April 3, 2025

Planning and Economic Development Department
City Hall, 5th Floor
71 Main Street West
Hamilton ON L8P 4Y5
Alissa.Golden@hamilton.ca

ATTENTION: Alissa Golden, Cultural Heritage Program Lead

SUBJECT: Notice of Intention to Demolish
39 Wilson Street, Hamilton, ON L8R 1C6
(Unoccupied Manse Adjacent to Trinity Lutheran Church)

In 2023, Invizij Architects were retained by Trinity Lutheran to review opportunities for improving the Church's accessibility, functionality, and sustainability in order to meet the needs of a neighbourhood experiencing rapid growth, while also amalgamating a number of congregations from around the city in one, central location.

One of the interventions recommended therein included demolishing the adjacent manse in order to make room to construct a new addition to the church which will provide a clear, primary entrance, as well as allow barrier-free access to the sanctuary, church hall, and all three levels of the existing Luther Haus addition (located on the north side of the original church building).

In support of the proposed redevelopment, please find the attached Cultural Heritage Impact Assessment, prepared by Hobson Built Heritage, 71 pages, dated 10 JAN 2025, appended to this notification letter.

Sincerely,

Emma Cubitt
Principal, Invizij Architects
M.Arch., OAA, MRAIC, LEED ®AP

INVIZIJ ARCHITECTS INC. 185 Young Street, Hamilton, ON Canada L8N 1V9 | t: 905 525 9000 | invizij.ca

HERITAGE IMPACT ASSESSMENT

Trini□ Lutheran Church

37-39 Wilson E, Hamilton

10 JAN 2025

HOBSON
built
heritage

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EXECUTIVE SUMMARY

Hobson Built Heritage was retained by Trinity Lutheran Church to prepare a *Heritage Impact Assessment* (HIA) for proposed alterations to their property located at 37-39 Wilson Street in downtown Hamilton. The property contains a brick Church built in 1867 and a 2-storey brick dwelling built in 1902 for the Church Caretaker. The proposed alterations include the following:

- demolition of the former Caretaker's House (1902) located in the east side yard of the Church at 39 Wilson Street that is currently vacant

- construction of a new 3-storey addition with a flat roof on the east side of the Church to meet current needs of the congregation

The subject property is Listed on the Municipal Heritage Register and has been identified as a property that has High Potential for Designation under the *Ontario Heritage Act*. The cultural heritage value of the site is associated with the Church that was built in 1867. The 1902 Caretakers' House and the 1969 rear addition to the Church are not identified as having significant cultural heritage value.

The proposed alterations will have positive impacts for the heritage resource because they will support its ongoing use by the congregation associated with it. Furthermore, the proposed expansion will improve the congregation's capacity to provide social services and programs that benefit the community.

Negative impacts associated with the proposed demolition of the Caretakers' House at 39 Wilson Street are minor and can be mitigated through documentation and salvage. This building has been documented and potential salvage items have been identified in the photo-documentation provided in Appendix B: Photo Documentation. No further mitigation is required. The applicant is encouraged to remove the recommended salvage items prior to demolition, if feasible.

Negative impacts to the east wall of the Church associated with the proposed addition have been effectively minimized through thoughtful design measures. The proposed interior renovations to the Church will have no negative impacts on the cultural heritage value or heritage attributes.

Therefore, it is recommended that the proposed alterations be permitted, subject to the applicant providing the following information to heritage staff for final approval, prior to the issue of building permits:

- *Shoring & Vibration Monitoring Plan*: a plan for shoring and monitoring the east wall and foundation of the Church during construction that includes limiting vibrations and protection measures for the stained-glass windows

- *Structural Drawings & Specifications:* detailed structural drawings and specifications new openings through the east wall of the Church and installation of new foundations adjacent to the rubblestone foundation of the Church

- *Stained Glass Window Salvage & Protections Measures* – a qualified stained-glass professional should be consulted to assess the condition of the stained-glass windows in the east wall, provide protection measures during construction, and undertake any removals. Salvaged glass should be re-used in the new addition and/or used as a repair material for windows that require repairs.

1.0 INTRODUCTION

Preparation of this report included site investigation, historical research, review of relevant heritage policies and applicable legislation, consultation with heritage planning staff, and meetings with the client and their project team.

2.0 LOCATION & SITE DESCRIPTION

The subject property is located in the Beasley Neighbourhood in downtown Hamilton on the northeast corner of Wilson Street and Hughson Street North. The property contains a brick church oriented north-south with the front entrance on Wilson Street. The church has a rear addition with an entrance on Hughson Street North and there is a detached 2-storey brick dwelling on the east side of the church with an entrance on Wilson Street.

