



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-24:88</b>	<b>SUBJECT PROPERTY:</b>	884 Garth Street, Hamilton
<b>ZONE:</b>	R1 (Low Density Residential)	<b>ZONING BY-LAW:</b>	Hamilton Zoning By-law 05-200, as Amended by by-law 22-197

**APPLICANTS:** Owner: Tessa Hayman

The following variances are requested:

1. A minimum 30% front yard landscaped area shall be permitted instead of the minimum 50% landscaped area in the front yard required.
2. On a lot having an attached garage less than 5.0m in width, the driveway may extend beyond the width of the garage towards the southerly side lot line to a maximum width of 10.88m and no closer than 0.0m to the side lot line instead of the maximum 5.0m in width, and no closer than 0.6m to the side lot line required.

**PURPOSE & EFFECT:** To facilitate the implementation of a new paved driveway.

**Notes:**

1. As per section 5.2.1 the minimum parking space dimension required is 2.8m x 5.8m. typical parking space provided indicated as 2.7m x 5.4m. should these parking spaces remain, additional variances will be required.
2. As per section 5.7.1, one (1) parking space is required for the single detached dwelling.
3. It is noted that section 5.3.4 a) i) states the following;

*Notwithstanding Section 5.3.4 a), on a lot containing a residential use in a Residential Zone, any parking provided beyond that which is required by Section 5.7.1 of this By-law shall be maintained with permeable material and shall not be deemed landscaped area in the calculation of total landscaped area on a lot*

## A-24:88

It would appear that one (1) parking space can be provided in the existing attached garage, Should parking spaces continue to be provided on the “new concrete driveway” additional variances will be required.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, February 13, 2025</b>
<b>TIME:</b>	<b>3:50 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon February 11, 2025

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon February 12, 2025

## FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:88, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: January 27, 2025

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

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### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

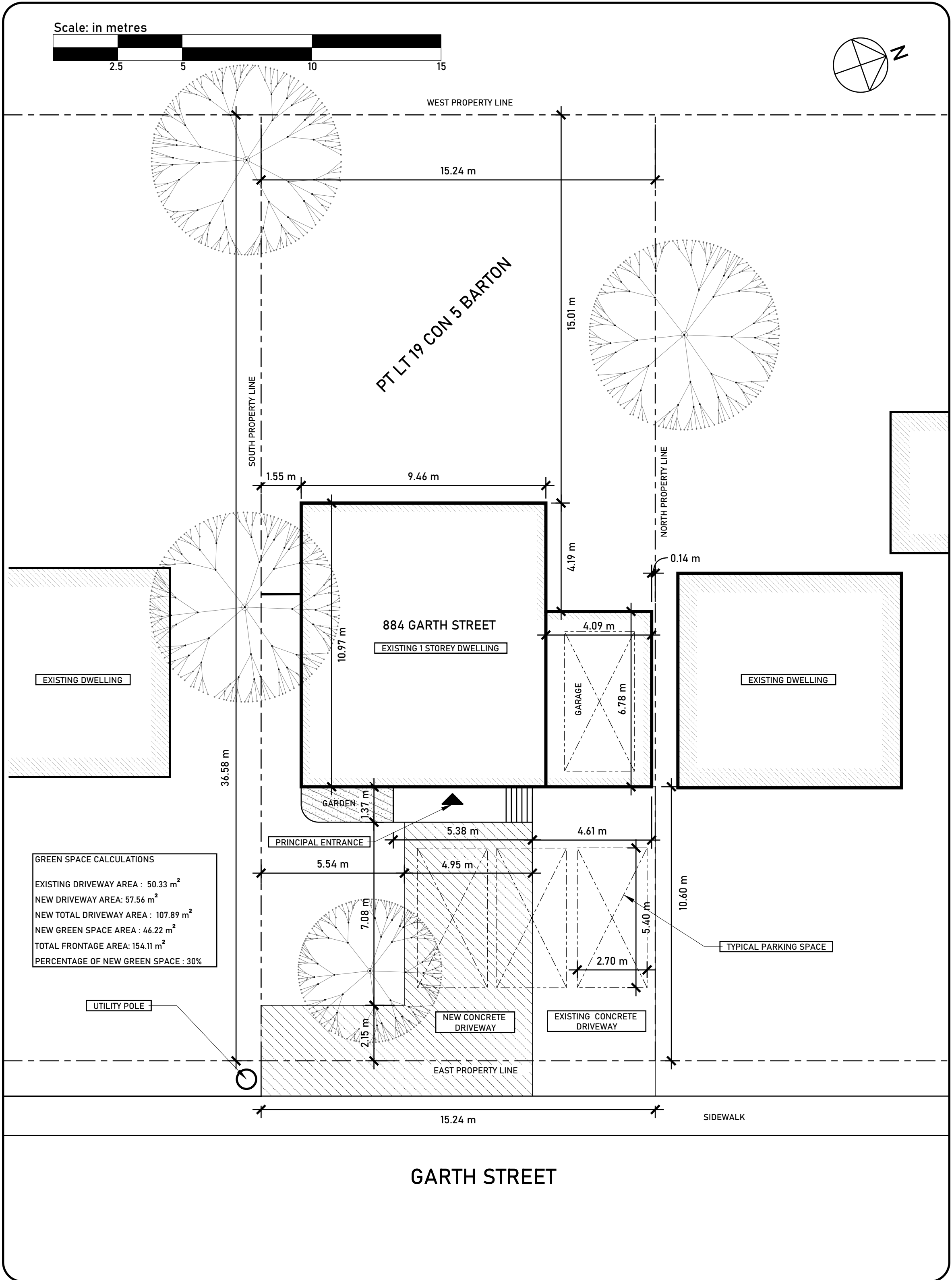
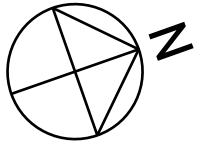
##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

