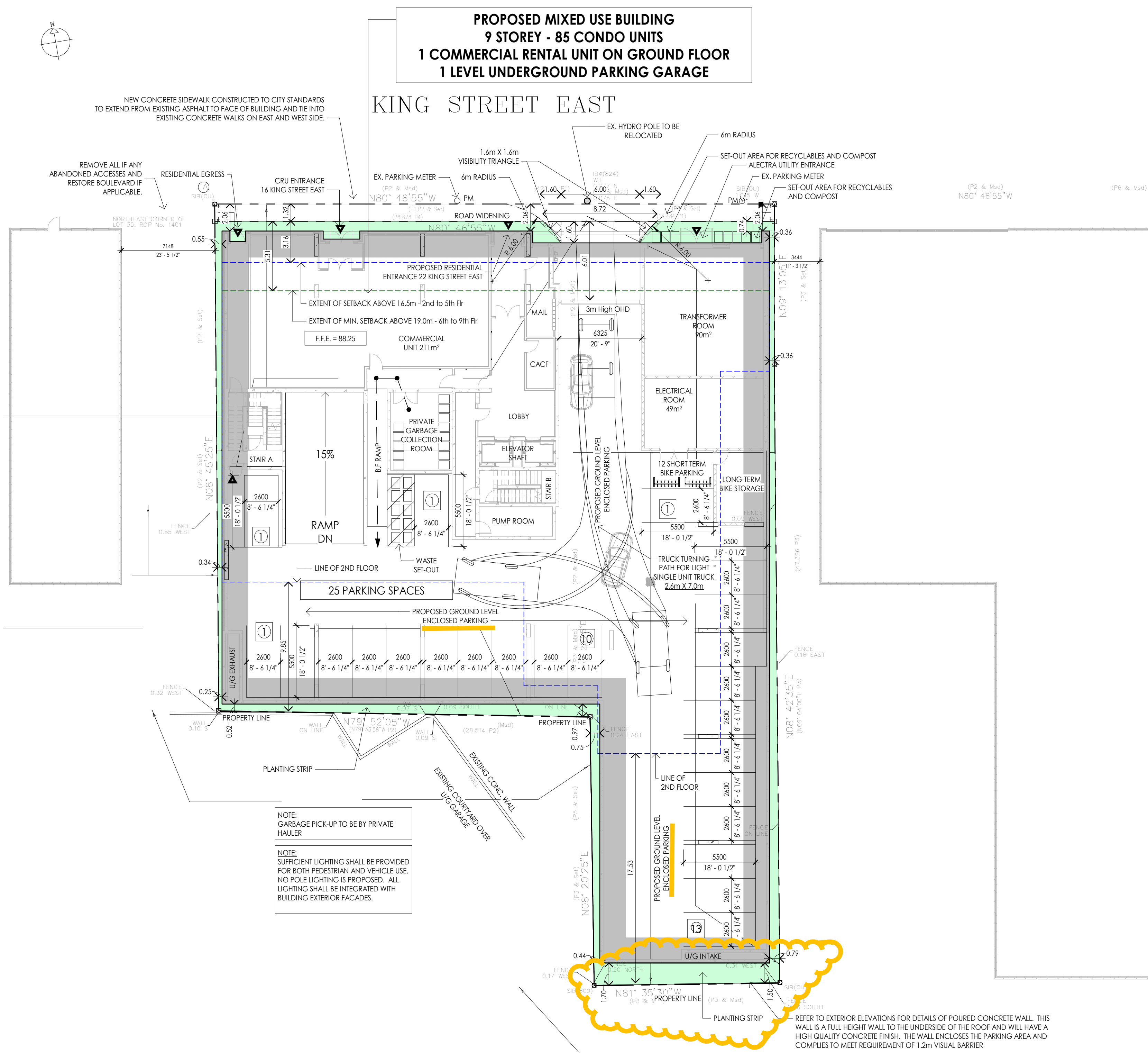
- That the home/business mail delivery will be from a designated Centralized Mail Box.
- That the developer/owners be responsible for officially notifying the purchasers of the exact Centralized Mail Box locations prior to the closing of any home sales.

Dated this _____ day of _____, 20____

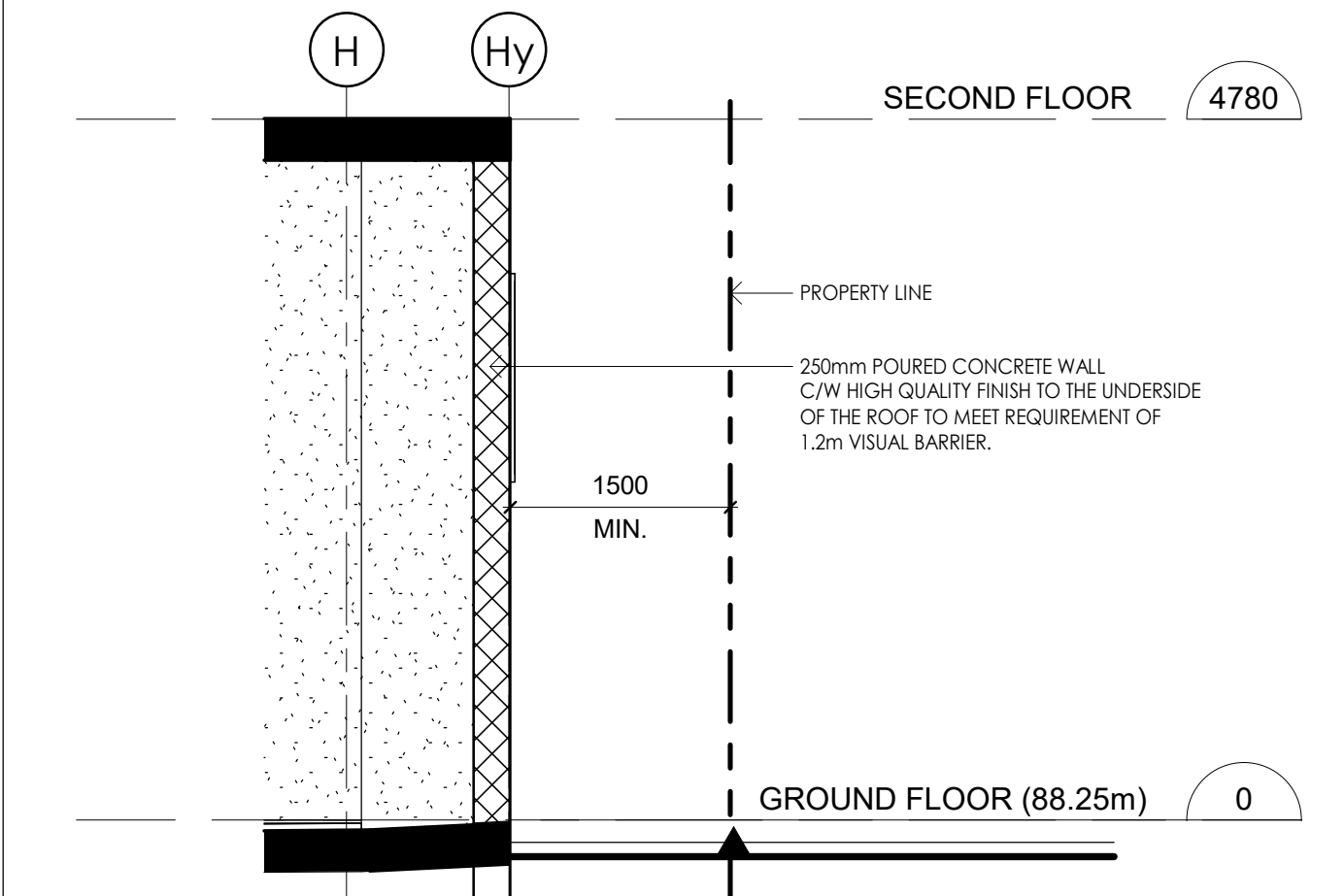
Witness (signature) _____ Owner(s) (signature) _____ (seal)

Witness (print) _____ Owner (print) _____

Address of Witness _____

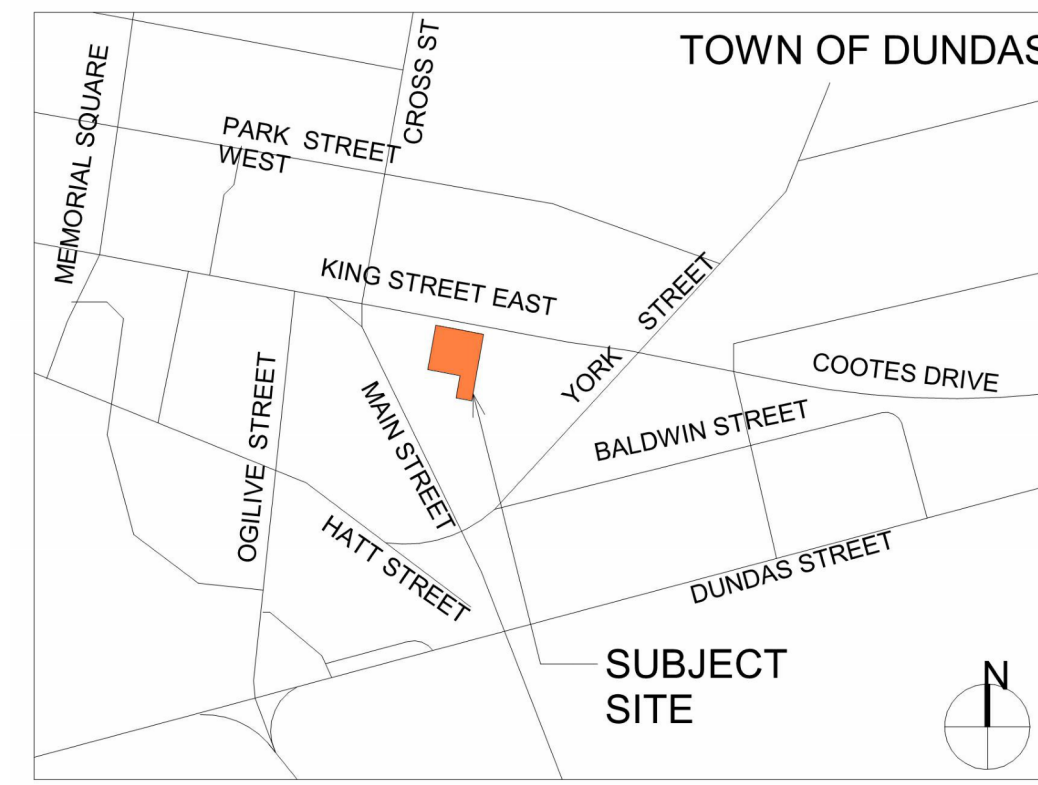


1 SITE PLAN
1 : 200



2 SECTION @ VISUAL BARRIER
1 : 50

- SITE PLAN NOTES**
- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
 - FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
 - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUT PERMITS
 - APPROACH APPROVAL PERMITS
 - COMMITTEE ADJUSTMENT
 - SEWER AND WATER PERMITS
 - RELOCATION OF SERVICES
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - PROPOSED SIGNAGE SHALL CONFORM TO THE CITY'S SIGN AND OTHER DEVICES BY-LAW NO. 10-197.
 - PROPOSED FENCING SHALL CONFORM TO THE CITY'S FENCE BY-LAW NO. 10-142.
 - THIS PROPERTY IS INELIGIBLE FOR WEEKLY COLLECTION OF GARBAGE, RECYCLING, ORGANICS, AND LEAF AND YARD WASTE THROUGH THE CITY OF HAMILTON.
 - UNION GASS, HYDRO ONE AND ALECTRA UTILITIES MAY HAVE SERVICE LINES RUNNING WITHIN THE AREA WHICH MAY BE AFFECTED BY THE DEVELOPMENT. SHOULD THE SITE PLAN IMPACT THE SERVICES IT MAY BE NECESSARY TO RELOCATE THE LINES, ANY SERVICE RELOCATION WOULD BE AT THE COST OF THE PROPERTY OWNER.
 - MAINTAIN 1.20 METER SEPARATION FROM UTILITY POLES, TREES, FIRE HYDRANTS, FENCES, POLES AND DRIVEWAYS.
 - MAINTAIN 1.50 METER SIDEWALK. ENSURE SIDEWALK IS CONTINUOUS AND UNOBSTRUCTED DURING CONSTRUCTION.



SITE LOCATION MAP

City of Hamilton
Planning & Economic Development
Planning Division

Examined By: _____ Date: _____

Liam Tapp
Zoning Only for Director of Planning Division

APPROVED
By Liam Tapp at 2:27 pm, Oct 16, 2024

Site Statistics

Project Address: 16-22 King Street East, Dundas, Ontario
Property Legal Description: LOTS 33 & 34 & PART OF LOT 3 IN REGISTRAR'S COMPLETED PLAN NO. 1401

General Zoning Information

Zoning Classification: C5a (Exception 555) - Proposed Mixed Use Development

Lot Area:	1,962.9m ² (0.485ac)	Variance Req'd
Road Widening Area:	56.4m ² (0.0139ac)	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Lot Area - Road Widening:	1,906.5m ² (0.471ac)	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N

	Allowable	Proposed	Variance Req'd
Lot Coverage:	97% (1,849.31m ²)	93.9% (1,789.90m ²)	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Front Yard Setback:	0.0m	0.0m	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Setback @ 16.5m Height:	3.9m	4.45m	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Setback @ 19m Height:	6.5m	6.63m	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Rear Yard Setback:	1.00m	1.5m	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Side Yard Setback:	0.16m	0.20m	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Max Building Height Excluding Elevator:	25.0m	29.643m	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
From Gnd Fl. FFE:	25.0m	30.393m	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
From Avg. Grade:	25.0m	30.393m	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
From Avg. Grade:	25.0m	30.393m	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N

Floor Area Break-down:

Building Area:	Allowable	Proposed	Variance Req'd
Minimum floor area per dwelling unit:	103.12m ²	0	0 Units
Studio dwelling unit = 36m ² :	446.98m ²	0	0 Units
One bedroom unit = 46m ² :	1,094.28m ²	12	12 Units
	1,045.25m ²	12	12 Units
	1,045.25m ²	12	12 Units
	1,045.25m ²	12	12 Units
	929.01m ²	11	11 Units
	854.35m ²	9	9 Units
	854.35m ²	8	8 Units
			TOTAL = 85 Units

Commercial GFA included in total GFA:

	Allowable	Proposed	Variance Req'd
TOTAL GFA:	7,623m ²	8,272.19m ²	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
COMMERCIAL GFA included in total GFA:	496.3m ²	211m ²	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
GROUND FLOOR GLAZING: (along King St. W.)	50% of 188.6m ² = 94.3m ²	91.2m ² (48.3%)	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N

Residential Unit Break-down:

FLOOR	UNIT TYPE	QUANTITY	BARRIER FREE
SECOND FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 1 SUITE UNITS < 60m ² = 2
	1 BED+DEN	5 SUITES	
	2 BEDROOM	3 SUITES	
THIRD FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 2 SUITES UNITS < 60m ² = 3
	1 BED+DEN	5 SUITES	
	2 BEDROOM	3 SUITES	
FOURTH FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 2 SUITES UNITS < 60m ² = 3
	1 BED+DEN	5 SUITES	
	2 BEDROOM	3 SUITES	
FIFTH FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 2 SUITES UNITS < 60m ² = 3
	1 BED+DEN	5 SUITES	
	2 BEDROOM	3 SUITES	
SIXTH FLOOR	1 BEDROOM	3 SUITES	BARRIER FREE = 1 SUITE UNITS < 60m ² = 3
	1 BED+DEN	3 SUITES	
	2 BEDROOM	2 SUITES	
SEVENTH FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 2 SUITES UNITS < 60m ² = 2
	1 BED+DEN	3 SUITES	
	2 BEDROOM	1 SUITE	
EIGHTH FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 2 SUITES UNITS < 60m ² = 2
	1 BED+DEN	1 SUITE	
	2 BEDROOM	1 SUITE	
NINTH FLOOR	1 BEDROOM	3 SUITES	BARRIER FREE = 1 SUITE UNITS < 60m ² = 2
	1 BED+DEN	1 SUITE	
	2 BEDROOM	3 SUITES	

Landscape Area (min)

	Required	Provided	Variance Req'd
Standard (2.6m x 5.5m)	65 (1 Space per Suite) 6 Spaces/Suites (<60m ²)	71	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Barrier Free (4.4m x 5.5m)	2	2	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N

Parking - Residential

	Required	Provided	Variance Req'd
Standard (2.6m x 5.5m)	0	0	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Barrier Free (4.4m x 5.5m)	0	0	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N

Parking - Commercial

	Required	Provided	Variance Req'd
Standard (2.6m x 5.5m)	0	0	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Barrier Free (4.4m x 5.5m)	0	0	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N

THIS SITE PLAN DEVELOPMENT AND ZONING INFORMATION IS BASED ON ZONING BY-LAW 3581 AND ITS AMENDMENT ZAC-12-017 BY TOWN OF DUNDAS, ONTARIO

THIS SITE PLAN IS BASED ON AND MUST BE READ IN CONJUNCTION WITH THE TOPOGRAPHICAL PLAN OF SURVEY PREPARED BY L.G. WOODS SURVEYING INC., 334 HATT ST. DUNDAS, ON - FIRM NO. 11-25587 DATED JULY 29th, 2011. LINTACK ARCHITECTS INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION.

LINTACK ARCHITECTS
INCORPORATED

244 JAMES STREET SOUTH, HAMILTON, ONTARIO, L8P 3B3
T: 905.522.6165 • F: 905.522.2029 • E: info@lntack.com
www.lntack.com



FOR SPA OF ARCHITECTS OF ONTARIO ASSOCIATION OF ARCHITECTS
Richard F. LINTACK
License 4148

This drawing must not be scaled.

General Contractor shall verify all dimensions, dates, and levels prior to commencement of the work.

All errors and omissions are to be reported immediately to the Architect.

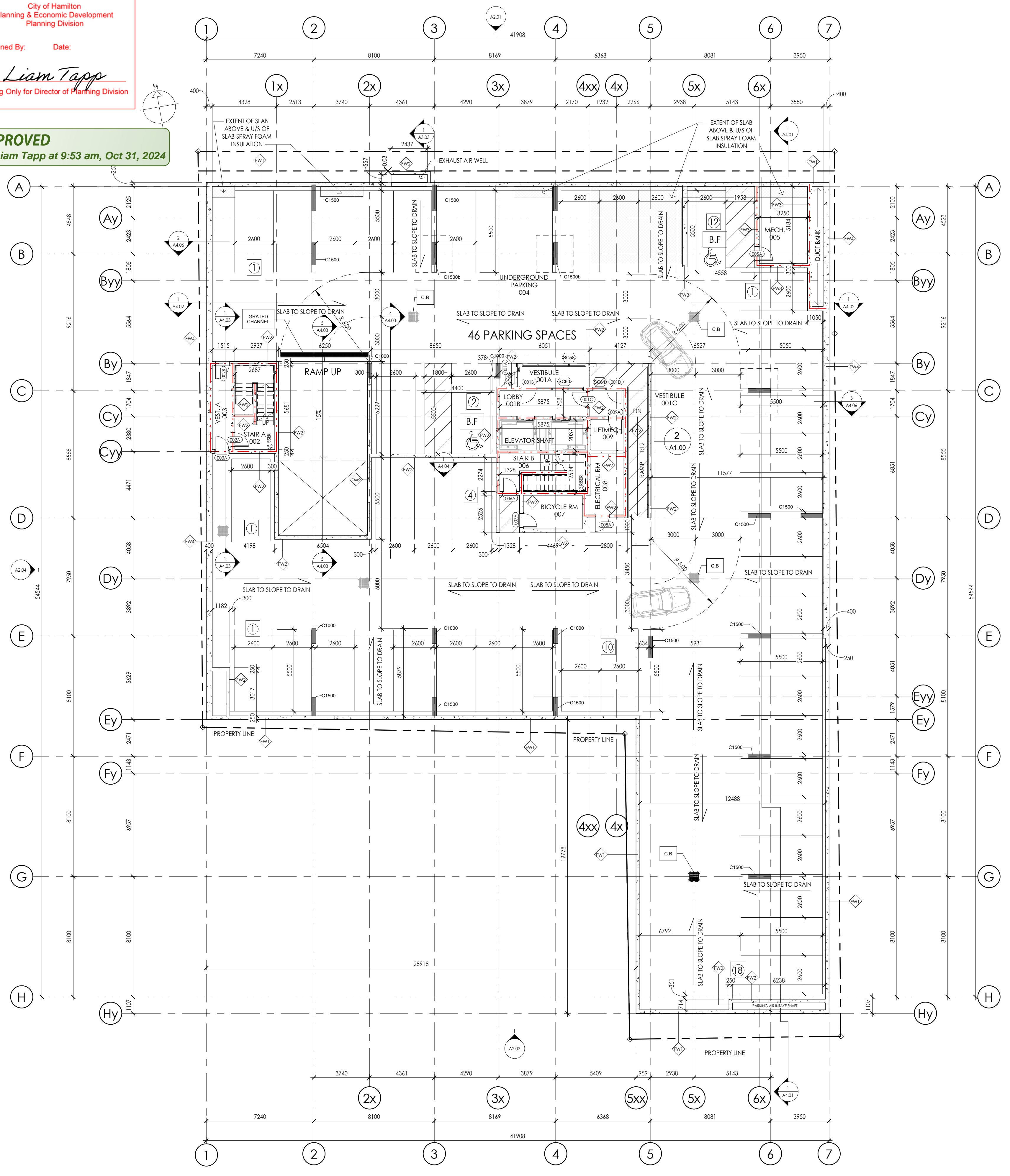
No.	Issues / Revisions	Date
1	Issued for City Review	27/04/2023
2	Issued for Design Review	13/04/2023
3	Issued for Design Review	24/04/2023
4	Issued for Design Review	02/08/2023
5	Issued for Planning	01/09/2023
6	North Footcandle Coordination	11/10/2023
7	Issued for Coordination	19/10/2023
8	Issued for Design Review	11/01/2024
9	Issued for MV	25/01/2024
10	Issued for SPA	25/09/2024

Dundas Valley Condo
Proposed 9 Storey Mixed Use
Development
16 - 22 King Street East, Dundas,
Ontario

job no. 23.028
dwg. by A.K
scale As indicated
proj. date JAN 2024
dwg. title SITE PLAN
dwg. SP1.01

City of Hamilton
 Planning & Economic Development
 Planning Division
 Examined By: Liam Tapp Date: _____
 Zoning Only for Director of Planning Division

APPROVED
 By Liam Tapp at 9:53 am, Oct 31, 2024



1 A1.00 - UNDERGROUND PARKING PLAN
 1: 150

FOUNDATION WALL ASSEMBLY SCHEDULE

FW1 EXTERIOR FOUNDATION WALL ASSEMBLY (R15ci REQUIRED)

- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
- BITUMINOUS DAMPPROOFING (@ PERIMETER) (REFER TO GEOTECHNICAL REPORT)
- POURED CONCRETE FOUNDATION WALL (REFER TO STRUCTURAL)
- 4" WEeping TILE c/w 6" THICK CRUSHED STONE COVER

FW2 2 HR RATED POURED CONCRETE WALL ASSEMBLY - STC 58

- POURED CONCRETE FOUNDATION WALL (MIN. 200mm (8") THICKNESS) - REFER TO STRUCTURAL

FW3 POURED CONCRETE WALL ASSEMBLY

- POURED CONCRETE FOUNDATION WALL (300mm (12") THICKNESS) - REFER TO STRUCTURAL

FW4 EXTERIOR FOUNDATION WALL ASSEMBLY (R15ci REQUIRED)

- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
- BITUMINOUS DAMPPROOFING (@ PERIMETER) (REFER TO GEOTECHNICAL REPORT)
- POURED CONCRETE FOUNDATION WALL (REFER TO STRUCTURAL)
- 4" WEeping TILE c/w 6" THICK CRUSHED STONE COVER

NOTE: REFERENCE STRUCTURAL DRAWINGS FOR ALL REINFORCEMENT, BASE PLATES & MISC. STRUCTURAL ELEMENTS.

