



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-25:020	SUBJECT PROPERTY:	70 Lakeview Drive, Stoney Creek
ZONE:	R1 – (Low Density Residential)	ZONING BY-LAW:	Hamilton Zoning By-law 05-200

APPLICANTS: Owner: Nisar Ahmad Bhat
Applicant: Haroon Malik

The following variances are requested:

1. A minimum Rear Yard Setback of 5.2 metres shall be provided whereas the by-law requires a minimum of 7.5 metres.
2. A minimum of 33.57% of the front yard shall be landscaped area whereas the by-law requires a minimum of 50%.
3. A maximum driveway width of 66.53% of the lot width and 8.5 metres shall be provided whereas the by-law permits a maximum driveway width of 50% of the lot width or 8.0 metres.

PURPOSE & EFFECT: To facilitate the construction of a triplex.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, March 27, 2025
TIME:	1:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

A-25:020

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon March 25, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon March 26, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:020, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: March 10, 2025

Jamila Sheffield,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

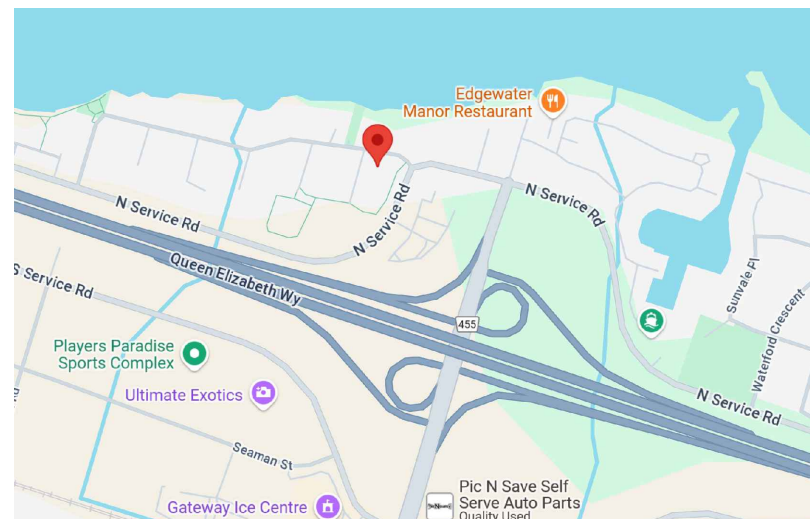
Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

70 LAKEVIEW DR. - HAMILTON - ON L8E 5A5

NEW CUSTOM HOME INFILL RESIDENTIAL PROJECT. NEW TWO STOREY TRIPLEX UNIT DWELLING

LIST OF DRAWINGS

Sr.No.	DESCRIPTION	DWG#
1	COVER PAGE	A101
2	SITE LAYOUT PLAN	A102
3	BASEMENT FLOOR PLAN	A103
4	FIRST FLOOR PLAN	A104
5	SECOND FLOOR PLAN	A105
6	ROOF PLAN	A106
7	FRONT ELEVATION	A107
8	RIGHT SIDE ELEVATION	A108
9	LEFT SIDE ELEVATION	A109
10	REAR ELEVATION	A110



LOCATION PLAN

STREET VIEW

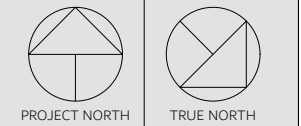
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER REG. 3.2.3.1. OF THE BUILDING CODE
 Name: **Haron Malik** 102742 BCIN
REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER REG. 3.2.3.1. OF THE BUILDING CODE
 Firm Name: **weDesignBuild Inc.** 111001 BCIN



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 NEW TWO STORY
 TRIPLEX DWELLING UNIT

PROJECT ADDRESS
 70 LAKEVIEW DR
 HAMILTON

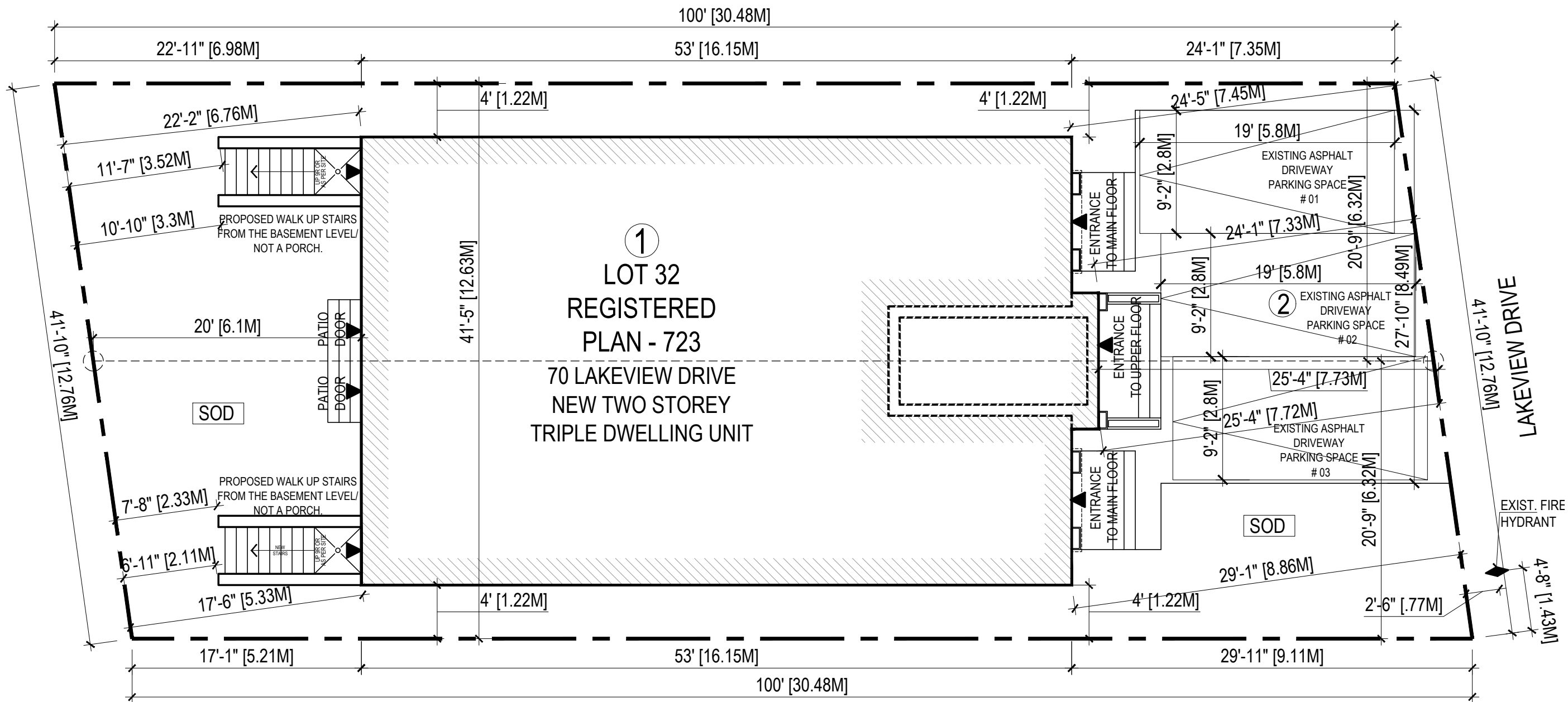
DRAWING TITLE
 COVER PAGE

PROJECT NO.
 20240411 - BAS.

