

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

<b>APPLICATION NO.:</b>	<b>A-25:030</b>	<b>SUBJECT PROPERTY:</b>	4 Turner Avenue, Hamilton
<b>ZONE:</b>	R2 (Low Density Residential - Large Lot) Zone	<b>ZONING BY-LAW:</b>	Hamilton Zoning By-law 05-200, as Amended by By-law 24-051

**APPLICANTS:** Owner: Crystal Homes Corporation  
Agent: MHBC Planning Ltd. c/o David McKay

The following variances are requested:

1. A minimum lot area of 397.00 square metres shall be permitted instead of the minimum required lot area of 630.0 square metres.
2. A minimum lot width of 12.0 metres shall be permitted instead of the minimum required lot width of 18.0 metres.
3. A minimum side yard setback of 1.2 metres shall be provided from the northerly side lot line and a minimum side yard setback of 1.1 metres shall be provided from the southerly side lot line instead of the minimum required side yard setback of 2.0 metres.
4. A maximum building height of 12.2 metres shall be permitted instead of the maximum permitted building height of 10.5 metres.
5. A maximum lot coverage of 47% of the lot area shall be provided instead of the maximum permitted lot coverage of 35% of the lot area.

**PURPOSE & EFFECT:** To permit the construction of a Single Detached Dwelling

**Notes:**

- i. Please be advised that the Electric Vehicle Parking requirements under By-law 24-052, remain under appeal and are not covered under Section 1.12 of the "Transitional Provisions" of the Hamilton Zoning By-law 05-200. At present, a review of the Electric Parking requirements has

## A-25:030

not been included in the following zoning chart. If the remaining portions of By-law 24-052 become final before issuance of a building permit, the Electric Vehicle Parking requirements will be applicable upon review for such building permit.

- ii. The applicant shall ensure the proposed building height has been calculated from average finished grade to the uppermost portion of the building in accordance with Building Height and Grade as defined within Hamilton Zoning By-law 05-200.
- iii. The applicant shall ensure that the eave and gutter do not encroach into a required yard greater than the maximum permitted encroachment of 0.6 metres or to a maximum of half the distance of the required yard, whichever is the lesser.
- iv. The applicant shall ensure that any proposed Mechanical and Unitary Equipment complies with the requirements of Section 4.9 of Hamilton Zoning By-law 05-200.
- v. The applicant shall ensure a single area within the required front yard landscaping is provided for tree protection and/or tree planting, where each side measures a minimum of 3.75 metres in length and where no hard landscaping or structures are located.
- vi. The lands are located within a Parking Rate Area (PRA) 1; as such, no parking is required to be provided for the proposed Single Detached Dwelling. However, should parking be proposed, the applicant shall ensure such parking space(s) comply with the Parking requirements of Section 5 of Hamilton Zoning By-law 05-200.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, March 27, 2025</b>
<b>TIME:</b>	<b>2:25 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

## PUBLIC INPUT

**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be

## A-25:030

received no later than noon March 25, 2025

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon March 26, 2025

### FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:030, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



**Subject Lands**

DATED: March 10, 2025

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Jamila Sheffield,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

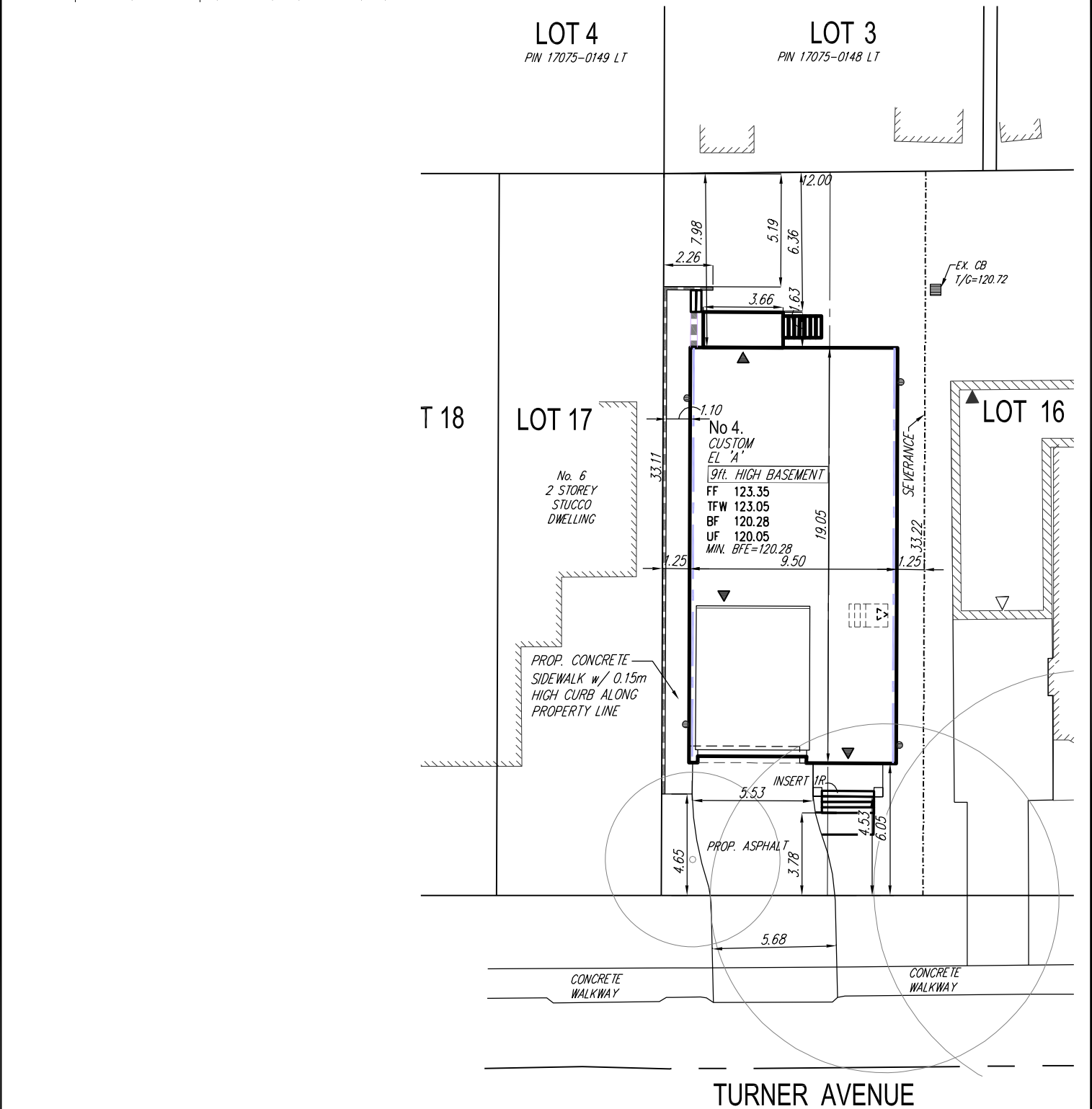
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

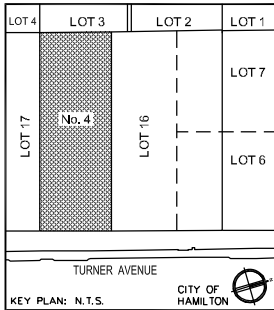
We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



TOTAL LANDSCAPE AREA	
LOT No.:	4
LOT AREA:	397.95 m <sup>2</sup>
SOFT AREA:	177.52 m <sup>2</sup>
LOT COV. %:	44.61 %

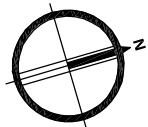
C.O.A.



SITE STATISTICS	
LOT NO.:	4
LOT AREA:	397.95 m <sup>2</sup>
BLDG. AREA:	185.81 m <sup>2</sup>
LOT COVERAGE (MAX. % N/A):	46.69 %
BUILDING HEIGHT CALCULATIONS	
MAX BUILDING HEIGHT:	12.00 m
MEASURED FROM GRADE DEFINITION + DWELLING HEIGHT	
GRADE: LEVEL AT CURB OF STREET	122.25 m
F.F. TO GRADE:	1.43 m
F.F. TO PEAK OF ROOF:	10.72 m
PROPOSED BUILDING HEIGHT:	12.15 m
FRONT YARD LANDSCAPING	
FRONT YARD AREA	67.94 m
HARDSCAPE	34.62 m
SOFTSCAPE (MIN. 50%)	50.96 %

- GENERAL NOTES:
- BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.
  - BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT U/S OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.
  - APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN. BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.
  - UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

-	-	-
-	-	-
-	-	-
-	-	-
ISSUED FOR COA	MN	2025.02.06
ISSUED FOR FINAL APPROVAL	MN	2024.09.06
ISSUED FOR PRELIMINARY APPROVAL	MN	2024.08.21