The Church site is located on a busy intersection and Wilson Street is a major east-west artery through the downtown core. Currently there is construction underway on adjacent properties to the north and east of the Church for residential towers.

AERIAL VIEW – Google earth photo taken before condo construction to the east and north of the church
1 1867 Church 2 1902 Caretaker's House 3 1969 Rear Addition

The Church (1867 with 1969 rear addition)

The Gothic Revival style church has a rectangular plan with a gable roof and a corner tower and steeple at the southwest corner. The Church Sanctuary is raised above a full height basement level that serves as the Parish Hall. The church has three bays across the front and five bays along the sides. The bays are separated by shallow brick buttresses and each bay contains a large arched window and segmentally arched basement window. There is a large rosette window on the front elevation that is flanked by lancet windows and there are lancet windows in the tower, All of the windows have stained or etched glass, with the exception of the basement windows. There are raised brick corbels below the eaves. The masonry opening have carved stone hood moulds and beveled stone sills. The brick buttresses have cut stone copings.

The Wilson Street elevation is built close to the street with very little setback from the public sidewalk. The front entrance on Wilson Street has been modified, the arch in the portico has been infilled with brick and original wood door have been replaced. The secondary entrance on Hughson Street North enters into the rear addition where church offices and classrooms are located. There is a small strip of landscaping along the Hughson Street frontage.


Main Entrance on Wilson


Hughson N Elevation

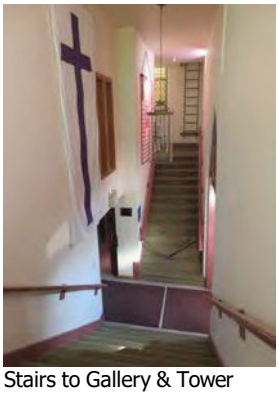

Secondary entrance on Hughson N

The rear addition wraps around the back and east side of the church. It is three storeys with a flat roof that matches the height of the eaves of the church roof. The materials and design elements reference the Gothic Revival church in a Mid-Century Modern style, including the vertical arrangement of the windows into clearly defined bays and stone trim details that frame and cap the vertical window bays. (The caps are concrete and the vertical trim is Queenston limestone but both have been covered with modern flashing).

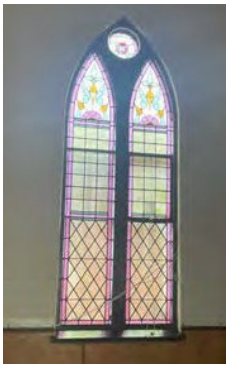
Inside the front entrance there is a small vestibule that opens onto a narrow hallway. There are stairs up to the Gallery at either end of this hallway. The west stair continues up into the Tower. At the north end of the entrance hall are steps down to the Parish Hall, an entrance to the passenger lift that serves the Gallery and basement levels, and steps up to the Sanctuary. The Gallery overlaps the stained-glass windows on the front elevation and in the first bay of the side elevations.

The interior of the Sanctuary is open with no columns or aisles. Notable features of the Sanctuary space include the stained-glass windows and the large altar painting on the north end wall. There is a Gallery at the south end of the Sanctuary that contains remnants of a pipe organ. The area below the Gallery is separated from the Sanctuary by an oak and glass partition wall.


Entrance Vestibule


Stairs to Gallery & Tower

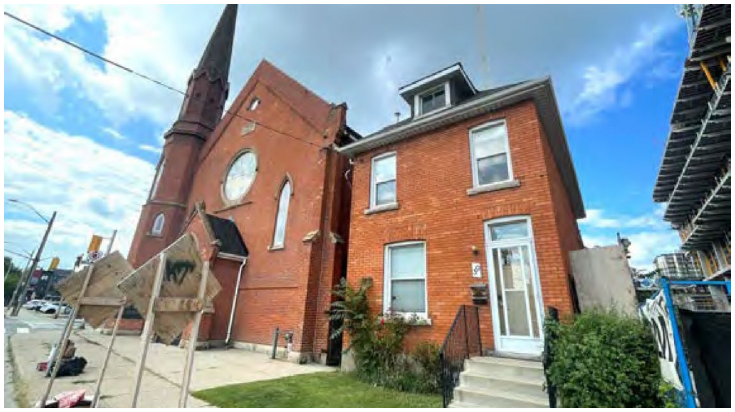

Altar painting


Stained-glass window

The Caretaker's House (1902)