LEGEND: LINETYPES

LINE PATTERN	NAME
	1-HR FIRE RATING
	2-HR FIRE RATING
	4-HR FIRE RATING
	45-MIN FIRE RATING

ROOF ASSEMBLY SCHEDULE

R1 ROOF ASSEMBLY - 2 HR FRR - ULC: UL Des L525 - (R40ci REQUIRED)

- 2 PLY SBS MODIFIED BITUMEN BASE SHEET MEMBRANE.
- POURED CONCRETE SLAB (REFER TO STRUCTURAL FOR SLAB THICKNESS & REINFORCEMENT)
- ROOF SLAB TO BE SLOPED TO ROOF DRAINS
- R35 SPRAY APPLIED INSULATION ON U/S OF SLAB
- 2HR FIRE RATED PROTECTIVE SPRAY
- 2 1/2" STEEL STUD FRAMING @ 14" O.C SUSPENDED FROM SLAB ABOVE
- 1/2" GYPSUM BOARD CEILING FINISH (TAPED, FILLED, SANDED FOR PRIMER)

R2 ROOF ASSEMBLY - 2 HR FRR - ULC: UL Des L525 - (R40ci REQUIRED)

- 2 PLY SBS MODIFIED BITUMEN BASE SHEET MEMBRANE.
- POURED CONCRETE SLAB (REFER TO STRUCTURAL FOR SLAB THICKNESS & REINFORCEMENT)
- ROOF SLAB TO BE SLOPED TO ROOF DRAINS
- R35 SPRAY APPLIED INSULATION ON U/S OF SLAB
- 2HR FIRE RATED PROTECTIVE SPRAY

FLOOR ASSEMBLY SCHEDULE

F1 2 HR RATED 280mm (11") POURED CONCRETE SLAB

- POURED CONCRETE SLAB (REFER TO STRUCTURAL)

F1a 2 HR RATED 280mm (11") POURED CONCRETE PARKING DECK SLAB

- POURED CONCRETE SLAB (REFER TO STRUCTURAL)
- MODIFIED POLYURETHANE TRAFFIC DECK COATING

F2 2 HR RATED 300mm (12") POURED CONCRETE SLAB

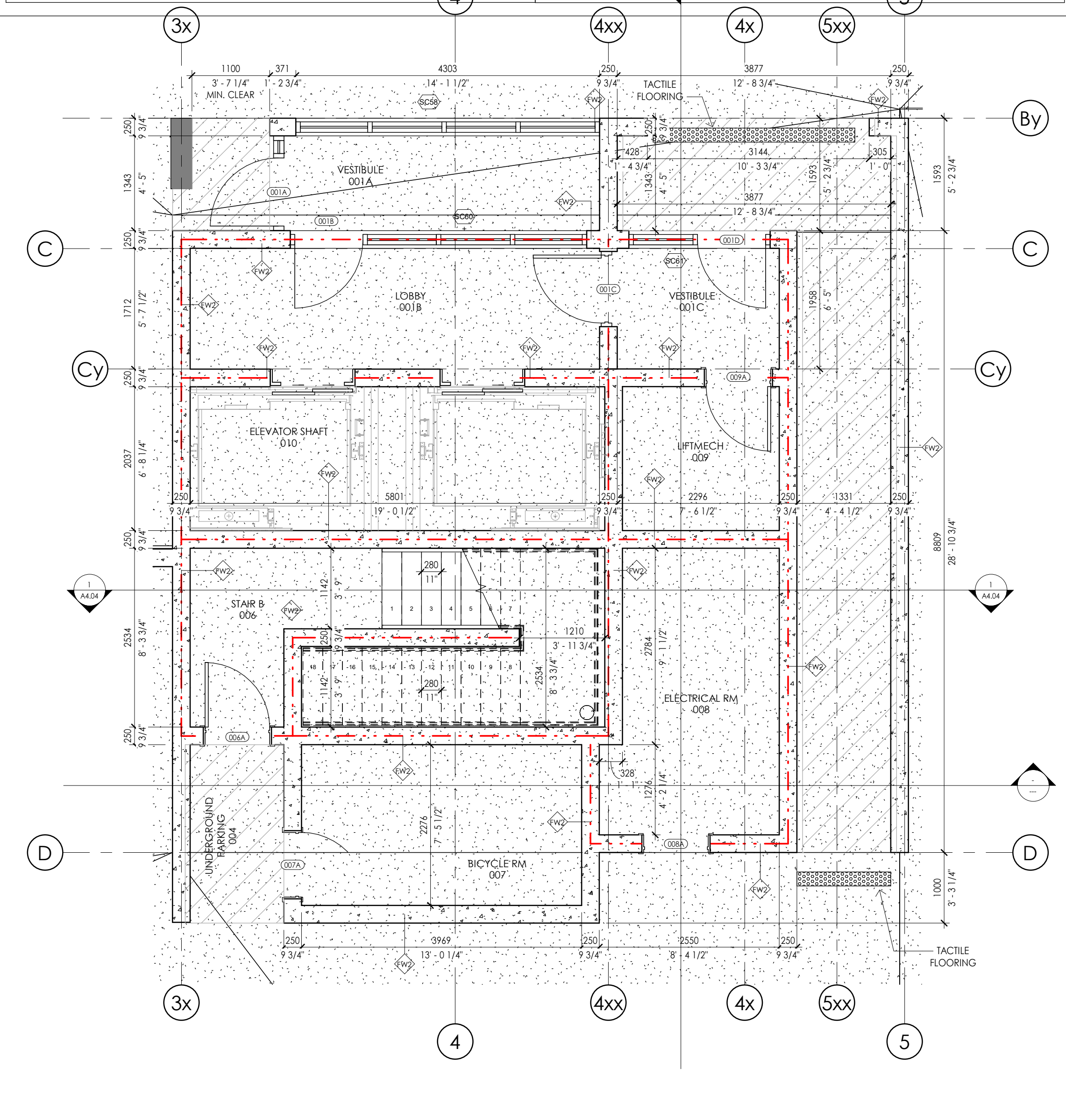
- POURED CONCRETE SLAB (REFER TO STRUCTURAL)

F3 4 HR RATED 750mm (30") POURED CONCRETE TRANSFER SLAB

- POURED CONCRETE SLAB (REFER TO STRUCTURAL)

F4 150mm (6") POURED CONCRETE SLAB ON GRADE

- POURED CONCRETE SLAB (REFER TO STRUCTURAL)



2 A1.00 - ELEVATOR SHAFT PLAN - Callout
 1: 50

LINTACK ARCHITECTS
 INCORPORATED
 244 JAMES STREET SOUTH, HAMILTON, ONTARIO, L8P 3B3
 T: 905.522.6165 • F: 905.522.2209 • E: info@lintack.com
 www.lintack.com

FOR SPA
 OF
 ARCHITECTS
 OF
 ONTARIO ASSOCIATION
 RICHARD F. LINTACK
 LICENCE
 4148

This drawing must not be scaled.
 General Contractor shall verify all dimensions, details, and levels prior to commencement of the work.
 All errors and omissions are to be reported immediately to the Architect.

No.	Issues / Revisions	Date
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5	Issued for Planning	01/09/2023
6	Revised Foundation Coordination	11/10/2023
7	Issued for Construction	19/10/2023
8	Issued for Design Review	11/01/2024
9	Issued for AMV	25/01/2024
10	Issued for SPA	26/01/2024

NOT TO BE USED
 FOR CONSTRUCTION

Dundas Valley Condo
 Proposed 9 Storey Mixed Use
 Development
 16 - 22 King Street East, Dundas,
 Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	FOUNDATION PLAN
dwg.	A1.00

Undertaking FILE# DA-18-077
16-22 King Street East, Dundas Ontario

I, (We) _____, the owner(s) of the land, hereby undertake and agree without reservation,

(a) to comply with all the content of this plan and drawing and not to vary therefrom;

(b) to perform the facilities, works or matters mentioned in Section 41(7)(a) of The Planning Act shown on this plan and drawing on or before _____;

(c) to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways; and,

(d) in the event that the Owner does not comply with the plan dated _____, the owner agrees that the City may enter the land and do the required works, and further the Owner authorizes the City to use the security filed to obtain compliance with this plan.

(e) "Caution: Notwithstanding current surface conditions, the property has been determined to be an area of archaeological potential. Although an archaeological assessment is not required by the City of Hamilton, the proponent is cautioned that during development activities, should deeply buried archeological materials be found on the property the Ontario Ministry of Tourism, Culture and Sport (MTCSS) should be notified immediately (416.314.143). In the event that human remains are encountered during construction, the proponent should immediately contact both MTCSS and the Registrar or Deputy Registrar of the Cemeteries Regulation Unit of the Ministry of Small Business and Consumer Services (416.326.8392)"

(f) That the Owner agrees to include any noise warning clauses on title and in all offers and agreements of purchase and sale or lease for all residential units.

(g) That the Owner agrees to establish any noise mitigation measures identified in the required Environmental Noise Study.

(h) That the Owner agrees to affix the physical municipal number to the building in a manner that is visible from the street, or a sign at the front entrance with either the municipal number or full address.

(i) That the Owner submit to the Legislative Approvals section of Growth Management, a final unit numbering list indicating the unit numbers that will be assigned to each unit on each floor of the building.

(j) That the Owner agrees to coordinate address with staff from the Growth Planning Section.

(k) Canada Post's multi-unit policy, which requires that the Owner/developer provide the centralized mail facility (Lock Box Assembly) at their own expenses (less than 100 units will require a front loading Lock Box Assembly & more than 100 units will require a rear loading Lock Box Assembly which will require a mail room) will be in effect for buildings and complexes with a common lobby, common indoor or sheltered space.

(l) That the Owner agrees to include on all offers of purchase and sale, a settlement that advises the prospective purchasers:

- That the home/business mail delivery will be from a designated Centralized Mail Box.
- That the developers/owners be responsible for officially notifying the purchasers of the exact Centralized Mail Box locations prior to the closing of any home sales.

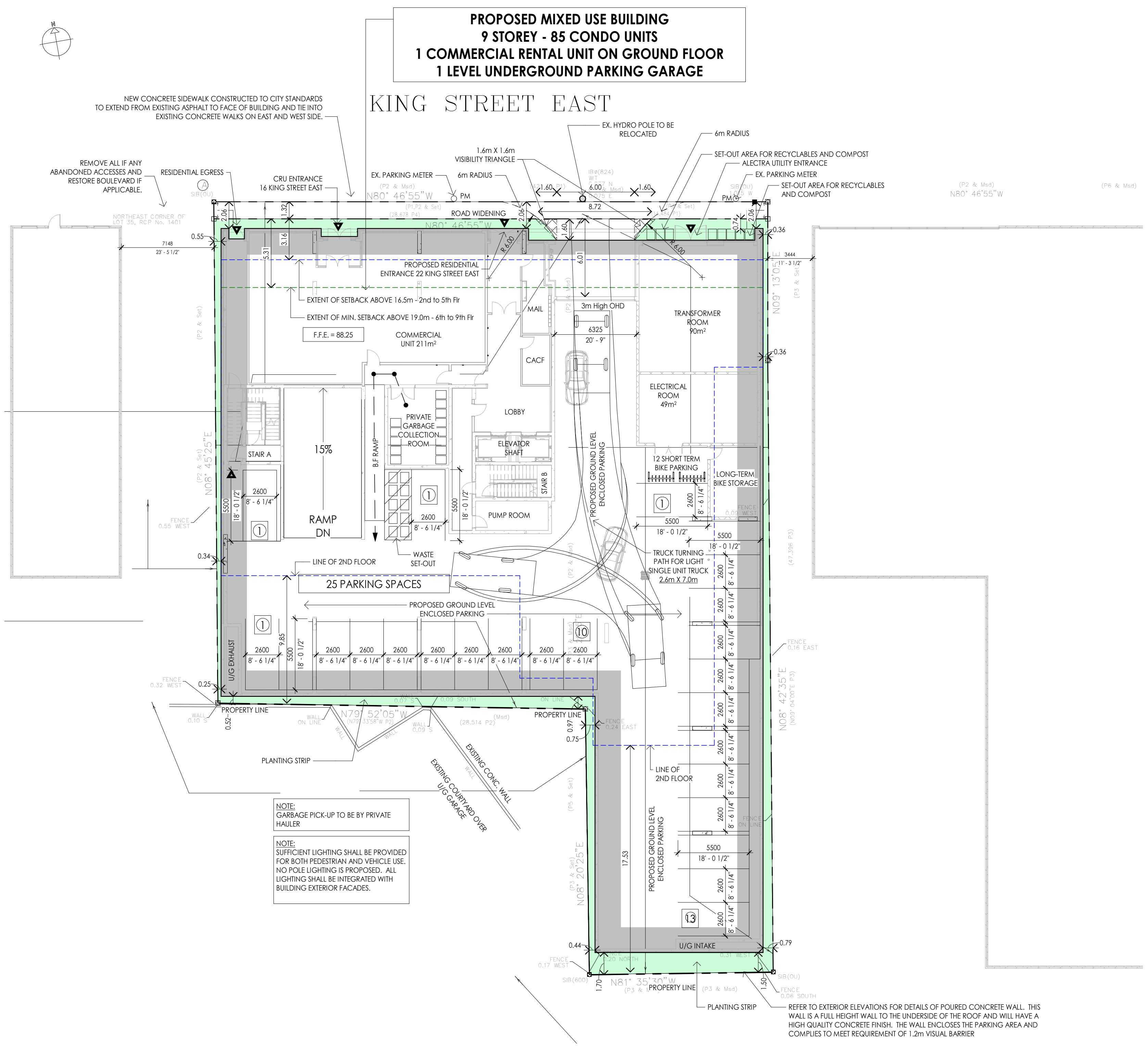
Dated this _____ day of _____, 20____

Witness (signature) _____ Owner(s) (signature) _____ (seal)

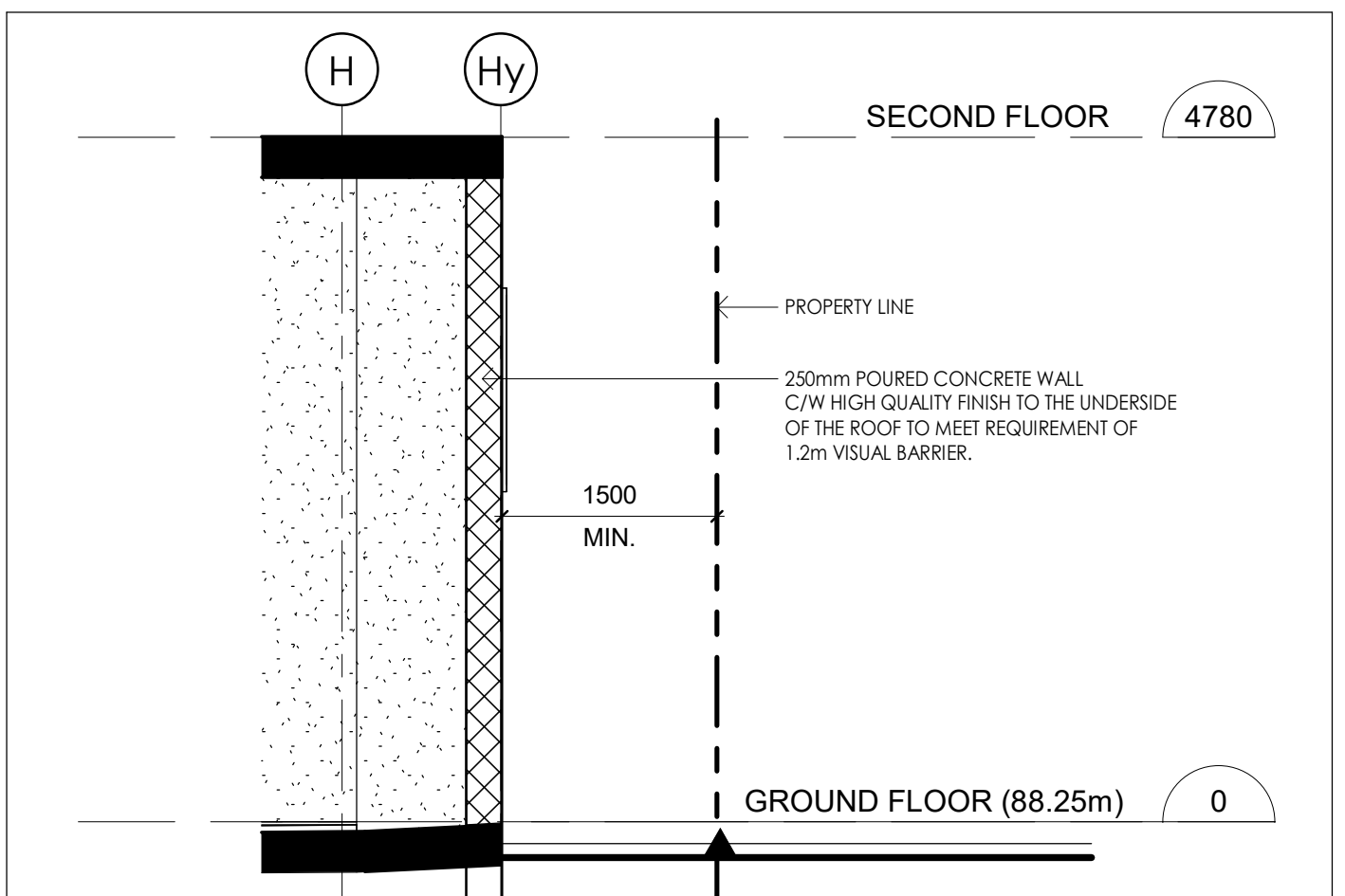
Witness (print) _____ Owner (print) _____

Address of Witness _____

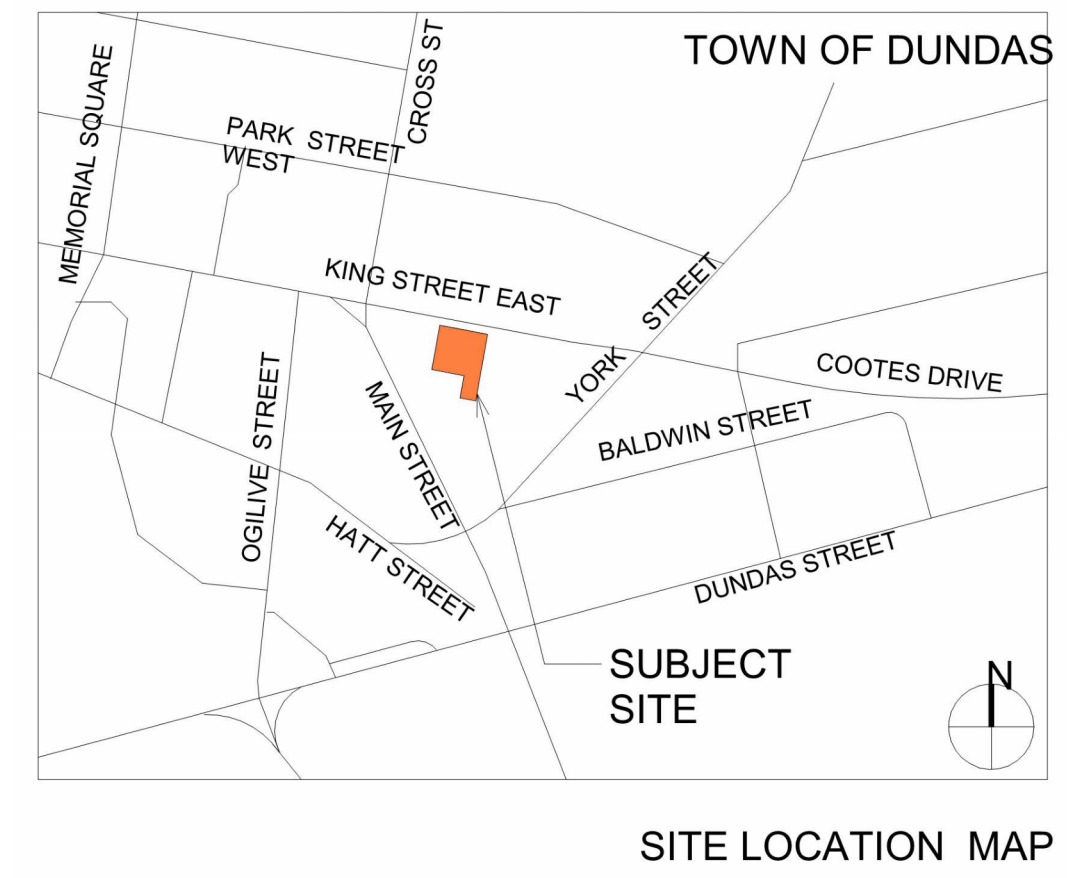
- SITE PLAN NOTES**
- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
 - FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
 - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - SEWER AND WATER PERMITS
 - ROAD CUT PERMITS
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - COMMITTEE ADJUSTMENT
 - PROPOSED SIGNAGE SHALL CONFORM TO THE CITY'S SIGN AND OTHER DEVICES BY-LAW NO. 10-197.
 - PROPOSED FENCING SHALL CONFORM TO THE CITY'S FENCE BY-LAW NO. 10-142.
 - THIS PROPERTY IS INELIGIBLE FOR WEEKLY COLLECTION OF GARBAGE, RECYCLING, ORGANICS, AND LEAF AND YARD WASTE THROUGH THE CITY OF HAMILTON.
 - UNION GASS, HYDRO ONE AND ALECTRA UTILITIES MAY HAVE SERVICE LINES RUNNING WITHIN THE AREA WHICH MAY BE AFFECTED BY THE DEVELOPMENT. SHOULD THE SITE PLAN IMPACT THE SERVICES IT MAY BE NECESSARY TO RELOCATE THE LINES, ANY SERVICE RELOCATION WOULD BE AT THE COST OF THE PROPERTY OWNER.
 - MAINTAIN 1.20 METER SEPARATION FROM UTILITY POLES, TREES, FIRE HYDRANTS, FENCES, POLES AND DRIVEWAYS.
 - MAINTAIN 1.50 METER SIDEWALK. ENSURE SIDEWALK IS CONTINUOUS AND UNOBSTRUCTED DURING CONSTRUCTION.



1 SITE PLAN
1 : 200



2 SECTION @ VISUAL BARRIER
1 : 50



City of Hamilton
Planning & Economic Development
Planning Division

Examined By: _____ Date: _____

Liam Tapp
Zoning Only for Director of Planning Division

APPROVED
By Liam Tapp at 2:27 pm, Oct 16, 2024

Site Statistics

Project Address: 16-22 King Street East, Dundas, Ontario
Property Legal Description: LOTS 33 & 34 & PART OF LOT 3 IN REGISTRAR'S COMPILED PLAN NO. 1401

General Zoning Information

Zoning Classification: C5a (Exception 555) - Proposed Mixed Use Development

Lot Area:	1,962.9m ² (0.485ac)	Variance Req'd	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Road Widening Area:	56.4m ² (0.0139ac)		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Lot Area - Road Widening:	1,906.5m ² (0.471ac)		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N

	Allowable	Proposed	Variance Req'd	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Lot Coverage:	97% (1,849.31m ²)	93.9% (1,789.90m ²)		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Front Yard Setback:	0.0m	0.0m		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Setback @ 16.5m Height:	3.9m	4.45m		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Setback @ 19m Height:	6.5m	6.63m		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Rear Yard Setback:	1.00m	1.5m		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Side Yard Setback:	0.16m	0.20m		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Max Building Height Excluding Elevator:	25.0m	29.443m		<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
From 2nd Fl. FFE From Avg. Grade:	25.0m	30.393m		<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
From Avg. Grade:	25.0m	30.393m		<input checked="" type="checkbox"/> Y <input type="checkbox"/> N

Floor Area Break-down:

Building Area:	Allowable	Proposed	Variance Req'd	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Minimum floor area per dwelling unit:	BASEMENT FLOOR	103.12m ²	0 Units	
Studio dwelling unit = 36m ²	GROUND FLOOR	446.98m ²	0 Units	
One bedroom unit = 46m ²	SECOND FLOOR	1,094.28m ²	12 Units	
	THRD FLOOR	1,045.25m ²	12 Units	
	FOURTH FLOOR	1,045.25m ²	12 Units	
	FIFTH FLOOR	1,045.25m ²	12 Units	
	SIXTH FLOOR	929.01m ²	11 Units	
	SEVENTH FLOOR	854.35m ²	9 Units	
	EIGHTH FLOOR	854.35m ²	9 Units	
	NINTH FLOOR	854.35m ²	8 Units	
	TOTAL = 85 Units			

	Allowable	Proposed	Variance Req'd	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
TOTAL GFA:	7,623m ²	8,272.19m ²		<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
COMMERCIAL GFA included in total GFA:	496.3m ²	211m ²		<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
GROUND FLOOR GLAZING: (along King St. W.)	50% of 188.6m ² = 94.3m ²	91.2m ² (48.3%)		<input checked="" type="checkbox"/> Y <input type="checkbox"/> N

Residential Unit Break-down:

FLOOR	1 BEDROOM	2 BEDROOM	3 BEDROOM	4 SUITES	5 SUITES	6 SUITES	7 SUITES	8 SUITES	9 SUITES	10 SUITES	BARRIER FREE = 1 SUITE	UNITS < 60m ² =
SECOND FLOOR	1	1	3	4	5	0	0	0	0	0	2	2
THRD FLOOR	1	1	2	4	5	3	0	0	0	0	3	3
FOURTH FLOOR	1	1	2	4	5	3	0	0	0	0	2	3
FIFTH FLOOR	1	1	2	4	5	3	0	0	0	0	3	3
SIXTH FLOOR	1	1	2	3	3	2	1	1	1	1	1	3
SEVENTH FLOOR	1	1	2	4	5	3	1	1	1	1	2	2
EIGHTH FLOOR	1	1	2	4	5	3	1	1	1	1	2	2
NINTH FLOOR	1	1	2	3	3	1	1	1	1	1	1	2

Landscaped Area (min)

	Required	Provided	Variance Req'd	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Standard (2.6m x 5.5m)	65 (1 Space per Suite) 6 Spaces/Suites <60m ²)	71		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Barrier Free (4.4m x 5.5m)	2	2		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N

Parking - Commercial

	Required	Provided	Variance Req'd	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Standard (2.6m x 5.5m)	0	0		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Barrier Free (4.4m x 5.5m)	0	0		<input type="checkbox"/> Y <input checked="" type="checkbox"/> N

THIS SITE PLAN DEVELOPMENT AND ZONING INFORMATION IS BASED ON ZONING BY-LAW 3581 AND ITS AMENDMENT ZAC-12-017 BY TOWN OF DUNDAS, ONTARIO

THIS SITE PLAN IS BASED ON AND MUST BE READ IN CONJUNCTION WITH THE TOPOGRAPHICAL PLAN OF SURVEY PREPARED BY L.G. WOODS SURVEYING INC., 334 HATT ST. DUNDAS, ON - FILE NO. 11-2558F DATED JULY 29TH, 2011. LINTACK ARCHITECTS INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION.