ENGINEERED FILL LOTS	SANITARY MANHOLE	WATER SERVICE	BELL PEDESTAL	HYDRO TRANSFORMER	SAN - SANITARY LINE	DOWNSPOUTS	SUMP PUMP AND SURFACE DISCHARGE LOCATION	FF FINISHED FLOOR
STREET TREE	STORM MANHOLE	HYDRO SERVICE	CABLE PEDESTAL	PADMOUNTED MOTOR	STM - STORM WATER LINE	WINDOWS PERMITTED	UPGRADE ELEVATION	TFW TOP OF FOUNDATION WALL
RETAINING WALL	VALVE & CHAMBER	SHEET DRAINAGE	HYDRO POLE	EXISTING GRADES	W - WATERLINE	45 MINUTE FIRE RATED WALL	CHAIN LINK FENCE	BF BASEMENT FLOOR
CATCH BASIN	VALVE & BOX	STREET LIGHT PEDESTAL	HYDRO POLE GUY	PROPOSED GRADES	H - HYDRO LINE	THAN 1.2m TO LOT LINE, NO WINDOWS PERMITTED	FENCE AND GATE	UF UNDERSIDE OF FOOTING
DOUBLE / SINGLE STM & SAN CONNECTION	HYDRANT	STREET LIGHT	STREET SIGN	SWALE DIRECTION	C - GAS LINE	EXTERIOR DOOR LOCATION	PRIVACY FENCE	WOD WALKOUT DECK
		TRAFFIC SIGNAL POWER PEDESTAL	COMMUNITY MAILBOX	EMBANKMENT / BERM MAX 3:1 SLOPE	B - BELL	EXTERIOR DOOR LOCATION IF GRADE PERMITS	ACOUSTIC FENCE	MOD MODIFIED
					HYDRO, GAS, BELL, CABLE LINE			REV REVERSED
								ND NO DOOR
								HIGHLIGHTED GRADE

SITING AND GRADING PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Mark Nywening 40274

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.

www.huntdesign.ca

LOT 4 TURNER AVENUE

CRYSTAL HOMES - 224015 HAMILTON, ON.

Drawn By Checked By Scale File Number Lot / Page Number

MN MN 1:250 224015.WSP-01.DWG LOT 4

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133





*CUSTOM HOME*

- 1 - TITLE PAGE & CROSS SECTION 'B'
- 2 - BASEMENT & GROUND FLOOR PLAN
- 3 - SECOND & LOFT FLOOR PLAN
- 4 - FRONT & REAR ELEVATION
- 5 - LEFT SIDE ELEVATION
- 6 - RIGHT SIDE ELEVATION
- 7 - CROSS SECTION 'A-A'
- 8 - CONSTRUCTION NOTES

7. BUILDING HEIGHT CALCULATED FROM AVG. GRADE AT STREET CURB LEVEL	2025.02.06	MN
6. ISSUED FOR TENDER & PERMIT	2024.10.01	MP
5. REVISED AS PER ENGINEER COMMENTS (SCHILLERCO)	2024.09.17	MP
4. UPDATED PLANS TO MATCH SITE ORIENTATION AS PER CLIENT REQUEST	2024.09.09	MP
3. ISSUED FOR PRELIM. REVIEW TO SCHILLERCO	2024.08.22	MP
2. REVISED PER FLOOR & TRUSS MANUF. (GILLIES)	2024.08.22	MP
1. ISSUED FOR CLIENT REVIEW	2024.08.19	MN
REVISIONS	DATE (YYYYMMDD)	BY



**HUNT**   
DESIGN ASSOCIATES INC.  
[www.hunt-design.com](http://www.hunt-design.com)

**CRYSTAL HOMES - 224015** **CUSTOM HOME**  
4 TURNER AVE., HAMILTON, ON. REV.2025.02.06

QUALIFICATION INFORMATION	
Mark Nywening	4027
NAME	SIGNATURE
REGISTRATION INFORMATION	
HI INT DESIGN ASSOCIATES INC	1969

Drawn By	Checked By	Scale	File Number	Page Number
UA	MP	3/16"=1'-0"	224015-CUSTOM	1 of 8

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NOTE: PROVIDE 2-5/8" DIA.  
ANCHOR BOLTS 12" LONG C/W 3"  
HOOK FOR ALL BASE PLATES U.N.O.

6"x6" P.T. POSTS TIED TO TOP OF  
12" 15MPa POURED CONC. PIER WITH  
NON-CORROSIVE METAL SHOE (TYP)

6"x6" P.T. POST TIED TO TOP OF 6"x12" 20MPa  
POURED CONC. PIER WITH NON-CORROSIVE METAL  
SHOE & ANCHORED TO MASONRY WALL WITH 1/2" 8  
GALV. MACHINE BOLTS @ 24" O.C. STAGGERED

LINE OF DECK ABOVE  
3-2"x10" P.T. BM. (DRP)

2"x4" P.T. CROSS BRACING  
W/ (2) 4" CONST. LAG  
SCREWS EACH JOISTS  
12'-0"

3-2"x10" P.T. LEDGER BM. (DRP)

JOISTS TO BEAR ON 3-2"x10" P.T.  
LEDGER BEAM TIED TO 6"x6" POST  
EACH END & FASTEN TO HOUSE W/ 1/2"  
DIA. BOLTS @ 24" O.C. FOR LATERAL  
STABILITY DETAIL, REFER TO 07, PG 1-6.

9 1/2" ENG.  
FLOOR JOISTS

9 1/2" ENG.  
FLOOR JOISTS

9 1/2" ENG.  
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FLOOR JOISTS

BASEMENT PLAN

4"x4" P.T. MAIN CORNER POSTS  
4"x4" P.T. INTERMEDIATE POSTS  
AT 5'-1" O.C. MAXIMUM  
2"x5-1/4" P.T. DECKING NAILED  
PERPENDICULAR TO JOISTS  
- LAY DECKING 1/4" APART

DECK  
12'0"x5'4"

W200x27x18x10 STL. PLT.

12'0" SLIDING DOOR HSS. 3.5"x3.5"x1/4" STL. COL. W/  
8" x WIDTH TO SUIT x 1/4" TOP  
3 1/2" STL. COL.

14'-1" PLATE W/ 10"x5"x5/8" BASE PLT.

9 1/2" ENG.  
FLOOR JOISTS

13'10"x9'6"

9 1/2" ENG.  
FLOOR JOISTS

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FLOOR JOISTS

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9 1/2" ENG.  
FLOOR JOISTS

9 1/2" ENG.  
FLOOR JOISTS

GROUND FLOOR PLAN

NOTE: CEILING STRAPPED  
DOWN TO 1/5 OF STEEL BEAM.  
CONTINUOUS THROUGHOUT  
GROUND FLOOR.

GREAT ROOM  
15'4"x24'0"

9 1/2" ENG.  
FLOOR JOISTS

15'4"x24'0"

9 1/2" ENG.  
FLOOR JOISTS

15'4"x24'0"

9 1/2" ENG.  
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15'4"x24'0"

9 1/2" ENG.  
FLOOR JOISTS

LVL5 WIND BRACE FLUSH @ 2F LEVEL  
(GLUED & NAILED TOGETHER) CONNECT  
TO PERPENDICULAR FLUSH BEAMS W/  
CONCEALED FLANGE HANGER EACH END

PROVIDE SOLID WOOD BLOCKING @  
24" O.C. FOR FIRST JOIST SPAN  
WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST  
MANUFACTURER'S DRAWINGS FOR  
LAYOUT, SPACING, BLOCKING &  
STRAPPING REQUIREMENTS  
INSTALLATION DETAILS AND HANGER  
SIZES, & SUBFLOOR THICKNESS

REFER TO FLOOR JOIST  
MANUFACTURER'S DRAWINGS FOR  
LAYOUT, SPACING, BLOCKING &  
STRAPPING REQUIREMENTS  
INSTALLATION DETAILS AND HANGER  
SIZES, & SUBFLOOR THICKNESS



**LOFT FLOOR PLAN**

The plan shows a rectangular layout with the following features and dimensions:

- Overall Dimensions:** 31'-2" wide by 62'-6" deep.
- Rooms and Dimensions:**
  - Bedroom 4:** 12'-4" x 16'-4"
  - Bedroom 5:** 13'-10" x 16'-2"
  - ENS. 4 (Ensuite):** 5'-0" x 4'-6"
  - ENS. 5 (Ensuite):** 5'-0" x 4'-6"
  - Bathroom:** 6'-0" x 4'-2" (Glass Shower)
  - W.I.C. (Walk-In Closet):** 6'-4" x 5'-0"
  - Balcony:** 6'-8" x 2'-11"
- Structural and Construction Notes:**
  - ENG. ROOF TRUSSES (multiple locations)
  - CRF. FOR SADDLE BUILT ON TOP OF TRUSSES
  - RAISE DOOR 6"
  - 42" HIGH PREMANUF. RAILING (SPEC BY BUILDER)
  - EXTENT OF ROOF ABOVE
  - SLOPE BALCONY FLAT ROOF TO DRAIN EDGE
  - PROFIELD ENG. ROOF TRUSSES
- Other Features:**
  - LANDING BY STAIR MANUF.
  - RAILING
  - DN GR.
  - UP GR.
  - SA (Staircase)
  - SA C.M.D.
  - O.T.B. (Over-the-top beam)
  - FUR-IN NAIL 2"