There is a two-storey brick dwelling located in the east side yard that belongs to the church and was originally constructed as the Caretaker's House but has not served this purpose for many years. It is currently vacant because the congregation does not have a use for it, and they have been unable to find a reliable long-term tenant. It is a modest brick structure with a square plan and hipped roof. The interior has a side hall plan with a living room, dining room and kitchen on the ground floor and three bedrooms and a bathroom on the 2nd floor. The basement is partially finished and is used for storage and contains the laundry and furnace room. The foundation appears to be poured in place concrete and the brick appears to be a veneer. The windows have segmental brick arches and quarry-cut stone sills. The original wood doors and windows have been replaced.

The Church and Caretaker's Residence are separated by a narrow walkway with an iron gate at the entrance on Wilson Street. The iron gate has the initials 'STJ' and was presumably installed after 1955 when the Church was re-named 'St. John's Lutheran Church'. The is a small rear yard behind the Caretaker's Residence that is enclosed by the Church on west side and the rear addition of the Church on the north side. There is an entrance into the Church addition from this yard.



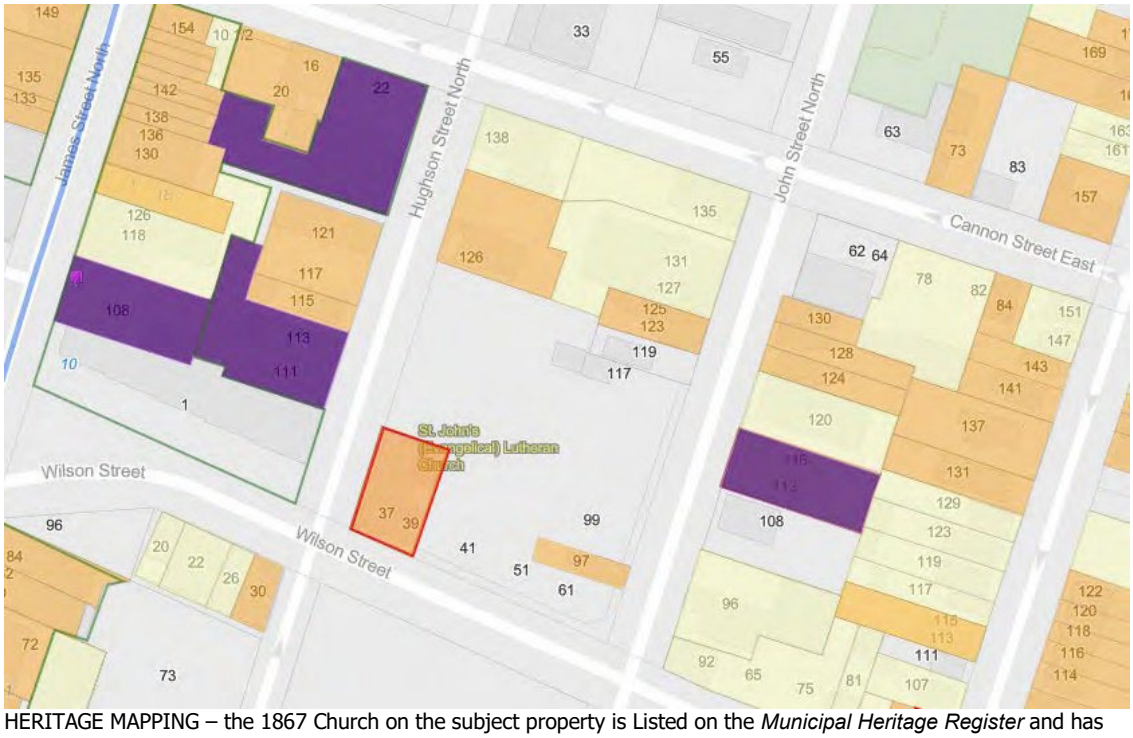
Caretaker's House (1902) – proposed for demolition to accommodate the proposed addition

3.0 HERITAGE PLANNING CONTEXT

The subject property is located in the Historic Beasley Neighbourhood and is Listed on the *Municipal Heritage Register*. It has recently been identified by staff as a property that has High Potential for Designation under the *Ontario Heritage Act*. Heritage staff have prepared a *Draft Statement of Cultural Heritage Value.* The dwelling located on the Church property at 39 Wilson Street has not been identified as a significant heritage resource and is not listed as a heritage attribute in the *Draft Statement of Cultural Heritage Value.*

The church is included in the City of Hamilton's *Inventory of Significant Places of Worship*. The *Inventory* sheet is included in the Appendix of this report.