LINTACK ARCHITECTS
INCORPORATED

244 JAMES STREET SOUTH, HAMILTON, ONTARIO, L8P 3B3
T: 905.522.6165 • F: 905.522.2029 • E: info@lntack.com
www.lntack.com

FOR SPA OF ARCHITECTS OF ONTARIO ASSOCIATION

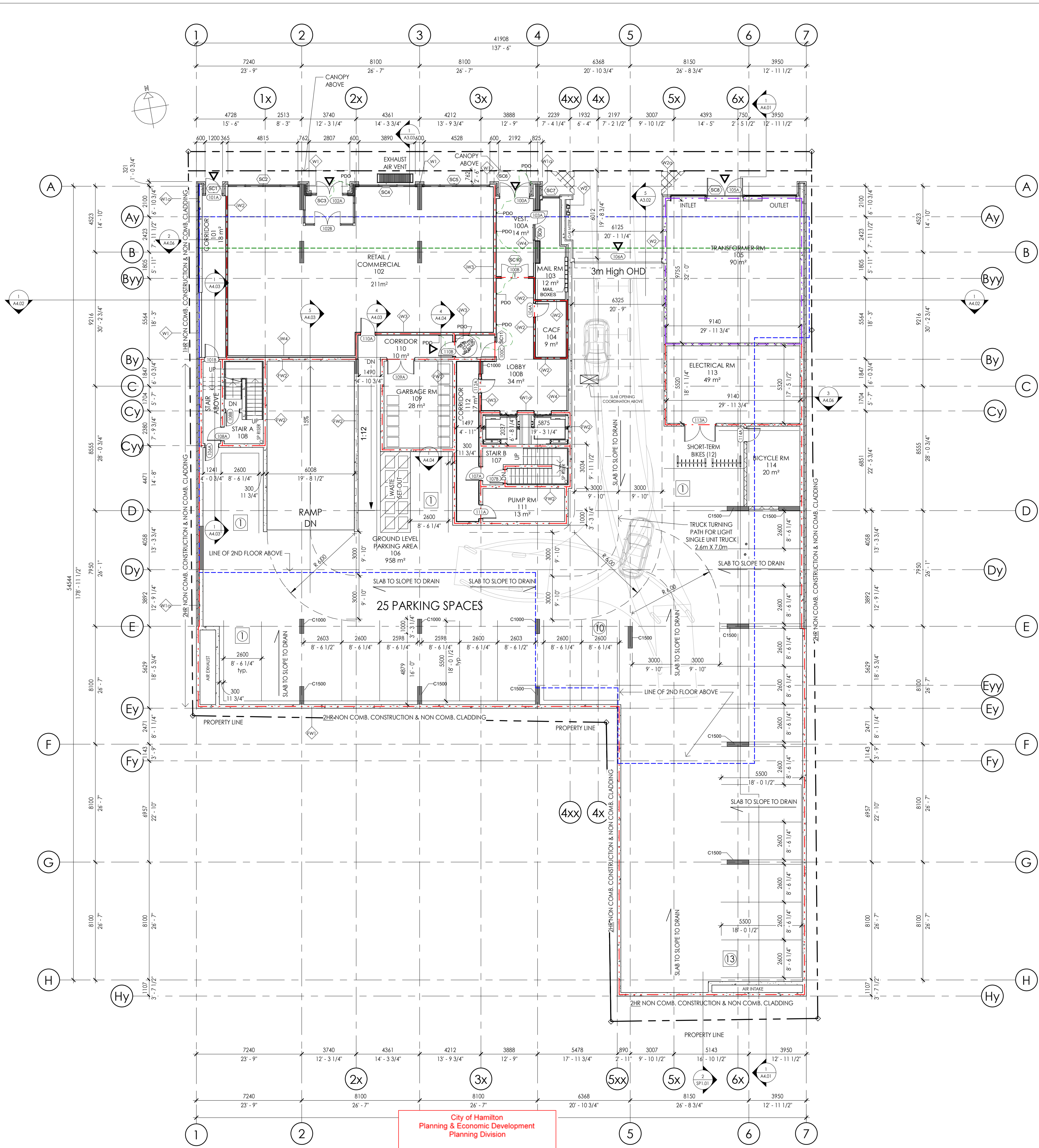
Richard F. Lintack
RICHARD F. LINTACK
LICENCE 4148

This drawing must not be scaled.
General Contractor shall verify all dimensions, dates, and levels prior to commencement of the work.
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No.	Issues / Revisions	Date
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5	Issued for Planning	01/09/2023
6	Perth Foundation Coordination	11/10/2023
7	Issued for Construction	19/10/2023
8	Issued for Design Review	11/01/2024
9	Issued for AMV	25/01/2024
10	Issued for SPA	26/01/2024

Dundas Valley Condo
Proposed 9 Storey Mixed Use
Development
16 - 22 King Street East, Dundas,
Ontario

job no. 23.028
dwg. by A.K
scale As indicated
proj. date JAN 2024
dwg. title SITE PLAN
dwg. SP1.01



EXTERIOR WALL ASSEMBLY SCHEDULE

- W1 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W1a EXTERIOR WALL ASSEMBLY (BRICK @ COLUMN) (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W2 POURED CONCRETE WALL ASSEMBLY (R15ci REQUIRED)**
- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
 - POURED CONCRETE WALL (REFER TO STRUCTURAL)
- W3 EXTERIOR WALL ASSEMBLY (1HR cUL U425) (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING - (FIREGUARD)
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W3a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R20 - 2LB DENSITY SPRAY FOAM INSULATION or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W3b EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 90mm (3 1/2") CFS STUD FRAMING @ 406mm (16") O.C
 - LAYER OF 75mm (3") SPRAY APPLIED R-20 - 2LB DENSITY SPRAY FOAM INSULATION or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W5 EXTERIOR TERRACE/BALCONY WALL ASSEMBLY**
- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)
 - 25mm (1") AIR SPACE
 - BRICK TIES
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 200mm (8") POURED CONCRETE CURB (SEE ELEVATIONS FOR HEIGHT)
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - BRICK TIES
 - 25mm (1") AIR SPACE
 - 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)

EXTERIOR WALL ASSEMBLY SCHEDULE CONT'D

INTERIOR WALL ASSEMBLY SCHEDULE

INTERIOR FIRE SEPERATION WALL ASSEMBLY SCHEDULE

iW2 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 55) (ULC W423/cUL 425)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW3 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 60) (ULC W423)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL ONE SIDE @ MAX 610mm (24") O.C
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW6 1HR SUITE/CORRIDOR DEMISING WALL ASSEMBLY (STC54)(ULC U423)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW7 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(cUL U420 / ULC W454)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY - 25mm (1") AIR SPACE
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW7a 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(cUL U420)

- SIMILAR TO IW7 WITH DEMISING WALLS ALIGNED W/ COLUMN

1 A1.01 - GROUND FLOOR PLAN
1 : 150

City of Hamilton
Planning & Economic Development
Planning Division
Examined By: *Liam Tapp*
Zoning Only for Director of Planning Division

APPROVED
By *Liam Tapp* at 2:27 pm, Oct 16, 2024

FOR DESIGN REVIEW

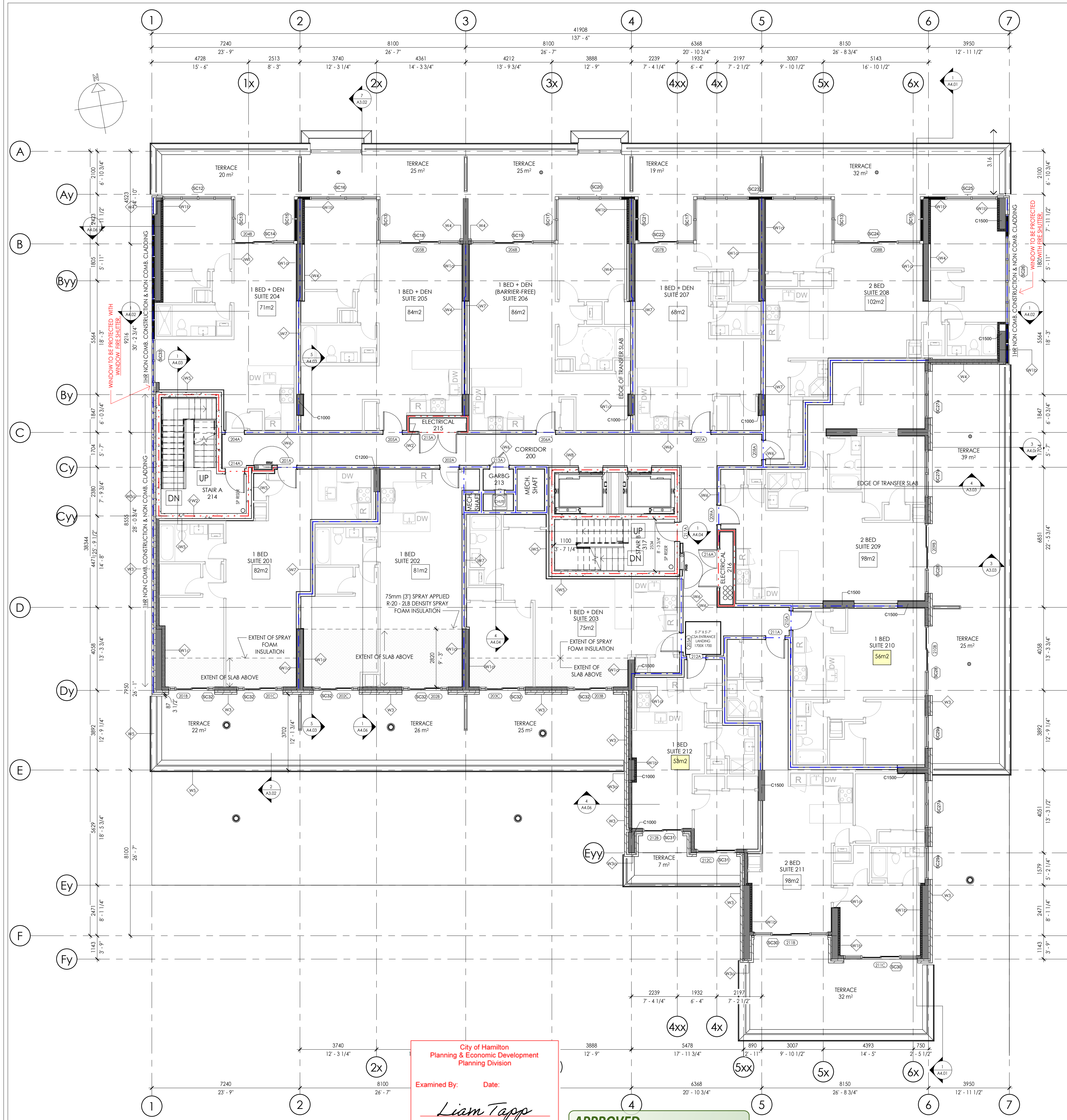
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9	Issued for MV	25/01/2024

NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
Proposed 9 Storey Mixed Use
Development
16 - 22 King Street East, Dundas,
Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	GROUND FLOOR PLAN
dwg.	A1.01



City of Hamilton
Planning & Economic Development
Planning Division

Examined By: *Liam Tapp* Date: _____
Zoning Only for Director of Planning Division

APPROVED
By *Liam Tapp* at 2:27 pm, Oct 16, 2024

A1.02 - SECOND FLOOR PLAN
1 : 100

EXTERIOR WALL ASSEMBLY SCHEDULE

- W1 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
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 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W2 POURED CONCRETE WALL ASSEMBLY (R15ci REQUIRED)**
- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
 - POURED CONCRETE WALL (REFER TO STRUCTURAL)
- W3 EXTERIOR WALL ASSEMBLY (1HR cUL U425) (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
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- W3a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 90mm (3 1/2") CFS STUD FRAMING @ 406mm (16") O.C
 - LAYER OF 75mm (3") SPRAY APPLIED R-20 - 2LB DENSITY SPRAY FOAM INSULATION or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W3b EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
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 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W5 EXTERIOR TERRACE/BALCONY WALL ASSEMBLY**
- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)
 - 25mm (1") AIR SPACE
 - BRICK TIES
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 200mm (8") POURED CONCRETE CURB (SEE ELEVATIONS FOR HEIGHT)
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - BRICK TIES
 - 25mm (1") AIR SPACE
 - 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)

EXTERIOR WALL ASSEMBLY SCHEDULE CONT'D

INTERIOR WALL ASSEMBLY SCHEDULE

INTERIOR FIRE SEPERATION WALL ASSEMBLY SCHEDULE

IW2 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 55) (ULC W423/cUL 425)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

IW3 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 60) (ULC W423)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL ONE SIDE @ MAX 610mm (24") O.C
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

IW6 1HR SUITE/CORRIDOR DEMISING WALL ASSEMBLY (STC54)(ULC U423)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

IW7 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(cUL U420 / ULC W454)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- 25mm (1") AIR SPACE
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

IW7a 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(cUL U420)

- SIMILAR TO IW7 WITH DIMISING WALLS ALIGNED W/ COLUMN

LINTACK ARCHITECTS
INCORPORATED
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T: 905.522.6165 • E: info@lincoc.com
www.lincoc.com

FOR DESIGN REVIEW

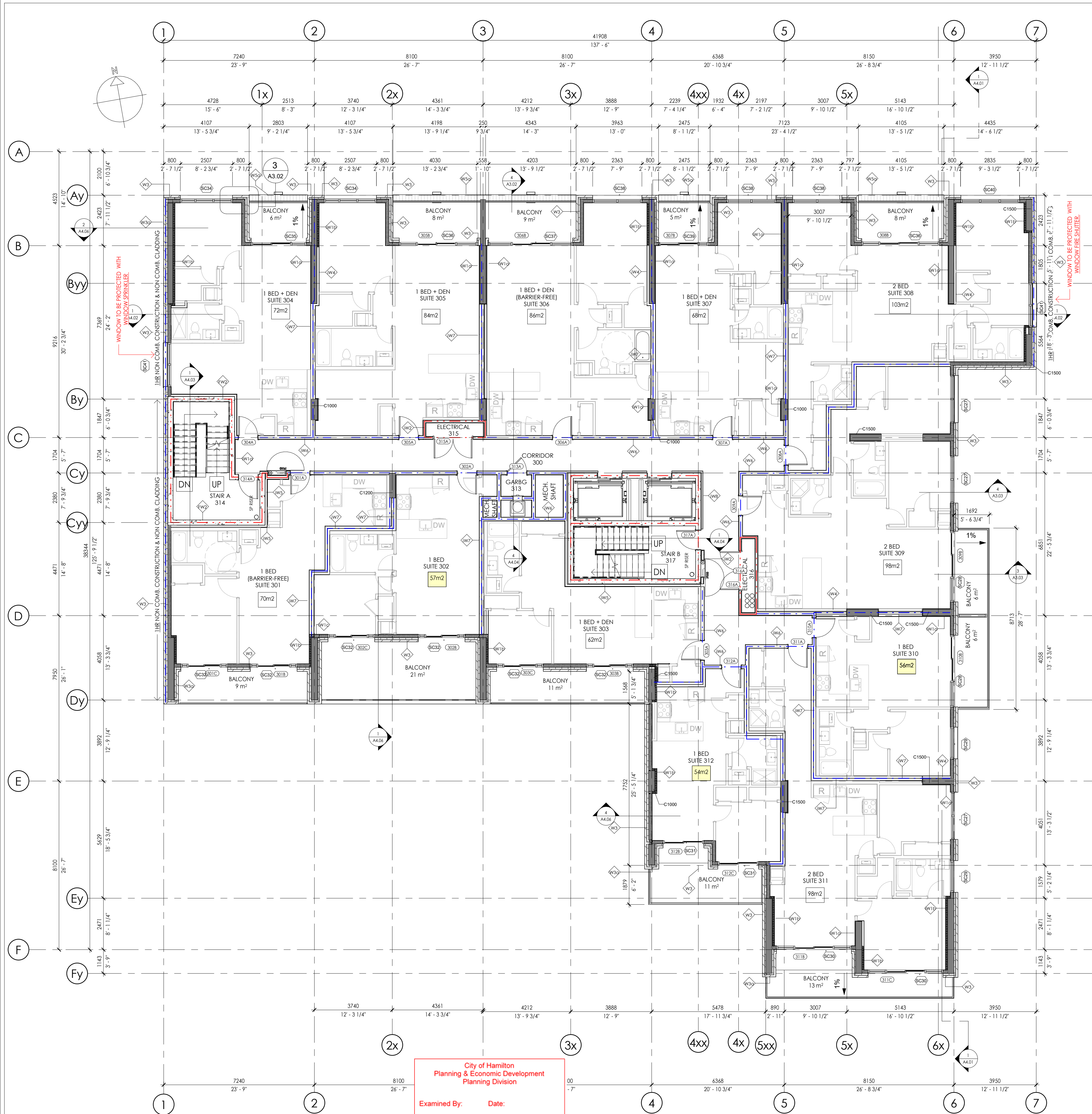
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6	Revised Foundation Coordination	11/10/2023
7	Issued for Construction	19/10/2023
8	Issued for Design Review	11/01/2024
9	Issued for MV	25/01/2024

NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
Proposed 9 Storey Mixed Use
Development
16 - 22 King Street East, Dundas,
Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	SECOND FLOOR PLAN
dwg.	A1.02



City of Hamilton
 Planning & Economic Development
 Planning Division
 Examined By: Liam Tapp Date: _____
 Zoning Only for Director of Planning Division

APPROVED
 By Liam Tapp at 2:27 pm, Oct 16, 2024

1 A1.03 - THIRD FLOOR PLAN
 1 : 100

EXTERIOR WALL ASSEMBLY SCHEDULE

- W1 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W1a EXTERIOR WALL ASSEMBLY (BRICK @ COLUMN) (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W2 POURED CONCRETE WALL ASSEMBLY (R15ci REQUIRED)**
- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
 - POURED CONCRETE WALL (REFER TO STRUCTURAL)
- W3 EXTERIOR WALL ASSEMBLY (1HR cUL U425) (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING - (FIREGUARD)
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W3a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W3b EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 90mm (3 1/2") CFS STUD FRAMING @ 406mm (16") O.C
 - LAYER OF 75mm (3") SPRAY APPLIED R-20 - 2LB DENSITY SPRAY FOAM INSULATION or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W5 EXTERIOR TERRACE/BALCONY WALL ASSEMBLY**
- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)
 - 25mm (1") AIR SPACE
 - BRICK TIES
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 200mm (8") POURED CONCRETE CURB (SEE ELEVATIONS FOR HEIGHT)
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - BRICK TIES
 - 25mm (1") AIR SPACE
 - 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)

EXTERIOR WALL ASSEMBLY SCHEDULE CONT'D

INTERIOR WALL ASSEMBLY SCHEDULE

INTERIOR FIRE SEPERATION WALL ASSEMBLY SCHEDULE

iW2 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 55) (ULC W423/CUL 425)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW3 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 60) (ULC W423)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL ONE SIDE @ MAX 610mm (24") O.C
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW6 1HR SUITE/CORRIDOR DEMISING WALL ASSEMBLY (STC54)(ULC U423)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
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- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW7 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(CUL U420 / ULC W454)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY - 25mm (1") AIR SPACE
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW7a 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(CUL U420)

- SIMILAR TO iW7 WITH DIMISING WALLS ALIGNED W/ COLUMN

LINTACK ARCHITECTS
 INCORPORATED
 244 JAMES STREET SOUTH, HAMILTON, ONTARIO, L8P 3B3
 T: 905.522.6165 • F: 905.522.2209 • E: info@lincor.com
 www.lincor.com

FOR DESIGN REVIEW

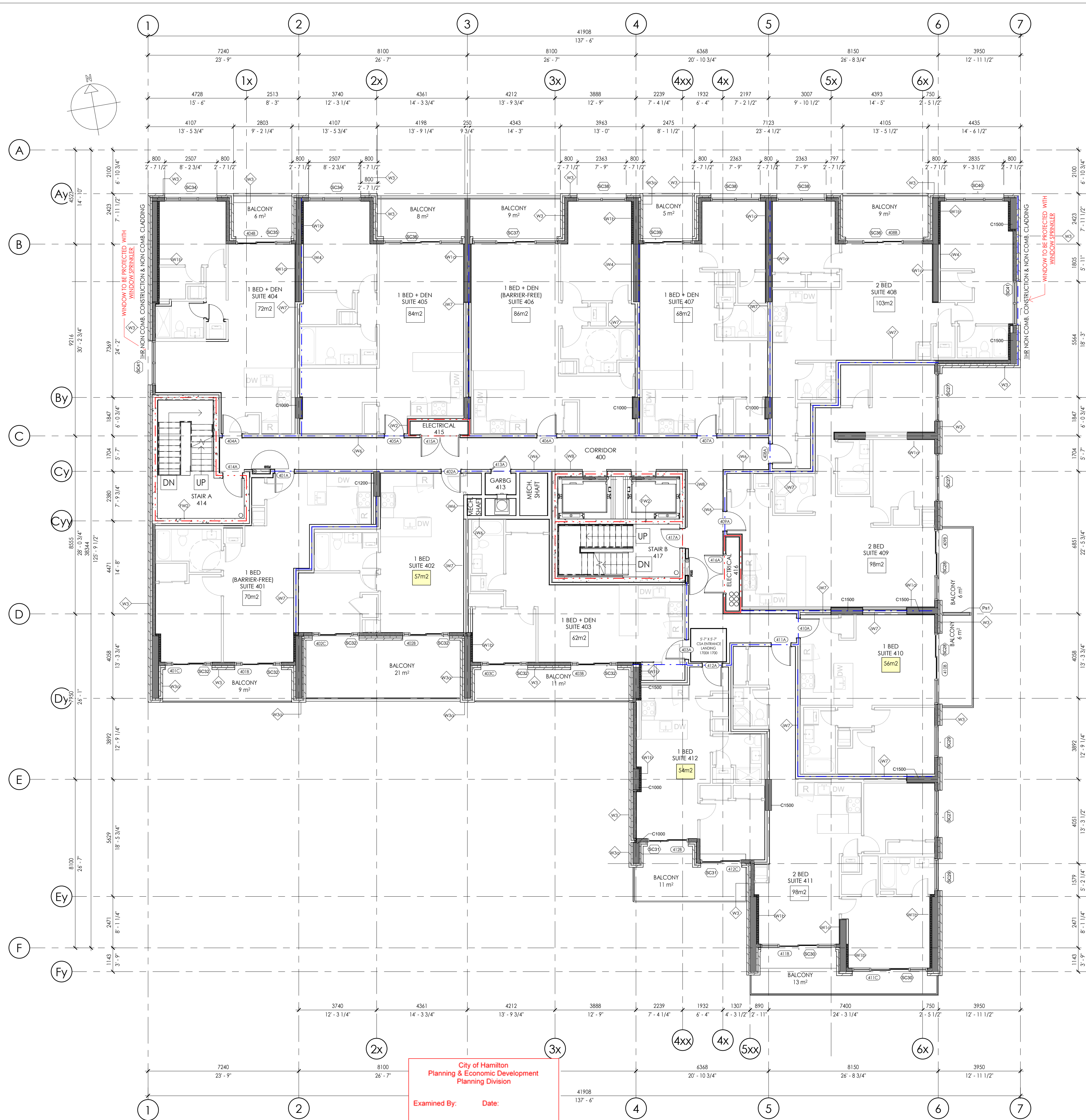
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NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
 Proposed 9 Storey Mixed Use
 Development
 16 - 22 King Street East, Dundas,
 Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	THIRD FLOOR PLAN
dwg.	A1.03



City of Hamilton
 Planning & Economic Development
 Planning Division
 Examined By: *Liam Tapp*
 Date: _____
 Zoning Only for Director of Planning Division

APPROVED
 By *Liam Tapp* at 2:27 pm, Oct 16, 2024

1 A1.04 - FOURTH FLOOR PLAN
 1 : 100

- EXTERIOR WALL ASSEMBLY SCHEDULE**
- W1 EXTERIOR WALL ASSEMBLY (R13+R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W1a EXTERIOR WALL ASSEMBLY (BRICK @ COLUMN) (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
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 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
- W2 POURED CONCRETE WALL ASSEMBLY (R15ci REQUIRED)**
- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
 - POURED CONCRETE WALL (REFER TO STRUCTURAL)
- W3 EXTERIOR WALL ASSEMBLY (1HR cUL U425) (R13+R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
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 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4 EXTERIOR WALL ASSEMBLY (R13+R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
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 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
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- W4a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
- W5 EXTERIOR TERRACE/BALCONY WALL ASSEMBLY**
- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)
 - 25mm (1") AIR SPACE
 - BRICK TIES
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 200mm (8") POURED CONCRETE CURB (SEE ELEVATIONS FOR HEIGHT)
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - BRICK TIES
 - 25mm (1") AIR SPACE
 - 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)

- EXTERIOR WALL ASSEMBLY SCHEDULE CONT'D**
- INTERIOR WALL ASSEMBLY SCHEDULE**
- INTERIOR FIRE SEPERATION WALL ASSEMBLY SCHEDULE**
- iW2 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 55) (ULC W423/CUL 425)**
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
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 - 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW3 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 60) (ULC W423)**
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - RESILIENT CHANNEL ONE SIDE @ MAX 610mm (24") O.C
 - (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW6 1HR SUITE/CORRIDOR DEMISING WALL ASSEMBLY (STC54)(ULC U423)**
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
 - (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW7 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(CUL U420 / ULC W454)**
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
 - 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY - 25mm (1") AIR SPACE
 - 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 90mm (3 1/2") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
 - (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW7a 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(CUL U420)**
- SIMILAR TO iW7 WITH DIMISING WALLS ALIGNED W/ COLUMN