LOFT FLOOR PLAN

Drawn By	Checked By	Scale	File Number	Page Number
UA	MP	3/16"=1'-0"	224015-CUSTOM	3 of 8
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133				



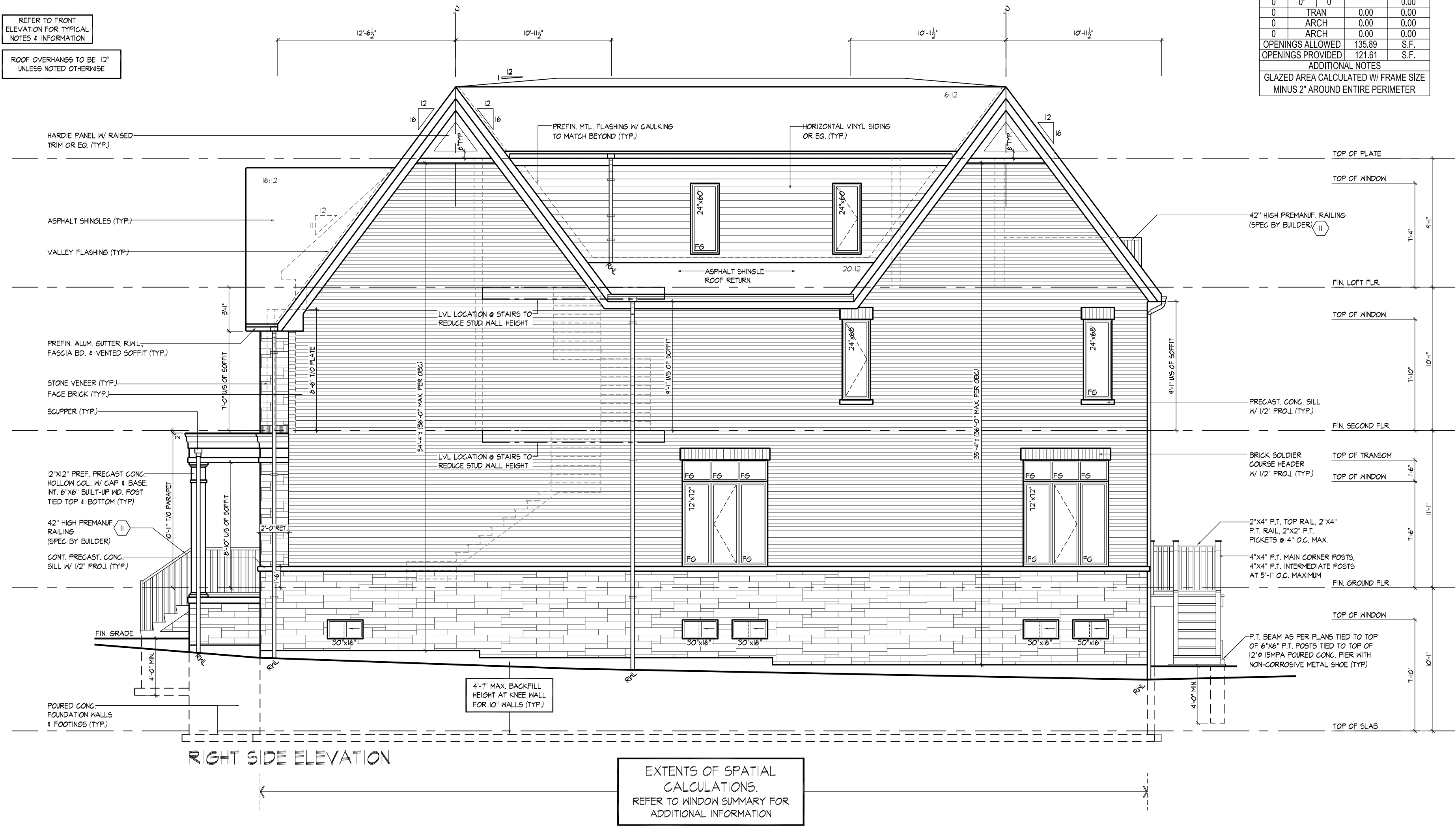




SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
RIGHT SIDE ELEVATION			
EXPOSING BUILDING		1941.23	S.F.
FACE AREA		180.35	S.M.
PORTION WALL AREA		1941.23	S.F.
		180.35	S.M.
LIMITING DISTANCE		1.2m	%
MAX. % OPENINGS		7	%
QUAN	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	24"	60"	15.56
2	24"	68"	17.78
2	72"	72"	64.22
5	30"	16"	10.83
2	72"	18"	13.22
0	0"	0"	0.00
0	TRAN	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
OPENINGS ALLOWED		135.89	S.F.
OPENINGS PROVIDED		121.61	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE









## SECTION 1.0. CONSTRUCTION NOTES

- 1 ROOF CONSTRUCTION** (9.19, 9.23.1.3, 9.23.1.5)  
NO. 210 (10.25 KG/M2) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH #4 CLIPS. APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2'-11" (800) TO FACE OF ROOF AND 1'-2" (30) MIN. 12" (305) BEYOND INNER FACE OF EXTERIOR WALL, 2"x4" (38x89) TRUSS BRACING @ 6'-0" (1830) O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCLA, RWL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OF REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE 4" MIN. WITH RWL, DISCHARGING ONTO CONCRETE SPLASH PROTECTION WITH MIN. 25% OF REQUIRED OPENINGS TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN RWL.
- 1A ICE AND WATER SHIELD**  
PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF-ADHERING AND SELF-SEALING MEMBRANE. SIPS LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152), AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).
- 1B PROFILED ROOF TRUSSES**  
ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILING. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.
- 2 SIDING WALL CONSTRUCTION (2"x6")**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1, 1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)
- 2A SIDING WALL CONSTRUCTION (2"x6") w/ CONTIN. INSULATION**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/VAPOUR BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED), MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1, 1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)
- 2B SIDING WALL @ GARAGE CONSTRUCTION**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1, 1) & SECTION 1.1, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)
- 3 BRICK VENEER WALL CONSTRUCTION (2"x6")**  
3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7/8"x3/8" (22x180x.76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 2"x4" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.23.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1, 1) & SECTION 1.1, INSULATION, AND 6 MIL. POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (152) BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQUIRED)
- 3A BRICK VENEER WALL CONSTRUCTION (2"x6") w/ CONTIN. INSULATION**  
3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7/8"x3/8" (22x180x.76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 2"x4" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.23.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1, 1) & SECTION 1.1, INSULATION, AND 6 MIL. POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (152) OVER RIGID INSULATION (9.20.13.6) (REFER TO 35 NOTE AS REQUIRED)
- 3B BRICK VENEER WALL @ GARAGE CONSTRUCTION**  
3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7/8"x3/8" (22x180x.76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 2"x4" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.23.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1, 1) & SECTION 1.1, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQ.)
- 4 INTERIOR STUD PARTITIONS** (9.23.9.8, 9.23.10)  
BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY. NON-BEARING PARTITIONS 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 2"x4" (38x89) @ 16" (406) O.C. FOR 3 STOREY. TOP PLATE 2"x4" (38x89) TOP PLATE 1/2" (12.7) INT. DRYWALL, BOTH SIDES OF STUDS. PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE ADJACENT TO FLOOR JOISTS.
- 4A EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING**  
3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1, 1) & SECTION 1.1, INSULATION AND 6 MIL. POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.1)
- 4B EXT. LOFT WALL CONSTRUCTION (2"x6") w/ CONTINUOUS INSULATION**  
APPROVED AIR/VAPOUR BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED), MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1, 1) & SECTION 1.1, INSULATION AND 6 MIL. POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.1)
- 5 FOUNDATION WALL/FOOTINGS**  
POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS REINFORCED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 8" (152) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-4" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1) (2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT. REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1.1)

HEIGHT THICKNESS	UNSUPPORTED AT TOP	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
		2'-5m	2'-5m & 2'-75m	2'-75m & 3'-0m	3'-0m & 3'-10m
15 MPa	8" 3'-11" (1.20m)	7'-4" (2.15m)	7'-4" (2.15m)	6'-10" (2.10m)	
10" 4'-7" (1.40m)	7'-4" (2.15m)	8'-6" (2.60m)	8'-2" (2.50m)		
12" 4'-11" (1.50m)	7'-4" (2.15m)	8'-6" (2.60m)	9'-3" (2.85m)		
20 MPa	8" 3'-11" (1.20m)	7'-4" (2.15m)	7'-4" (2.15m)	7'-2" (2.20m)	
10" 4'-7" (1.40m)	7'-4" (2.15m)	8'-6" (2.60m)	9'-3" (2.85m)		
12" 4'-11" (1.50m)	7'-4" (2.15m)	8'-6" (2.60m)	9'-3" (2.85m)		

NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING	MINIMUM STRIP FOOTING SIZES (9.15.3)		
		SUPPORTING EXTERIOR	SUPPORTING PARTIAL WALL	
1	16" WIDE x 8" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK	
2	24" WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK	
3	36" WIDE x 14" THICK	26" WIDE x 9" THICK	36" WIDE x 14" THICK	

## REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

- 5A FOUNDATION REDUCTION IN THICKNESS FOR MASONRY**  
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FINISH. THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7/8" (200) VERTICAL AND 2'-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7.2) (3) & 9.20.3.4 (3).
- 5B FOUNDATION REDUCTION IN THICKNESS FOR JOISTS**  
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF JOIST OR JOISTS. THE REDUCED SECTION SHALL BE NOT MORE THAN 13/34" (305) HIGH AND NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7.1) (1)
- 6 WEEPING TIE** (9.14.3.3)  
4" (100) @ WEEPING TIE W/ FILTER CLOTH W/RAE @ 6" (152) CRUSHED STONE COVER
- 7 BASEMENT SLAB OR SLAB ON GRADE** (9.16.4.3, 9.13)  
3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC. WITH DAMPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR DOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (SB-12) 3.1.1.7.6 (4) 8)
- 8 EXPOSED FLOOR TO EXTERIOR** (9.10.17.10, 1) & CANULUS-S705.2)  
PROVIDE SPRAY FOAM INSULATION BETWEEN CONT. JOIST AND INSTALL OBS. CONFORMING TO 9.29.9. FIN. SOFT OR CLADDING AS PER ELEVATION TO VIS OF EXPOSED CONT. JOIST.
- 9 EXPOSED CEILING TO EXTERIOR w/ ATTIC** (9.25.2.4)  
INSULATION, 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.
- 9 EXPOSED CEILING TO EXTERIOR w/o ATTIC**  
JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS. PURLINS NOT REQ. W/ SPRAY FOAM OR TRUSS TRUSSES. W/ INSULATION BETWEEN JOIST & PURLINS. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CANULUS-S705.2, 9.13.1, 9.10.17.10)
- 10 ALL STAIRS/EXTERIOR STAIRS** (9.8.1.2, 9.8.2, 9.8.4.3)  
MAX. RISE MIN. RISE MAX. RUN MIN. RUN ALL STAIRS  
PRIVATE 7/8" (200) 5" (125) 14" (355) 10" (250)  
PUBLIC 7/8" (180) 5" (125) NO LIMIT 11" (280)  
MIN. STAIR WIDTH TAPERED TREADS  
PRIVATE 2'-10" (600) MIN. RUN 5' 7" (150) 10" (250)  
PUBLIC 2'-11" (600) MIN. RUN 5' 7" (150) 11" (280)  
MIN. AVG. RUN MIN. AVG. RUN
- 11 GUARDS/HANDRAILS** (9.8.7, 9.8.8)  
GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5, & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.  
GUARD HEIGHTS - O.B.C. 9.8.8.  
INTERIOR GUARDS: 2'-11" (600) MIN. (LESS THAN 5'-11" (1800) TO GRADE) 3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE)  
GUARDS FOR EXITS STAIRS: 3'-6" (1070) MIN.  
GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN.  
GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS) FLOOR OR RAMP W/ EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 5 1/2" (140) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH.  
REQUIRED GUARDS:  
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200) 5' WALKING SURFACE W/ A DIFFERENCE NOT MORE THAN 1 IN 12 SHALL BE PROTECTED HANDRAIL HEIGHTS - O.B.C. 9.8.7 - REQUIRED AS PER 9.8.7.1 (3)  
MIN. HEIGHT AT STAIRS, RAMPS AND LANDINGS: 2'-10" (605) MAX. HEIGHT AT STAIRS, RAMPS AND LANDINGS: 3'-6" (1070)
- 12 SILL PLATES**  
2"x4" (38x89) SILL PLATE WITH 1/2" (12.7) ANCHOR BOLTS 8" (200) LONG. EMBEDDED MIN. 4" (100) INTO CONC. @ 7'-10" (2389) O.C. CALCULOR OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO FILL SILL PLATE WHEN REQUIRED (9.23.7)
- 13 BASEMENT INSULATION** (9.12-3.11.7)  
PROVIDE CONTINUOUS INSULANT INSULATION W/ BUILT IN 6 MIL. POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.
- 14 BEARING STUD PARTITION IN BASEMENT** (9.15.3.6, 9.23.10.1)  
2"x4" (38x89) STUDS @ 16" (406) O.C. 2"x4" (38x89) SILL PLATE 2"x6" (38x140) AS REQUIRED ON DAMPROOFING PAPER OR 2 MIL. POLYETHYLENE FILL. 1/2" (12.7) 2" ANCHOR BOLTS 8" (200) LONG. EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2389) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.
- 15 ADJUSTABLE STEEL BASEMENT COLUMN** (9.15.3.4)  
9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90.0) SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CSA-S7.2M. AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa AS PER SOIL REPORT.  
SUPPORTING 3 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING  
SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING
- 15A NON-ADJUSTABLE STEEL BASEMENT COLUMN**  
3 1/2" (90.0) x 1.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa AS PER SOIL REPORT.  
SUPPORTING 3 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING  
SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING
- 15B NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL**  
3 1/2" (90.0) x 1.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa AS PER SOIL REPORT.  
SUPPORTING 3 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING  
SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING
- 16 STEEL BEAM BEARING AT FOUNDATION WALL** (9.23.8.1)  
BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS. MIN. BEARING 3 1/2" (90). CONC. NIB WALLS TO HAVE EXTENDED FOOTINGS
- 17 WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3, 9.23.9.3)  
1"x3" (19x46) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.
- 18 GARAGE SLAB** (9.16, 9.35)  
4" (100) 32MPa (4600psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.
- 19 GARAGE TO HOUSE WALLS/CEILING** (9.10.9.16)  
1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION ON WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CANULUS-S705.2)