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A101

DATE MODIFIED
 DECEMBER 28, 2024



SITE PLAN

SCALE : 1/8" = 1'-0"

SCOPE OF WORK

NEW CUSTOM HOME INFILL RESIDENTIAL PROJECT.

LOT STATISTICS

ZONING: R1 - Low Density Residential Zone
 LOT NO: 32
 PLAN NO: 723
 LOT AREA: 385.08 M²
 LOT FRONTAGE: 12.76 M
 LOT DEPTH: 30.48 M

① NEW TWO STOREY TRIPLE DWELLING UNIT
 ② PROPOSED DRIVE WAY
 ▲ ENTRANCE / EGRESS

LOT COVERAGE STATISTICS

DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. M.)	% AGE COVERAGE
TOTAL LOT AREA	4145	385.08	100 %
NEW LOT COVERAGE FOR TRIPLE DWELLING UNIT	1793	166.57	43.25 %
MAXIMUM ALLOWED LOT COVERAGE			40.0 %

SITE SET BACKS

FRONT YARD SET BACK	24'-1" & 29'-11"	7.35 M (Min.) & 9.11 M (Max.)
REAR YARD SET BACK	17'-1" & 22'-11"	5.21 M (Min.) & 6.98 M (Max.)
SIDE YARD SET BACK (WEST)	4'-0"	1.22 M
SIDE YARD SET BACK (EAST)	4'-0"	1.22 M

GFA CALCULATIONS (FOR REF. ONLY)

DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. M.)
BASEMENT FLOOR G.F.A	1789	166.20
MAIN FLOOR G.F.A	1789	166.20
SECOND FLOOR G.F.A	1789	166.20
TOTAL G.F.A FOR ALL FLOOR LEVELS	5367	498.60

LANDSCAPED AREA

DESCRIPTION (AREA)	% AGE PROPOSED	% AGE MINIMUM
FRONT YARD LANDSCAPE	33.57 %	50.0 %
TOTAL LANDSCAPE AREA	36.16 %	30.0 %

GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

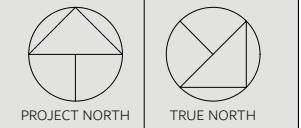
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION

PROJECT NORTH

TRUE NORTH



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT FROM REG. 3.2.1.1 OF THE BUILDING CODE
 Name: Haroon Malik
 Registration Number: 102742 BCIN
 REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER REG. 3.2.1.1 OF THE BUILDING CODE
 Firm Name: weDesignBuild Inc.
 Registration Number: 111001 BCIN



weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW TWO STORY TRIPLEX DWELLING UNIT

PROJECT ADDRESS
70 LAKEVIEW DR HAMILTON

DRAWING TITLE
SITE PLAN

PROJECT NO.
20240411 - BAS.

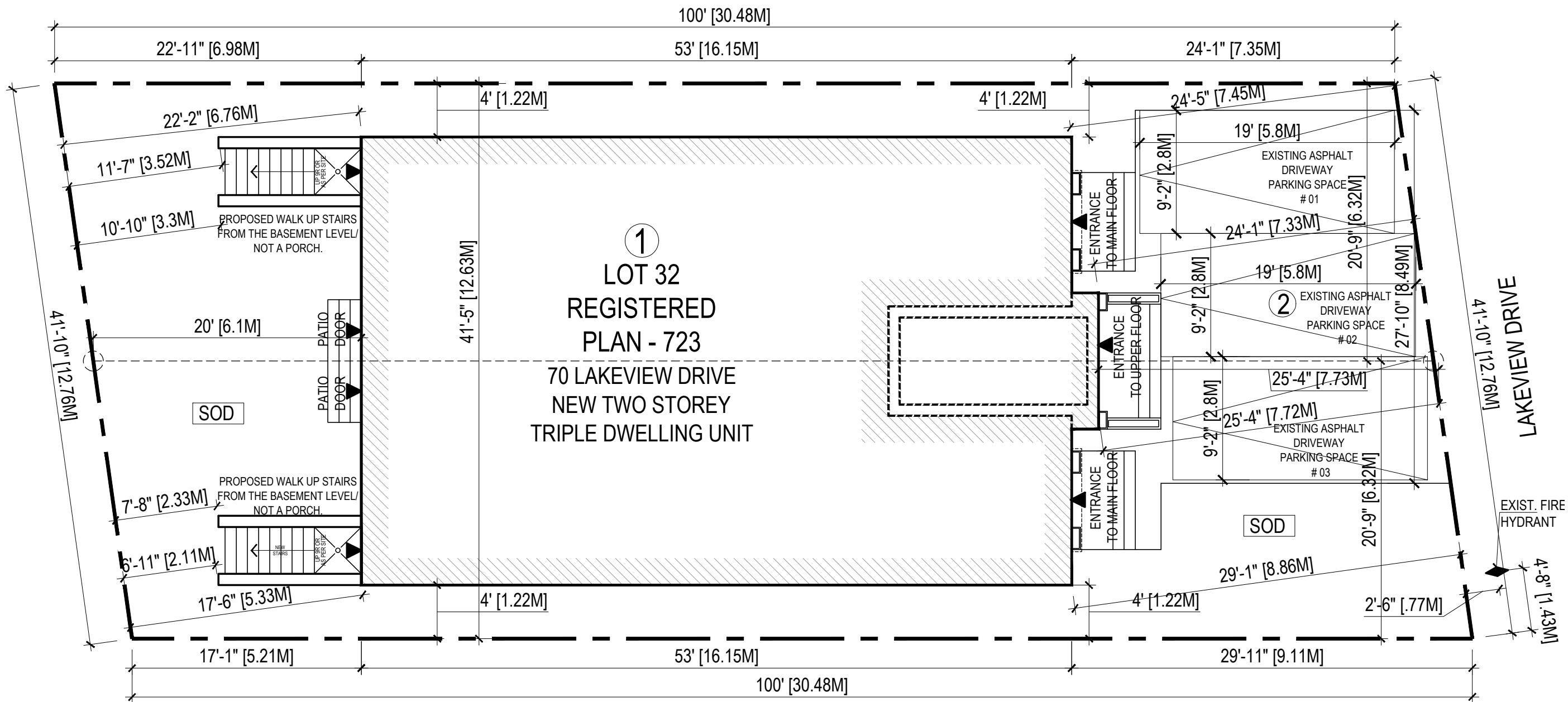
DRAWN
M.N.