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FOR DESIGN REVIEW

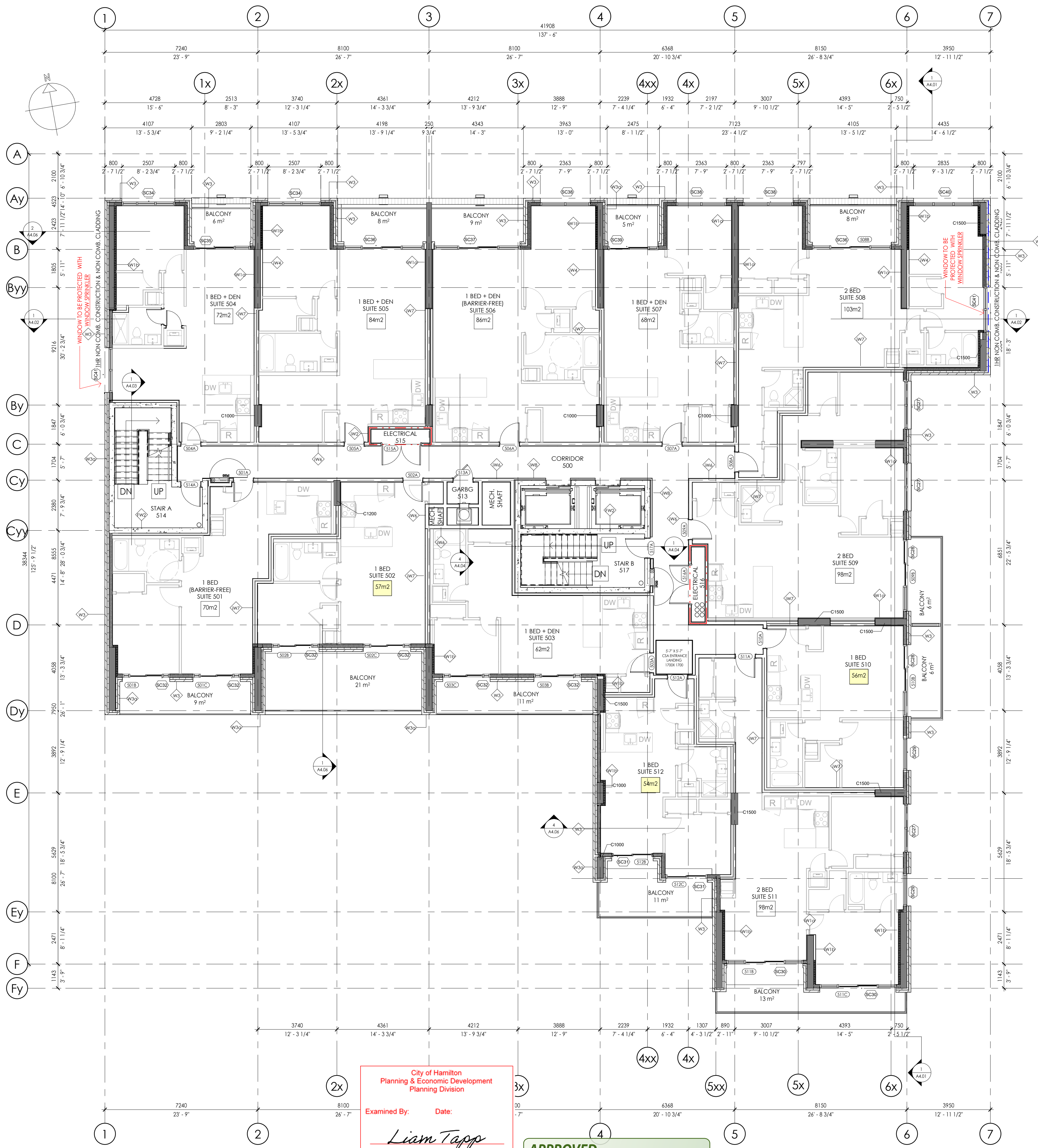
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6	Reff Foundation Coordination	11/10/2023
7	Issued for Coordination	19/10/2023

NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
 Proposed 9 Storey Mixed Use
 Development
 16 - 22 King Street East, Dundas,
 Ontario

job no. 23.028
 dwg. by A.K
 scale As indicated
 proj. date JAN 2024
 dwg. title FOURTH FLOOR PLAN
 dwg. A1.04



City of Hamilton
Planning & Economic Development
Planning Division
Examined By: *Liam Tapp*
Date: _____
Zoning Only for Director of Planning Division

APPROVED
By *Liam Tapp* at 2:27 pm, Oct 16, 2024

A1.05 - FIFTH FLOOR PLAN
1 : 100

EXTERIOR WALL ASSEMBLY SCHEDULE

- W1 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W1a EXTERIOR WALL ASSEMBLY (BRICK @ COLUMN) (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
- W2 POURED CONCRETE WALL ASSEMBLY (R15ci REQUIRED)**
- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
 - POURED CONCRETE WALL (REFER TO STRUCTURAL)
- W3 EXTERIOR WALL ASSEMBLY (1HR cUL U425) (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 12.7mm (1/2") DENSE GLASS SHEATHING (-FIREGUARD)
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W3a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
- W3b EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 90mm (3 1/2") CFS STUD FRAMING @ 406mm (16") O.C
 - LAYER OF 75mm (3") SPRAY APPLIED R-20 - 2LB DENSITY SPRAY FOAM INSULATION or A/E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
- W5 EXTERIOR TERRACE/BALCONY WALL ASSEMBLY**
- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)
 - 25mm (1") AIR SPACE
 - BRICK TIES
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 200mm (8") POURED CONCRETE CURB (SEE ELEVATIONS FOR HEIGHT)
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - BRICK TIES
 - 25mm (1") AIR SPACE
 - 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)

EXTERIOR WALL ASSEMBLY SCHEDULE CONT'D

INTERIOR WALL ASSEMBLY SCHEDULE

INTERIOR FIRE SEPERATION WALL ASSEMBLY SCHEDULE

iW2 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 55) (ULC W423/CUL 425)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW3 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 60) (ULC W423)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL ONE SIDE @ MAX 610mm (24") O.C
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW6 1HR SUITE/CORRIDOR DEMISING WALL ASSEMBLY (STC54)(ULC U423)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW7 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(CUL U420 / ULC W454)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- 25mm (1") AIR SPACE
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW7a 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(CUL U420)

- SIMILAR TO iW7 WITH DIMISING WALLS ALIGNED W/ COLUMN

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FOR DESIGN REVIEW

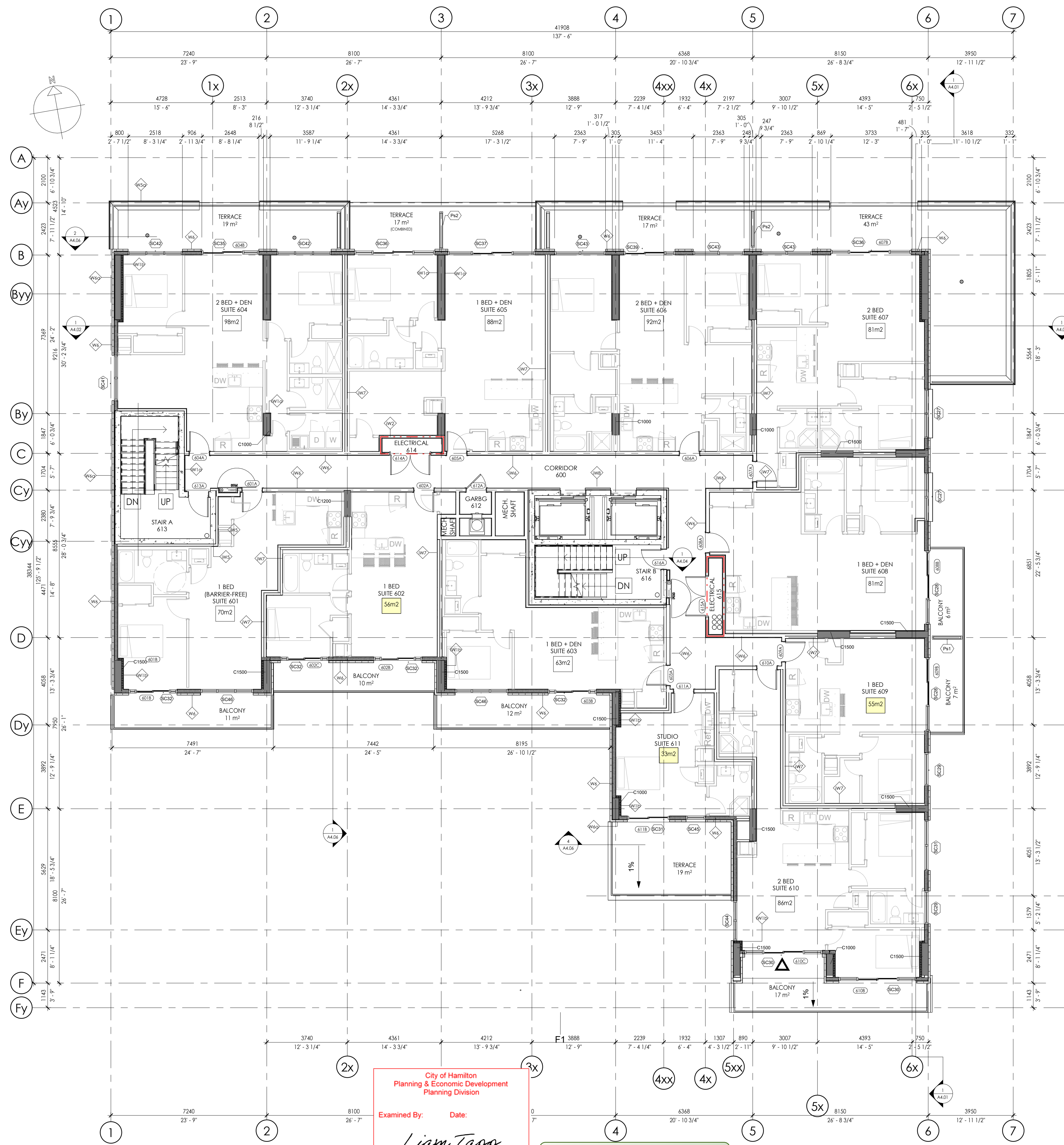
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6	Refr Foundation Coordination	11/10/2023
7	Issued for Coordination	19/10/2023

NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
Proposed 9 Storey Mixed Use
Development
16 - 22 King Street East, Dundas,
Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	FIFTH FLOOR PLAN
dwg.	A1.05



City of Hamilton
 Planning & Economic Development
 Planning Division
 Examined By: *Liam Tapp* Date: _____
 Zoning Only for Director of Planning Division

APPROVED
 By *Liam Tapp* at 2:27 pm, Oct 16, 2024

1 A1.06 - SIXTH FLOOR PLAN
 1: 100

EXTERIOR WALL ASSEMBLY SCHEDULE

- W1 EXTERIOR WALL ASSEMBLY (R13 + R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W1a EXTERIOR WALL ASSEMBLY (BRICK @ COLUMN) (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
- W2 POURED CONCRETE WALL ASSEMBLY (R15ci REQUIRED)**
- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
 - POURED CONCRETE WALL (REFER TO STRUCTURAL)
- W3 EXTERIOR WALL ASSEMBLY (1HR cUL U425) (R13 + R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 12.7mm (1/2") DENSE GLASS SHEATHING - (FIREGUARD)
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W3a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
- W3b EXTERIOR WALL ASSEMBLY (R13 + R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 90mm (3 1/2") CFS STUD FRAMING @ 406mm (16") O.C
 - LAYER OF 75mm (3") SPRAY APPLIED R-20 - 2LB DENSITY SPRAY FOAM INSULATION or A/E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4 EXTERIOR WALL ASSEMBLY (R13 + R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.1 GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.1 GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
- W5 EXTERIOR TERRACE/BALCONY WALL ASSEMBLY**
- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)
 - 25mm (1") AIR SPACE
 - BRICK TIES
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - 200mm (8") POURED CONCRETE CURB (SEE ELEVATIONS FOR HEIGHT)
 - BLUE SKIN AIR & MOISTURE BARRIER or A/E
 - BRICK TIES
 - 25mm (1") AIR SPACE
 - 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)

EXTERIOR WALL ASSEMBLY SCHEDULE CONT'D

INTERIOR WALL ASSEMBLY SCHEDULE

INTERIOR FIRE SEPERATION WALL ASSEMBLY SCHEDULE

- iW2 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 55) (ULC W423/cUL 425)**
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW3 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 60) (ULC W423)**
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - RESILIENT CHANNEL ONE SIDE @ MAX 610mm (24") O.C
 - (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW6 1HR SUITE/CORRIDOR DEMISING WALL ASSEMBLY (STC54) (ULC U423)**
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
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 - (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW7 1HR SUITE DEMISING WALL ASSEMBLY (STC55) (CUL U420 / ULC W454)**
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
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- iW7a 1HR SUITE DEMISING WALL ASSEMBLY (STC55) (CUL U420)**
- SIMILAR TO iW7 WITH DIMISING WALLS ALIGNED W/ COLUMN

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FOR DESIGN REVIEW

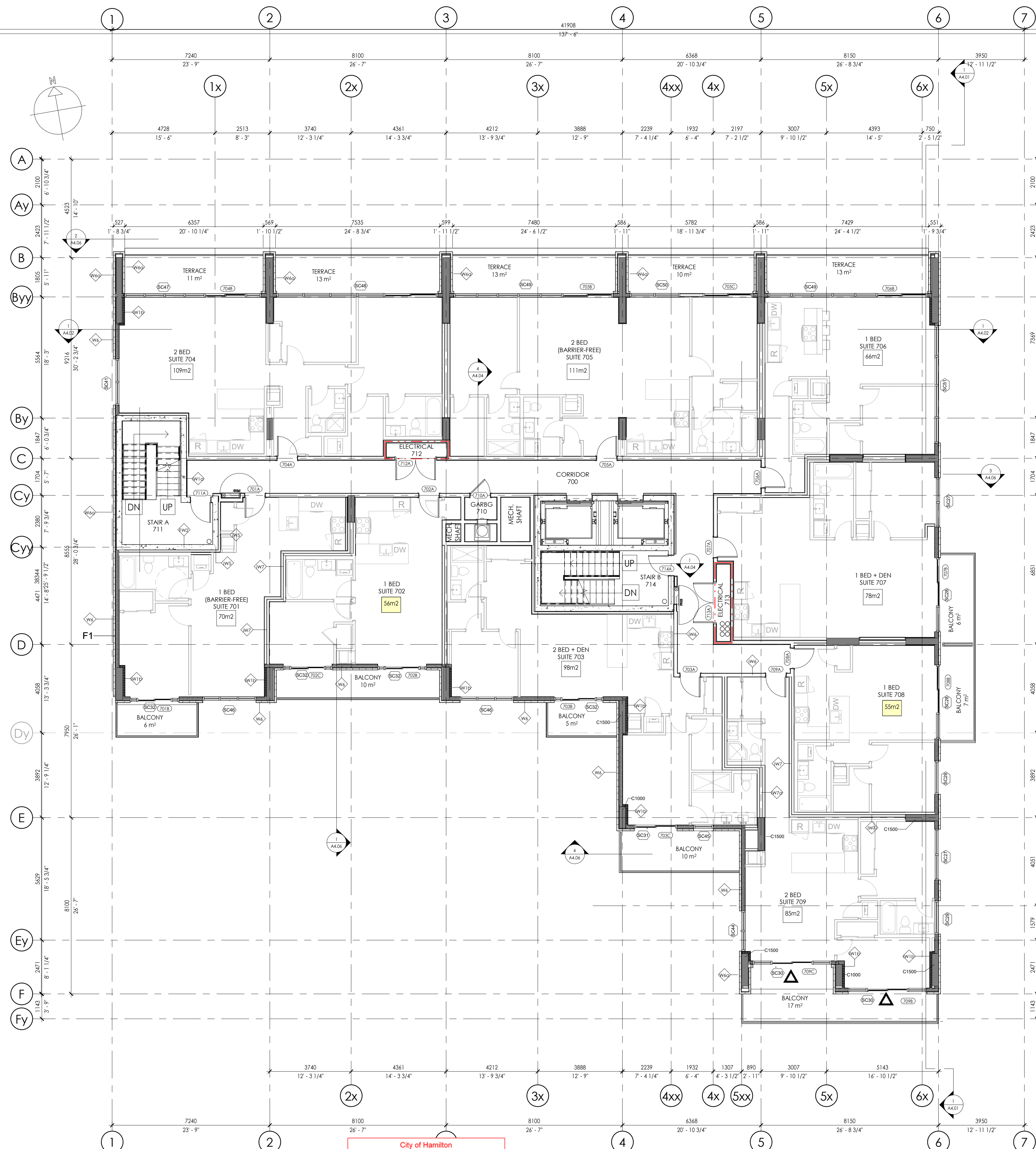
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5	Issued for Planning	01/09/2023
6	Revised Foundation Coordination	11/10/2023
7	Issued for Coordination	19/10/2023
8	Issued for Design Review	11/01/2024
9	Issued for MV	25/01/2024

NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
 Proposed 9 Storey Mixed Use
 Development
 16 - 22 King Street East, Dundas,
 Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	SIXTH FLOOR PLAN
dwg.	A1.06



1 A1.07 - SEVENTH FLOOR PLAN
1 : 100

City of Hamilton
Planning & Economic Development
Planning Division
Examined By: Liam Tapp Date: _____
Zoning Only for Director of Planning Division

APPROVED
By Liam Tapp at 2:27 pm, Oct 16, 2024

EXTERIOR WALL ASSEMBLY SCHEDULE

W1 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)

- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
- 25mm (1") AIR SPACE
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- 12.7mm (1/2") DENSE GLASS SHEATHING
- 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
- (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
- 6 MIL. POLY VAPOR BARRIER
- 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)

W1a EXTERIOR WALL ASSEMBLY (BRICK @ COLUMN) (R12ci REQUIRED)

- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
- 25mm (1") AIR SPACE
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
- BLUE SKIN AIR & MOISTURE BARRIER or A/E

W2 POURED CONCRETE WALL ASSEMBLY (R15ci REQUIRED)

- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
- POURED CONCRETE WALL (REFER TO STRUCTURAL)

W3 EXTERIOR WALL ASSEMBLY (1HR cUL U425) (R13 +R12ci REQUIRED)

- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
- 25mm (1") AIR SPACE
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- THERMAL WING NUT ANCHOR BRICK TIE
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- 12.7mm (1/2") DENSE GLASS SHEATHING - (FIREGUARD)
- 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
- (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
- 6 MIL. POLY VAPOR BARRIER
- 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)

W3a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)

- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
- 25mm (1") AIR SPACE
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- THERMAL WING NUT ANCHOR BRICK TIE
- BLUE SKIN AIR & MOISTURE BARRIER or A/E

W3b EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)

- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
- 25mm (1") AIR SPACE
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- THERMAL WING NUT ANCHOR BRICK TIE
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- 90mm (3 1/2") CFS STUD FRAMING @ 406mm (16") O.C
- LAYER OF 75mm (3") SPRAY APPLIED R-20 - 2LB DENSITY SPRAY FOAM INSULATION or A/E
- 6 MIL. POLY VAPOR BARRIER
- 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)

W4 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)

- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- 12.7mm (1/2") DENSE GLASS SHEATHING
- 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
- (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
- 6 MIL. POLY VAPOR BARRIER
- 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)

W4a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)

- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
- BLUE SKIN AIR & MOISTURE BARRIER or A/E

W5 EXTERIOR TERRACE/BALCONY WALL ASSEMBLY

- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)
- 25mm (1") AIR SPACE
- BRICK TIES
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- 200mm (8") POURED CONCRETE CURB (SEE ELEVATIONS FOR HEIGHT)
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- BRICK TIES
- 25mm (1") AIR SPACE
- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)

EXTERIOR WALL ASSEMBLY SCHEDULE CONT'D

INTERIOR WALL ASSEMBLY SCHEDULE

INTERIOR FIRE SEPERATION WALL ASSEMBLY SCHEDULE

iW2 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 55) (ULC W423/CUL 425)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW3 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 60) (ULC W423)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL ONE SIDE @ MAX 610mm (24") O.C
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW6 1HR SUITE/CORRIDOR DEMISING WALL ASSEMBLY (STC54)(ULC U423)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW7 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(CUL U420 / ULC W454)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY - 25mm (1") AIR SPACE
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW7a 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(CUL U420)

- SIMILAR TO iW7 WITH DIMISING WALLS ALIGNED W/ COLUMN

FOR DESIGN REVIEW

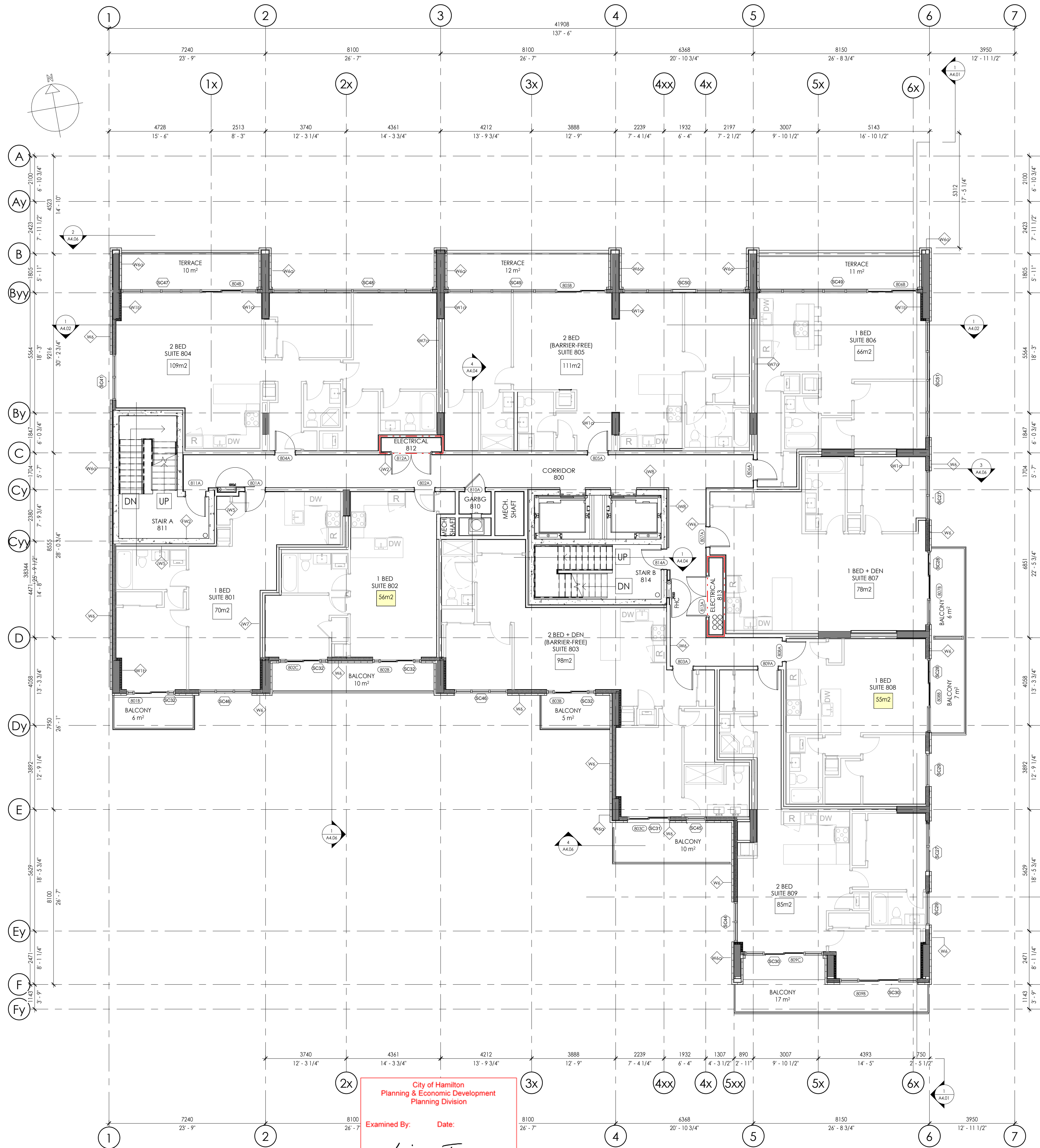
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No.	Issues / Revisions	Date
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4	Issued for Zoning	02/06/2023
5	Issued for Planning	01/09/2023
6	Revised Foundation Coordination	11/10/2023
7	Issued for Construction	19/10/2023
8	Issued for Design Review	11/01/2024
9	Issued for MV	25/01/2024

NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
Proposed 9 Storey Mixed Use
Development
16 - 22 King Street East, Dundas,
Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	SEVENTH FLOOR PLAN
dwg.	A1.07



1 A1.08 - EIGHTH FLOOR PLAN
1 : 100

City of Hamilton
Planning & Economic Development
Planning Division
Examined By: *Liam Tapp*
Date: _____
Zoning Only for Director of Planning Division

APPROVED
By *Liam Tapp* at 2:27 pm, Oct 16, 2024

EXTERIOR WALL ASSEMBLY SCHEDULE

- W1 EXTERIOR WALL ASSEMBLY (R13+R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W1a EXTERIOR WALL ASSEMBLY (BRICK @ COLUMN) (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W2 POURED CONCRETE WALL ASSEMBLY (R15ci REQUIRED)**
- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
 - POURED CONCRETE WALL (REFER TO STRUCTURAL)
- W3 EXTERIOR WALL ASSEMBLY (1HR cUL U425) (R13+R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING - (FIREGUARD)
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W3a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W3b EXTERIOR WALL ASSEMBLY (R13+R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 90mm (3 1/2") CFS STUD FRAMING @ 406mm (16") O.C
 - LAYER OF 75mm (3") SPRAY APPLIED R-20 - 2LB DENSITY SPRAY FOAM INSULATION or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4 EXTERIOR WALL ASSEMBLY (R13+R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W5 EXTERIOR TERRACE/BALCONY WALL ASSEMBLY**
- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)
 - 25mm (1") AIR SPACE
 - BRICK TIES
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 200mm (8") POURED CONCRETE CURB (SEE ELEVATIONS FOR HEIGHT)
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - BRICK TIES
 - 25mm (1") AIR SPACE
 - 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)

EXTERIOR WALL ASSEMBLY SCHEDULE CONT'D

INTERIOR WALL ASSEMBLY SCHEDULE

INTERIOR FIRE SEPERATION WALL ASSEMBLY SCHEDULE

- iW2 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 55) (ULC W423/cUL 425)**
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW3 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 60) (ULC W423)**
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - RESILIENT CHANNEL ONE SIDE @ MAX 610mm (24") O.C
 - (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW6 1HR SUITE/CORRIDOR DEMISING WALL ASSEMBLY (STC54)(ULC U423)**
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
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 - RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
 - (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW7 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(cUL U420 / ULC W454)**
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
 - 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
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 - 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
 - (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW7a 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(cUL U420)**
- SIMILAR TO iW7 WITH DIMISING WALLS ALIGNED W/ COLUMN

LINTACK ARCHITECTS
INCORPORATED
244 JAMES STREET SOUTH, HAMILTON, ONTARIO, L8P 3B3
T: 905.522.6165 • E: info@lntack.com
www.lntack.com