STAMP

## cont. SECTION 1.0. CONSTRUCTION NOTES

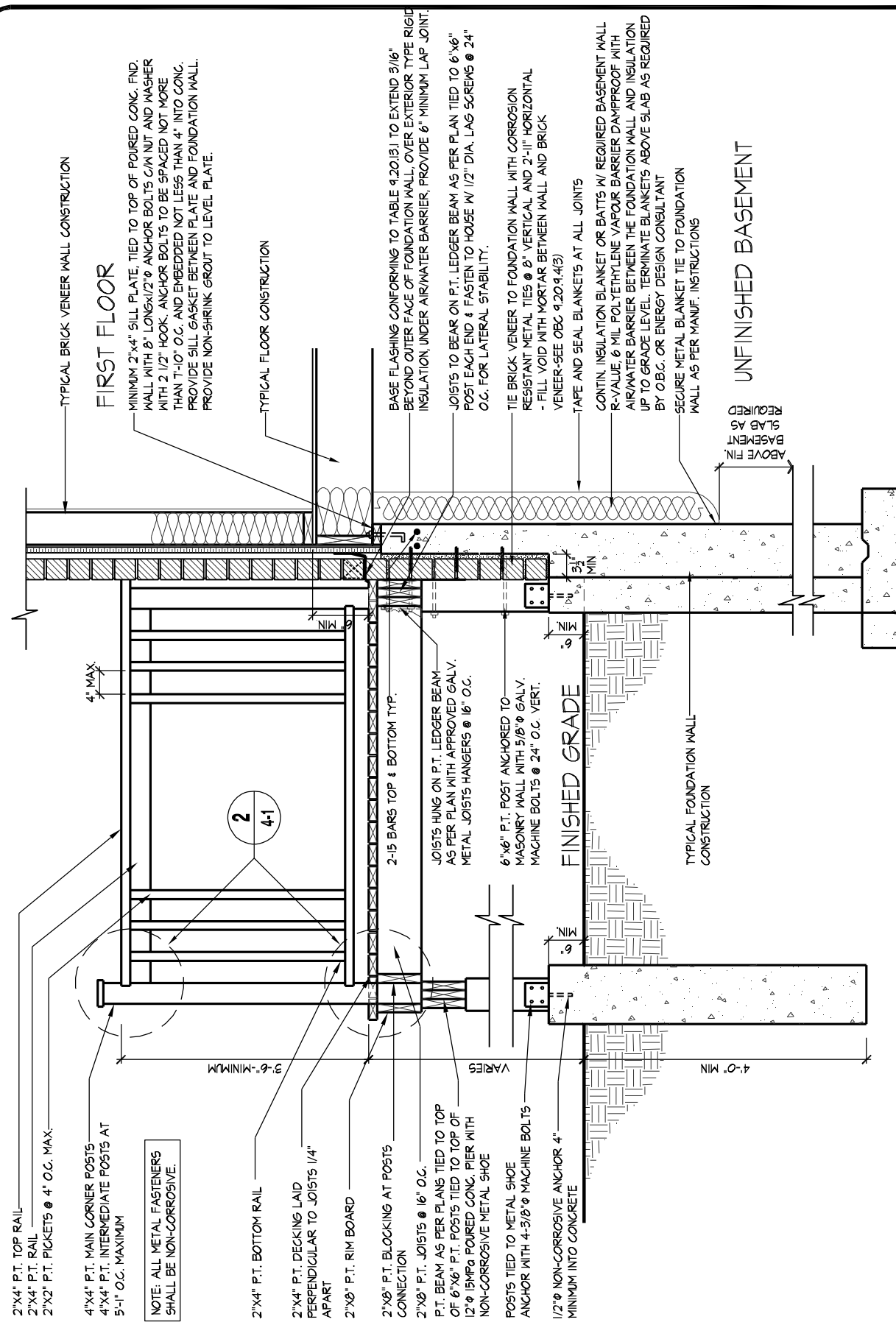
- 39 TWO STOREY VOLUME SPACES** (9.23.10.1, 9.23.11, 9.23.16.1)  
W/ WALL ASSEMBLY WIND LOADS  
EXTERIOR STUDS <= 0.5 kPa (G50) > 0.5 kPa (G50)  
SPACING MAX HEIGHT SPACING MAX HEIGHT  
BRICK 2'-2"x6" (38x140) 12" (305) O.C. 18'-4" (5588) 8" (200) O.C. 18'-4" (5588)  
SIDING 2'-2"x6" (38x140) SPR. #2 16" (406) O.C. 18'-4" (5588) 12" (305) O.C. 18'-4" (5588)  
BRICK 2'-2"x6" (38x140) 12" (305) O.C. 21'-0" (6400) 12" (305) O.C. 21'-0" (6400)  
SIDING 2'-2"x6" (38x140) SPR. #2 16" (406) O.C. 21'-0" (6400) 16" (406) O.C. 21'-0" (6400)  
\*\* STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER \*\*  
STUDS ARE TO BE CONTINUOUS, CW 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.  
- FOR HORIZ. DISTANCES LESS THAN 9'-0" (2696) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2"x6" (38x140) TOP PLATE @ 1'-2"x6" (1-38x140) BOTTOM PLATE 8" MIN. OF 2"x6" (38x140) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-WALL & GUEP AT TOP. BOTTOM PLATES & HEADERS.
- 40 1 HR. PARTY WALL (CONC. BLOCK)** (SB-3) WALL TYPE 966 & 910)  
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL W/ STRAPPING @ 24" (610) O.C. W/ 200 CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) W/ STRAPPING @ 1/2" (12.7) GYPSUM SHEATHING.
- 40 1 HR. PARTY WALL (DOUBLE STUD)** (SB-3) WALL TYPE 7103)  
5/8" (15.9) STEEL W/ GYPSUM SHEATHING ON EXTENSIVE SIDE OF 2" (200) 2"x2" (38x38) STUDS @ 16" (406) O.C. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES @ 38" (100) AS REQUIRED FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)
- 40A 2 HR. FIREWALL** (SB-3) WALL TYPE 966 & 910)  
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL W/ STRAPPING @ 24" (610) O.C. W/ 200 CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)
- 41 STUCCO WALL CONSTRUCTION (2"x6")**  
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.23.10.1, 1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
- 41A STUCCO WALL CONSTRUCTION (2"x6") w/ CONTIN. INSUL.**  
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON APPROVED AIR/VAPOUR BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED), MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1, 1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
- 30 MIN. HORIZ. STEP = 23 5/8" (600) MAX. VERT. STEP = 23 5/8" (600)**
- 31 CONC. PORCH SLAB** (9.16.4)  
9'-4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL. REINFORCED WITH 6"x6"x23/64" (152x152x9.5) MESH PLACED NEAR MID-DEPTH OF SLAB, CONC. STRENGTH 32MPa (4600psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.
- 32 FURNACE VENTING** (9.32)  
DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS, HRV INTAKE VENT, AND EXHAUST VENT @ 1/330" FROM ALL EXHAUST TERMINALS. WITH GAS UTILIZATION CODE.
- 33 FIREPLACE VENTING** (9.23.3)  
DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.
- 34 FLOOR FRAMING** (9.23.3.5, 9.23.3.4, 9.23.14)  
T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR CEILING BLOCKING @ 16" (411) (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x46) @ 6'-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.
- 34A HEADER CONSTRUCTION**  
PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE. AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 8" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.
- 35 EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3.11' (1.20m)**  
W/ WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANULUS-S7.2M & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (600) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14, 9.10.15). REFER TO DETAILS FOR TYPE & SPECS. \*\* AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 21' (6400) MIN. SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 9.10.14.6.
- 36 COLD CELLAR PORCH SLAB** (9.39)  
FOR MAX. 8'-2" (2500) POOR DEPTH. 5" (127) 32 MPa (4600psi) CONC. SLAB W/ 5-8% AIR ENTRAINMENT. REIN. WITH 10M BARS @ 7' 7" (230) O.C. EACH DIRECTION. W/ 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS Laid DIRECTLY ON TOP OF LOWER LAYER OR OPPOSITE DIR. 2"x2"x6" (100x100x150) DOWELS @ 23 5/8" (600) O.C. ANCHORED IN PERIMETER FND. WALLS - 33.0% SLAB 1.0% FROM ROOM.
- 37 RANGE HOODS AND RANGE-TOP FANS**  
COOKING APPLIANCE EXHAUST FANS VENTS TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.23.9.3, & 9.23.10.1
- 38 CONVENTIONAL ROOF FRAMING** (9.23.13, 9.23.15)  
2"x6" (38x140) RAFTERS @ 16" (406) O.C. 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9'-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14'-0" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.
- 43 STUD WALL REINFORCEMENT**  
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.1.1) (REFER TO DETAILS)
- 44 WINDOW WELLS**  
WHERE A WINDOW OPENS INTO A WINDOW WELL. A CLEARANCE OF NOT LESS THAN 21 5/8" (560) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL, OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE CW A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.5), 9.14.6.3)
- 45 SLOPED CEILING CONSTRUCTION** (SB-12) 3.1.1.8, 9.23.4.2)  
2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST. PURLINS NOT REQ. W/ SPRAY FOAM. W/ INSULATION BETWEEN JOIST 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (0.52 RSI).
- 46 FLAT ROOF/BALCONY CONSTRUCTION**  
WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SILLUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x6" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) HIGH. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FIN. TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.
- 47 BALCONY CONSTRUCTION**  
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS Laid FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. Laid FLAT PERPENDICULAR TO JOISTS
- BALCONY OVER HEATED SPACE CONDITION**  
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH.
- 47 BARREL VAULT CONSTRUCTION**  
CANISTERED 2"x4" (38x89) SPACERS Laid FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST Nailed TO BUILT-UP 3'-4" (19) PLYWOOD HEADER PROFILED FOR RAFTERS. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

## REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

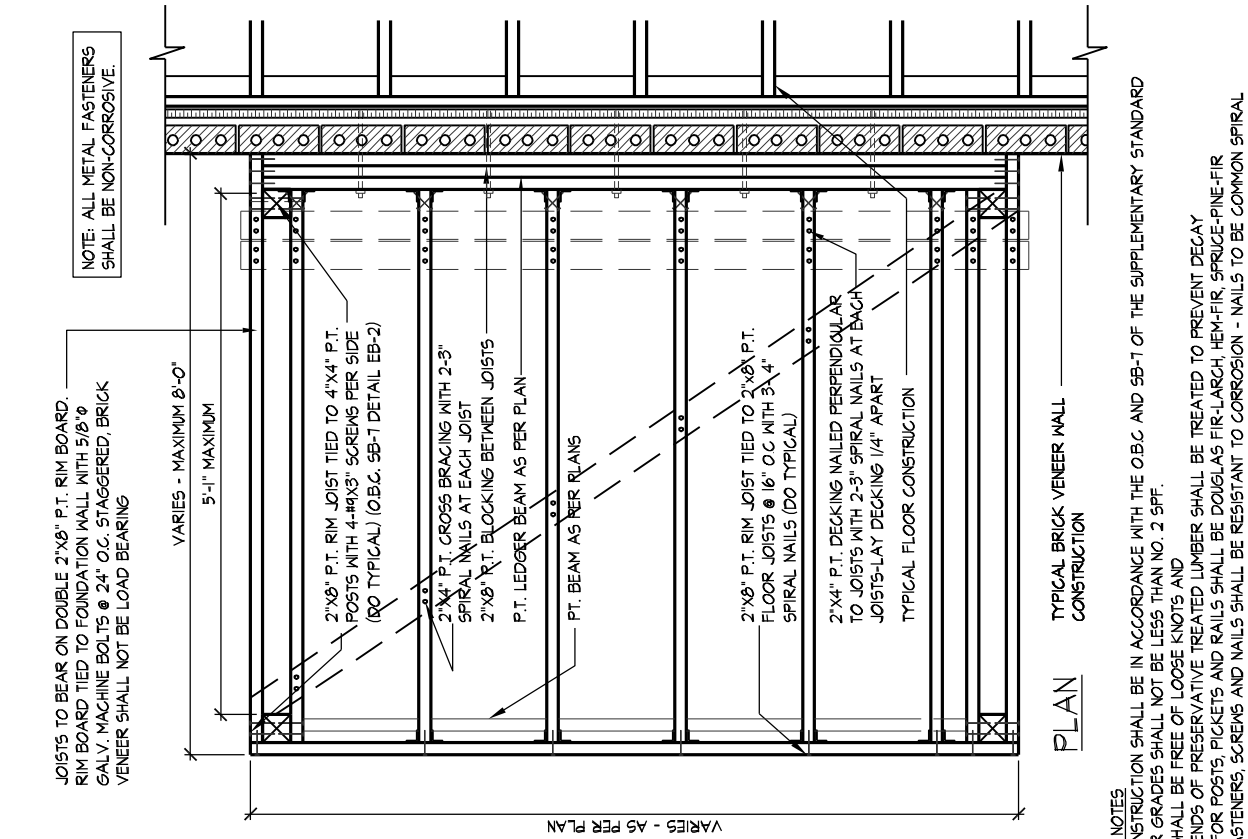
## SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS. REFER TO SITING & GRADING PLANS OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.  
- IF STUD WALL HEIGHT EXCEEDS MAX