Scale: in metres



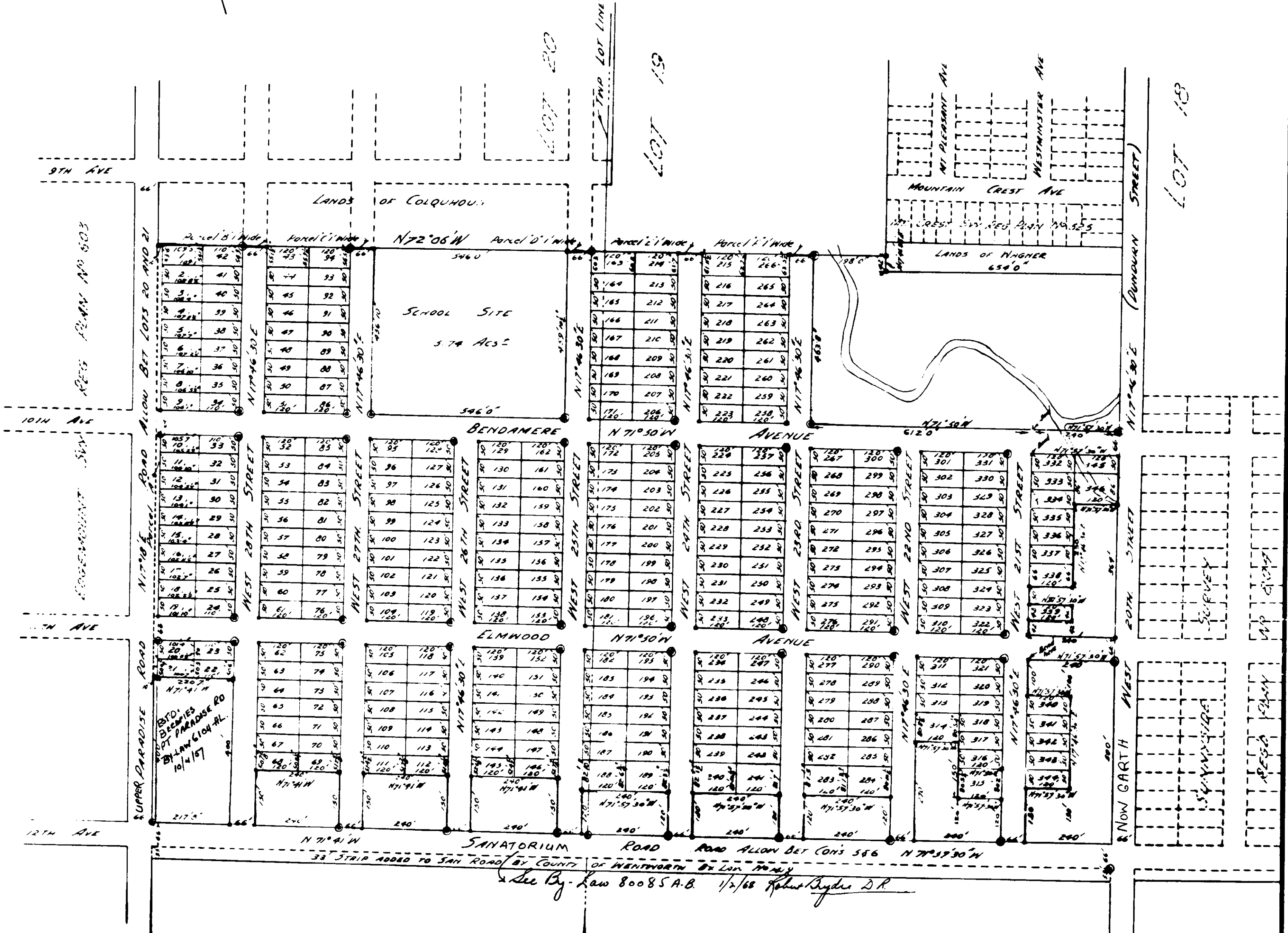
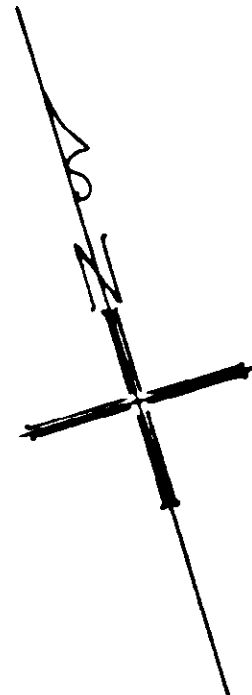
**GREEN SPACE CALCULATIONS**  
 EXISTING DRIVEWAY AREA : 50.33 m<sup>2</sup>  
 NEW DRIVEWAY AREA : 57.56 m<sup>2</sup>  
 NEW TOTAL DRIVEWAY AREA : 107.89 m<sup>2</sup>  
 NEW GREEN SPACE AREA : 46.22 m<sup>2</sup>  
 TOTAL FRONTAGE AREA : 154.11 m<sup>2</sup>  
 PERCENTAGE OF NEW GREEN SPACE : 30%