FOR DESIGN REVIEW

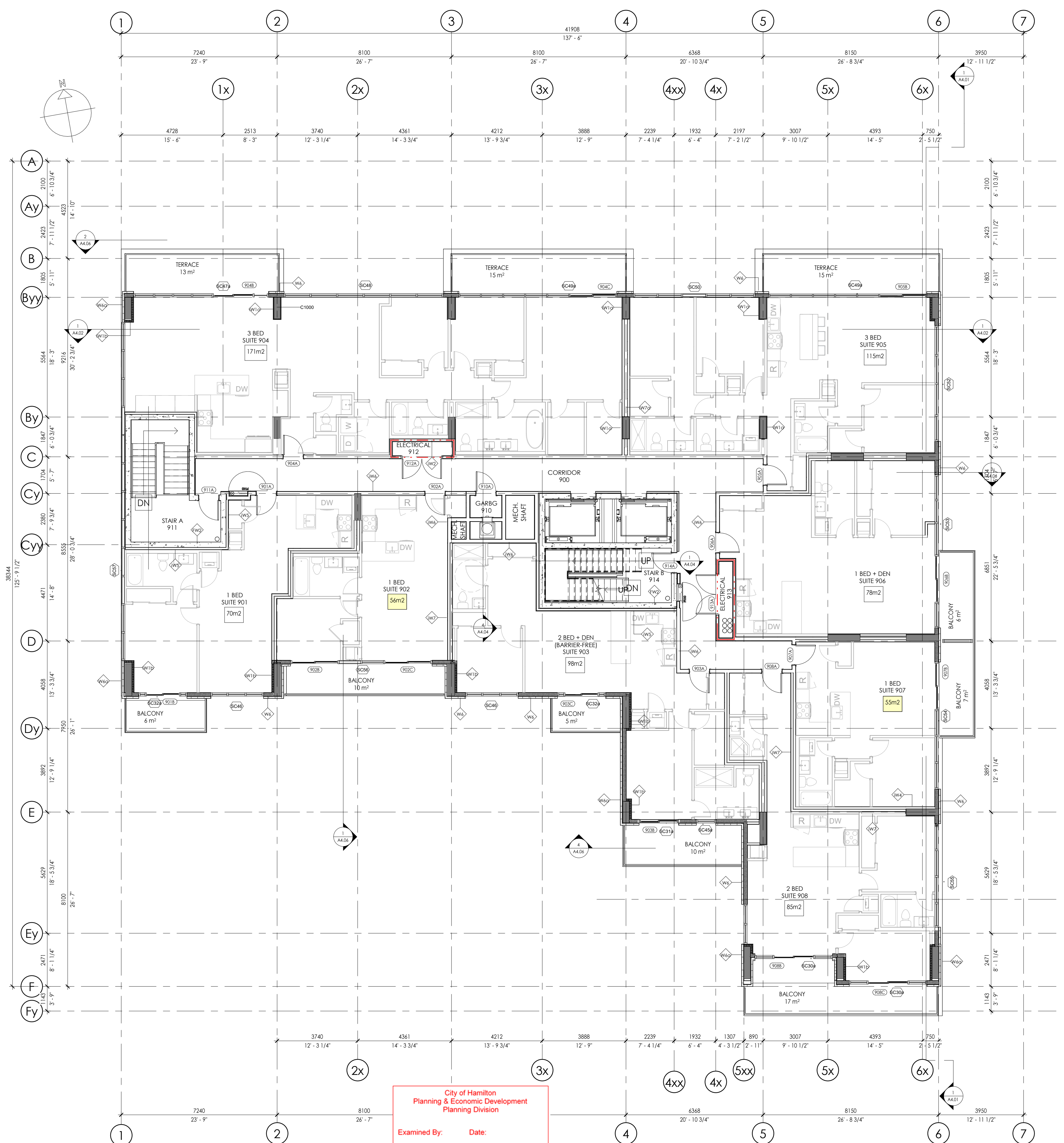
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7	Issued for Coordination	19/10/2023
8	Issued for Design Review	11/01/2024
9	Issued for MV	25/01/2024

NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
Proposed 9 Storey Mixed Use
Development
16 - 22 King Street East, Dundas,
Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	EIGHTH FLOOR PLAN
dwg.	A1.08



City of Hamilton
 Planning & Economic Development
 Planning Division
 Examined By: *Liam Tapp*
 Date: _____
 Zoning Only for Director of Planning Division

APPROVED
 By *Liam Tapp* at 2:27 pm, Oct 16, 2024

1 A1.09 - NINTH FLOOR PLAN
 1 : 100

EXTERIOR WALL ASSEMBLY SCHEDULE

W1 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)

- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
- 25mm (1") AIR SPACE
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- 12.7mm (1/2") DENSE GLASS SHEATHING
- 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
- (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
- 6 MIL. POLY VAPOR BARRIER
- 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)

W1a EXTERIOR WALL ASSEMBLY (BRICK @ COLUMN) (R12ci REQUIRED)

- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
- 25mm (1") AIR SPACE
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
- BLUE SKIN AIR & MOISTURE BARRIER or A/E

W2 POURED CONCRETE WALL ASSEMBLY (R15ci REQUIRED)

- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
- POURED CONCRETE WALL (REFER TO STRUCTURAL)

W3 EXTERIOR WALL ASSEMBLY (1HR cUL U425) (R13 +R12ci REQUIRED)

- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
- 25mm (1") AIR SPACE
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- THERMAL WING NUT ANCHOR BRICK TIE
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- 12.7mm (1/2") DENSE GLASS SHEATHING - (FIREGUARD)
- 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
- (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
- 6 MIL. POLY VAPOR BARRIER
- 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)

W3a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)

- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
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- BLUE SKIN AIR & MOISTURE BARRIER or A/E

W3b EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)

- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
- 25mm (1") AIR SPACE
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- THERMAL WING NUT ANCHOR BRICK TIE
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- 12.7mm (1/2") DENSE GLASS SHEATHING
- 90mm (3 1/2") CFS STUD FRAMING @ 406mm (16") O.C
- LAYER OF 75mm (3") SPRAY APPLIED R-20 - 2LB DENSITY SPRAY FOAM INSULATION or A/E
- 6 MIL. POLY VAPOR BARRIER
- 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)

W4 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)

- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- 12.7mm (1/2") DENSE GLASS SHEATHING
- 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
- (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A/E
- 6 MIL. POLY VAPOR BARRIER
- 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)

W4a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)

- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
- 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
- c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
- BLUE SKIN AIR & MOISTURE BARRIER or A/E

W5 EXTERIOR TERRACE/BALCONY WALL ASSEMBLY

- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)
- 25mm (1") AIR SPACE
- BRICK TIES
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- 200mm (8") POURED CONCRETE CURB (SEE ELEVATIONS FOR HEIGHT)
- BLUE SKIN AIR & MOISTURE BARRIER or A/E
- BRICK TIES
- 25mm (1") AIR SPACE
- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)

EXTERIOR WALL ASSEMBLY SCHEDULE CONT'D

INTERIOR WALL ASSEMBLY SCHEDULE

INTERIOR FIRE SEPERATION WALL ASSEMBLY SCHEDULE

iW2 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 55) (ULC W423/CUL 425)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW3 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 60) (ULC W423)

- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL ONE SIDE @ MAX 610mm (24") O.C
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW6 1HR SUITE/CORRIDOR DEMISING WALL ASSEMBLY (STC54)(ULC U423)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW7 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(CUL U420 / ULC W454)

- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY - 25mm (1") AIR SPACE
- 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
- 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
- RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)

iW7a 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(CUL U420)

- SIMILAR TO iW7 WITH DIMISING WALLS ALIGNED W/ COLUMN

LINTACK ARCHITECTS
 INCORPORATED
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 T: 905.522.6165 • F: 905.522.2209 • E: info@lincoc.com
 www.lincoc.com

FOR DESIGN REVIEW

This drawing must not be scaled.
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No.	Issues / Revisions	Date
1	Issued for City Review	27/04/2023
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6	Revised Foundation Coordination	11/10/2023
7	Issued for Coordination	19/10/2023
8	Issued for Design Review	11/01/2024
9	Issued for MV	25/01/2024

NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
 Proposed 9 Storey Mixed Use
 Development
 16 - 22 King Street East, Dundas,
 Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	NINTH FLOOR PLAN
dwg.	A1.09

EXTERIOR MATERIAL LEGEND			
A	BRICK VENEER - COLOUR: RED	G	HIGH QUALITY CONCRETE FINISH
B	BRICK VENEER - COLOUR: CHARCOAL	H	SPANDREL PANEL
C	GLASS GUARD w/ ANODIZED ALUM. FRAME	I	ILLUMINATED SIGNAGE - UNDER SEPARATE PERMIT
D	THERMALLY BROKEN DOUBLE GLAZED WINDOW & DOORS	J	PRE-CAST CONCRETE SILL w/ POSITIVE SLOPE
E	PREFINISHED ALUMINUM COMPOSITE PANEL (BLACK)	K	ELEVATOR PENTHOUSE
F	PREFINISHED ALUMINUM COMPOSITE PANEL (WHITE)	L	MECHANICAL VENTILATION SCREEN
		M	PARKING VENTILATION SCREEN

NOTE:
 • MECHANICAL ROOF TOP UNITS SHALL BE CONCEALED BY LOUVERED SCREEN
 • STORAGE SHALL NOT EXCEED PAVED PROPERTY LINE.
 • ELEVATOR & MECHANICAL PENTHOUSE NOT INCLUDED IN BUILDING HEIGHT.

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 www.lintack.com

FOR SPA
 ONTARIO ASSOCIATION
 OF ARCHITECTS
 Richard F. Lintack
 LICENCE 4148

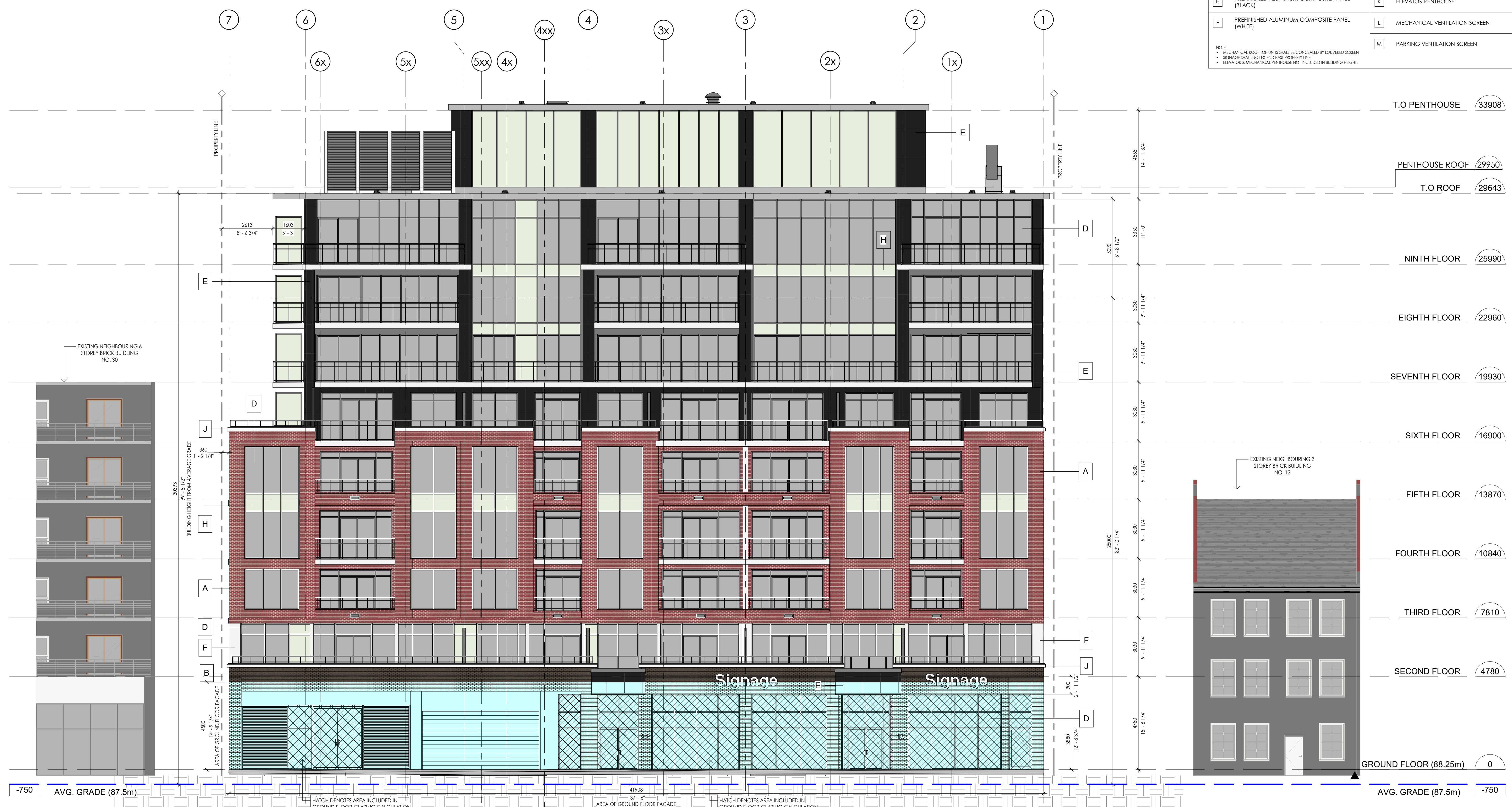
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 Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	NORTH ELEVATION
dwg.	A2.01



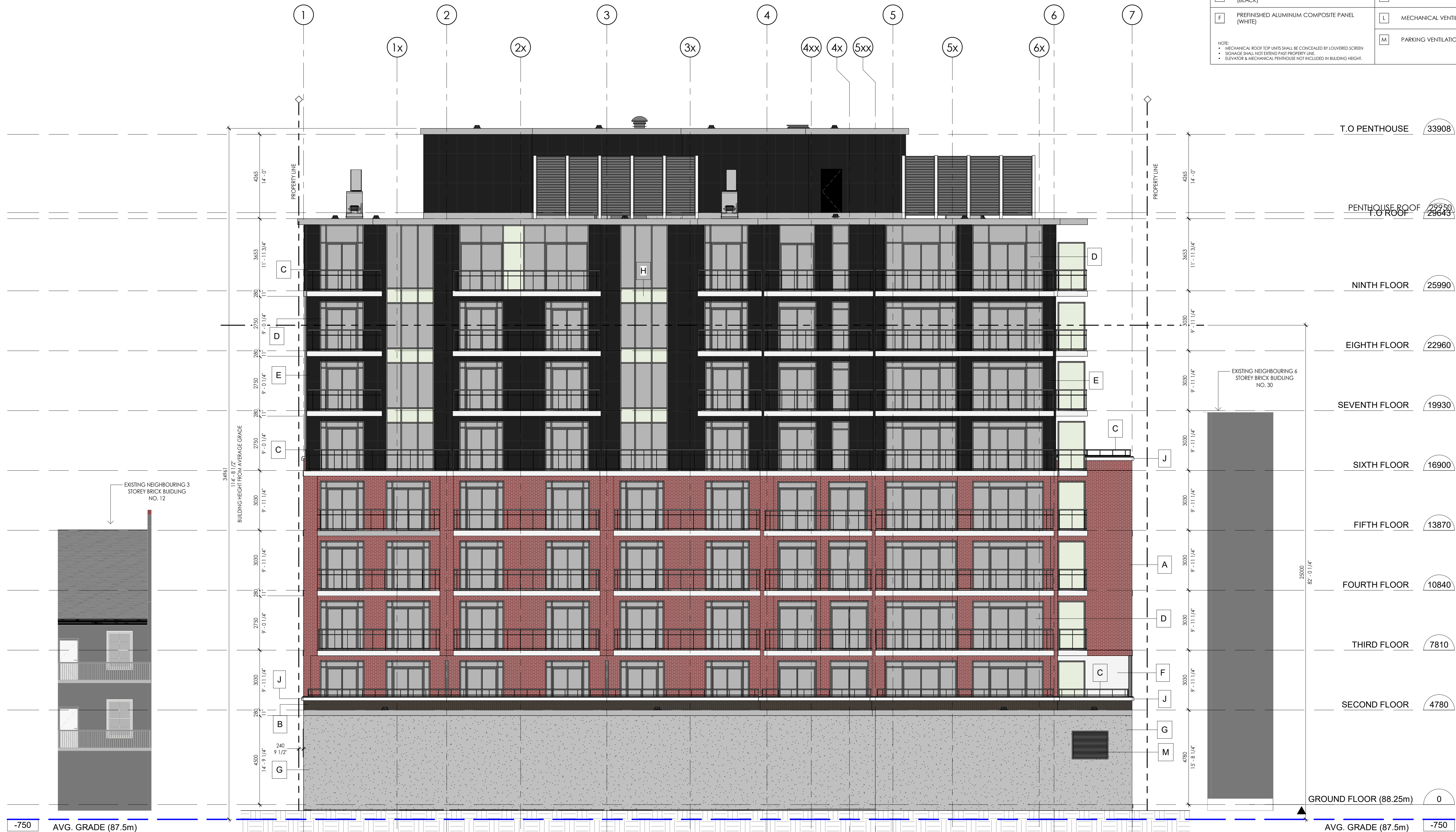
-750 AVG. GRADE (87.5m) 41950 127'-5" AREA OF GROUND FLOOR FAÇADE HATCH DENOTES AREA INCLUDED IN GROUND FLOOR GLAZING CALCULATION 4780 15'-8 1/4" 3880 12'-8 3/4" 900 2'-11 1/2" D J F B A H J D E D H A J E D T.O. PENTHOUSE 33908 PENTHOUSE ROOF 29950 T.O. ROOF 29643 NINTH FLOOR 25990 EIGHTH FLOOR 22960 SEVENTH FLOOR 19930 SIXTH FLOOR 16900 FIFTH FLOOR 13870 FOURTH FLOOR 10840 THIRD FLOOR 7810 SECOND FLOOR 4780 GROUND FLOOR (88.25m) 0 AVG. GRADE (87.5m) -750

T.O. SLAB -3200 T.O. RAFT -3950 U/S FOOTING -5150

1 A2.01 - NORTH (FRONT)
 1 : 100

City of Hamilton
 Planning & Economic Development
 Planning Division
 Examined By: Liam Tapp Date: _____
 Zoning Only for Director of Planning Division

APPROVED
 By Liam Tapp at 2:27 pm, Oct 16, 2024



EXTERIOR MATERIAL LEGEND			
A	BRICK VENEER - COLOUR: RED	G	HIGH QUALITY CONCRETE FINISH
B	BRICK VENEER - COLOUR: CHARCOAL	H	SPANDREL PANEL
C	GLASS GUARD w/ ANODIZED ALUMIN. FRAME	I	ILLUMINATED SIGNAGE - UNDER SEPARATE PERMIT
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10	Issued for SPA	26/01/2024

NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
 Proposed 9 Storey Mixed Use
 Development
 16 - 22 King Street East, Dundas,
 Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	SOUTH ELEVATION
dwg.	A2.02

-750	AVG. GRADE (87.5m)	AVG. GRADE (87.5m)	-750
		T.O SLAB	-3200
		T.O RAFT	-3950
		U/S FOOTING	-5150

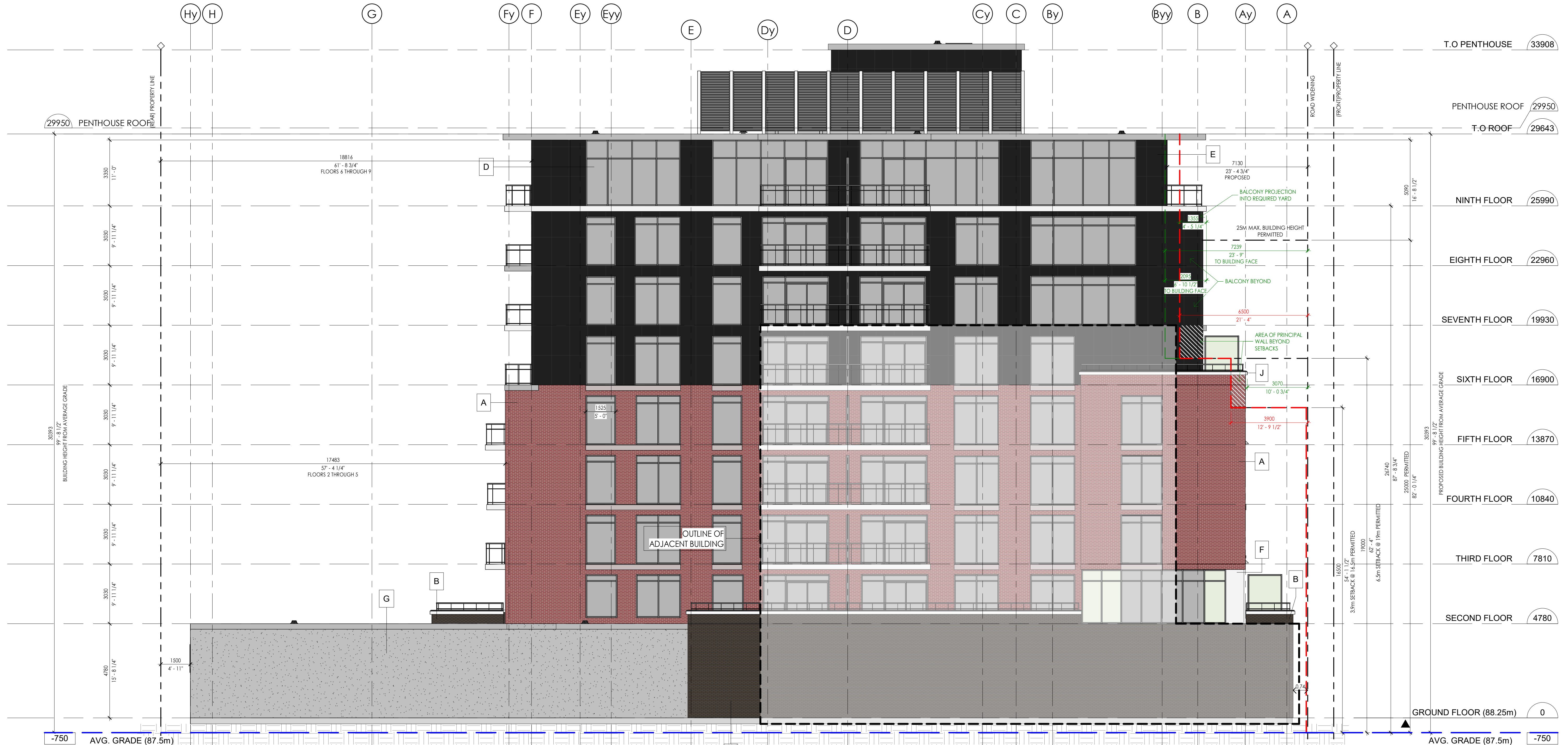
City of Hamilton
 Planning & Economic Development
 Planning Division
 Examined By: Liam Tapp Date: _____
 Zoning Only for Director of Planning Division

APPROVED
 By Liam Tapp at 2:27 pm, Oct 16, 2024

1 A2.02 - SOUTH (REAR)
 1 : 100

EXTERIOR MATERIAL LEGEND			
A	BRICK VENEER - COLOUR: RED	G	HIGH QUALITY CONCRETE FINISH
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C	GLASS GUARD w/ ANODIZED ALUMIN. FRAME	I	ILLUMINATED SIGNAGE - UNDER SEPARATE PERMIT
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F	PREFINISHED ALUMINUM COMPOSITE PANEL (WHITE)	L	MECHANICAL VENTILATION SCREEN
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FOR SPA
 ONTARIO ASSOCIATION
 OF ARCHITECTS
 RICHARD F. LINTACK
 LICENCE 4148

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Dundas Valley Condo
 Proposed 9 Storey Mixed Use
 Development
 16 - 22 King Street East, Dundas,
 Ontario

job no. 23.028
 dwg. by A.K
 scale As indicated
 proj. date JAN 2024
 dwg. title EAST ELEVATION
 dwg. A2.03

City of Hamilton
 Planning & Economic Development
 Planning Division
 Examined By: Liam Tapp Date: _____
 Zoning Only for Director of Planning Division

APPROVED
 By Liam Tapp at 2:27 pm, Oct 16, 2024

1 A2.03 - EAST (LEFT)
 1 : 100

EXTERIOR MATERIAL LEGEND			
A	BRICK VENEER - COLOUR: RED	G	HIGH QUALITY CONCRETE FINISH
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C	GLASS GUARD w/ ANODIZED ALUMIN. FRAME	I	ILLUMINATED SIGNAGE - UNDER SEPARATE PERMIT
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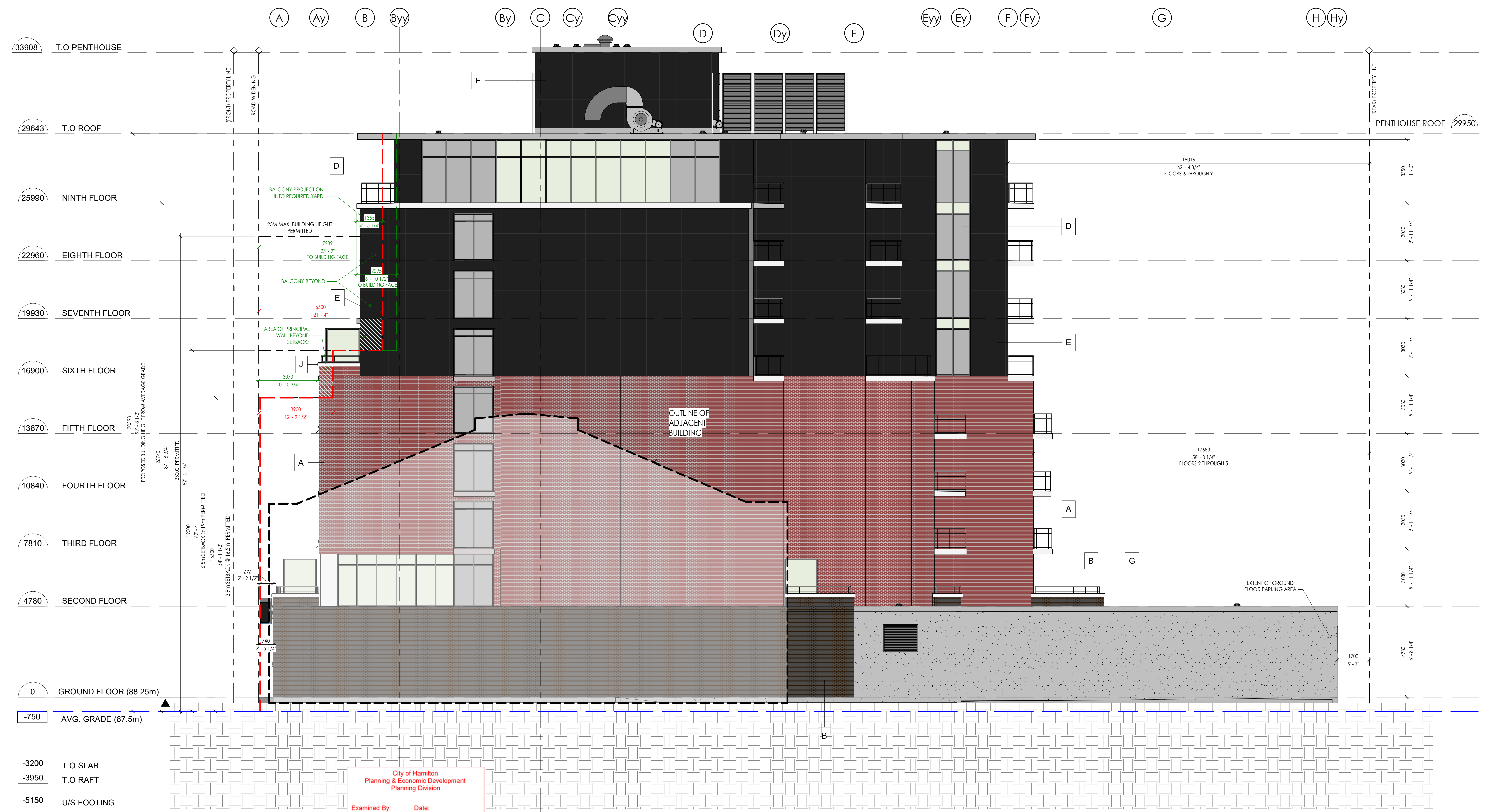
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NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
 Proposed 9 Storey Mixed Use
 Development
 16 - 22 King Street East, Dundas,
 Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	WEST ELEVATION
dwg.	A2.04



-3200	T.O SLAB
-3950	T.O RAFT
-5150	U/S FOOTING

City of Hamilton
 Planning & Economic Development
 Planning Division
 Examined By: _____ Date: _____
Liam Tapp
 Zoning Only for Director of Planning Division

APPROVED
 By Liam Tapp at 2:27 pm, Oct 16, 2024

1 A2.04 - WEST (RIGHT)
 1 : 100

Undertaking
 FILE# DA-18-077
 16-22 King Street East, Dundas Ontario

I, (We) _____, the owner(s) of the land, hereby undertake and agree without reservation, (a) to comply with all the content of this plan and drawing and not to vary therefrom;

(b) to perform the facilities, works or matters mentioned in Section 41(7)(a) of The Planning Act shown on this plan and drawing on or before _____;

(c) to maintain to the satisfaction of the City and at my (our) sole risk and expense, all of the facilities, works or matters mentioned in Section 41(7)(b) of the said Act, shown in this plan and drawing, including removal of snow from access ramps and driveways, parking and loading areas and walkways; and;

(d) in the event that the Owner does not comply with the plan dated _____, the owner agrees that the City may enter the land and do the required works, and further the Owner authorizes the City to use the security filed to obtain compliance with this plan.