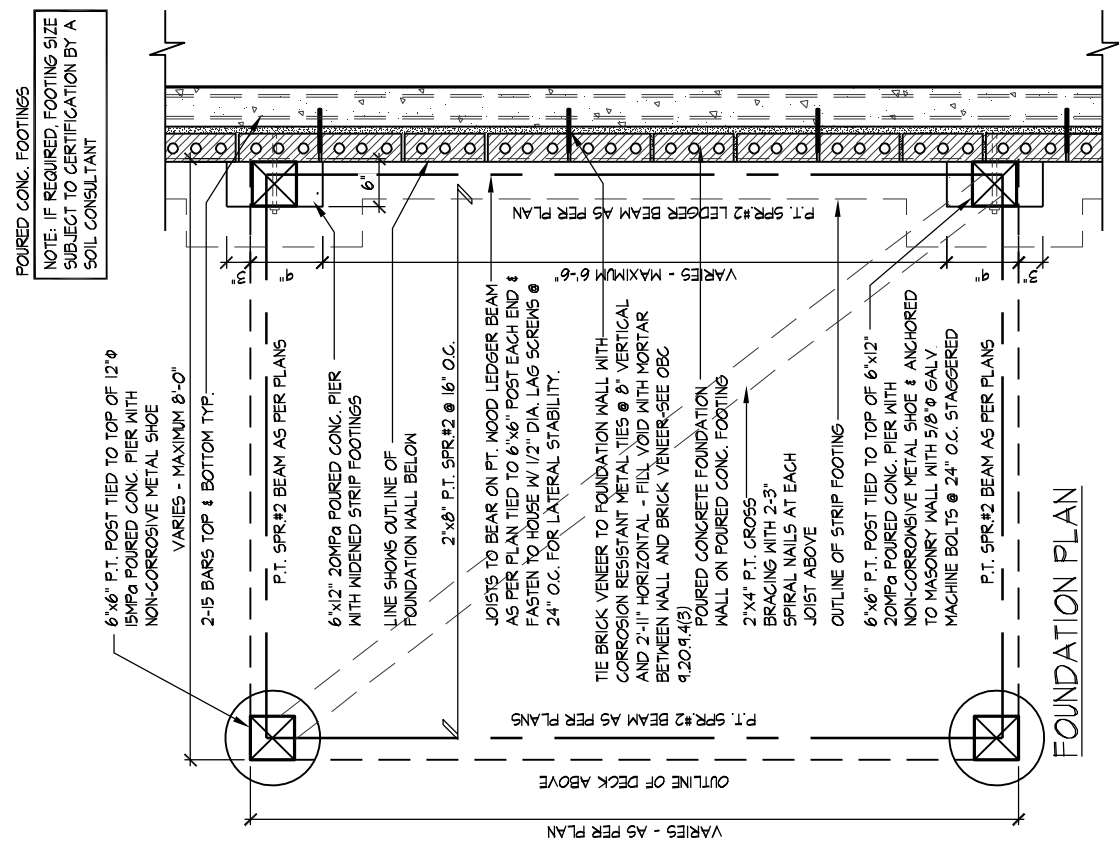




**MASONRY VENEER, TYPICAL WALK/LOOK OUT WOOD DECK, SOLID MASONRY**



**TYP. DECK FRAMING ON WOOD LEDGER, BRICK VENEER**



**MASONRY VENEER, TYPICAL DECK FOUNDATION PLAN**





PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE

February 12, 2025

Jamila Sheffield  
Secretary-Treasurer  
City of Hamilton  
Committee of Adjustment  
71 Main Street West, 5<sup>th</sup> Floor  
Hamilton, ON  
L8P 4Y5

Dear Ms. Sheffield;

**RE: PLANNING JUSTIFICATION FOR MINOR VARIANCE  
4 TURNER AVENUE, CITY OF HAMILTON  
OUR FILE: 16191AA**

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On behalf of our client, Crystal Homes Corporation (hereinafter the "Owner"), we are pleased to submit this planning justification in support of a Minor Variance Application for the lands municipally addressed as 4 Turner Avenue within the City of Hamilton (the "Subject Lands").

In support of the application, please find enclosed the following submission materials:

- One (1) PDF copy of the signed Application Form for Minor Variance/Permission;
- One (1) PDF copy of the Site Plan, prepared by Hunt Design Associates Inc., dated February 6, 2025; and
- One (1) PDF copy of the Architectural Drawings, prepared by Hunt Design Associates Inc., dated February 6, 2025, including:
  - Title Page & Cross Section 'B';
  - Basement & Ground Floor Plan;
  - Second & Loft Floor Plan;
  - Front & Rear Elevation;
  - Left Side Elevation;
  - Right Side Elevation;
  - Cross Section 'A-A'; and
  - Construction Notes.

## PREVIOUS HISTORY & BACKGROUND INFORMATION

The Subject Lands were apart of two previous Committee of Adjustment applications in 2022. A consent application (Application No. HM/B-22:93) was filed to sever the Subject Lands in order to accommodate an additional dwelling on the severed lands (as described in proposal description below) as this portion of the Subject Lands is vacant. The total lot area of the severed lands is approximately 397.95 sq. m. with the retained lands encompassing approximately 615.5 sq. m. for a total of approximately 1,013.5 sq. m. of the entire site area. It is of note that the Consent Agreement has been completed, and the severance was registered as of

September 2023. Along with this consent application, an associated minor variance application (Application No. HM/A-22:288 to the previous City of Hamilton Zoning By-law 6593) was filed for the proposed dwelling on the severed lands as well as a one-storey rear addition and one-storey garage to the existing three-storey existing dwelling on the retained lands. Such variances on the retained lands included relief related to the minimum side yard setback and parking spaces. The variances related to the proposed dwelling on the severed lands included relief from the maximum building height, minimum side yard width, and permitted yard encroachments relative an eave or gutter. **Both applications were approved by the Committee.**

Since approval, our client has submitted a building permit for the new dwelling. At the building permit review stage for the proposed dwelling on the severed lands, the examiner has interpreted the building as three-storeys and not two-and a-half storeys, which is over the maximum storey height of By-law 6593 as varied by the Committee's decision.

As discussed with the building examiner, one cannot vary a variance approval and one cannot mix the permissions of an old and new by-law. Given this unfortunate set of circumstances, in order to construct the house as contemplated, due to the City's new Zoning By-law 05-200 coming into effect, new relief is required and being requested from the current zoning standards of By-law 05-200.

## **PROPOSAL DESCRIPTION**

The Subject Lands are located south of Aberdeen Avenue, east of Queen Street South and west of Bay Street South, specifically located south of the intersection of Aberdeen Avenue and Turner Avenue. The Subject Lands have a total site area of approximately 397.95 sq. m (0.10 acres). The purpose of the Minor Variance application is to permit and develop a new single detached dwelling that has a total gross floor area of approximately 397.44 sq. m. (4,278 sq. ft.) of GFA and has a height of 12.2 metres on the Subject Lands.

## **REQUESTED RELIEF**

The Subject Lands are subject to the City of Hamilton Zoning By-law 05-200 and are zoned Low Density Residential Large Lot (R2) Zone. The proposed single detached dwelling use is permitted within the R2 zone. However, relief is required from the following provisions of Zoning By-law 05-200, as outlined below:

### **1. Chapter 15.3.2.1(a) – Minimum Lot Area**

The required minimum Lot Area is 630 sq. m.  
Whereas the proposed minimum Lot Area is 397.95 sq. m.