**GARTH STREET**

<b>SITE PLAN</b>	DATE: JUNE 24, 2024	DRAWN BY: TW	This site plan is not intended to be used as a replacement for a professional land survey. It is a visual representation of the property, based on historical data provided by the Land Registry Office of Ontario and current site measurements conducted to the best of the measurer's ability.  All measurements must be independently verified. Please notify the designer of any discrepancies before using this document.
	PROJECT: <b>884 GARTH STREET HAMILTON , ONT</b>		

# PLAN OF ELM HEIGHTS SURVEY

BEING A SUBDIVISION OF  
PART OF LOTS 19 AND 20 CONCESSION V  
IN THE  
TOWNSHIP OF BARTON  
SCALE 1 IN = 200 FT.



### AFFIDAVIT OF ATTESTATION

COUNTY OF Wentworth (NAME IN FULL) Jesse E. Yoston  
OF THE City of Hamilton IN THE  
TO WIT: County of Wentworth MAKE OATH AND SAY:  
1 THAT I WAS PERSONALLY PRESENT AND DID SEE THE CLASS  
AND DUPLICATE DULY SIGNED BY Henry Leo Beckett  
2 THAT THE SAID PLAN AND DUPLICATE WERE SIGNED BY THE  
SAID PART V AT Hamilton  
3 THAT I KNOW THE SAID PART V  
4 THAT I AM A SUBSCRIBING WITNESS TO THE SAID DEEDS  
SWORN BEFORE ME AT City of Hamilton  
IN THE County of Wentworth  
ON THE 20th DAY OF July 1951  
W. J. Russell  
A COMMISSIONER, ETC.