(e) "Caution: Notwithstanding current surface conditions, the property has been determined to be an area of archeological potential. Although an archeological assessment is not required by the City of Hamilton, the proponent is cautioned that during development activities, should deeply buried archeological materials be found on the property the Ontario Ministry of Tourism, Culture and Sport (MTCSS) should be notified immediately (416.314.7143). In the event that human remains are encountered during construction, the proponent should immediately contact both MTCSS and the Registrar or Deputy Registrar of the Cemeteries Regulation Unit of the Ministry of Small Business and Consumer Services (416.326.8392)"

(f) That the Owner agrees to include any noise warning clauses on title and in all offers and agreements of purchase and sale or lease for all residential units.

(g) That the Owner agrees to establish any noise mitigation measures identified in the required Environmental Noise Study.

(h) That the Owner agrees to affix the physical municipal number to the building in a manner that is visible from the street, or a sign at the front entrance with either the municipal number or full address.

(i) That the Owner submit to the Legislative Approvals section of Growth Management, a final unit numbering list indicating the unit numbers that will be assigned to each unit on each floor of the building.

(j) That the Owner agrees to coordinate address with staff from the Growth Planning Section.

(k) Canada Post's multi-unit policy, which requires that the Owner/developer provide the centralized mail facility (Lock Box Assembly) at their own expenses (less than 100 units will require a front loading Lock Box Assembly & more than 100 units will require a rear loading Lock Box Assembly which will require a mail room) will be in effect for buildings and complexes with a common lobby, common indoor or sheltered space.

(l) That the Owner agrees to include on all offers of purchase and sale, a settlement that advises the prospective purchasers:
 i. That the home/business mail delivery will be from a designated Centralized Mail Box.
 ii. That the developer/owners be responsible for officially notifying the purchasers of the exact Centralized Mail Box locations prior to the closing of any home sales.

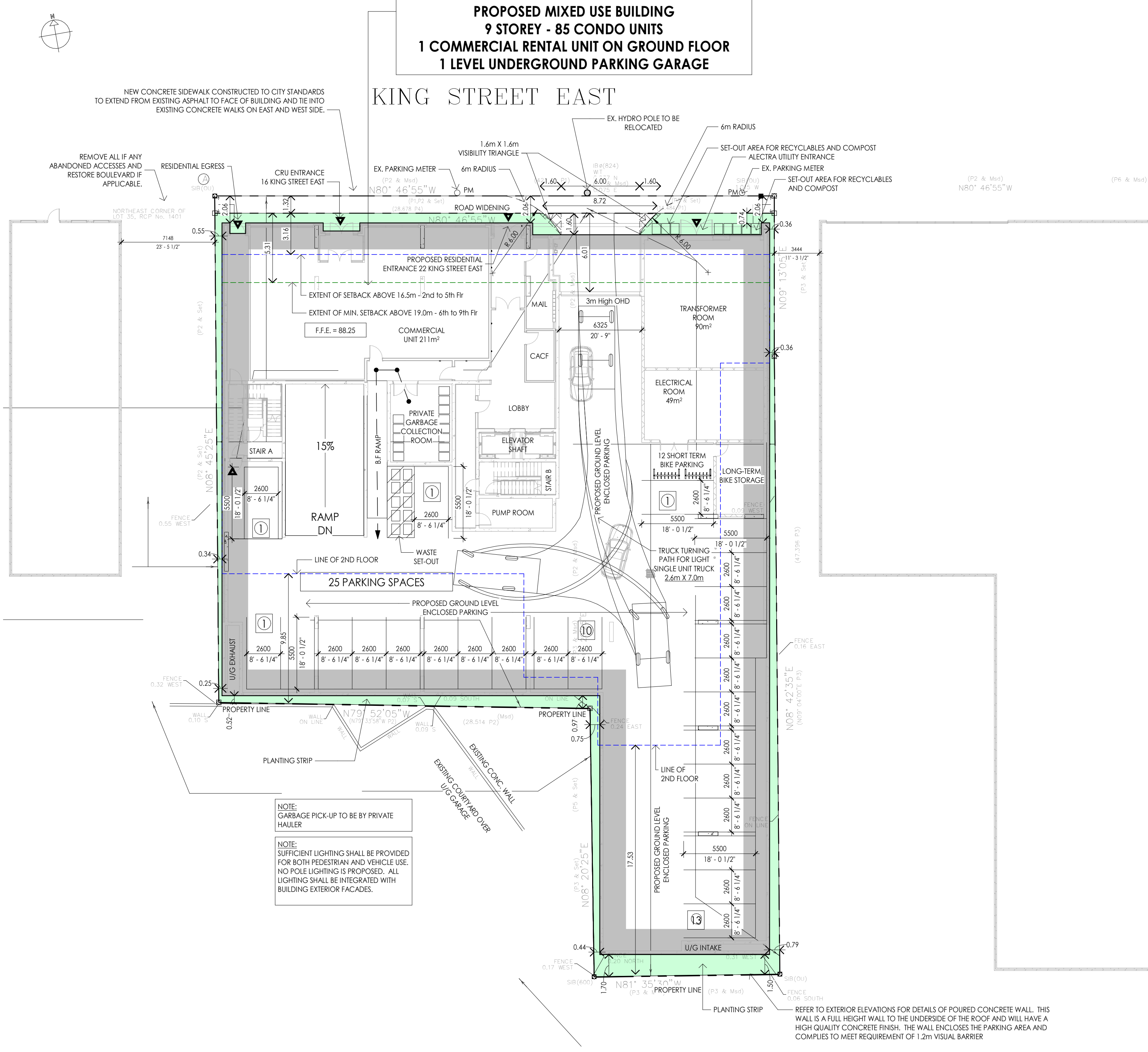
Dated this _____ day of _____, 20____

Witness (signature) _____ Owner(s) (signature) _____ (seal)

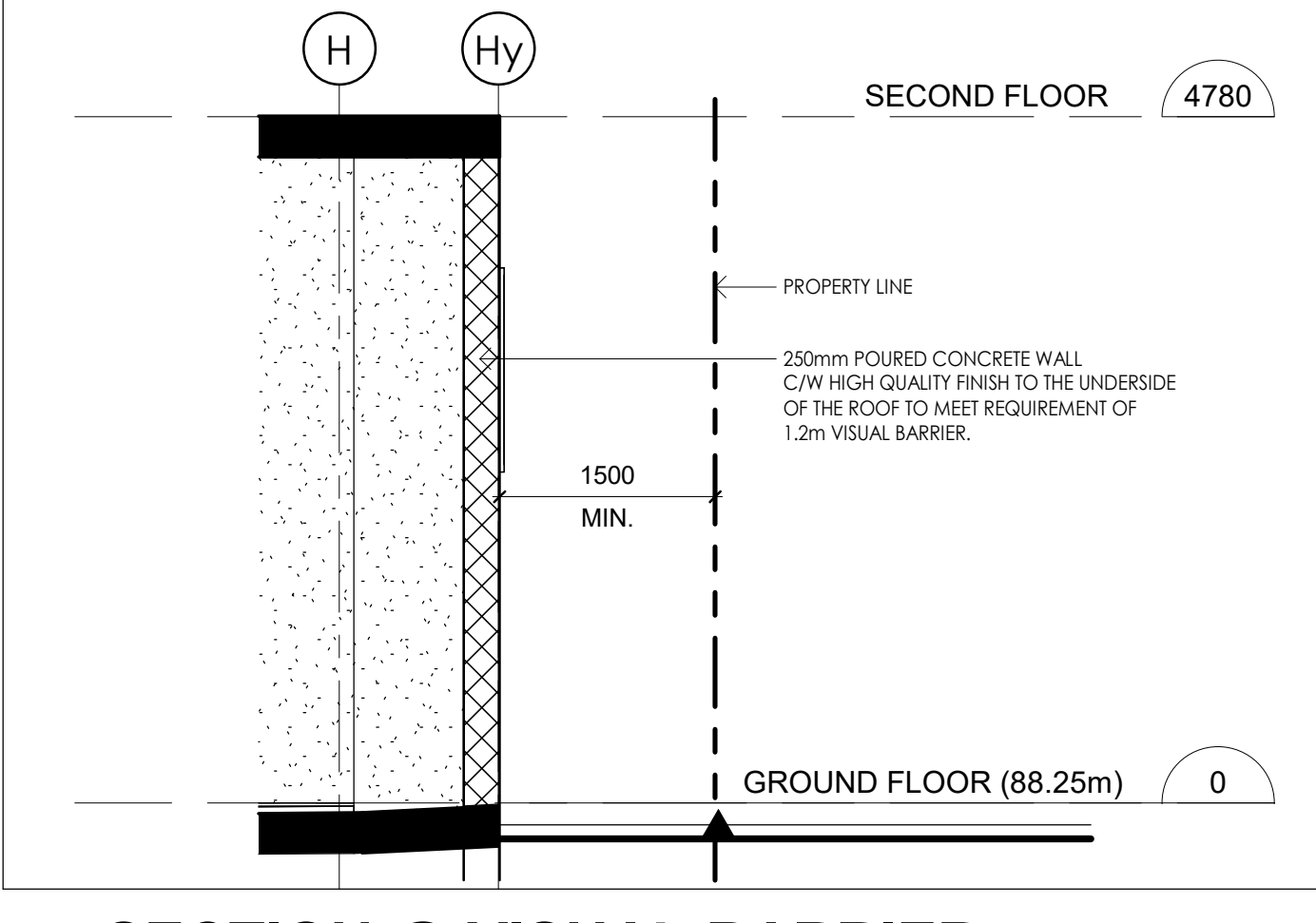
Witness (print) _____ Owner (print) _____

Address of Witness _____

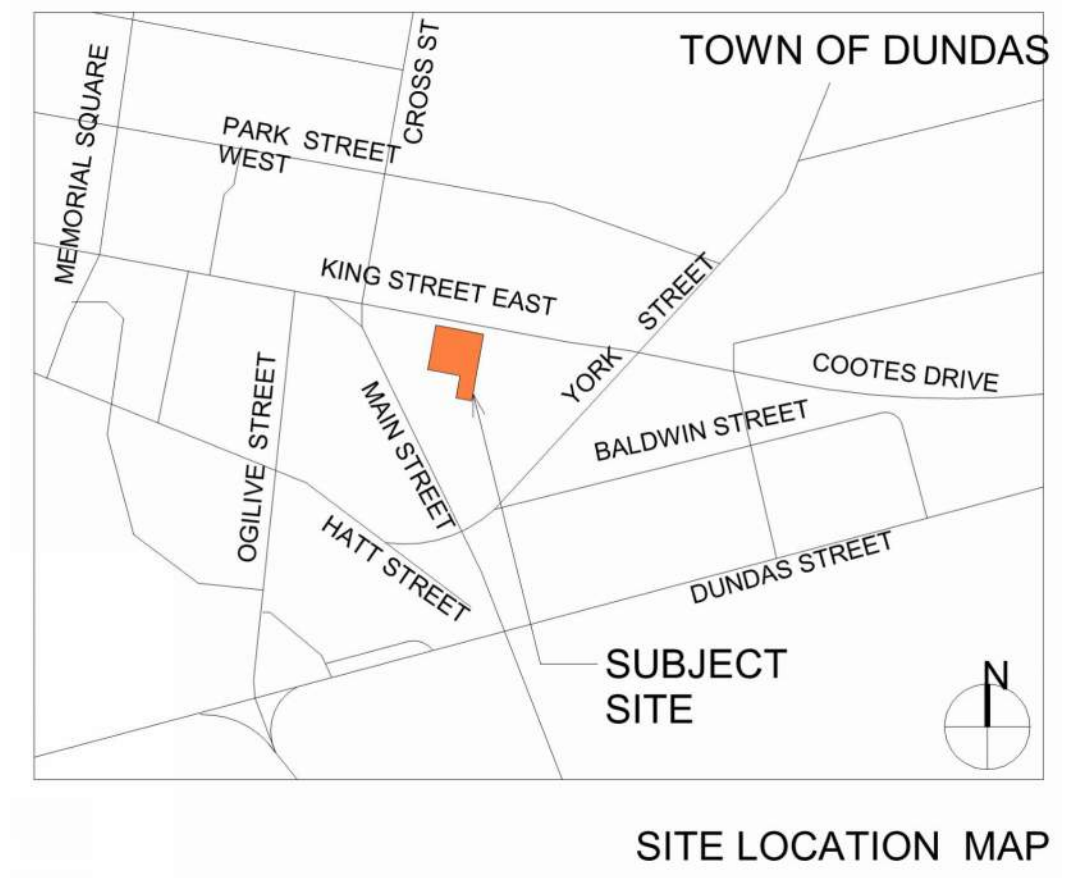
- SITE PLAN NOTES**
- ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNER, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
 - FIRE ROUTE SIGNS AND 3-WAY FIRE HYDRANTS SHALL BE ESTABLISHED TO THE SATISFACTION OF THE CITY FIRE DEPARTMENT AND AT THE EXPENSE OF THE OWNER.
 - THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - ROAD CUT PERMITS
 - APPROACH APPROVAL PERMITS
 - COMMITTEE ADJUSTMENT
 - SEWER AND WATER PERMITS
 - RELOCATION OF SERVICES
 - ENCROACHMENT AGREEMENTS (IF REQUIRED)
 - PROPOSED SIGNAGE SHALL CONFORM TO THE CITY'S SIGN AND OTHER DEVICES BY-LAW NO. 10-197.
 - PROPOSED FENCING SHALL CONFORM TO THE CITY'S FENCE BY-LAW NO. 10-142.
 - THIS PROPERTY IS INELIGIBLE FOR WEEKLY COLLECTION OF GARBAGE, RECYCLING, ORGANICS, AND LEAF AND YARD WASTE THROUGH THE CITY OF HAMILTON.
 - UNION GASS, HYDRO ONE AND ALECTRA UTILITIES MAY HAVE SERVICE LINES RUNNING WITHIN THE AREA WHICH MAY BE AFFECTED BY THE DEVELOPMENT. SHOULD THE SITE PLAN IMPACT THE SERVICES IT MAY BE NECESSARY TO RELOCATE THE LINES, ANY SERVICE RELOCATION WOULD BE AT THE COST OF THE PROPERTY OWNER.
 - MAINTAIN 1.20 METER SEPARATION FROM UTILITY POLES, TREES, FIRE HYDRANTS, FENCES, POLES AND DRIVEWAYS.
 - MAINTAIN 1.50 METER SIDEWALK. ENSURE SIDEWALK IS CONTINUOUS AND UNOBSTRUCTED DURING CONSTRUCTION.



1 SITE PLAN
 1 : 200



2 SECTION @ VISUAL BARRIER
 1 : 50



SITE LOCATION MAP

Site Statistics

Project Address: 16-22 King Street East, Dundas, Ontario
 Property Legal Description: LOTS 33 & 34 & PART OF LOT 3 IN REGISTRAR'S COMPLETED PLAN NO. 1401

General Zoning Information

Zoning Classification: C5a (Exception 555) - Proposed Mixed Use Development

Lot Area:	1,962.9m ² (0.485ac)	Variance Req'd
Lot Area:	1,962.9m ² (0.485ac)	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Road Widening Area:	56.4m ² (0.0139ac)	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Lot Area - Road Widening:	1,906.5m ² (0.471ac)	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N

	Allowable	Proposed	Variance Req'd
Lot Coverage:	97% (1,849.31m ²)	93.9% (1,789.90m ²)	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Front Yard Setback:	0.0m	0.0m	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Setback @ 16.5m Height:	3.9m	4.45m	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Setback @ 19m Height:	6.5m	6.63m	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Rear Yard Setback:	1.00m	1.5m	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Side Yard Setback:	0.16m	0.20m	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Max Building Height Excluding Elevator:	25.0m	29.643m	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
From Gnd Fl FFE:	25.0m	30.393m	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
From Avg. Grade:	25.0m	30.393m	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
Floor Area Break-down:			Variance Req'd
Building Area:		1,789.90m ²	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Minimum floor area per dwelling unit:	BASEMENT FLOOR 103.12m ²		0 Units
Studio dwelling unit = 36m ²	GROUND FLOOR 446.98m ²		0 Units
One bedroom unit = 46m ²	SECOND FLOOR 1,094.28m ²		12 Units
	THIRD FLOOR 1,045.25m ²		12 Units
	FOURTH FLOOR 1,045.25m ²		12 Units
	FIFTH FLOOR 1,045.25m ²		12 Units
	SIXTH FLOOR 929.01m ²		11 Units
	SEVENTH FLOOR 854.35m ²		9 Units
	EIGHTH FLOOR 854.35m ²		9 Units
	NINTH FLOOR 854.35m ²		8 Units
			TOTAL = 85 Units
TOTAL GFA:	7,623m ²	8,272.19m ²	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
COMMERCIAL GFA included in total GFA:	496.3m ²	211m ²	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N
GROUND FLOOR GLAZING: (along King St. W.)	50% of 188.6m ² = 94.3m ²	91.2m ² (48.3%)	<input checked="" type="checkbox"/> Y <input type="checkbox"/> N

Residential Unit Break-down:

FLOOR	UNIT TYPE	SUITES	BARRIER FREE
SECOND FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 1 SUITE UNITS < 60m ² = 2
	1 BED+DEN	5 SUITES	
	2 BEDROOM	3 SUITES	
THIRD FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 2 SUITES UNITS < 60m ² = 3
	1 BED+DEN	5 SUITES	
	2 BEDROOM	3 SUITES	
FOURTH FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 2 SUITES UNITS < 60m ² = 3
	1 BED+DEN	5 SUITES	
	2 BEDROOM	3 SUITES	
FIFTH FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 2 SUITES UNITS < 60m ² = 3
	1 BED+DEN	5 SUITES	
	2 BEDROOM	3 SUITES	
SIXTH FLOOR	1 BEDROOM	3 SUITES	BARRIER FREE = 1 SUITE UNITS < 60m ² = 3
	1 BED+DEN	3 SUITES	
	2 BEDROOM	2 SUITES	
SEVENTH FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 2 SUITES UNITS < 60m ² = 2
	1 BED+DEN	3 SUITES	
	2 BED+DEN	1 SUITE	
EIGHTH FLOOR	1 BEDROOM	4 SUITES	BARRIER FREE = 2 SUITES UNITS < 60m ² = 2
	1 BED+DEN	1 SUITE	
	2 BEDROOM	1 SUITE	
NINTH FLOOR	1 BEDROOM	3 SUITES	BARRIER FREE = 1 SUITE UNITS < 60m ² = 2
	1 BED+DEN	1 SUITE	
	2 BEDROOM	3 SUITES	

	Required	Provided	Variance Req'd
Standard (2.4m x 5.5m)	65 (1 Space per Suite) 6 Spaces/Suites < 60m ²	71	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Barrier Free (4.4m x 5.5m)	2	2	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N

Parking - Commercial

	Required	Provided	Variance Req'd
Standard (2.4m x 5.5m)	0	0	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N
Barrier Free (4.4m x 5.5m)	0	0	<input type="checkbox"/> Y <input checked="" type="checkbox"/> N

THIS SITE PLAN DEVELOPMENT AND ZONING INFORMATION IS BASED ON ZONING BY-LAW 3581 AND ITS AMENDMENT ZAC-12-017 BY TOWN OF DUNDAS, ONTARIO

THIS SITE PLAN IS BASED ON AND MUST BE READ IN CONJUNCTION WITH THE TOPOGRAPHICAL PLAN OF SURVEY PREPARED BY L.G. WOODS SURVEYING INC., 334 HATT ST. DUNDAS, ON - FILE NO. 11-25587 DATED JUL 29th, 2011. LINTACK ARCHITECTS INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION.