CHECKED
H.M.

DRAWING NO.

A102

DATE MODIFIED
 DECEMBER 28, 2024



SITE PLAN

SCALE : $\frac{1}{8}'' = 1'-0''$

SCOPE OF WORK

NEW CUSTOM HOME INFILL RESIDENTIAL PROJECT.

LOT STATISTICS

ZONING: R1 - Low Density Residential Zone
 LOT NO: 32
 PLAN NO: 723
 LOT AREA: 385.08 M²
 LOT FRONTAGE: 12.76 M
 LOT DEPTH: 30.48 M

① NEW TWO STOREY TRIPLE DWELLING UNIT
 ② PROPOSED DRIVE WAY
 ▲ ENTRANCE / EGRESS

LOT COVERAGE STATISTICS

DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. M.)	% AGE COVERAGE
TOTAL LOT AREA	4145	385.08	100 %
NEW LOT COVERAGE FOR TRIPLE DWELLING UNIT	1793	166.57	43.25 %
MAXIMUM ALLOWED LOT COVERAGE			40.0 %

SITE SET BACKS

FRONT YARD SET BACK	24'-1" & 29'-11"	7.35 M & 9.11 M	(MIN. & MAXIMUM DISTANCES)
REAR YARD SET BACK	17'-1" & 22'-11"	5.21 M & 6.98 M	(MIN. & MAXIMUM DISTANCES)
SIDE YARD SET BACK (RIGHT)	4'-0"		1.22 M
SIDE YARD SET BACK (LEFT)	4'-0"		1.22 M

GFA CALCULATIONS (FOR REF. ONLY)

DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. M.)
BASEMENT FLOOR G.F.A	1789	166.20
MAIN FLOOR G.F.A	1789	166.20
SECOND FLOOR G.F.A	1789	166.20
TOTAL G.F.A FOR ALL FLOOR LEVELS	5367	498.60

LANDSCAPED AREA

DESCRIPTION (AREA)	% AGE PROPOSED	% AGE MINIMUM
FRONT YARD LANDSCAPE	33.57 %	50.0 %
TOTAL LANDSCAPE AREA	36.16 %	30.0 %

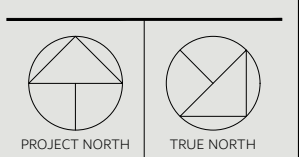
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER REG. 3-2.1.3. OF THE BUILDING CODE

Name: Haroon Malik 102742 BCIN

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER REG. 3-2.1.1. OF THE BUILDING CODE

Firm Name: weDesignBuild Inc. 111001 BCIN



weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE

NEW TWO STORY TRIPLEX DWELLING UNIT

PROJECT ADDRESS

70 LAKEVIEW DR HAMILTON

DRAWING TITLE

SITE PLAN

PROJECT NO.

20240411 - BAS.

DRAWN

M.N.

CHECKED

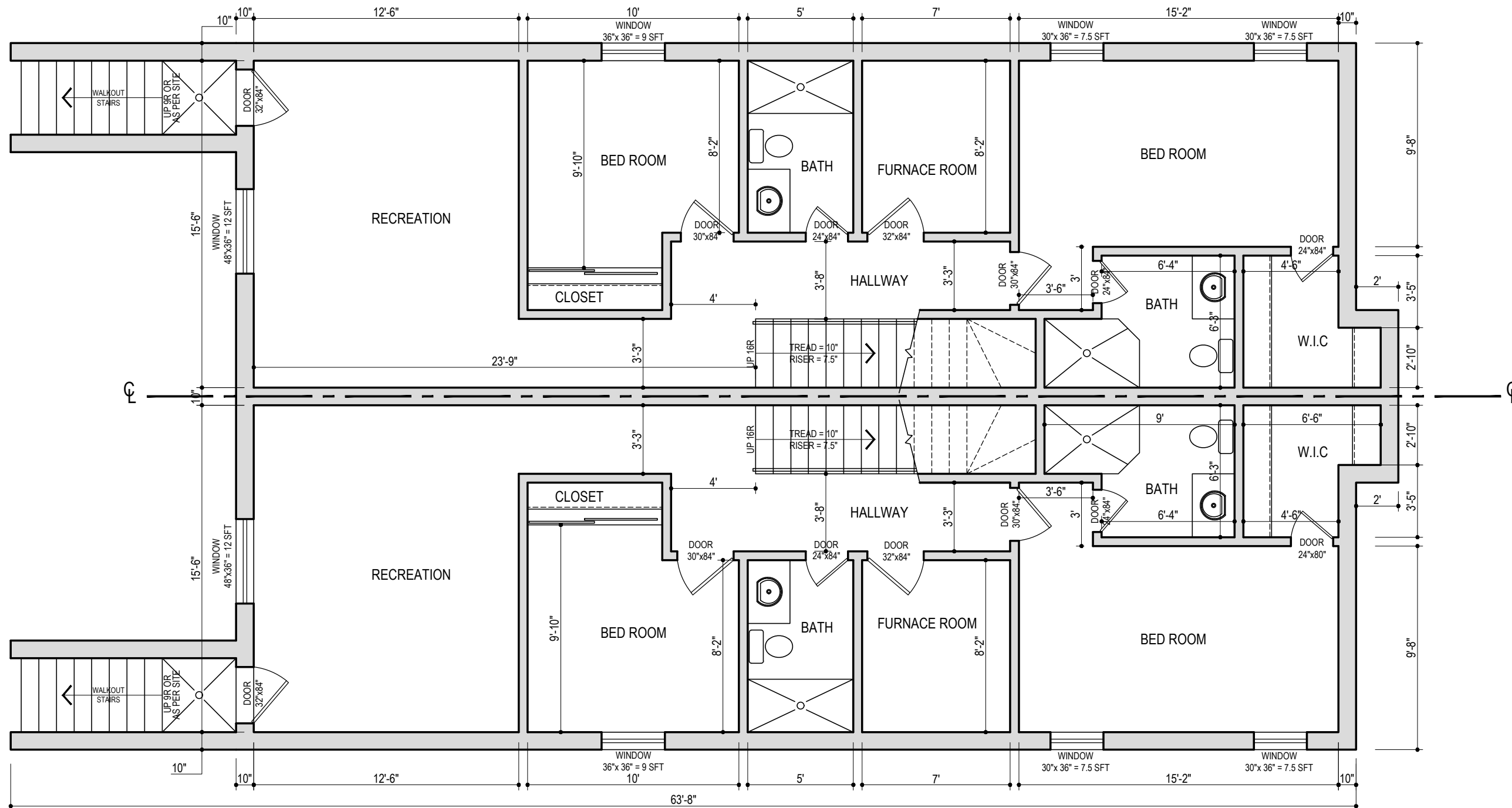
H.M.