### **2. Chapter 15.3.2.1(b) – Minimum Lot Width**

The required Minimum Lot Width is 18.0 metres.  
Whereas the proposed minimum Lot Width is 12.0 metres.

### **3. Chapter 15.3.2.1(c) – Minimum Setback from a Side Lot Line**

The required minimum setback from a Side Lot Line is 2.0 metres  
Whereas the proposed minimum setback from the South Side Lot Line is 1.10 metres and 1.25 metres from the North Side Lot Line.

### **4. Chapter 15.3.2.1(g) – Maximum Building Height**

The required maximum building height is 10.5 metres;

Whereas the proposed building height is to be 12.2 metres.

#### **5. Chapter 15.3.2.1(h) – Maximum Lot Coverage**

The required maximum Lot Coverage is 35%.

Whereas the proposed maximum Lot Coverage is 47%.

It is noted that Variances 1 and 2 are technical in nature as they would simply recognize the existing lot area and lot width which was created through Application No. HM/B-22:93.

### **PROVINCIAL POLICY**

The Provincial Planning Statement came into effect October 20, 2024 ("PPS") and is the defining provincial policy document. The PPS directs development towards established built-up areas where there is existing municipal infrastructure. Intensification and redevelopment are also encouraged in order to provide additional housing options.

In our opinion, the proposed development is consistent with the PPS for the following reasons:

1. The proposed variances will permit the development of the lands that support the financial well-being of the City of Hamilton by providing new housing stock with a building design and use that is compatible with the surrounding residential land uses;
2. The proposed development represents an appropriate redevelopment by implementing the use of the Subject Lands as intended with a single detached dwelling, maintaining the City's goals of providing housing options to accommodate existing and new residents;
3. The proposed development does not cause undue environmental or public health and safety concerns;
4. The proposed variances will ensure that the Subject Lands are developed in a manner that is compatible with and supportive of the adjacent residential uses in the immediate area as previously recognized and approved by the Committee in 2022.

### **MINOR VARIANCE TESTS**

The four tests for a Minor Variance, as set out in Section 45(1) of the *Planning Act*, are as follows:

1. The variance maintains the general intent and purpose of the Official Plan;
2. The variance maintains the general intent and purpose of the Zoning By-law;
3. The variance is desirable for the appropriate development or use of land; and
4. The variance is minor in nature.

The requested variance meets the above noted tests for the following reasons:

#### ***1. The variance maintains the general intent and purpose of the Official Plan.***

The Subject Lands are designated "Neighbourhoods" on Schedule E-1 – Urban Land Use Designations of the Urban Hamilton Official Plan. The general intent and purpose of the Neighbourhoods designation is to provide a range of residential uses with lower-scale buildings, such as single-detached houses, semi-detached houses, townhouses, duplexes and triplexes, as well as parks, open spaces, commercial areas, and institutions such as schools and place of worship. The proposed development of a single-detached dwelling meets the general



intent and purpose of this provision by supporting the range of residential uses in the Neighbourhood designation.

**Section E.2.7** of the Official Plan speaks to the Neighbourhoods designation and considers Neighbourhoods to be "...regarded as stable. However, that does mean these areas are static...". Neighbourhoods will experience some physical changes over time, as enhancements, additions and infill housing or renovations occur on individual sites. Residential intensification within Neighbourhoods is part of the evolution of a neighbourhood and can happen at a range of scales, types and densities provided the intensification is compatible with and respects the built form and character of the surrounding neighbourhood. The proposed development and requested variances are consistent with this objective and will respect and reinforce the existing physical character of the dwellings and streetscapes of the neighbourhood. Within **Policy E.2.7.7**, any application for development and residential intensification within this designation will be reviewed in accordance with Section E.3.0 of the Official Plan.

Further, **Section E.3.2** of the Official Plan speaks to the general policies of the Neighbourhoods designation. **Policy E.3.2.1** states these areas are to include a full range of residential dwelling types and densities. The proposed development will be designed with high-quality and will take into consideration the urban design policies of this plan. As per **Policy E.3.2.4**, it states that the existing character of established Neighbourhoods designated areas shall be maintained and intensification shall enhance and be compatible with the scale and character of the existing residential neighbourhood in accordance with **Section B.2.4** of the official plan. **Policy B.2.4.1.4** states that residential intensification developments within the built-up area shall be evaluated based on the following criteria:

- b) the relationship of the proposed development to existing neighbourhood character so that it builds upon desirable established patterns and built form;*
- c) the contribution of the proposed development to maintaining and achieving a range of dwelling types and tenures;*
- d) the compatible integration of the proposed development with the surrounding area in terms of use, scale, form and character;*
- e) the contribution of the proposed development to achieving the planned urban structure as described in Section E.2.0 – Urban Structure;*
- f) existing and planned water, wastewater and stormwater capacity;*
- k) the ability of the development to retain and/or enhance the natural attributes of the site and surrounding community, but not limited to native vegetation and trees; and*
- l) compliance of the proposed development with all other applicable policies.*

Furthermore, under Scale and Design, **Policy E.3.2.7** speaks to requiring quality urban and architectural design. Development shall be designed to be safe, efficient, pedestrian oriented, and attractive and shall comply with the following criteria:

- a) new development on large sites shall support a grid system of streets of pedestrian scale, short blocks, street oriented structures, and a safe and attractive public realm;*
- b) Garages, parking areas, and driveways along the public street shall not be dominant; and*
- d) Development shall improve existing landscape features and overall landscape character of the surrounding area.*

The proposal has architectural elements that are consistent with the existing & under construction residential dwellings in the immediate area, ensuring a use and typology inclusive of a range of dwelling types is maintained in the immediate area and is compatible with the scale and character of the neighbourhood. Landscaping will be maintained and enhanced on site which will not adversely affect adjacent lands, thereby improving the existing conditions of the Subject Lands. Further, the proposed development will take advantage

of the existing water, wastewater and stormwater capacity already existing along Turner Avenue. Lastly, the proposed asphalt driveway and landscaped open space in the front yard are appropriate.

Additionally, **Section E.3.3** of the Official Plan provides policy direction for general policies of residential uses. **Policy E.3.3.1** speaks to lower density residential uses and building forms shall generally be located in the interiors of neighbourhood areas, where the proposal will be located. Further, **Policy E.3.3.2** speaks to development or redevelopment adjacent to areas of lower density shall ensure the height, massing and arrangement of buildings are compatible with existing and future uses in the surrounding area. The proposed design of the single detached dwelling fits into the existing context, inclusive of other single detached homes in the area, and respects and reinforces the established physical character of the neighbourhood by providing a single detached home with appropriate setbacks that frame the street as well as other development standards such as lot coverage, lot width and lot area that are in line with other homes found in the area. For example, at 6 Turner Avenue and 8 Turner Avenue, both lots are approximately 0.12 acres in size and have a lot width of approximately 14.7 metres and 15.2 metres, respectively, demonstrating that although there are large homes in the area, there are a range of dwelling types inclusive of existing structures generally in line with the proposal and sought variances. Further, an appropriate building height is provided as seen through other homes in the neighbourhood, which are either two and a half-storeys or three-storeys in height and similar to the requested 12.2 metres.

Lastly, within the Official Plan, **Section E.3.4** speaks to policies for Low Density Residential. These policies speak to function, scale and design. **Policy E.3.4.2** states that low density residential areas are characterized by lower profile, grade-oriented built forms that have direct access to the unit at grade. Further, within **Policy E.3.4.5**, it states within low density residential areas, the maximum height shall be three storeys. Lastly, **Policy E.3.4.6** relates to design elements and any development should be designed in accordance with the following criteria:

- a) direct access from lots adjacent to major or minor arterial roads shall be discouraged;*
- b) backlotting along public streets and in front of parks shall be discouraged...;*
- c) a mix of lot widths and sizes compatible with streetscape character, and a mix of dwelling units types and sizes compatible in exterior design, including character, scale, appearance and design features shall be encouraged. Development shall be subject to the Zoning By-law regulations for appropriate minimum lot widths and areas, yards, heights, and other zoning regulations to ensure compatibility;...*

The proposed development responds to the above criteria by adhering to the development goals and ensuring a similar building typology is permitted on site while respecting the existing immediate area. The variances sought do not affect the surrounding neighbourhood in a negative manner as the proposed dwelling, its height, setbacks, lot coverage, lot area, lot width still provide for adequate privacy and sunlight in relation to adjacent properties and do not infringe or create a sense of 'overdevelopment' on the lot. The proposed height and associated built form policies respect the existing character of the neighbourhood and given the size of the lot, it is appropriate and in line with other dwellings in the area. As well, the proposal does not have direct access to major or minor arterial roads, nor is it in front of a park or backlots along a public street, adhering to the policies above. Further, the proposal fits within the existing scale and character of the immediate neighbourhood and provides a dwelling unit size that is appropriate for the area. Lastly, the proposed development's height is not uncommon given what currently exists in the area with similar heights, with 18 Turner Avenue as an example of current single detached dwelling located a few metres away and at 5 Ravenscliffe Avenue as an example of a new single detached dwelling located a couple hundred metres away from the Subject Lands of homes that appear taller than what is permitted.