LINTACK ARCHITECTS
 INCORPORATED

244 JAMES STREET SOUTH, HAMILTON, ONTARIO, L8P 3B3
 T: 905.522.6165 • F: 905.522.2097 • E: info@lntack.com
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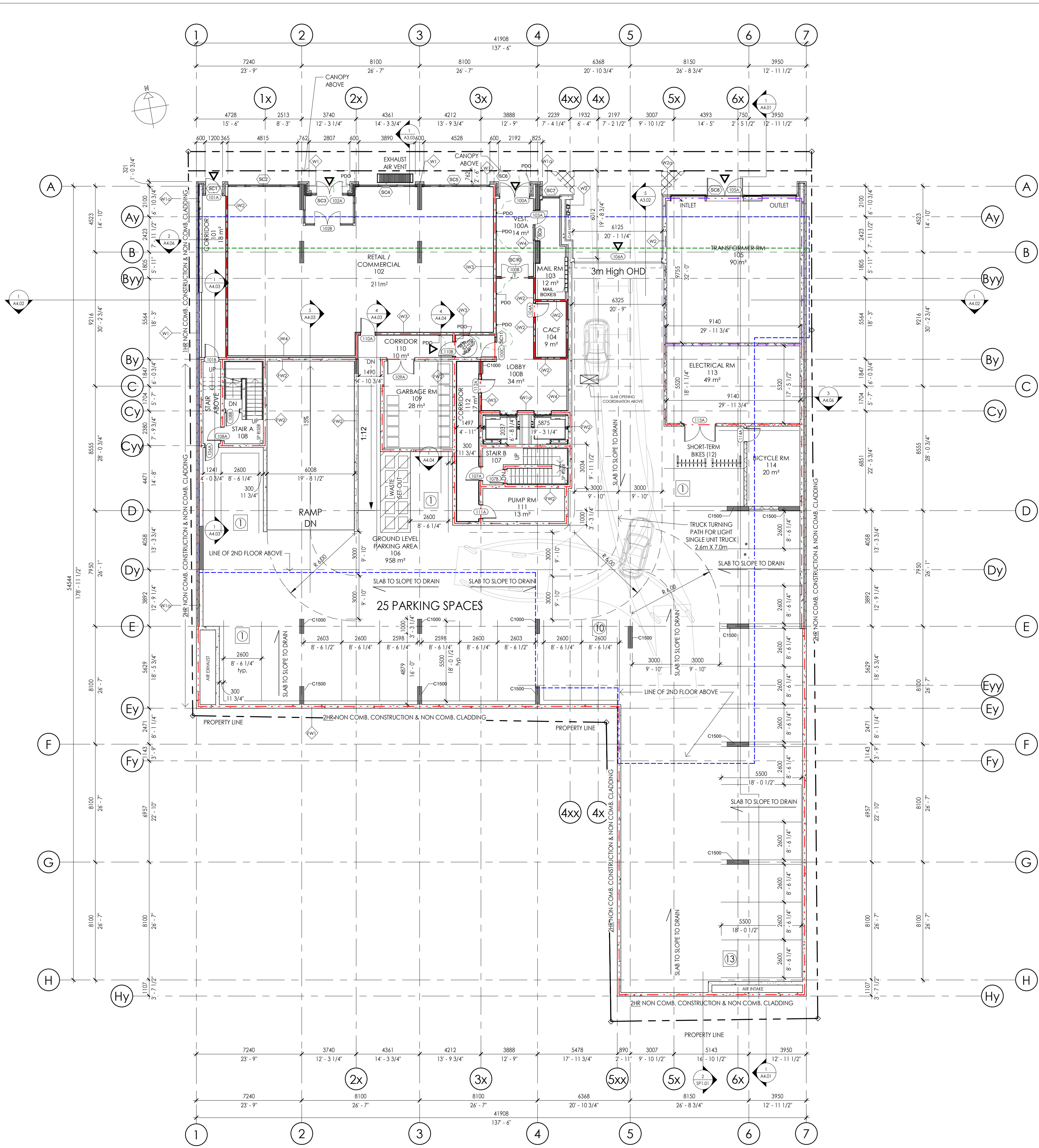
FOR SPA
 ONTARIO ASSOCIATION OF ARCHITECTS
 RICHARD F. LINTACK
 LICENCE 4148

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9	Issued for MV	26/01/2024
10	Issued for SPA	05/09/2024

Dundas Valley Condo
 Proposed 9 Storey Mixed Use
 Development
 16 - 22 King Street East, Dundas,
 Ontario

job no. 23.028
 dwg. by A.K
 scale As indicated
 proj. date JAN 2024
 dwg. title SITE PLAN
 dwg. SP1.01



EXTERIOR WALL ASSEMBLY SCHEDULE

- W1 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W1a EXTERIOR WALL ASSEMBLY (BRICK @ COLUMN) (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: BLACK)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE or APPROVED EQUAL
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W2 POURED CONCRETE WALL ASSEMBLY (R15ci REQUIRED)**
- 3" (R15ci) RIGID INSULATION (CONCRETE FACED INSUL. AT PAVED AREAS)
 - POURED CONCRETE WALL (REFER TO STRUCTURAL)
- W3 EXTERIOR WALL ASSEMBLY (1HR cUL U425) (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING - (FIREGUARD)
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W3a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W3b EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 90mm (3 1/2") BRICK VENEER (COLOUR: RED)
 - 25mm (1") AIR SPACE
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - THERMAL WING NUT ANCHOR BRICK TIE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 90mm (3 1/2") CFS STUD FRAMING @ 406mm (16") O.C
 - LAYER OF 75mm (3") SPRAY APPLIED R-20 - 2LB DENSITY SPRAY FOAM INSULATION or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4 EXTERIOR WALL ASSEMBLY (R13 +R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 12.7mm (1/2") DENSE GLASS SHEATHING
 - 150mm (6") CFS STUD FRAMING @ 406mm (16") O.C
 - (1) LAYER OF 150mm (6") ROCKWOOL R24 - COMFORTBATT INSUL. or A.E
 - 6 MIL. POLY VAPOR BARRIER
 - 12.7mm (1/2") GYPSUM WALL BOARD (TAPED, FILLED, SANDED FOR PRIMER)
- W4a EXTERIOR WALL ASSEMBLY (R12ci REQUIRED)**
- 3mm (1/8") SOBOTEK - ALUCOBOND PLATE PANEL (COLOUR: WHITE)
 - 75mm (3") ROCKWOOL COMFORTBOARD R-12 INSULATION or APPROVED EQUAL
 - c.i GIRT SYSTEM w/ THERMAL STOP ATTACHMENT TO STRUCTURE
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
- W5 EXTERIOR TERRACE/BALCONY WALL ASSEMBLY**
- 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)
 - 25mm (1") AIR SPACE
 - BRICK TIES
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - 200mm (8") POURED CONCRETE CURB (SEE ELEVATIONS FOR HEIGHT)
 - BLUE SKIN AIR & MOISTURE BARRIER or A.E
 - BRICK TIES
 - 25mm (1") AIR SPACE
 - 90mm (3 1/2") BRICK VENEER (COLOUR: PER ELEVATIONS)

EXTERIOR WALL ASSEMBLY SCHEDULE CONT'D

INTERIOR WALL ASSEMBLY SCHEDULE

INTERIOR FIRE SEPERATION WALL ASSEMBLY SCHEDULE

- iW2 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 55) (ULC W423/cUL 425)**
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW3 2 HR INTERIOR NON L.B WALL ASSEMBLY (STC 60) (ULC W423)**
- (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - RESILIENT CHANNEL ONE SIDE @ MAX 610mm (24") O.C
 - (2) LAYERS OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW6 1HR SUITE/CORRIDOR DEMISING WALL ASSEMBLY (STC54)(ULC U423)**
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - 150mm (5 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 125mm (5") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
 - (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW7 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(cUL U420 / ULC W454)**
- (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
 - RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
 - 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY - 25mm (1") AIR SPACE
 - 90mm (3 1/2") CFS STUD FRAMING @ 400mm (16") O/C
 - 75mm (3") SOUND & FIRE - MINERAL WOOL BATT TO FILL CAVITY
 - RESILIENT CHANNEL CORRIDOR SIDE @ MAX 610mm (24") O.C
 - (1) LAYER OF 15.9mm (5/8") THICK TYPE 'X' GYPSUM BOARD (TAPED, FILLED, SANDED, PRIMED AND PAINTED)
- iW7a 1HR SUITE DEMISING WALL ASSEMBLY (STC55)(cUL U420)**
- SIMILAR TO IW7 WITH DEMISING WALLS ALIGNED W/ COLUMN

1 A1.01 - GROUND FLOOR PLAN
1 : 150

LINTACK ARCHITECTS
INCORPORATED
244 JAMES STREET SOUTH, HAMILTON, ONTARIO, L8P 3B3
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FOR DESIGN REVIEW

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NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
Proposed 9 Storey Mixed Use
Development
16 - 22 King Street East, Dundas,
Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	GROUND FLOOR PLAN
dwg.	A1.01



EXTERIOR MATERIAL LEGEND			
A	BRICK VENEER - COLOUR: RED	G	HIGH QUALITY CONCRETE FINISH
B	BRICK VENEER - COLOUR: CHARCOAL	H	SPANDREL PANEL
C	GLASS GUARD w/ ANODIZED ALUM. FRAME	I	ILLUMINATED SIGNAGE - UNDER SEPARATE PERMIT
D	THERMALLY BROKEN DOUBLE GLAZED WINDOW & DOORS	J	PRE-CAST CONCRETE SILL w/ POSITIVE SLOPE
E	PREFINISHED ALUMINUM COMPOSITE PANEL (BLACK)	K	ELEVATOR PENTHOUSE
F	PREFINISHED ALUMINUM COMPOSITE PANEL (WHITE)	L	MECHANICAL VENTILATION SCREEN
		M	PARKING VENTILATION SCREEN

NOTE:
 • MECHANICAL ROOF TOP UNITS SHALL BE CONCEALED BY LOUVERED SCREEN
 • STORAGE SHALL NOT EXCEED PASSEY PROPERTY LINE.
 • ELEVATOR & MECHANICAL PENTHOUSE NOT INCLUDED IN BUILDING HEIGHT.

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FOR SPA
 ONTARIO ASSOCIATION
 OF ARCHITECTS
 Richard F. Lintack
 LICENCE 4148

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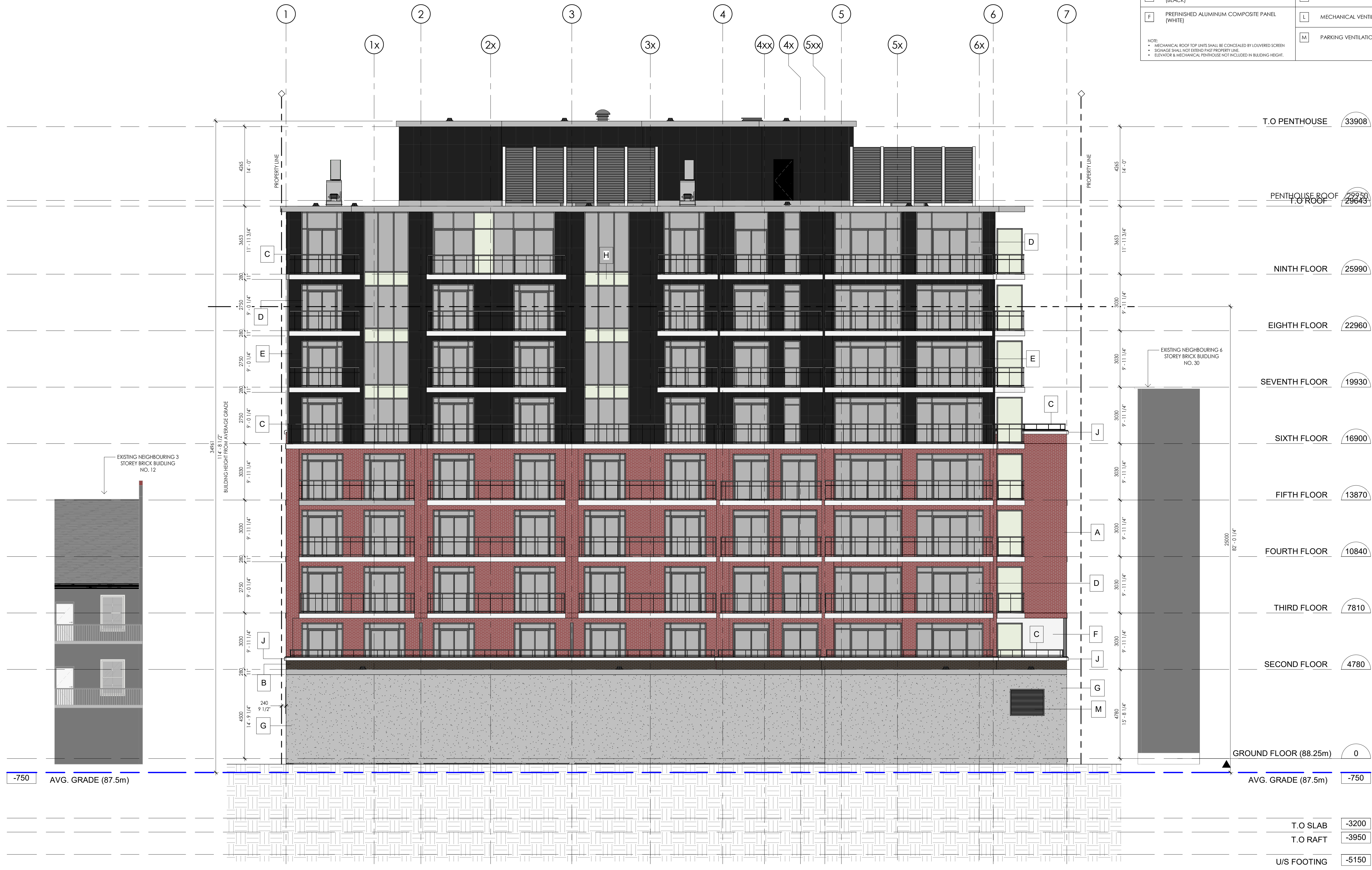
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job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	NORTH ELEVATION

dwg. **A2.01**

1 A2.01 - NORTH (FRONT)
 1 : 100



EXTERIOR MATERIAL LEGEND			
A	BRICK VENEER - COLOUR: RED	G	HIGH QUALITY CONCRETE FINISH
B	BRICK VENEER - COLOUR: CHARCOAL	H	SPANDREL PANEL
C	GLASS GUARD w/ ANODIZED ALUMIN. FRAME	I	ILLUMINATED SIGNAGE - UNDER SEPARATE PERMIT
D	THERMALLY BROKEN DOUBLE GLAZED WINDOW & DOORS	J	PRE-CAST CONCRETE SILL w/ POSITIVE SLOPE
E	PREFINISHED ALUMINUM COMPOSITE PANEL (BLACK)	K	ELEVATOR PENTHOUSE
F	PREFINISHED ALUMINUM COMPOSITE PANEL (WHITE)	L	MECHANICAL VENTILATION SCREEN
		M	PARKING VENTILATION SCREEN

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8	Issued for Construction	11/01/2024
9	Issued for AMV	25/01/2024
10	Issued for SPA	26/01/2024

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job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	SOUTH ELEVATION

dwg. **A2.02**

1 A2.02 - SOUTH (REAR)
 1 : 100

EXTERIOR MATERIAL LEGEND			
A	BRICK VENEER - COLOUR: RED	G	HIGH QUALITY CONCRETE FINISH
B	BRICK VENEER - COLOUR: CHARCOAL	H	SPANDREL PANEL
C	GLASS GUARD w/ ANODIZED ALUMIN. FRAME	I	ILLUMINATED SIGNAGE - UNDER SEPARATE PERMIT
D	THERMALLY BROKEN DOUBLE GLAZED WINDOW & DOORS	J	PRE-CAST CONCRETE SILL w/ POSITIVE SLOPE
E	PREFINISHED ALUMINUM COMPOSITE PANEL (BLACK)	K	ELEVATOR PENHOUSE
F	PREFINISHED ALUMINUM COMPOSITE PANEL (WHITE)	L	MECHANICAL VENTILATION SCREEN
		M	PARKING VENTILATION SCREEN

NOTE:
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FOR SPA
 ONTARIO ASSOCIATION
 OF ARCHITECTS
 RICHARD F. LINTACK
 LICENCE 4148

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job no. 23.028
 dwg. by A.K
 scale As indicated
 proj. date JAN 2024
 dwg. title EAST ELEVATION

dwg. A2.03

1 A2.03 - EAST (LEFT)
 1 : 100

T.O SLAB	-3200
T.O RAFT	-3950
US FOOTING	-5150

EXTERIOR MATERIAL LEGEND			
A	BRICK VENEER - COLOUR: RED	G	HIGH QUALITY CONCRETE FINISH
B	BRICK VENEER - COLOUR: CHARCOAL	H	SPANDREL PANEL
C	GLASS GUARD w/ ANODIZED ALUMIN. FRAME	I	ILLUMINATED SIGNAGE - UNDER SEPARATE PERMIT
D	THERMALLY BROKEN DOUBLE GLAZED WINDOW & DOORS	J	PRE-CAST CONCRETE SILL w/ POSITIVE SLOPE
E	PREFINISHED ALUMINUM COMPOSITE PANEL (BLACK)	K	ELEVATOR PENTHOUSE
F	PREFINISHED ALUMINUM COMPOSITE PANEL (WHITE)	L	MECHANICAL VENTILATION SCREEN
		M	PARKING VENTILATION SCREEN

NOTE:
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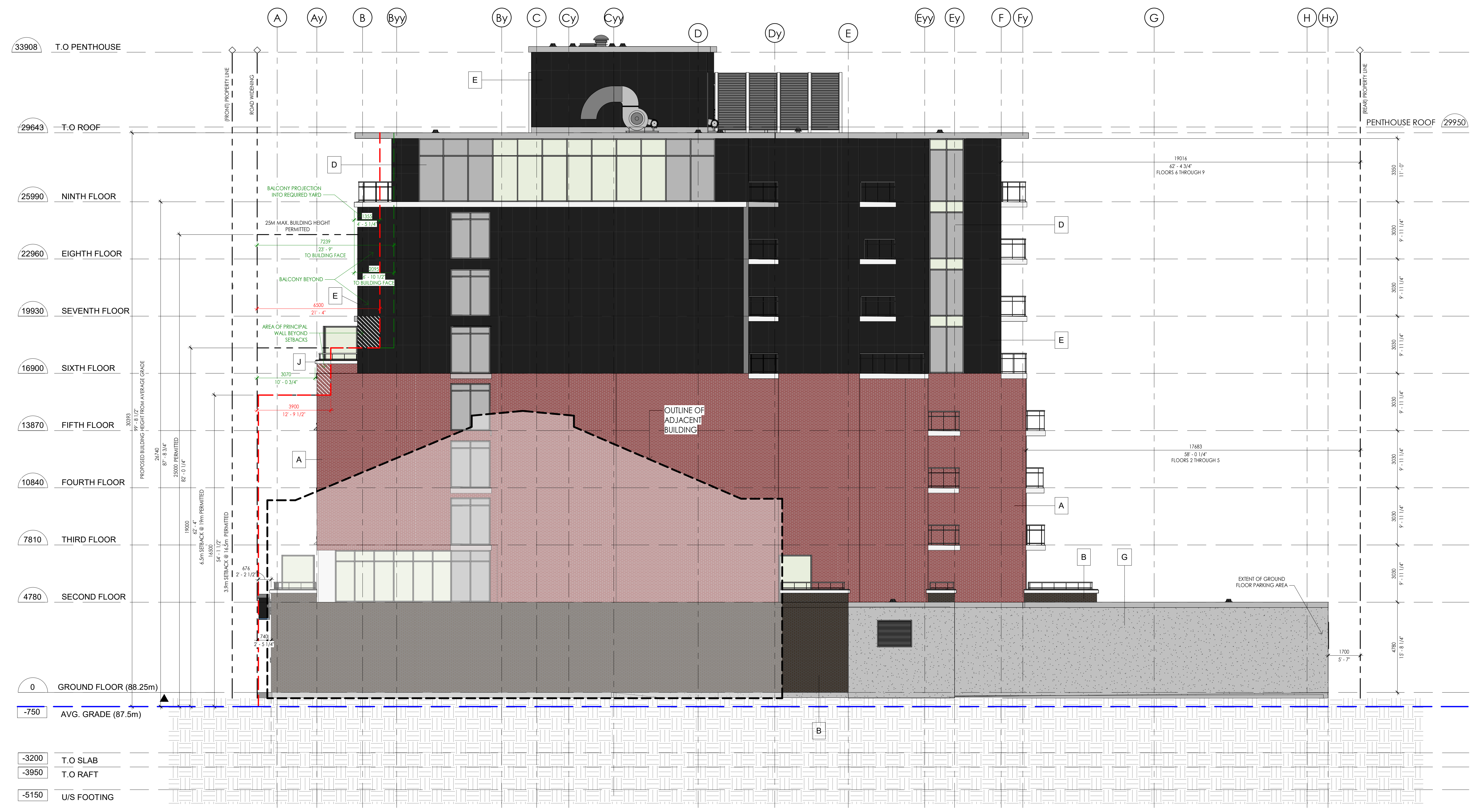
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NOT TO BE USED FOR CONSTRUCTION

Dundas Valley Condo
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 Ontario

job no.	23.028
dwg. by	A.K
scale	As indicated
proj. date	JAN 2024
dwg. title	WEST ELEVATION

dwg. **A2.04**



1 A2.04 - WEST (RIGHT)
 1:100



Hamilton

City of Hamilton
City Hall, 71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Planning Division, Planning and Economic Development Department
Physical Address: 71 Main Street West
Phone: 905.526-2424 ext. 4168 Fax: 905.546-4202
Jana.Kelemen@hamilton.ca

08 June 2023

DA-18-077

Chamberlain Architect Services Limited
Adrian Mauro
5096 South Service Road, Suite 103
Burlington, ON L7L 5H4

**Re: CHANGES TO LAPSING PROVISIONS FOR CONDITIONAL SITE PLAN APPROVAL
Site Plan Control Application by MIR Developments for lands located at 16-22 King Street E, Dundas (Ward 13)**

I am writing to you regarding your Conditional Site Plan Approval application and recent changes to the Approval Limitations condition in your approval.

Effective May 24, 2023 as per council direction the City of Hamilton will no longer be lapsing Conditional Site Plan Approvals. As a result, requests for extension, extension letters, and re-applications for lapsed conditionally approved site plans and the collection for fees for these will not be required.

The new Approval Limitation condition is as follows:

That in the event there has been no submissions made to clear conditions for a period of two (2) years the approval shall be considered inactive. To reactive the approval a notice to the Manager of Heritage and Urban Design shall be provided with a description of any changes to the proposed development and payment of a second Site Plan Control Full Application Clearing of Conditions Fee (fee determined based on fee schedule in effect at the time of notice). The applicant is responsible to monitor when submissions have been made to ensure that the application remains active.

Recognizing that applicants have received extensions to Conditional Site Approval without making submissions to clear conditions, the start date of the last approved extension or reapplication can serve as a submission to clear conditions for the purpose of determining when their approval shall become inactive as per the new Approval Limitation condition.

You are encouraged to review the status of your conditional approval to determine the date of the most recent submission to clear conditions, extension, or reapplication to determine when your approval will be considered inactive and to make any submissions required to keep your approval active. Complete and coordinated submission packages are encouraged. The current Site Plan Control Full Application Clearing of Conditions Fee is \$16,930.

If you have any questions regarding your file, please contact Esha Pavan at (905)546-2424 ext. 1286 or myself at ext. 4168.

Yours truly,

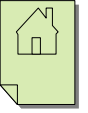
A handwritten signature in black ink, appearing to read "Jana Kelemen". The signature is fluid and cursive, with a long, sweeping underline that extends to the right.

Jana Kelemen,
Manager of Heritage and Urban Design

cc: Steve Robichaud, Director of Planning and Chief Planner
Ken Coit, Director Heritage and Urban Design

A. J. Lakatos Planning Consultant

Land Use Planning and Design www.andrewjlakatos.com



Turi 1910

Land Use Planning . Site Planning . Urban Design . Landscape Design

December 4, 2024

City of Hamilton
Committee of Adjustment
Planning and Economic Development Department
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5

ATTENTION: Secretary-Treasurer, Committee of Adjustment

RE: 16 - 22 King Street East, Hamilton (Dundas), Minor Variance Application

A.J. Lakatos Planning Consultant has been retained by the MIR Developments Inc., owner of lands municipally known as 16-22 King Street East, Hamilton (Dundas), to submit a Minor Variance Application to facilitate the construction of a nine(9) storey mixed use commercial and residential development containing a commercial use on the ground floor and eighty-five (85) residential units above (see attached Completed Application, Zoning Compliance Review dated October 31, 2021, Site Plan and Architectural Building drawings).

Subsequent to the site-specific zoning for the subject lands passed by City Council on November 6, 2013, MIR Developments and their agent at the time met with City of Hamilton Senior Planning Staff on March 20, 2023 to discuss adding additional dwelling units within the building by adding a storey to the proposed building. At the conclusion of that meeting Senior Planning Staff advised that they support additional housing/dwelling units in the Community Node of downtown Dundas as this area is intended to accommodate residential intensification as stated in the Urban Hamilton Official Plan, adopted by City Council in 2009. However, Staff advised that amendments (via a minor variance application) to the current site-specific zoning passed on October 23, 2013 as Zoning By-law 13-261, now consolidated in Zoning By-law 05-200 as C5a-555, would be necessary.

Urban Hamilton Official Plan

The lands are within the Urban Boundary and are designated 'Mixed Use Medium Density' Residential in the Hamilton Urban Official Plan (UHOP). The designation permits mixed use commercial/residential building/development to a maximum of six(6) storey and allow additional height up to twelve storeys without an Official Plan Amendment.

The proposed nine(9) storey mixed use commercial and residential development is permitted within the designation and meets the general intent of the Official Plan.

Site Plan Control Application DA-18-077

A Site Plan Control Application (DA-18-077) by MIR Developments Inc. (applicant/owner) was approved on October 2, 2024 and is an active application in good standing (See attached letter).

The applicant/owner and their agents have been corresponding with Planning Staff regarding the nature and extent of the relief requested as it relates to the City's conditional Site Plan Control approval. The approval has been structured to allow the applicant/owner to participate in a Concurrent Site Plan/Building Permit Review Process.

As part of the concurrent permit process the applicant/owner is required to receive final approval of minor variances to Hamilton Zoning By-law 05-200 needed to construction the proposed nine(9) storey mixed use commercial and residential development.

Hamilton Zoning By-law 05-200

The proposed "Dwelling Units in conjunction with a Commercial Use" is permitted in the C5a, 555 zone. The specific commercial use(s) have yet to be determined but shall conform to the permitted use(s) listed in Section 10.5a 1, 10.5a.1.1 and 10.5a.2 of Hamilton Zoning By-law 05-200.

Nature and Extent of Request/Application

The proposed development has been reviewed and compared to the standards of the C5a, 555 zone (see attached October 31, 2024 Zoning Compliance Review). The following variances to C5a, 555 zone of Hamilton Zoning By-law 05-200 are necessary to allow the construction of the proposed development:-

- 1. A maximum building height of 30.5 metres shall be permitted instead of the maximum building height of 25.0 metres.**
- 2. A front yard setback of 3.0 metres shall be permitted for the portion of a building exceeding 16.5 metres in height instead of the minimum required front yard setback of 3.9 metres for the portion of a building exceeding 16.5 metres in height.**
- 3. A maximum gross floor area of 8,273.0 square metres and a minimum of 2.5% gross floor area used for commercial purposes shall be permitted instead a required total gross floor area of 7,623.0 square metres and a minimum of 6.0% gross floor area used for commercial purposes.**
- 4. A Minimum 48% of the area of the ground floor façade along the King Street West lot line shall be composed of windows and doors shall be permitted instead of the minimum required 50% of the area of the ground floor façade along the King Street West lot line shall be composed of windows and doors.**

Why it is not possible to comply with the provisions of the By-law?

The requested relief is necessary to facilitate the development of the site in accordance with Site Plan Application DA-18-077 submitted to the City and conditionally approved on October 2, 2018 and further reviewed by Zoning and Planning Staff on October 23, 2024 and October 31, 2024, respectively. Planning Staff have indicated that they are generally supportive of the variances requested.