Heritage interest in the site is primarily associated with the 1867 Church and does not include the 1969 rear addition or the 1902 Caretaker's House. The heritage attributes identified by staff pertain to the exterior elements of the 1867 Church. Heritage attributes identified by staff are included in the list included in *Statement of Cultural Heritage Value* in Section 5.0 of this report.



HERITAGE MAPPING – the 1867 Church on the subject property is Listed on the *Municipal Heritage Register* and has been identified by staff as having High Potential for Designation

4.0 HISTORICAL CONTEXT

Primitive Methodist Church: 1867-1880

The church was originally built for a Primitive Methodist congregation. The cornerstone was laid on April 13, 1867 and the first service was held on December 14, 1867. The church was designed by Albert Harvey Hills (1816-1878), one of the earliest architects active in Hamilton. He opened a builder's office with his brother in the 1830s. In 1846, he began to practice as an architect under his own name. In 1867-68 Directory, he is listed as an architect and civil engineer. Hills designed a number of early churches and ward schools in Hamilton in the 1860s and 70s and worked with Frederick Kortrum on the Hamilton City Hall & Market Building in 1857. One of his most important commissions was the Hamilton Crystal Palace that was opened by Prince of Wales in 1860.

The church appears on the 1876 Birdseye View of Hamilton and identified as the 'Primitive Methodist Church' at the corner of Gore & Hughson. (Gore is now called Wilson). The image corresponds to the Church footprint today including the octagonal corner tower. The 1876 image shows a 2-storey appendage at the rear with a gable roof that served as the Parsonage. (This building was demolished in the 1969 when the Sunday School Addition was built.)

In 1880, the Primitive Methodist congregation merged with other Methodist groups and moved to another location. The church sat vacant for a few years before being sold to a Lutheran congregation.

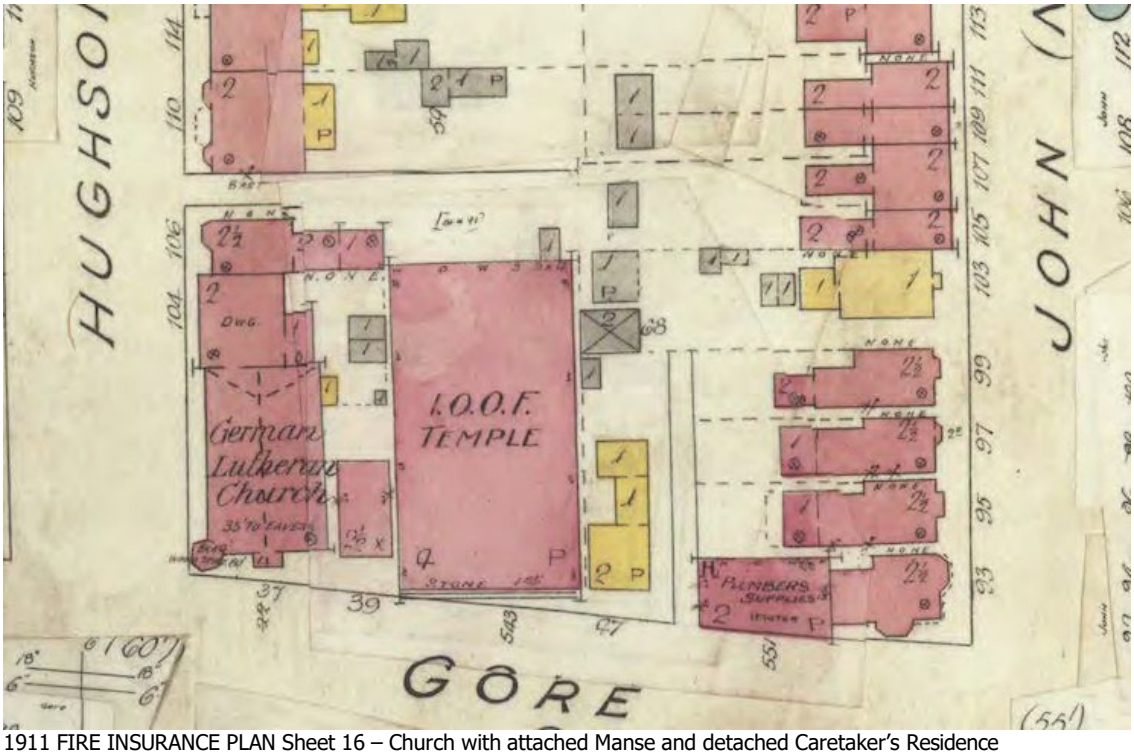
1876 BIRDSEYE VIEW – Church and attached Manse