DRAWING NO.

A102

DATE MODIFIED

DECEMBER 28, 2024



BASEMENT FLOOR PLAN

SCALE : $\frac{3}{16}'' = 1'-0''$

BASEMENT FLOOR AREA = 1789 SFT. / 166.20 M²

CEILING HEIGHT = 8'-0"

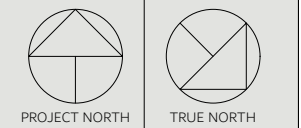
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. 2.2.1.3 OF THE BUILDING CODE
 Name: **Haron Malik** 102742 BCIN
REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. 2.2.1.3 OF THE BUILDING CODE
 Firm Name: **weDesignBuild Inc.** 111001 BCIN



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

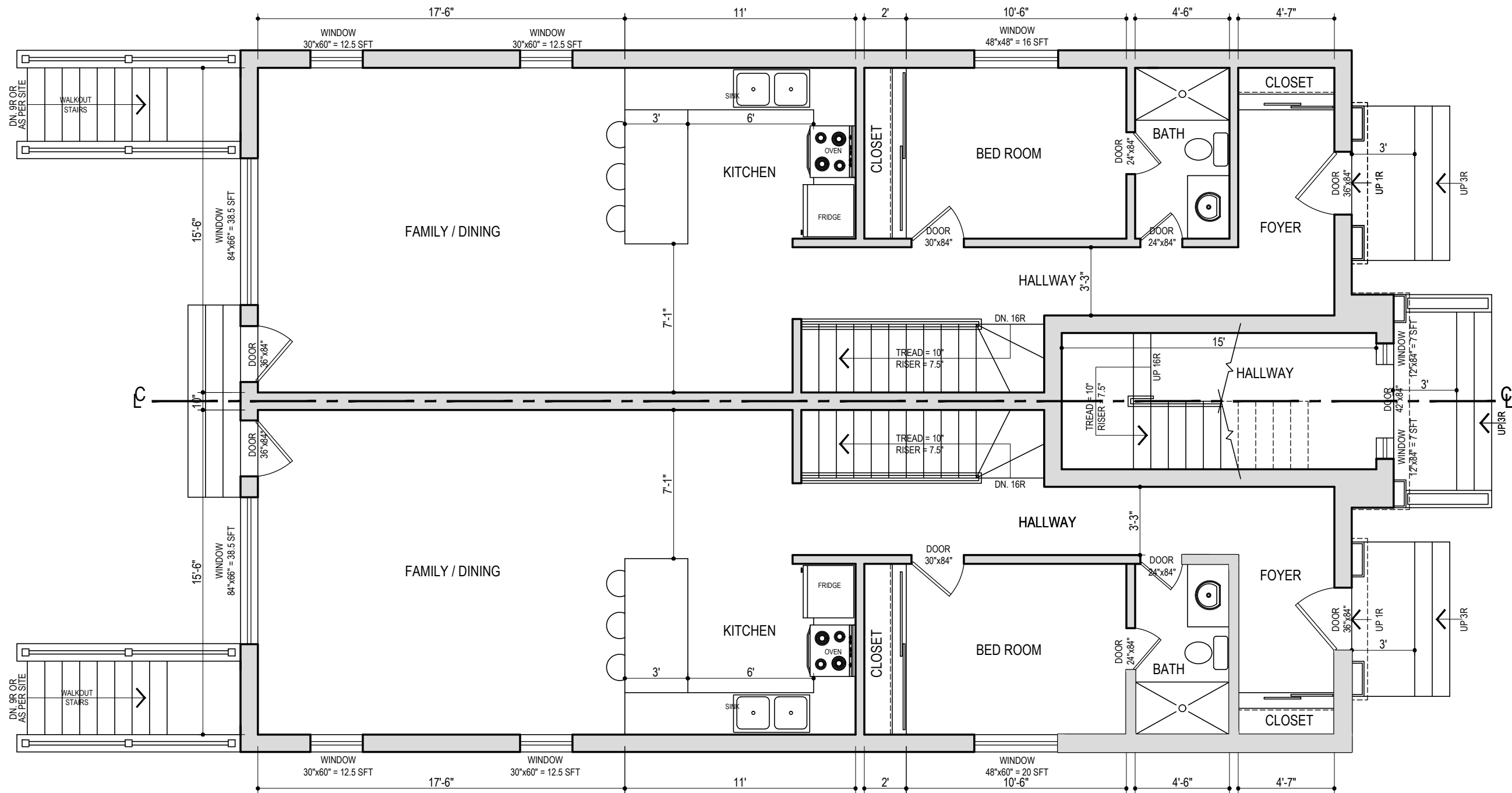
PROJECT TITLE
 NEW TWO STORY
 TRIPLEX DWELLING UNIT
PROJECT ADDRESS
 70 LAKEVIEW DR
 HAMILTON

DRAWING TITLE
 NEW BASEMENT
 FLOOR PLAN

PROJECT NO.
 20240411 - BAS.