- 1. With respect to the requested height increase the City of Hamilton Urban Official Plan OP allows additional building height within the 'Mixed Use Medium Density' Residential designation up to twelve storeys without an Official Plan Amendment. The requested increase in height is needed to provide one(1) additional floor within the building to accommodate much needed additional housing/dwelling units in the City of Hamilton.**

Notwithstanding the additional building height requested the bulk of the proposed building remains within the current height limitation of eight(8) storeys, 25.0 metres and is progressively stepped back from the front lot line/street line (i.e. 7.239 metres to main wall of building at the 9th floor) and substantially setback for the rear lot line (i.e. 19.01 metres) which minimizes the height appearance from the street and the adjacent property to the south.

2. With respect to the requested front yard setback of 3.0 metres instead of 3.9 metre for the portion of a building exceeding 16.5 metres in height, the variance is necessary to achieve the proposed floor plate areas and the projecting structural elements of the building's front façade design. However, its should be noted that the building is progressively stepped back from the front lot line/street line from floors 2 to 9.
3. With respect to the proposed additional gross floor area the additional floor area is attributed to the added ninth floor units and proposed varied unit sizes. The additional floor area will accommodate much needed additional housing/dwelling units in the City of Hamilton and allow a varied mix of unit sizes to accommodate a range of household sizes and income levels.

With respect to the reduction in the percentage of commercial gross floor area to 2.5% whereas 6.0% is required (as originally proposed during the 2013 rezone) is attributed to the need for a large ground floor transformer/electrical room located with the ground floor of the building along the frontage of the property as required by the local utility company (Alectra). This room not only provide service to the proposed building but also serves other local needs (i.e. high voltage feeders) at the developer's expense. The reduction is further needed to provide a vehicular access/egress entrance to street frontage of the property which is the only means of access to a public right-of-way (i.e. King Street East). Albiet reduced the proposed commercial floor area and ground floor design maintains the function and ensuring the continued vibrancy of the pedestrian realm all the street.

4. With respect to minimum required ground floor glazing of the front façade to be composed of windows and doors along the ground floor façade of the building 48% is proposed whereas 50% is required. The minimum percentage cannot be achieved due the necessity to provide the above-mentioned large transformer room on the ground floor fronting the street while also providing a vehicular access/egress garage door to the enclosed parking garage to the municipal road that is located along the frontage of the building. It should be noted that a parking garage door albeit "a door" does not count towards the required percentage as per the zoning by-law interpretation.

Although 48.0% the ground floor façade is composed of windows and doors whereas 50% is required, which includes a commercial unit with glazed windows and doors facing King Street, the ground floor façade is inviting and creates a human scale environment that separates the base of the building from the higher portion of the building.

In conclusion, the proposed minor variances conform to the general intent and purposed of the Official Plan and Zoning By-law, are desirable and appropriate for the development of the land and are minor in nature.

Should you have any questions, please contact Joe Lakatos at 519-829-6153. Your assistance with this request is greatly appreciated.

Respectfully submitted,



A.J. Lakatos, BLA, MCIP, RPP



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
Planning Division
71 Main Street West, 5th Floor
Hamilton, Ontario, Canada, L8P 4Y5
Phone: 905.546.2424 x 2719
Email: ZoningInquiry@hamilton.ca

October 31, 2024

FILE: ALR
FOLDER: 02 ALR
ATTENTION OF: Liam Tapp
TELEPHONE NO: (905) 546-2424
EXTENSION: 6884

MIR Developments Inc. c/o AJ Lakatos Planning Consultant
16-22 King Street East
Hamilton ON, L9H 1B0

Re: ZONING COMPLIANCE REVIEW IN SUPPORT OF A MINOR VARIANCE
Present Zoning: C5a, 555 Zone
Address: 16-22 King Street East, Dundas

A Zoning Compliance Review in support of a Minor Variance has been completed and the following comments are provided.

COMMENTS:

1. The applicant proposes to construct a nine-storey Mixed-Use building containing commercial uses on the ground floor and 85 residential units above.
2. Be advised, Zoning By-Law Amendment 24-051 and 24-052 was passed on April 10, 2024 to amend Section 1: Administration, Section 3: Definitions, Section 4: General Provisions, Section 5: Parking regulations and Section 15: Residential Zones under Hamilton Zoning By-Law 05-200.

Notwithstanding the above, the proposed development has been Conditionally Approved through Site Plan application DA-18-077 on October 2, 2018 and remains an active Site Plan application. As per Section 1.12 of Hamilton Zoning By-law No. 05-200, as it read on April 9, 2024, shall apply to all zones within Hamilton Zoning By-law No. 05-200, and to a complete application for minor variance, site specific zoning, site plan, consent, plan of subdivision or plan of condominium, or a complete building permit application received prior to April 10, 2024, provided that the proposed development complies with the provisions of the applicable former Zoning By-law as it read immediately prior to the passing of the following By-laws:

Commercial and Mixed-Use Zoning By-law No. 17-240
Downtown Zoning By-law No. 18-114
Low Density Residential By-law No. 22-197
Low Density Residential By-law Nos. 24-051 & 24-052

As such, the proposed development has been reviewed against the requirements of Zoning By-law 05-200 in force and effect on the date Site Plan application DA-18-077 was Conditionally Approved.

3. The proposed Mixed-Use building is permitted within the existing C5a Zone and is defined under Hamilton Zoning By-law 05-200 as follows:

“Dwelling Unit, Mixed Use” - Shall mean a room or suite of rooms used or intended to be used by one or more persons living together as one household, in which cooking and sanitary facilities

are provided for the exclusive use of the household, and to which an independent entrance is provided from outside the building or from a common interior hallway, vestibule, or stairway and shall be located in the same building as a commercial use permitted in the zone.

4. This is an interior lot. Based on front lot line as defined, the lot line adjacent to King Street East is considered the front lot line for the proposed development.
5. Please note, as per the Notice of Passing submitted with the Zoning Compliance Review application, as well as through discussion with the applicant, there is a discrepancy between Zoning By-law Amendment 13-261 under the Former Dundas Zoning By-law 3581-86 and Zoning By-law Amendment 17-240, Schedule C Special Exception 555 under Hamilton Zoning By-law 05-200. In particular, the use of the terminology “Maximum” was used on the Notice of Passing in relation to Front Yard, Side Yard and Rear Yard Setbacks, whereas the Zoning By-law in force and effect requires a Minimum Setback to all yards.

As per further review of Planning Report PED131664 and discussions with Planning Staff, it has been determined that the original intent of these Setback requirements was to maintain a minimum so as to create a “more inviting pedestrian environment that is indicative of traditional “Main Street” commercial thoroughfares...” and to “reflect compact design of the building and to implement urban design and pedestrian-oriented principles in the overall design.” Furthermore, the wording of a “maximum” setback has been deemed an administrative error included within the Notice of Passing and that the Final and Binding Zoning By-law Amendment 13-261 remains accurate to what was proposed at the time the By-law was enacted. Please contact Planning if there is any further questions or concerns relating to this discrepancy.

In addition to the above, it is noted that the current Site Plan proposed would not benefit from a “maximum” setback as the building complies with Front Yard, Side Yard and Rear yard requirements; note however that the portion of the building located between 16.5 metres and 19.0 metres in height does not comply with the minimum setback requirements.

6. Further to comment #5, there is an additional discrepancy between Zoning By-law Amendment 13-261 and Zoning By-law Amendment 17-240 as it relates to Ground Floor Façade requirements. In particular, the wording has been altered from its original verbiage as indicated below:

Zoning By-law Amendment 13-261:

- (iv) *A minimum of 50 percent of the area of the ground floor facade along the King Street West lot line shall be composed of windows and doors.*

Special Exception 555:

- | | | |
|-------|------------------------------------|---|
| viii) | <i>Ground Floor Façade Glazing</i> | <i>A Minimum 50% of the area of the ground floor façade along the King Street West lot line shall be composed of windows and doors.</i> |
|-------|------------------------------------|---|

It is noted the inclusion of the term “Ground Floor Façade Glazing” is an alteration from the original By-law form, however the requirement under Section 13-261 and 17-240 is compatible with the original intent of the Zoning By-law Amendment. As per Planning Report PED131664, justification provided for the Ground Floor Façade includes the verbiage “Minimum Glazing Along Front Lot Line” as well as general design elements which state:

“The intent and purpose of providing for a minimum glazing is to ensure that the commercial units along King Street West have a consistent glazing along the front face of the building, and to prevent blank walls.”

Furthermore, the ground floor containing a commercial use is intended to be public facing, inviting and creates a human scale environment that separates the higher portions of the building from the base. Under the Dundas Secondary Plan Urban Design Guidelines, it is noted under “Building Materials” that:

“Due to existing built form materials on the street, acceptable exterior/ façade materials are: solid brick, cut limestone, stucco, wood siding, glass, ceramic tiles or tasteful combinations of them.”

As such, this division has made the interpretation that for the purposes of this development, Façade Glazing has been considered as the overall visual appearance of the building as it relates to the combination of windows and doors along the façade facing the street. Note, doors do not necessarily need to be comprised of glass or similar material to be considered towards the calculation for Ground Floor Façade Glazing, however both Windows and Doors are still required to maintain a minimum of 50% of the Ground Floor Façade facing the street. Be advised this shall not include garage doors to parking areas or other similar features.

7. As per the review chart below, the following Variances are recommended should alteration of the proposed development not be possible:
 - i. A maximum building height of 30.5 metres shall be permitted instead of the maximum building height of 25.0 metres;
 - ii. A front yard setback of 3.0 metres shall be permitted for the portion of a building exceeding 16.5 metres in height instead of the minimum required front yard setback of 3.9 metres for the portion of a building exceeding 16.5 metres in height;
 - iii. A maximum gross floor area of 8,273 square metres and a minimum of 2.5% gross floor area used for commercial purposes shall be permitted instead a required total gross floor area of 7,623 square metres and a minimum of 6.0% gross floor area used for commercial purposes;
 - iv. A Minimum 48% of the area of the ground floor façade along the King Street West lot line shall be composed of windows and doors shall be permitted instead of the minimum required 50% of the area of the ground floor façade along the King Street West lot line shall be composed of windows and doors;

In addition to the recommended variances, it is also noted that the Barrier Free Parking Space dimensions do not comply with the minimum parking space sizes required under Section 5.2 f). Please note, should compliance not be possible, a variance may be required to permit the parking space sizes as proposed.

8. Construction of the proposed development is subject to the issuance of a building permit. Be advised that Ontario Building Code regulations may require specific setback and construction types.
9. All new signs proposed for this development must comply with the regulations contained within the Sign By-law 10-197.

10. All new fences proposed for this development must comply with the regulations contained within the Fence By-law 10-142.
11. The designer shall ensure that the fire access route conforms to the Ontario Building Code.
12. The proposed development has been reviewed and compared to the regulations of the C5a, 555 zone in the following chart;

	Required By By-Law	Provided	Conforming/ Non- Conforming
Restriction of Uses within a Building [Section 10.5a.1.1(i) of Hamilton Zoning By-law 05-200]	1. The finished floor elevation of any dwelling unit shall be a minimum of 0.9m above grade; and	Dwelling units indicated above first floor at 4.78 metres	Conforms
	2. Notwithstanding 10.5.1.1.(i)(1), a maximum of one (1) dwelling unit shall be permitted in a basement or cellar.	Applicant to note	
Front Yard [Schedule C 555. A) i) of Hamilton Zoning By-law 05-200]	0.0 metres;	0.74 metres	Conforms
	3.9 metres for the front principal wall of the building 16.5 metres and above in height; and,	3.07 metres at 16.5 metres in height	Does not Comply
	6.5 metres for the front principal wall of the building 19.0 metres and above in height.	7.239 metres at 19.0 metres	Conforms
Minimum Side Yard [Schedule C 555. A) ii) of Hamilton Zoning By-law 05-200]	0.15 metres	0.25 metres	Conforms
Minimum Rear Yard [Schedule C 555. A) iii) of Hamilton Zoning By-law 05-200]	1.0 metres	1.5 metres	Conforms
Maximum Height [Schedule C 555. A) iv) of Hamilton Zoning By-law 05-200]	25.0 metres	30.393 metres	Does not Comply
Maximum Lot Coverage [Schedule C 555. A) v) of Hamilton Zoning By-law 05-200]	97 percent	93.88%	Conforms

	Required By By-Law	Provided	Conforming/ Non- Conforming
Landscaped Area [Schedule C 555. A) vi) of Hamilton Zoning By-law 05-200]	3.0 percent	7.3%	Conforms
Total Gross Floor Area [Schedule C 555. A) vii) of Hamilton Zoning By-law 05-200]	The total gross floor area of all buildings on a site shall not exceed 7,623 square metres, provided that a minimum of 6.0 percent of the gross floor area shall be used for commercial purposes.	8,272.19 m ² with 2.55% for Commercial Use	Does not Comply
Ground Floor Façade Glazing [Schedule C 555. A) viii) of Hamilton Zoning By-law 05-200]	A Minimum 50% of the area of the ground floor façade along the King Street West lot line shall be composed of windows and doors.	48.3%	Does not Comply
Maximum Gross Floor Area for each Office Building [Section 10.5a.3(f) of Hamilton Zoning By-law 05-200]	10,000.0m ²	Not Proposed	N/A
Maximum Gross Floor Area for Microbrewery [Section 10.5a.3(g) of Hamilton Zoning By-law 05-200]	700.0m ²	Not Proposed	N/A
Built Form for New Development [Section 10.5a.3(h) of Hamilton Zoning By-law 05-200]	<i>In the case of new buildings constructed after the effective date of this By-law or additions to buildings existing as of the effective date of this By-law:</i>	Mechanical penthouse provided	Conforms
	i) Rooftop mechanical equipment shall be located and/or screened from view of any abutting street. ii) For an interior lot or a through lot the minimum width of the ground floor façade facing the front lot line shall be greater than or equal to 75% of the measurement of the front lot line.	41.915 m façade width provided Note: Minimum Façade length 75% of 42.825m = 32.13m minimum frontage	Conforms (See Calculation of Section 10.5.3(g) (iv) Below)

	Required By By-Law	Provided	Conforming/ Non- Conforming
	iii) For a corner lot the minimum combined width of the ground floor façade facing the front lot line and flankage lot line shall be greater than or equal to 50% of the measurement of all lot lines abutting a street.	Interior lot	N/A
	iv) In addition to Section 10.5.3.(g)(i)(ii) and (iii), the minimum width of the ground floor façade facing the front and flankage lot lines shall exclude access driveways and any required yard within a lot line abutting a street.	41.915 m façade width provided Note: Façade Exclusions Minimum Façade width = 32.13m Access Driveway and Minimum Required Yard Exclusions = 6.5m Minimum Façade Requirement with Exclusions = 25.63 m	Conforms
	vi) No parking, stacking lanes, or aisles shall be located between the required building façade and the front lot line and flankage lot line. 1. Section 10.5.3g)vi) shall not apply for any portion of a building that exceeds the requirement of Section 10.5.3g) ii) and iii).	No parking or stacking lanes provided between the building façade and the front lot line	Conforms
	vii) A minimum of one principal entrance shall be provided: 1. with the ground floor façade that is setback is closest to a street; and, 2. Shall be accessible from the building façade with direct access from the public sidewalk.	Principal entrances provided within the ground floor façade closest to the street line, provided with direct access from the public sidewalk	Conforms
	viii) A walkway shall be permitted in a Planting Strip where required by the By-law.	Applicant to note	
Planting Strip Requirements [Section 10.5a.3(i) of Hamilton Zoning By-law 05-200]	Where a property lot line abuts a property lot line within a Residential Zone or an Institutional Zone and not a Laneway, a minimum 1.5m wide Planting Strip shall be provided and	1.5 metres provided	Conforms

	Required By By-Law	Provided	Conforming/ Non- Conforming
	maintained.		
Visual Barrier Requirements [Section 10.5a.3(j) of Hamilton Zoning By-law 05-200]	A visual barrier shall be required along any lot line abutting a Residential Zone, or Institutional Zone, Downtown (D5) Zone in accordance with the requirements of Section 4.19 of this By-law.	Applicant has indicated Planting Strip to be provided which contains plantings and other features that meet the requirements of Section 4.19	Conforms
Outdoor Storage [Section 10.5a.3(k) of Hamilton Zoning By-law 05-200]	i) No outdoor storage of goods, materials, or equipment shall be permitted; and, ii) Notwithstanding Section 10.5.3k)i), the display of goods or materials for retail purposes accessory to a Retail use shall only be permitted in a front or flankage yard.	Does not appear to be provided	N/A
Minimum Amenity Area for Dwelling Unit, Mixed Use [Section 10.5a.3(l) of Hamilton Zoning By-law 05-200]	On a lot containing 10 dwelling units or more, the following Minimum Amenity Area requirements be provided: i) An area of 4.0 square metres for each dwelling unit less than or equal to 50 square metres of gross floor area; and,	1,134 m ² provided Calculation 1 unit x 4.0 = 4.0m² required	Conforms
	ii) An area of 6.0 square metres for each dwelling unit greater than 50 square metres of gross floor area.	1,134 m ² provided Calculation 84 units x 6.0 = 504 m² 504 m² + 4.0m² = 508 m² required	Conforms
	iii) In addition to the definition of Amenity Area in Section 3: Definitions, an Amenity Area located outdoors shall be unobstructed and shall be at or above the surface, and exposed to light and air.	Balconies provided as amenity area	Conforms
Parking <i>In accordance with section 5 of Hamilton Zoning By-law 05-200</i>			
Location (All Uses) [as per Schedule C 555. and section	i) Required parking facilities shall be located on the same lot as the use requiring the parking.	Required parking provided on the same lot as the use requiring it	Conforms

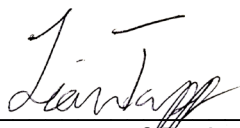
	Required By By-Law	Provided	Conforming/ Non- Conforming
5.1(a) of Hamilton Zoning By-law 05-200]	<p>v) <i>Unless otherwise regulated in this By-law, parking spaces and aisles, giving direct access to abutting parking spaces, excluding driveways extending directly from the street, shall be subject to the following:</i></p> <p>a) Shall not be located within 3.0 metres of a street line,</p> <p>No parking space or part thereof shall be located, and no land shall be used for the temporary parking or storage of any vehicle at a distance of less than:</p> <p>A. 0.0 metres from the front lot line;</p> <p>B. 0.16 metres from the westerly side lot line;</p> <p>C. 1.08 metres from the rear lot line;</p> <p>D. 0.19 metres from the easterly lot line; and,</p> <p>E. 3.0 metres from any public thoroughfare for only parking located at-grade. (SE 555.)</p> <p>b) Shall provide a 3.0 metre wide planting strip being required and permanently maintained between the street line and the said parking spaces or aisle, except for that portion of a lot line abutting the Red Hill Valley Parkway and the Lincoln Alexander Parkway; and,</p> <p>c) Where a Planting Strip is provided, as per b) above, any architectural wall or feature within the Planting Strip shall be limited to a maximum height of 0.6 metres.</p>	At grade parking provided is located within building	Conforms
Parking space size [as per section 5.2 and Schedule C 555. of Hamilton Zoning By-law 05-200]	a) Where a parking lot is situated on a lot which abuts a Residential Zone, Settlement Residential (S1) Zone, Downtown (D5), or Downtown (D6) Zone, the following shall be provided and maintained along that portion of the lot line that abuts a Residential Zone, Settlement Residential (S1) Zone, Downtown (D5) Zone, or Downtown	Does not abut specified Zones and is located within proposed building	N/A

	Required By By-Law	Provided	Conforming/ Non- Conforming
	(D6) Zone: i) A minimum 1.5 metre wide landscape strip which shall contain a visual barrier in accordance with Section 4.19 of this By-law.		
	b) <i>Unless permitted by another regulation in this By-law, parking space sizes shall be:</i> i) A minimum parking space size dimension of 2.6 metres by 5.5 metres shall be provided (SE 555.)	2.6m x 5.5m	Conforms
	c) All required parking shall be provided as follows: i) With adequate means of ingress and egress to and from the street or laneway without the necessity of moving any other motor vehicle; ii) Shall be arranged so as to not interfere with normal public use of the street or laneway; iii) Shall be accessed by means of an access driveway: 1. Located on the lot; or, 2. Located party on the lot in the case of a mutual driveway; or, 3. By means of a Right-of-Way. iv) Any parking lot shall provide for ingress and egress of vehicles to and front a street in a forward motion only.	Ingress and egress provided via access driveway on the lot	Conforms
	ii) <u>Parking Lots in All Zones, except the Rural Classification Zones</u> a) Shall be designed and maintained with stable surfaces such as asphalt, concrete or other hard-surfaced material;	Parking area located inside building and has been confirmed by the applicant to be concrete	Conforms
	f) A minimum barrier free parking space size dimension of 4.4 metres by 5.5 metres shall be provided (SE 555.)	4.4m x 5.5m provided Barrier Free spaces indicated to be 2.6 m with a 1.8 m unobstructed access aisle and a length of 5.5 metres	Conforms

	Required By By-Law	Provided	Conforming/ Non- Conforming
	i) 90 degree parking angle 6.0m aisle width	Provided	Conforms
Location of Loading Facilities [as per section 5.2.1 of Hamilton Zoning By-law 05-200]	<i>The location of loading doors and associated loading facilities shall be subject to the following:</i> a) Shall not be permitted within a Front Yard; b) Shall not be permitted in any yard abutting a street, except where screened from view by a Visual Barrier in accordance with Section 4.19 of this Bylaw; and, c) Shall not be permitted in a required yard abutting a Residential Zone or an Institutional Zone and shall be screened from view by a Visual Barrier in accordance with Section 4.19 of this By-law.	Loading area and garbage pick up located within building	Conforms
Required barrier free parking [as per section 5.5 of Hamilton Zoning by-law 05-200]	50-100 parking spaces required Minimum 4% of the total number of required parking spaces; 4% of 71 = 2.84 spaces Therefore 2 spaces required	2 provided	Conforms
Parking Required [as per Schedule C 555. of Hamilton Zoning By-law 05-200]	Dwelling Units in a C5a Zone minimum parking requirement A. 0.3 parking space per dwelling unit 60 square metres or less; and, B. 1.0 parking space per dwelling unit more than 60 square metres. 65 units less than 60 m ² 20 x 0.3 = 6 20 Units greater than 60 m ² 65 x 1 = 65 Total required parking spaces = 71 Note: As per Special Exception 555.	71 spaces provided	Conforms

	Required By By-Law	Provided	Conforming/ Non- Conforming
	The entirety of Section 5.6 c) has been notwithstanding. As such, only parking requirements shall apply to the Dwelling Units		
Bike parking location [as per section 5.7 a) of Hamilton Zoning By-law 05-200]	Long term bicycle parking space shall be located in a secure enclosed bicycle parking area	Long term bicycle parking is provided in the underground parking area	Conforms
	Short-term Bicycle Parking Space shall be located within a bicycle parking area at grade.	Short term bicycle parking is provided at grade	Conforms
Required Short Term Bike Parking [as per section 5.7 c) of Hamilton Zoning By-law 05-200]	Multiple dwelling 5 spaces Note: As per Section 5.7 d) Notwithstanding Section c) above, for any Office, Personal Services, Restaurant, or Retail use less than 450.0 square metres no short-term bicycle parking space(s) shall be required.	12 provided	Conforms
Required Long Term Bike Parking [as per section 5.7 e) of Hamilton Zoning By-law 05-200]	Not Required within a C5a Zone	Bike Room Provided	N/A

Yours truly



 For the manager of Zoning And Committee of Adjustment

ACKNOWLEDGEMENT CLAUSE (FOR ZONING COMPLIANCE REVIEW APPLICATIONS IN SUPPORT OF A ZONING BY-LAW AMENDMENT, SITE PLAN, OR MINOR VARIANCE APPLICATION)

I/We hereby acknowledge and understand the above noted comments and further acknowledge that the supporting documentation submitted with this Zoning Compliance Review application has not been changed or modified between the date of this letter and the date of application for the subsequent Zoning By-law Amendment, Site Plan, or Minor Variance application.

If the supporting documentation has been changed or modified, a new application for Zoning Compliance Review may be required prior to acceptance of a formal application for Zoning By-law Amendment, Site Plan, or Minor Variance application.

Owner

Owner Signature

Date

Applicant (I have the authority
to bind the Owner)

Applicant Signature

Date

Agent (I have the authority
to bind the Owner)

Agent Signature

Date



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	MIR Developments Inc.
Applicant(s)	MIR Developments Inc. c/o Reza Soufian mirdevelopmentinc@gmail.com
Agent or Solicitor	AJ Lakatos Planning Consultant c/o Joe Lakatos jlakatos@andrewjlakatos.com

1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Cheque

X Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	16-22 King Street East		
Assessment Roll Number			
Former Municipality	Town of Dundas		
Lot	PT Lot 3 and Lot 33 & 34	Concession	
Registered Plan Number	1401, City of Hamilton	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

See attached submission letter dated December 4, 2024.

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

See attached submission letter dated December 4, 2024.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
42.82 m	47.30 m max.		unknown

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Vacant Land				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Multiple Dwelling/Commercial	0.74 m minimum	0.50 minimum	westerly 0.25 m, easterly 0.36 m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Vacant Land				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Multiple Dwelling/Commercial	1,789.90 S.M.	8,272.19 S.M.	nine(9)	30.50 m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Proposed Mixed Use Development consisting of ground floor commercial space and 85 residential units above

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Mixed-Use Commercial/Residential to the north, Multiple Residential/Retirement Home to south, Multiple Residential to east, Mixed-Use Commercial/Residential to west

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

November 2010

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Dairy Queen Restaurant (16 King Street East) & Automobile Sales Establishment(22 King Street East)

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Vacant Land

7.4 Length of time the existing uses of the subject property have continued:

Vacant Land

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Mixed Use - Medium Density

Please provide an explanation of how the application conforms with the Official Plan.

Designation permits mixed use commercial/residential building/development to a maximum of six(6) storey and allow additional height up to twelve storeys without an Official Plan Amendment.

What is the existing zoning of the subject land? C5a, 555

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: ZAC-12-017

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 85

8.3 Additional Information (please include separate sheet if needed):

See Site Plan, Building Elevations and Floor Plans submitted with the Application.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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