St. Paul's German Evangelical Lutheran Church: 1884-1955
St. John's Evangelical Lutheran Church: 1955-2019
Trinity Lutheran Church: 2019-present

In 1884, St. Paul's German Evangelical Lutheran congregation purchased the Church and attached Parsonage for $8,000. Prior to this, the Lutheran congregation had been conducting services in German in other locations, beginning in 1858 at Christ's Church Cathedral. They built their first church at Market and Bay Streets. When this became too small, they purchased the large brick church on Gore Street (now Wilson Street) vacated by the Methodists.

The 1898 Fire Insurance Plan corresponds to the image that appears on the 1876 Birdseye View but the building is now identified as the 'German Lutheran Church'.

In 1902, the congregation built a modest 2-storey brick dwelling in the east side yard of the church for the Sexton that cost $4,500. A Sexton is a paid employee of a Church who maintains the church property. In later years the house is referred to as 'The Custodian's House', for the purposes of this report it is referred to as the Caretaker's House. It appears on the 1911 Fire Insurance Plan and corresponds to the dwelling at 39 Wilson Street that is proposed for demolition. By this time, a large Odd Fellows Hall had been built next door.



1911 FIRE INSURANCE PLAN Sheet 16 – Church with attached Manse and detached Caretaker's Residence

In 1908, Ottilie Palm (later Ottilie Palm-Jost) was commissioned to paint a mural of The Resurrection for the altar. Funds for the altarpiece and for stained glass windows in the Sanctuary were provided by Mrs. Gompf, the wife of a Hamilton brewery owner. Palm-Jost was a Canadian Impressionist painter who had studied at the Hamilton School of Art and at summer schools in New England with the American Impressionist painters of the time. She was a founding member

of the Hamilton Art Students League (1898). In 1911 she moved to Germany where she continued to exhibit her work. In 1997, fine art conservator Elizabeth Shambrook did restoration work on the altar painting. (See additional information about the artist provided in the Appendix)

In 1923, the Sanctuary was remodeled, and a new altar, pulpit, lectern, and lighting were installed for a cost of $2,000. In 1923, a new pipe organ was purchased for a cost of $3,600. This replaced the first pipe organ that was installed in 1895. The railing installed in 1895 remains in the choir loft today.

In 1946, the entire church was remodeled and decorated at a cost of $10,000. The renovations included a new floor, pews, and centre aisle in the Sanctuary and a modern oil heating system was installed. On the 1947 Fire Insurance Plan the church is referred to as 'St. Paul's Lutheran Church'. By this time, the Odd Fellows Hall next door has been converted to a warehouse.

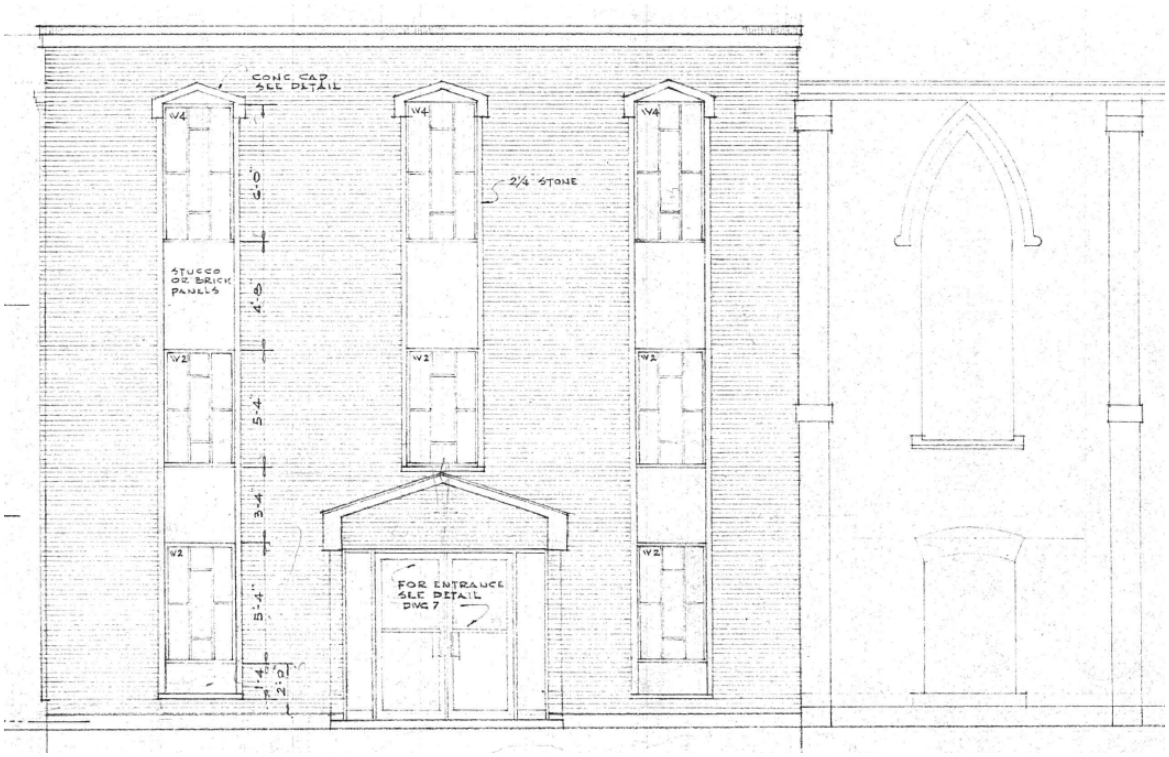
In 1955, the evolving Synod of the Evangelical Lutheran Church of Canada created four new congregations, including the St. John's Evangelical Lutheran Church congregation, which replaced the prior congregation at 37 Wilson Street.