### SURVEYOR'S CERTIFICATE

John T. Patten  
an Ontario Land Surveyor, certify that:  
(a) I was present at and did personally supervise the survey represented by this plan;  
(b) this plan accurately shows the manner in which the lands (edged in red) have been surveyed and subdivided by me;  
(c) Every angle of the exterior boundaries of the parcels defined in the survey thereof by a monument and a monument is placed at the angle of the street intersection on the plan;  
(d) I have indicated on the plan the position and nature of each of the monuments;  
(e) the monuments conform in all respects to the provisions of the 17th day of March, 1927 Act of the survey was made by me between the 1st day of May and the 14th day of June, 1951;  
(f) the survey has been accurately made in accordance with all the provisions of The Survey Act and The Registry Act relating thereto.  
Dated at Hamilton on 20th Day of July A.D. 1951  
John T. Patten  
Ontario Land Surveyor

### SURVEYOR'S DUPLICATE CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN IS AN EXACT COPY OF THE ORIGINAL  
PLAN PREPARED BY ME TO BE REGISTERED IN THE REGISTRY OFFICE IN THE  
REGISTRY DEPARTMENT OF THE COUNTY OF WENTWORTH  
John T. Patten  
ONTARIO LAND SURVEYOR

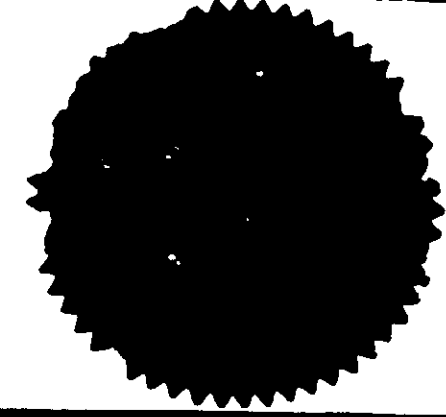
### OWNERS CERTIFICATE

Lots 1 to 345 Parcels A, B, C, D, E, F and G and the streets enclosed within the Red Lines on this plan are laid out according to our instructions, and the said streets are hereby dedicated as Public Highways  
J. E. Yoston Henry Leo Beckett  
Witness Owner

### LEGEND

Sign Inu: (C) denotes a Concrete Monument planted  
Sign Inu: (S) denotes a standard Iron Bar planted  
The bearings shown hereon are Astronomic and are referred to Junjura Street as N17°46'30"E

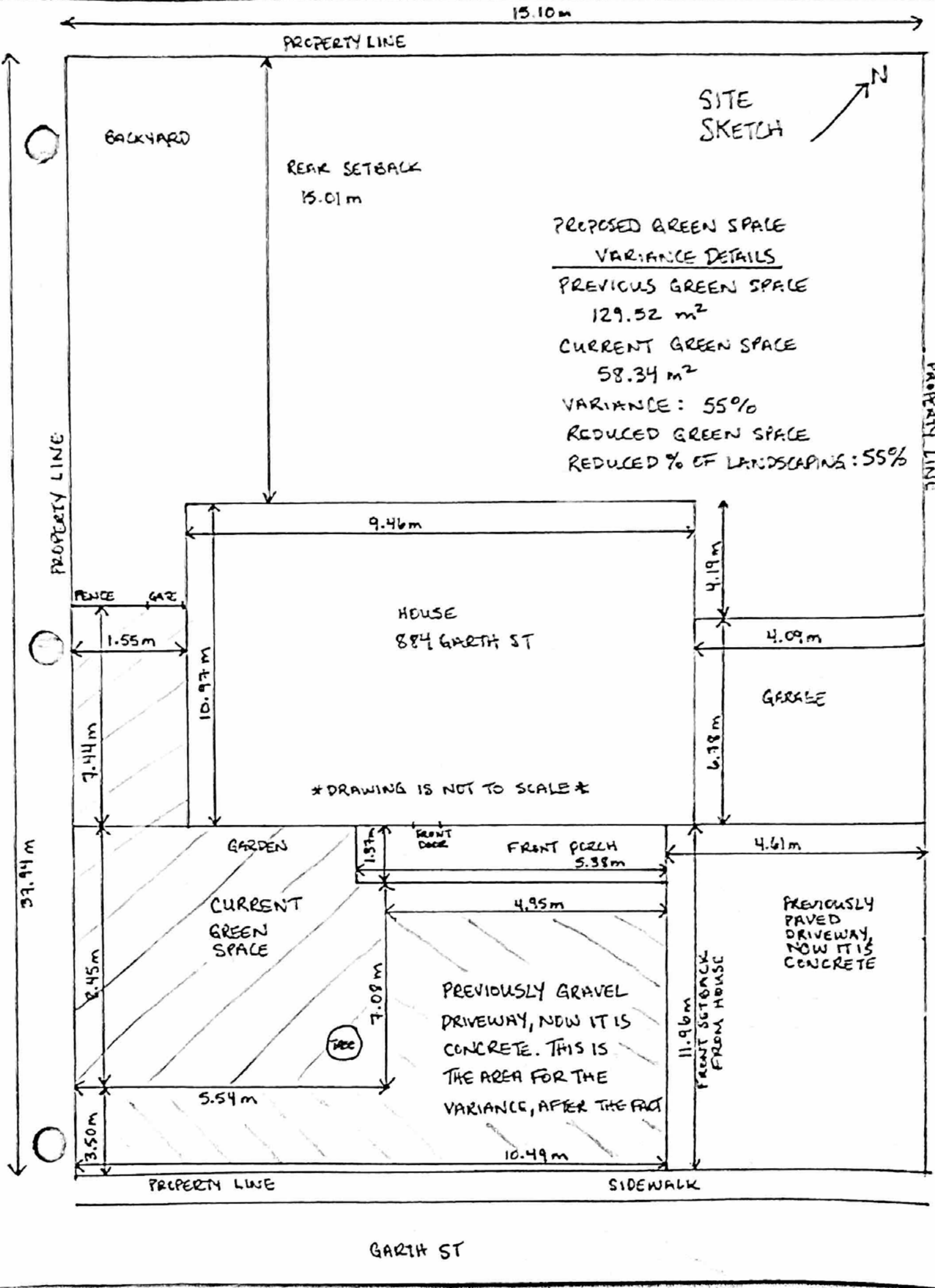
Approved Under Section 56 of  
THE PLANNING ACT  
This 27th day of July 1951  
W. J. Russell  
MINISTER OF PLANNING & DEVELOPMENT