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A103
DATE MODIFIED
 DECEMBER 28, 2024



GROUND FLOOR PLAN

SCALE : $\frac{3}{16}'' = 1'-0''$

GROUND FLOOR AREA = 1789 SFT. / 166.20 M²

CEILING HEIGHT = 9'-0"

GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

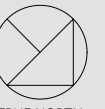
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



PROJECT NORTH



TRUE NORTH

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT FROM REG. C-3.2.1.3 OF THE BUILDING CODE

Name: **Haroon Malik** 102742 BCIN

REQUIRED UNLESS DESIGN IS EXEMPT UNDER REG. C-3.2.1.3 OF THE BUILDING CODE

Firm Name: **weDesignBuild Inc.** 111001 BCIN



weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
(647) 770 3230 info@weDesignBuild.ca
www.weDesignBuild.ca

PROJECT TITLE
NEW TWO STORY
TRIPLEX DWELLING UNIT

PROJECT ADDRESS
70 LAKEVIEW DR
HAMILTON

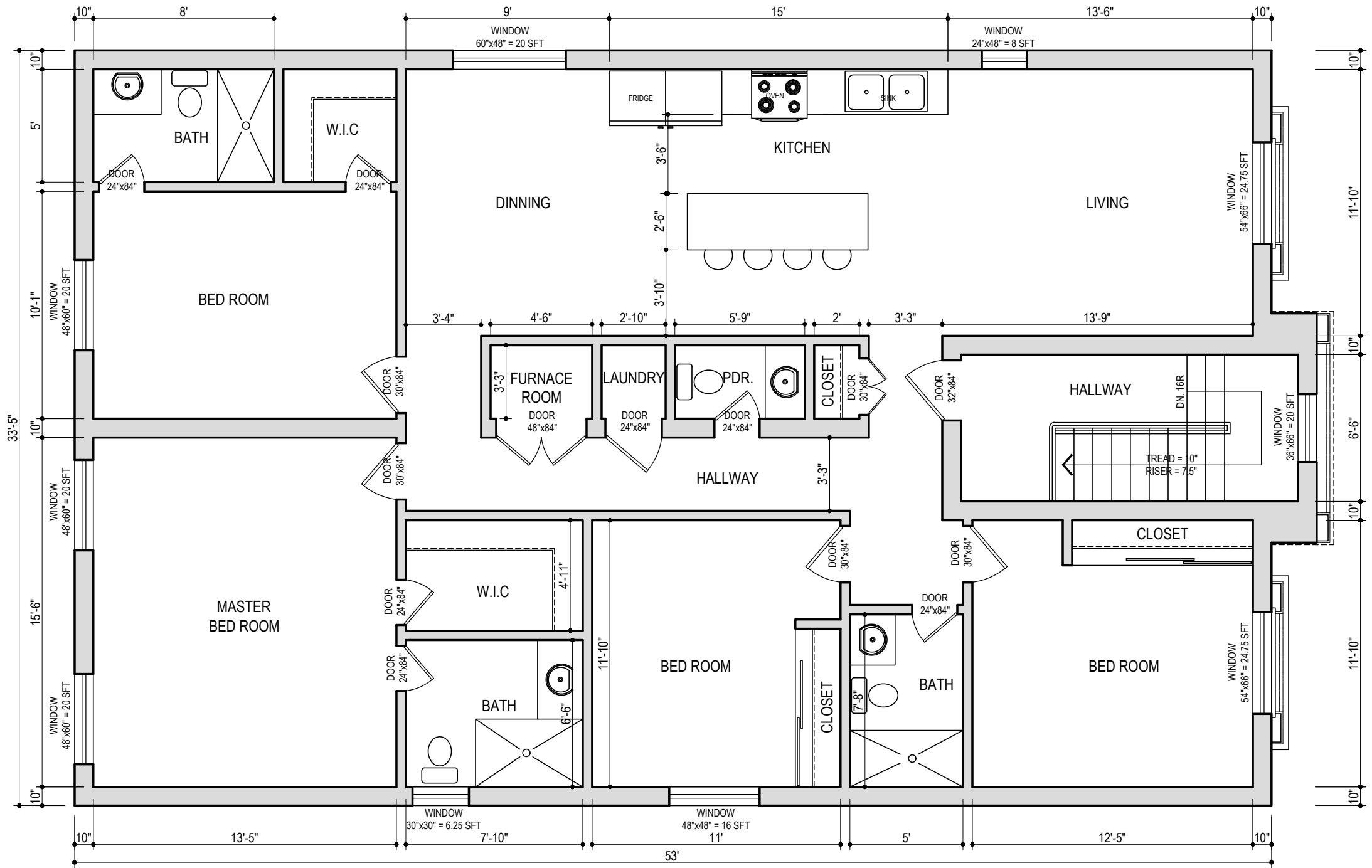
DRAWING TITLE
NEW GROUND
FLOOR PLAN

PROJECT NO.
20240411 - BAS.

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A104

DATE MODIFIED
DECEMBER 28, 2024



SECOND FLOOR PLAN

SCALE : $\frac{3}{16}'' = 1'-0''$

SECOND FLOOR AREA = 1789 SFT. / 166.20 M²

CEILING HEIGHT = 9'-0"

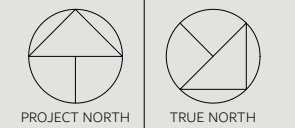
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER P.L.C. 3.2.3.1 OF THE BUILDING CODE
 Name: **Haron Malik** 102742 BCIN
 REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER P.L.C. 3.2.3.1 OF THE BUILDING CODE
 Firm Name: **weDesignBuild Inc.** 111001 BCIN



weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 NEW TWO STORY
 TRIPLEX DWELLING UNIT