In 1969 a three-storey rear addition was built to house the Church's large Sunday School program that had grown in the post-war period with the influx of German speaking immigrants to Hamilton after World War II. The Old Manse that appears on the 1964 Fire Insurance Plan was demolished to make way for the new Sunday School Addition. The Church is labelled in German on this plan as 'St. Johannes Kirche Evangelische Lutherhische'. By this time, the Odd Fellows Hall next door has been demolished and is now a parking lot.

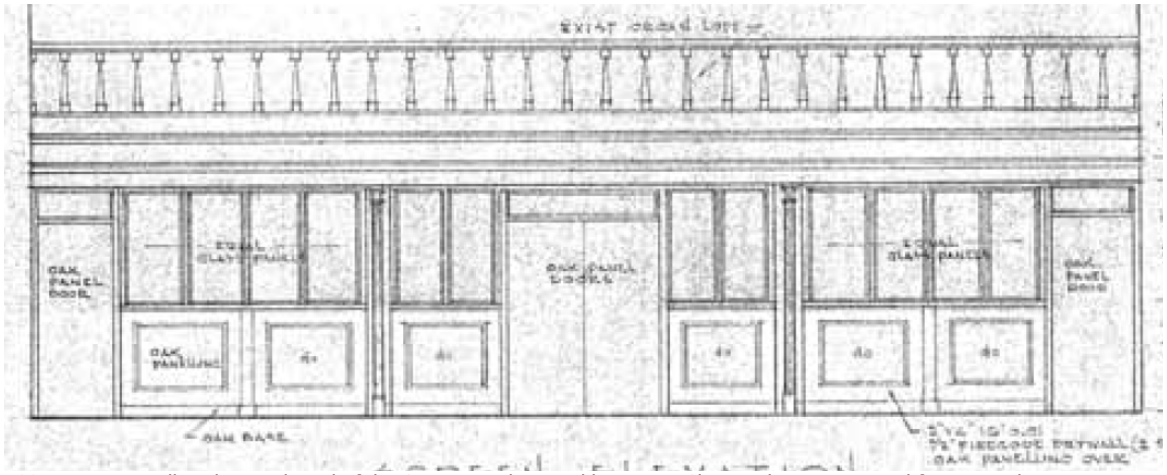
1969 Sunday School Addition that replaced the Old Manse

The Sunday School Addition opened on November 9th, 1969. At the time there were 235 Sunday School Children in 8 classes with 22 teachers, 77 children with 4 teachers in Saturday German School, 34 Scots with 6 Leaders, and a Youth Group of 40 young people with 4 Advisors.

The Sunday School Addition was designed by local architect James Henry Christie (1922-2007) of Stoney Creek. The Church has Architectural Drawings by Christie that show the original geometric pattern in the windows and stone framing details. The Lutheran Archives at Wilfred Laurier University has a c.1969 Photo of the Sunday School Addition before the windows were replaced and the stone pediments were clad with aluminum flashing. In 1991, Christie prepared plans for a partition wall at the south end of the Sanctuary and a passenger lift.