### REGISTRAR'S CERTIFICATE

RECEIVED FROM W. J. Russell AND REGISTERED THIS 20  
DAY OF July 1951 AT 10 O'CLOCK AM AS PLAN  
NUMBER 842 REGISTRAR

MACKAY & MACKAY  
ENGINEERS & SURVEYORS  
HAMILTON, ONTARIO



PROPERTY LINE

15.10m

SITE SKETCH



BACKYARD

REAR SETBACK  
15.01m

PROPOSED GREEN SPACE  
VARIANCE DETAILS

PREVIOUS GREEN SPACE  
129.52 m<sup>2</sup>

CURRENT GREEN SPACE  
58.34 m<sup>2</sup>

VARIANCE: 55%

REDUCED GREEN SPACE

REDUCED % OF LANDSCAPING: 55%

9.46m

4.19m

HOUSE  
88 1/2 GARTH ST

4.09m

GARAGE

6.78m

\* DRAWING IS NOT TO SCALE \*

PENGE GAR  
1.55m

10.71m

7.44m

4.61m

FRONT DOOR  
1.51m

FRONT PORCH  
5.38m

GARDEN

CURRENT GREEN SPACE

4.95m

PREVIOUSLY PAVED DRIVEWAY, NOW IT IS CONCRETE

PREVIOUSLY GRAVEL DRIVEWAY, NOW IT IS CONCRETE. THIS IS THE AREA FOR THE VARIANCE, AFTER THE FACT

FRONT SETBACK FROM HOUSE  
11.96m

TREE

5.54m

10.49m

PROPERTY LINE

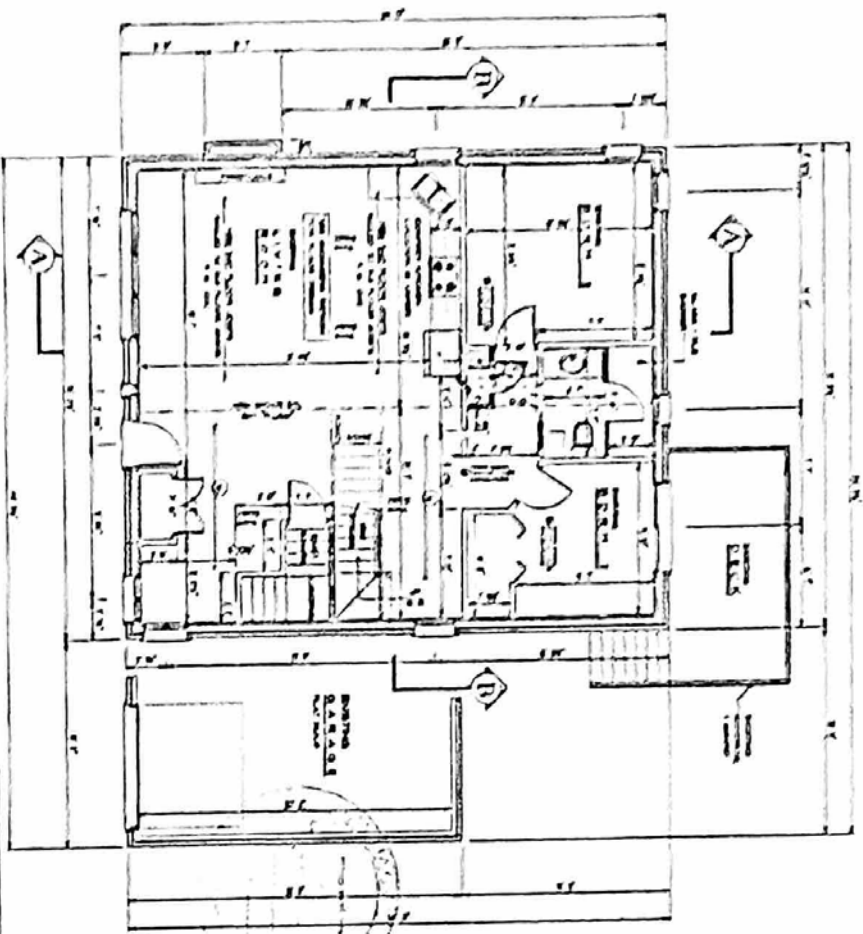
SIDEWALK

GARTH ST

884 GARRETT ST

FLOOR PLAN  
CONSTRUCTION NOTES

1. PROVIDE THE FOLLOWING NOTES TO THE CONTRACTOR:
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES.
3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES.
4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES.
5. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES.
6. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES.
7. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES.
8. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES.
9. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES.
10. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES.



1ST FLOOR PLAN 1/4" = 1'-0"  
GROSS FLOOR AREA = 1091 SQ FT  
PROGRAM  
NOVEMBER 2011

**LEGEND**

[Symbol]	WALL
[Symbol]	DOOR
[Symbol]	WINDOW
[Symbol]	STAIR
[Symbol]	ELEVATOR
[Symbol]	MECHANICAL
[Symbol]	ELECTRICAL
[Symbol]	PLUMBING
[Symbol]	CEILING
[Symbol]	FLOOR



ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF PHOENIX PERMITS AND ORDINANCES.

<p><b>NAUTA INTERIORS</b> 1801 19th St Phoenix, AZ 85016 Tel: 602.998.1953</p>	<p><b>PROJECT</b> 1801 19th St Phoenix, AZ 85016</p>	<p><b>DATE</b> NOV 2011</p>	<p><b>SCALE</b> 1/4" = 1'-0"</p>
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March 1, 2024

To: Whom It May Concern

Hamilton City Hall - Committee of Adjustment & Delegated Consent Authority  
71 Main St W  
Hamilton ON L8P4Y5

RE: Driveway of 884 Garth St, Hamilton, ON, L9C 4K9

Hello

This letter is to serve as a witness for the challenges experienced by the owner, Tessa Hayman, in regards to the driveway and front yard landscaping of the property 884 Garth St, Hamilton, prior to May 2023.

Prior to May 2023, the landscaping of the front yard caused constant flooding after rain in the front part of the yard and that leaked onto our front yard along with frequent episodes of ice that snilled onto our front yard and the front sidewalk during wintertime melts and freezes. This was due to the fact that the front yard near the house is elevated above neighbour properties by a few feet and it slopes down from the house and ended up below the ground level by the time it reached the sidewalk and city property. Prior to the concrete that was poured in May 2023, the front yard area that is currently concrete was an existing mixture of gravel, asphalt, dirt and broken brick. The owners constantly added gravel to the area to bring it up to sidewalk level each year as the front would sink to try and deal with the flooding issues but this was not successful after 5+ years of trying to fix the drainage issues. In addition, the gravel and dirt constantly ended up on the sidewalk making it difficult for us to drive over it with our baby stroller when walking past the property even with the best attempts of the owner to keep the sidewalk cleaned on a regular basis.