Overall, the proposed development is in keeping with the character of both the immediate and broader context of the neighbourhood and does not create any undue adverse impacts from a planning nature.

**Based on the above analysis, the requested variances maintain the general intent and purpose of the Official Plan.**

***2. The variance maintains the general intent and purpose of the Zoning By-law.***

The Subject Lands are subject to the City of Hamilton Zoning By-law 05-200 and are zoned Low-Density Residential – Large Lot (R2) Zone. The R2 zone permits a single-detached dwelling, meeting the general intent and purpose of use provisions. In our opinion, the variances being sought meet the general intent and purpose of the Zoning By-law.

Relating to the minimum lot area and lot width, as noted above these were approved by the Committee previously and implemented through the 2022 consent approval. The requested variances therefore are technical in nature, consolidating the previous approvals under By-law 05-200 as an administrative exercise. These variances do not create any new standards for the lot and simply recognize the existing approval.

In terms of the minimum side yard setback variance, the general intent and purpose of the minimum setback provision to ensure sufficient spaces between the dwelling and street/another property, as well as to maintain an appropriate street alignment and building wall. The proposed setbacks, although below the minimum requirement, is requested to recognize the severed lands lot lines. As is seen on the site plans, that although both side yard setbacks are below the 2.5 metre requirement, the functionality of the proposed dwelling is maintained as there is ample space to maneuver along either side yards and there is sufficient distance between the houses on either side of the Subject Lands which will not promote shadowing issues or factors of overdevelopment, as well as not disturb the livability of the proposed dwelling or property. Further, there are other houses in the immediate area that have side yard setbacks that vary with some appearing below the required measurement. These properties include 6 Turner Avenue (approx. 1.5 metres), 5 Turner Avenue, 7 Turner Avenue and 8 Turner Avenue, where it appears these side yard setbacks measure close to approx. 0.0 metres. Therefore, there is precedence in the immediate area how other properties are closer to the lot lines, indicating the request aligns with what is prevailing in the immediate context. Further, the Committee approved the building placement, included reduced setbacks under Application No. HM/A-22:288.

Regarding the various relative to maximum height, the general intent and purpose is to ensure that the massing and scale of each dwelling generally fits within the surrounding streetscape in terms of total height, therefore undue issues of shadowing or overlook are not created. With regard to the previous application, a height similar to the one proposed was approved, which reinforces the argument that the proposed height is appropriate from the City's perspective and meets the four tests with regard to this variance. Relating to the functionality of the proposed height itself, it does not negatively impact the surrounding area in terms of privacy and overlook, all while still maintaining the existing low-density characterises of the immediate area. Thus, the requested height allows an appropriate built form and roof line to occur, which is fenestrated, articulated and setback appropriately such as to not overpower any immediate properties or the public realm. Further, there are other homes within the area that are newly constructed or existing which are around or above the 10.5 metre requirement as seen on homes along Turner Avenue or Ravenscliffe Avenue for example. Therefore, when viewed in relation to other dwellings in the area, the proposed height is not out of place and is compatible with the immediate dwellings in the area.

Lastly, in terms of maximum lot coverage, the general intent and purpose is to ensure that a dwelling does not overpower or overdevelop on a lot. Although the proposed building is over the permitted maximum this is largely due to the approved lot area where the proposal will take place and is only 12% over the requirement. Even though it is over the requirement, necessary functions such as rear yard setback, front yard setback and landscaping percentages in both the front yard and entire lot meet the requirements of the by-law. Additionally,



the proposed building and lot coverage it does not create overlook, shadowing or privacy issues on adjacent properties. Therefore, the proposed lot coverage is appropriate for the lot area in our opinion.

**Based on the above analysis, in our opinion the requested variances maintain the general intent and purpose of the City of Hamilton's Zoning By-law.**

***3. The variance is desirable for the appropriate development or use of land.***

The proposed variances and associated development offer an opportunity to improve an existing condition by making efficient use of the Subject Lands and maintains the characteristics of single-detached dwelling within the neighbourhood, without altering the area's existing character. The variances will allow for the Subject Lands to be optimized for the proposed permitted use, while still maintaining the necessary functions of each zoning provision and respect the context of the surrounding area without overpowering or dominating the immediate neighbourhood or existing dwellings in the area. No undue impacts are anticipated on adjacent properties should the variances be approved, proving a development of this nature is appropriate and desirable for the immediate neighbourhood and City of Hamilton overall.

**Based on the analysis that we have conducted, it is our opinion that the proposed development and the variances requested are appropriate, reasonable and desirable for the Subject Lands.**

***4. The variance is minor in nature.***

In our opinion, the variances are minor in nature when considering the various physical characteristics of the design and immediate area. Further, they are minor in nature in terms of an impact perspective. The variances are not out of the ordinary for a single-detached residential development in this area of the City, as seen with the above-mentioned properties for example.

The proposed development is consistent with the goals of Provincial Policy and the Official Plan to provide a more efficient use of the lands which optimizes land and infrastructure utilization, while respecting the prevailing physical context of the immediate neighbourhood. The proposed development and variances do not create any adverse effects from a planning nature and do not negatively impact the streetscape or adjacent properties, including with respect to shadowing, traffic, servicing or other concerns.

**For the reasons noted above, it is our opinion that the requested variances are minor in nature.**

## **CONCLUSION**

Based on all the factors described above, it is our opinion that the requested variances meet the four tests of the *Planning Act* and that the variances requested are in the public interest and represents good planning.

If you require any additional information, please do not hesitate to contact the undersigned.

Thank you.

Yours truly,

**MHBC**

A handwritten signature in black ink, appearing to read 'David McKay', written over a circular stamp or seal.

David A. McKay, MSc, MLAI, MCIP, RPP  
Vice President & Partner

cc: Clients

Encl.

A handwritten signature in black ink, reading 'D. Della Torre'.

Daniel Della Torre, BURPI  
Planner



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS
Registered Owners(s)	Crystal Homes Corporation	
Applicant(s)	Crystal Homes Corporation	
Agent or Solicitor	MHBC Planning Ltd. (c/o David McKay)	

1.2 Primary contact

☐ Applicant

☐ Owner

☒ Agent/Solicitor

1.3 Sign should be sent to

☐ Applicant

☒ Owner

☒ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes\*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes\*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

☐ In person

☒ Credit over phone\*

☐ Cheque

\*Must provide number above

## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	4 Turner Avenue, Hamilton, ON		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot		Concession	
Registered Plan Number	392	Lot(s)	All of lot 16, Part of lot 17
Reference Plan Number (s)		Part(s)	2

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

## 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Relief to permit a height of 12.2 meters, a minimum lot area of 397.95 m<sup>2</sup>, a minimum lot width of 12 m, side yard setbacks of 1.10 m and 1.25 m, and a maximum lot coverage of 47%.

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The variances requested are necessary for architectural and functional requirements. Variances related to minimum lot width and lot area are requested to recognize an existing lot of record. Similar to the setbacks proposed and maximum lot coverage, variances are requested based on new lot as a result from former consent application.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
12.0 metres	33.1 meters.	+/- 397.95 sq. m.	Approx. 20 meters.



4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing: Severed lands where Proposal will take place is vacant.

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Vacant				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single detached dwelling	6.05 m	7.79 m	1.10 m (south) / 1.25 m (north)	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing: Severed lands where Proposal will take place is vacant.

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Vacant				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single detached dwelling	141.3 sq. m.	397.44 sq. m.	3	12.2 m

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- \_\_\_\_\_

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- \_\_\_\_\_

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage  
☐ system privately owned and operated individual  
☐ septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- ☐ provincial highway  
☐ municipal road, seasonally maintained  
☒ municipal road, maintained all year  
☐ right of way  
☐ other public road  
\_\_\_\_\_

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
Single detached dwelling.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
Single detached dwellings.

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:  
Unknown.

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Severed lands where Proposal will take place is vacant. Before severance, was a single-detached dwelling.

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Severed lands where Proposal will take place is vacant. Before severance, was a single-detached dwelling.

7.4 Length of time the existing uses of the subject property have continued:  
Unknown.

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): N/A

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

The proposed single detached dwelling is allowed under the uses permitted within the Neighbourhoods designation.

7.6 What is the existing zoning of the subject land? R2 - Low-Density Residential - Large Lot

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

☒ Yes ☐ No

If yes, please provide the file number: Approved - HM/A-22:288

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☒ Yes

☐ No

If yes, please provide the file number: Approved - HM/B-22:93

Consent Agreement has been completed, and the  
severance was registered as of September 2023.

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 0

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

### 11.4 Other Information Deemed Necessary

- ☒ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study

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