1969 Sunday School Addition designed by James Christie – the original windows have since been replaced



1991 partition wall at the south end of the Sanctuary designed by James Christie that is proposed for removal

In 2019, the Church once again changed its name to the Trinity Lutheran Church after the four local Lutheran congregations amalgamated.

5.0 CULTURAL HERITAGE VALUE

The cultural heritage value of Trinity Lutheran Church is summarized below:

Design or Physical Values:

- it is a representative example of a brick 19th century Gothic Revival Methodist Church built in 1867
- the brick construction and Gothic Revival elements display a high degree of craftsmanship
- it is a representative example of the work of Albert Harvey Hills (1816-1878), a significant Hamilton architect who designed several prominent Hamilton buildings
- the Resurrection mural is a rare example in Canada of a large altarpiece by Canadian Impressionist painter Ottilie Palm Jost (1878-1961)

Historical and Associative Values:

- it is associated with the history of Primitive Methodism (1867-1880) and Evangelical Lutheranism (1884-present) in Hamilton:
    - Primitive Methodists: 1867-1884
    - St. Paul's German Evangelical Lutheran: 1884-1955
    - St. John's Evangelical Lutheran: 1955-2019
    - Trinity Lutheran: since 2019-

Contextual Values:

- it is a recognizable landmark on a prominent corner site that contributes to the historic character of the Beasley Neighbourhood

Heritage Attributes:

The heritage attributes pertain to exterior elements of the 1867 Church, the 1867 & 1908 stained glass windows, and the 1908 Resurrection Altarpiece, and include the following elements:

- exterior brick walls
- octagonal corner tower
- steeply pitched gable roof
- brick corbels and buttresses
- carved stone hood moulds and cut stone sills
- front portico
- stained & etched glass windows including the arched, quatrefoil, trefoil, and lancet windows, the large rosette window on the front elevation, and the glazed transom in the vestibule
- arched doorway in the vestibule with stained-glass transom

5.1 EVALUATION ACCORDING TO *ONTARIO REGULATION 9/06*

According to Subsection 1 (2) of *Ontario Regulation 9/06, Criteria for Determining Cultural Heritage Value or Interest*, a property may be designated under section 29 of the *Ontario Heritage Act* if it meets two or more of the following criteria:

Property: Trinity Lutheran Church, 37 Wilson Street East, Hamilton ON

CRITERIA	ASSESSMENT (YES/NO)	RATIONALE
1. Design of physical value:		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	YES	It is a representative example of a Gothic Revival style church constructed in 1867.
ii) Displays a high degree of craftsmanship or artistic merit	YES	The brick & stone masonry and the 1867 & 1908 stained-glass windows display a high degree of craftsmanship. The 1908 Resurrection altarpiece by Otillie Palm Jost displays a high degree of artistic merit.
iii) Demonstrates a high degree of technical or scientific achievement	NO	The large open interior of the Sanctuary space displays a moderate degree of technical achievement typical of 19th century brick churches.
2. Historical or associative value		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	YES	It is associated with Methodist and Lutheran congregations in Hamilton: • Primitive Methodist Church: 1867-1880 • St. Paul's German Evangelical Lutheran Church: 1884-1955 • St. John's Evangelical Lutheran Church: 1955-2019 • Trinity Lutheran Church: 2019-present
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	YES	It contributes to an understanding of religious institutions in Hamilton.

iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	YES	The Church is a good example of the work of Albert H. Hills (1816-1878), a notable early architect in Hamilton. The 1908 Resurrection altarpiece is a rare example of an altarpiece by Canadian Impressionist painter Ottilie Palm Jost (1878-1961).
3. Contextual Value		
i) Is important in defining, maintaining, or supporting the character of an area	YES	It supports the historic character of the Beasley neighbourhood.
ii) Is physically, functionally, visually, or historically linked to its surroundings	YES	It is historically linked to Primitive Methodist and Evangelical Lutheran congregations in Hamilton. It remains functionally linked to the Lutheran congregation and the German-speaking Lutheran diaspora in Hamilton.
iii) Is a landmark	YES	It is a landmark because it is located on a major downtown thoroughfare on a corner site.