After the concrete was poured in May 2023, there have been no further issues of gravel ending up on the sidewalk, there were no further flooding or drainage issues and there have been no issues with ice on the sidewalk or our property this winter. The driveway is now level with our property and has not caused any problems since completed. Having the driveway paved the full width of the property has also helped us have a safer sidewalk for our kids and we appreciate that Tessa had this work completed for neighbourhood safety.

Thank you.

Name: Tiffany White  
Address: 880 Garth St  
Date: March 1<sup>st</sup> 2024  
365-324-0800

Sign: Tiffany White

Witness: 

March 1, 2024

To: Whom it May Concern  
Hamilton City Hall - Committee of Adjustment & Delegated Consent Authority  
71 Main St W  
Hamilton, ON L8P4Y5

RE: Driveway of 884 Garth St Hamilton, ON, L9C 4K9

Hello.

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Prior to May 2023, the landscaping of the front yard caused constant flooding after rain in the front part of the yard and frequent episodes of ice that spilled onto the front sidewalk and our driveway during wintertime melts and freezes. This was due to the fact that the front yard near the house is elevated above neighbour properties by a few feet and it slopes down from the house and ended up below the ground level by the time it reached the sidewalk and city property. Prior to the concrete that was poured in May 2023, the front yard area that is currently concrete was an existing mixture of gravel, asphalt, dirt and broken brick. The owners constantly added gravel to the area to bring it up to sidewalk level each year as the front would sink to try and deal with the flooding issues but this was not successful after 5+ years of trying to fix the drainage issues. In addition, the gravel and dirt constantly ended up on the sidewalk and our driveway during warm seasons causing extra maintenance for us and difficulty for people with mobility challenges or strollers using the sidewalk.

After the concrete was poured in May 2023, there were no further issues of gravel ending up on our driveway or the sidewalk, there were no further flooding or drainage issues and there have been no issues with ice on the sidewalk or our property this winter. The driveway is now level with our property and has not caused any problems since completed. Having the driveway paved the full width of the property has also helped us to have a turn around point for our vehicles which lets us enter onto busy Garth St more safely and we appreciate that Tessa had this work completed.

Thank you,

Name: James MacDonald  
Address: 888 Garth St  
Date: March 1/24

Sign:



Witness:



(289) 698-7703



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION  
UNDER SECTION 45 OF THE PLANNING ACT**

**1. APPLICANT INFORMATION**

	NAME		
Registered Owners(s)	TESSA HAYMAN		
Applicant(s)			E-mail:
Agent or Solicitor			Phone:
			E-mail:

1.2 All correspondence should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.3 Sign should be sent to  Purchaser  Owner  
 Applicant  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent \_\_\_\_\_

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

**2. LOCATION OF SUBJECT LAND**

2.1 Complete the applicable sections:

Municipal Address	884 GARTH ST, HAMILTON, ON		
Assessment Roll Number			
Former Municipality			
Lot	PT LT 19	Concession	CON 5, BARTON
Registered Plan Number		Lot(s)	AS IN VM166791, HAMILTON
Reference Plan Number (s)		Part(s)	

PIN 17033-0136 (LP)

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

### 3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

REDUCTION IN FRONT YARD LANDSCAPE AREA REQUIREMENTS.

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

THE DRIVEWAY IS ALREADY PAVED.

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

### 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.71 m	37.95m	596.19m	4 LANES.

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
HOUSE	11.96m	15.01m	EAST 0cm W: 154.94cm	1968?

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

DETACHED DUEL FAMILY DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED DWELLINGS

### 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2015

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

~~SINGLE DETACHED DWELLING DUPLEX~~  
DUEL FAMILY DWELLING - DETACHED

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

~~SINGLE DETACHED DWELLING DUPLEX~~  
DUEL FAMILY DWELLING - DETACHED

7.4 Length of time the existing uses of the subject property have continued:

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): ~~R~~ \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) NEIGHBOURHOODS

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? RI ZONE HAMILTON ZONING BYLAW  
~~RESIDENTIAL SINGLE DETACHED DWELLING 05-200~~

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: \_\_\_\_\_

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: \_\_\_\_\_

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes

No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 2

8.2 Number of Dwelling Units Proposed: /

8.3 Additional Information (please include separate sheet if needed):

PLEASE SEE ATTACHED LETTERS OF EYEWITNESS NEIGHBOUR ACCOUNTS. THANK YOU.

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
- \_\_\_\_\_
- \_\_\_\_\_