PROJECT ADDRESS
 70 LAKEVIEW DR
 HAMILTON

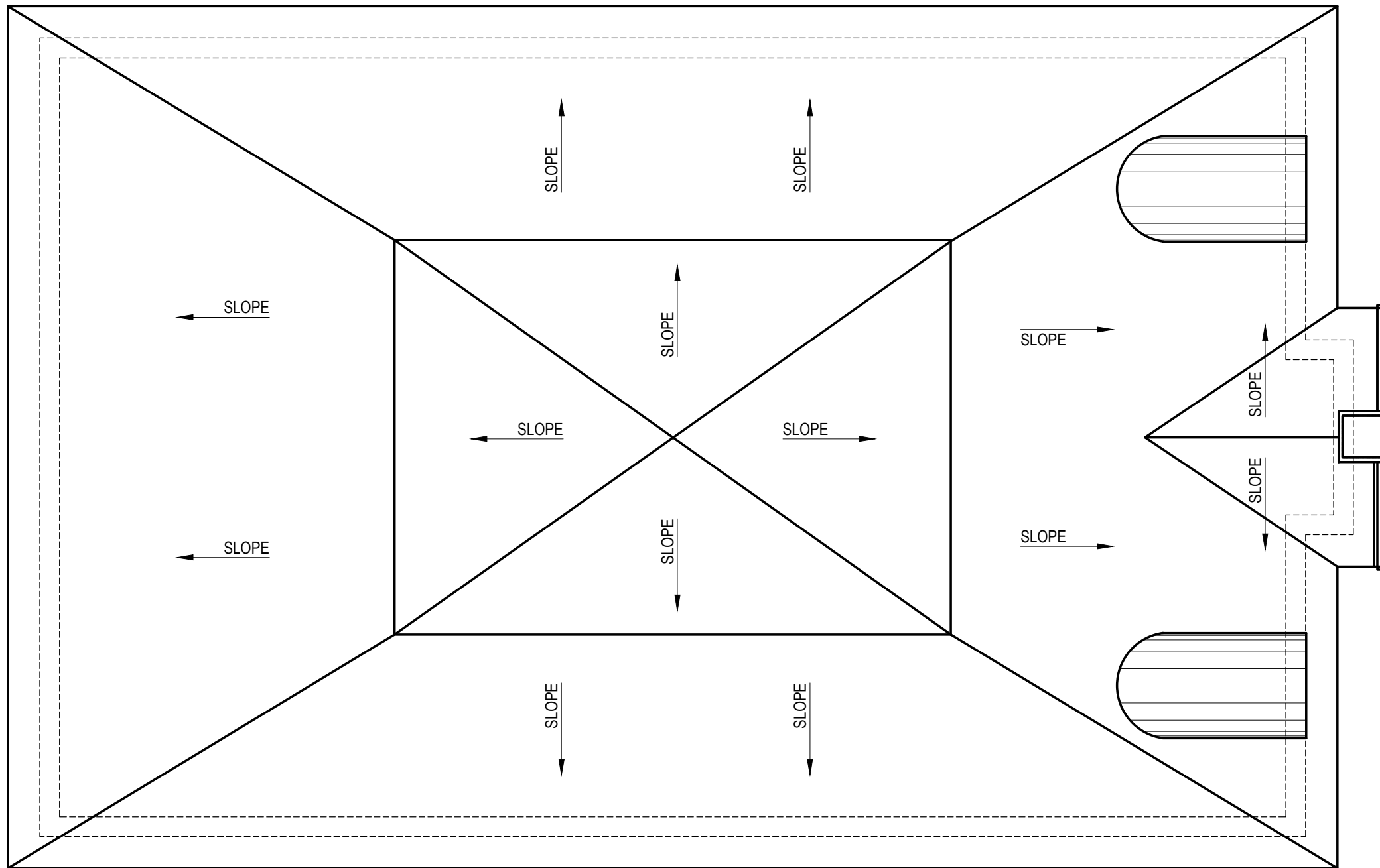
DRAWING TITLE
 NEW SECOND
 FLOOR PLAN

PROJECT NO.
 20240411 - BAS.

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A105

DATE MODIFIED
 DECEMBER 28, 2024



ROOF PLAN
 SCALE : $\frac{1}{8}'' = 1'-0''$

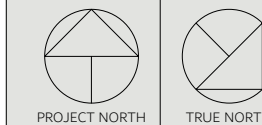
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C-3.2.1.3 OF THE BUILDING CODE
 Name: **Haroon Malik** BCIN: **102742**

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C-3.2.1.4 OF THE BUILDING CODE
 Firm Name: **weDesignBuild Inc.** BCIN: **111001**



weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW TWO STORY
TRIPLEX DWELLING UNIT

PROJECT ADDRESS
70 LAKEVIEW DR
HAMILTON

DRAWING TITLE
NEW ROOF PLAN

PROJECT NO.
20240411 - BAS.

DRAWN M.N.	CHECKED H.M.
----------------------	------------------------

DRAWING NO.
A106

DATE MODIFIED
 DECEMBER 28, 2024



FRONT ELEVATION

SCALE : $\frac{3}{16}'' = 1'-0''$
 GLAZED OPENINGS:
 WALL AREA: 1180 SFT / 109.62 M²
 LIMITING DISTANCE = 7.73 M
 WINDOW AREA PROVIDED: 16+20+30+
 5+5 = 76.0 SFT / 7.06 M² (6.44%)
 WINDOW AREA ALLOWED: 100%

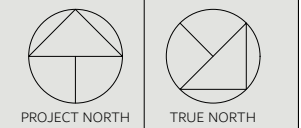
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT FROM REG. 3.2.1.3 OF THE BUILDING CODE
 Name: Haroon Malik 102742 BCIN
 REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. 3.2.1.1 OF THE BUILDING CODE
 Firm Name: weDesignBuild Inc. 111001 BCIN

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
NEW TWO STORY TRIPLEX DWELLING UNIT

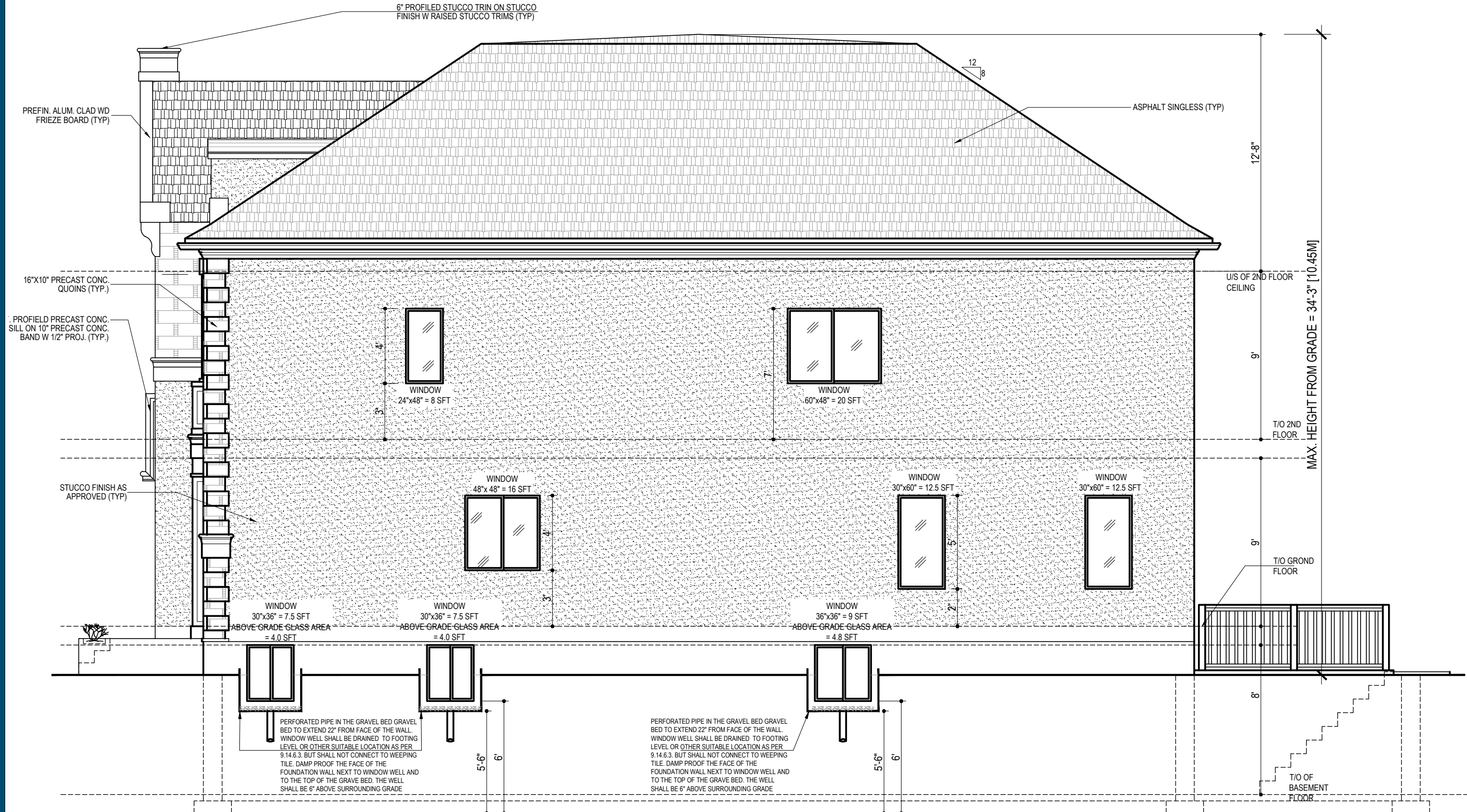
PROJECT ADDRESS
70 LAKEVIEW DR HAMILTON

DRAWING TITLE
NEW ELEVATION

PROJECT NO.
20240411 - BAS.

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A107
 DATE MODIFIED
 DECEMBER 28, 2024



RIGHT SIDE ELEVATION

SCALE : $\frac{3}{16}$ " = 1'-0"

GLAZED OPENINGS:
 WALL AREA: 1180 SFT / 109.62 M²
 LIMITING DISTANCE = 1.22 M
 WINDOW AREA PROVIDED: 8+20+16+12.5+12.5+4+4+4.8= 81.8 SFT / 7.59 M² (6.93%)
 WINDOW AREA ALLOWED: 7%

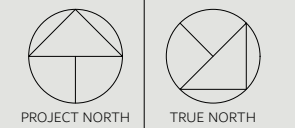
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IN EXEMPT FROM P.C. 3.2.1.3 OF THE BUILDING CODE
 Name: Haroon Malik 102742 BCIN
 REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IN EXEMPT UNDER DIV. 3.2.1.1 OF THE BUILDING CODE
 Firm Name: weDesignBuild Inc. 111001 BCIN



weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 NEW TWO STORY
 TRIPLEX DWELLING UNIT

PROJECT ADDRESS
 70 LAKEVIEW DR
 HAMILTON

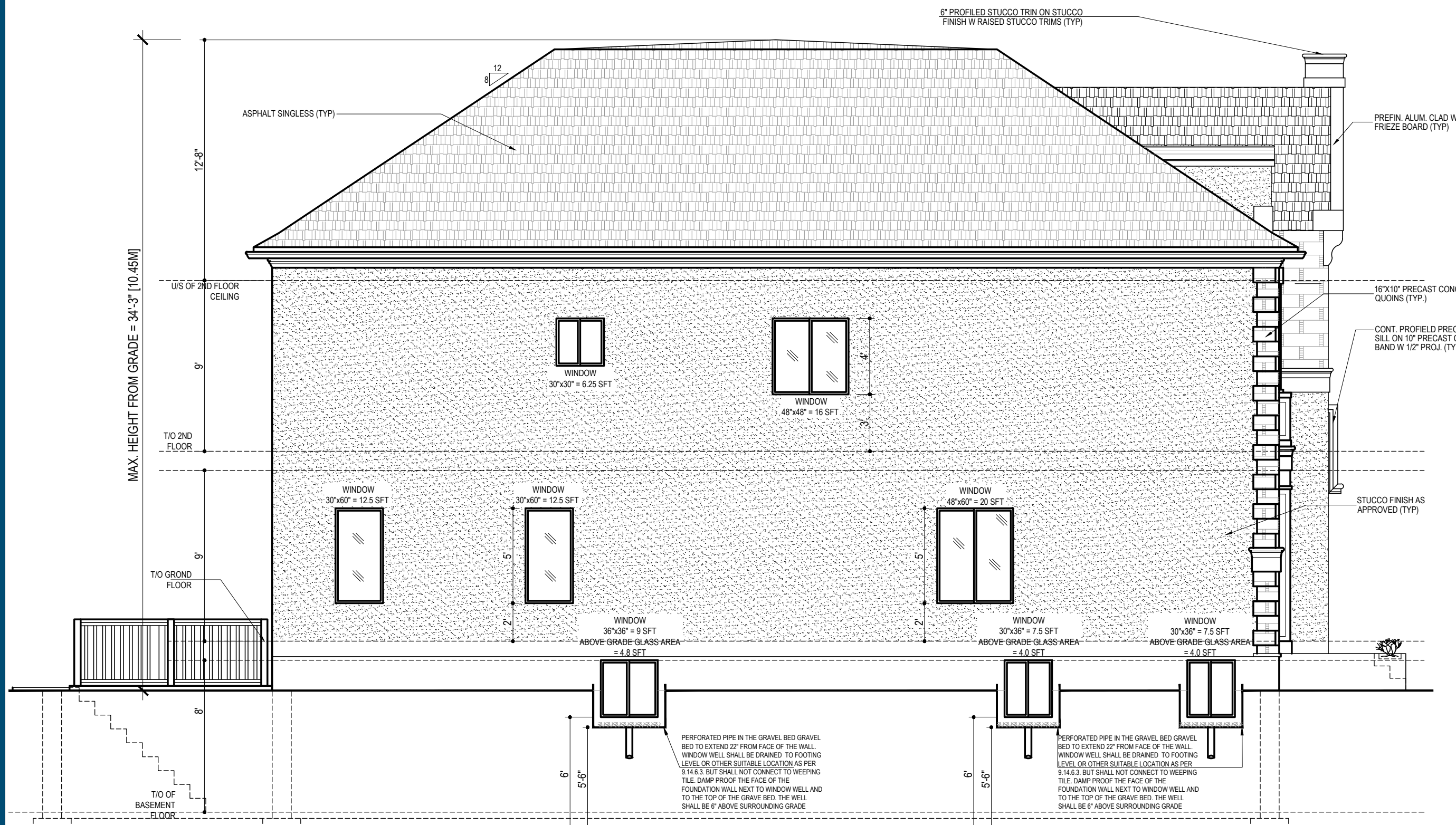
DRAWING TITLE
 NEW ELEVATION

PROJECT NO.
 20240411 - BAS.

DRAWN M.N. **CHECKED** H.M.

DRAWING NO.
A108

DATE MODIFIED
 DECEMBER 28, 2024



LEFT SIDE ELEVATION

SCALE : $\frac{3}{16}$ " = 1'-0"

GLAZED OPENINGS:
 WALL AREA: 1180 SFT / 109.62 M²
 LIMITING DISTANCE = 1.22 M
 WINDOW AREA PROVIDED: 6.25+16+20+12.5+12.5+4+4+4.8= 80.05 SFT / 7.43 M² (6.78%)
 WINDOW AREA ALLOWED: 7%

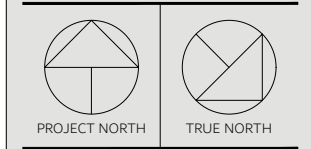
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN EXEMPT UNDER DIV. C-1.2.1.3 OF THE BUILDING CODE
 Name: **Haron Malik** 102742 BCIN
 REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN EXEMPT UNDER DIV. C-1.2.1.3 OF THE BUILDING CODE
 Firm Name: **weDesignBuild Inc.** 111001 BCIN

weDesignBuild Inc.
 MAKE IDEAS HAPPEN
 205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
 NEW TWO STORY TRIPLEX DWELLING UNIT

PROJECT ADDRESS
 70 LAKEVIEW DR
 HAMILTON

DRAWING TITLE
 NEW ELEVATION

PROJECT NO.
 20240411 - BAS.

DRAWN M.N. **CHECKED** H.M.

DRAWING NO.
A109
DATE MODIFIED
 DECEMBER 28, 2024



MAX. HEIGHT FROM GRADE = 34'-3" [10.45M]

REAR ELEVATION

SCALE : $\frac{3}{16}'' = 1'-0''$

GLAZED OPENINGS:
 WALL AREA: 745 SFT / 69.21 M²
 LIMITING DISTANCE = 6.1 M
 WINDOW AREA PROVIDED: 20+20+20+38.5+
 38.5+6.4+6.4 = 149.8 SFT / 13.92 M² (20.10%)
 WINDOW AREA ALLOWED: 34%

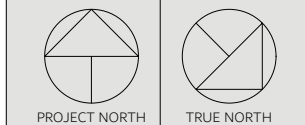
GENERAL NOTES:

COPYRIGHT REMAINS THE PROPERTY OF WEDESIGNBUILD INC. THESE PLANS, DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF WEDESIGNBUILD INC. AND MUST NOT BE LENT, RESOLD, HIRED OUT OR OTHERWISE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER.

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY JOB AT SITE. WORK NOT SPECIFICALLY DETAILED HEREWITH SHALL BE EXECUTED TO THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SIMILAR WORK. ALL WORKS SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAWS AND STANDARDS.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SITE CONDITIONS ENCOUNTERED ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS INCLUDING ROUGH OPENINGS ETC. CONSTRUCTION SHALL ONLY COMMENCE AFTER PERMIT APPROVAL HAS BEEN OBTAINED FROM ALL RESPECTIVE AUTHORITIES.

REV	DATE	DESCRIPTION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEET THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IN EXEMPT FROM P.C. 3.2.1.3 OF THE BUILDING CODE
 Name: Haroon Malik 102742 BCIN
REGISTRATION INFORMATION
 REQUIRED UNLESS DESIGN IN EXEMPT UNDER DIV. C-3.2.1.1 OF THE BUILDING CODE
 Firm Name: weDesignBuild Inc. 111001 BCIN



weDesignBuild Inc.

MAKE IDEAS HAPPEN

205 Advance Blvd Brampton ON L6T 4V9
 (647) 770 3230 info@weDesignBuild.ca
 www.weDesignBuild.ca

PROJECT TITLE
**NEW TWO STORY
 TRIPLEX DWELLING UNIT**

PROJECT ADDRESS
**70 LAKEVIEW DR
 HAMILTON**

DRAWING TITLE
NEW ELEVATION

PROJECT NO.
20240411 - BAS.

DRAWN M.N.	CHECKED H.M.
---------------	-----------------

DRAWING NO.
A110

DATE MODIFIED
 DECEMBER 28, 2024



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)		
Applicant(s)		
Agent or Solicitor		

1.2 Primary contact Applicant Owner
Agent/Solicitor

1.3 Sign should be sent to Applicant Owner
Agent/Solicitor

1.4 Request for digital copy of sign Yes* No
If YES, provide email address where sign is to be sent [REDACTED]

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone*
Cheque [REDACTED]

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address			
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
(TO BE DEMOLISHED COMPLETELY)				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

lake or other water body
 other means (specify)

4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

ditches
 other means (specify)

- 4.6 Type of sewage disposal proposed: (check appropriate box)
 publicly owned and operated sanitary sewage
 system privately owned and operated individual
 septic system other means (specify)
- 4.7 Type of access: (check appropriate box)
 provincial highway right of way
 municipal road, seasonally maintained other public road
 municipal road, maintained all year
- 4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
- 4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

7 HISTORY OF THE SUBJECT LAND

- 7.1 Date of acquisition of subject lands:
- 7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
- 7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
- 7.4 Length of time the existing uses of the subject property have continued:
- 7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable):

Rural Settlement Area:

Urban Hamilton Official Plan designation (if applicable)

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1 - Low Density Residential

7.8 Has the owner previously applied for relief in respect of the subject property?
 (Zoning By-law Amendment or Minor Variance)

Yes No

If yes, please provide the file number: N/A

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number:

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing:

8.2 Number of Dwelling Units Proposed:

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

Application Fee

Site Sketch

Complete Application form

Signatures Sheet

11.4 Other Information Deemed Necessary

Cover Letter/Planning Justification Report

Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance

Minimum Distance Separation Formulae (data sheet available upon request)

Hydrogeological Assessment

Septic Assessment

Archeological Assessment

Noise Study

Parking Study