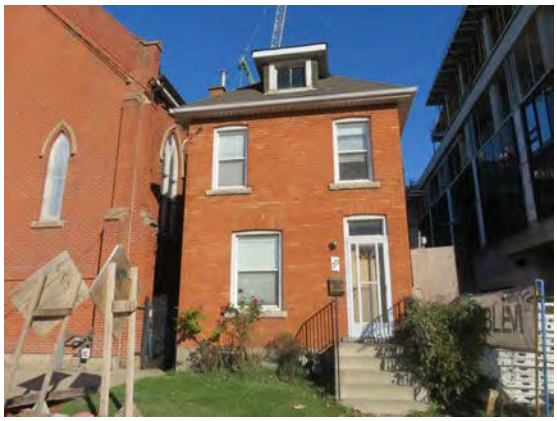
EVALUATION SUMMARY: meets 8 criteria

6.0 PROPOSED ALTERATIONS

Proposed Demolition

The brick dwelling located in the east side yard of the church must be demolished to accommodate the proposed addition. It was originally constructed by the congregation in 1902 as the Caretaker's Residence and is a modest brick structure with a square plan and a hipped roof.

The congregation currently has no need for residential quarters on the property and they have not been successful in securing a suitable long-term tenant for this building. Therefore, they are proposing to demolish this structure so that the east side yard can be better utilised for expansion of the Church.




The Caretaker's House (1902) in the east side yard must be demolished to accommodate the proposed addition

Proposed Addition

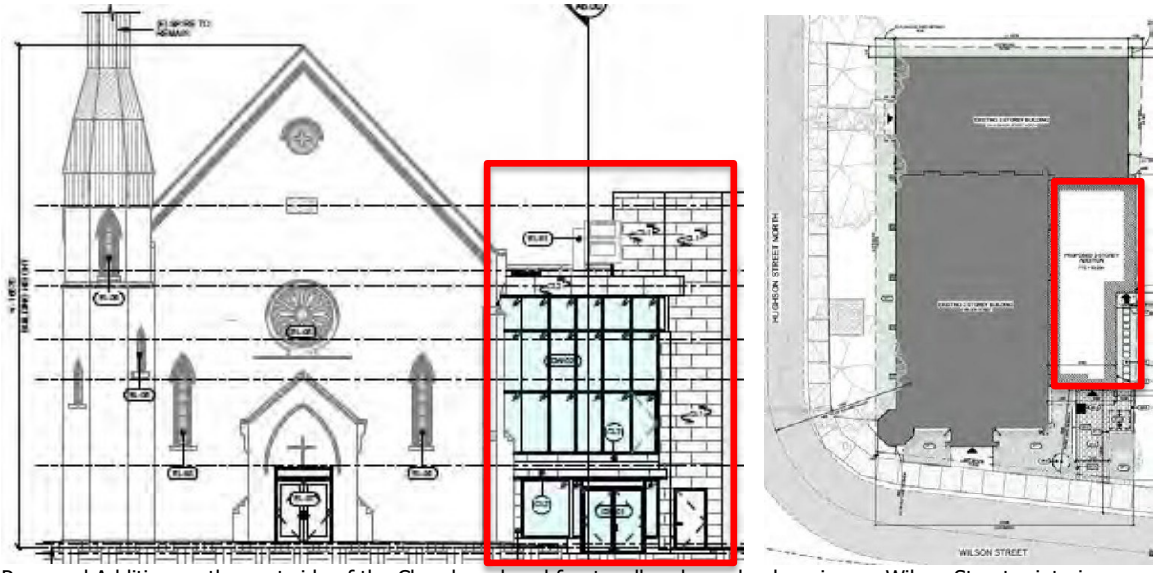
The proposed addition will be attached to the east side of the Church and will fill the east side yard which is the only area on the site that can accommodate further expansion of the church.

The height of the addition will match the height of the existing 3-storey rear addition. Bays 2-5 in the east wall of the church will be preserved and enclosed inside a new atrium connection. The addition has been designed so that all of stained-glass windows are preserved and illuminated by natural light from 3 skylights in the roof of the new atrium.

The new rooms in the three-storey addition are organized around an atrium so that there will be minimal impact on the east wall of the church. The portion of the east wall that is enclosed inside the addition will be left exposed inside the new atrium.

The addition is designed in a contemporary manner to differentiate it from the heritage fabric and to reflect current architectural taste. The front elevation of the addition will be glazed to create openness to the street. The addition is setback from the front wall of the church so that the heritage building remains prominent from the street and so that its original form remains clearly legible. Views through the glazed exterior to the east wall of the church will further reinforce the legibility of the original structure. The front setback on Wilson will be landscaped,

and the entrance will be fully accessible. The addition will contain a new elevator that will service the two levels of the Church and the three levels of the new addition.

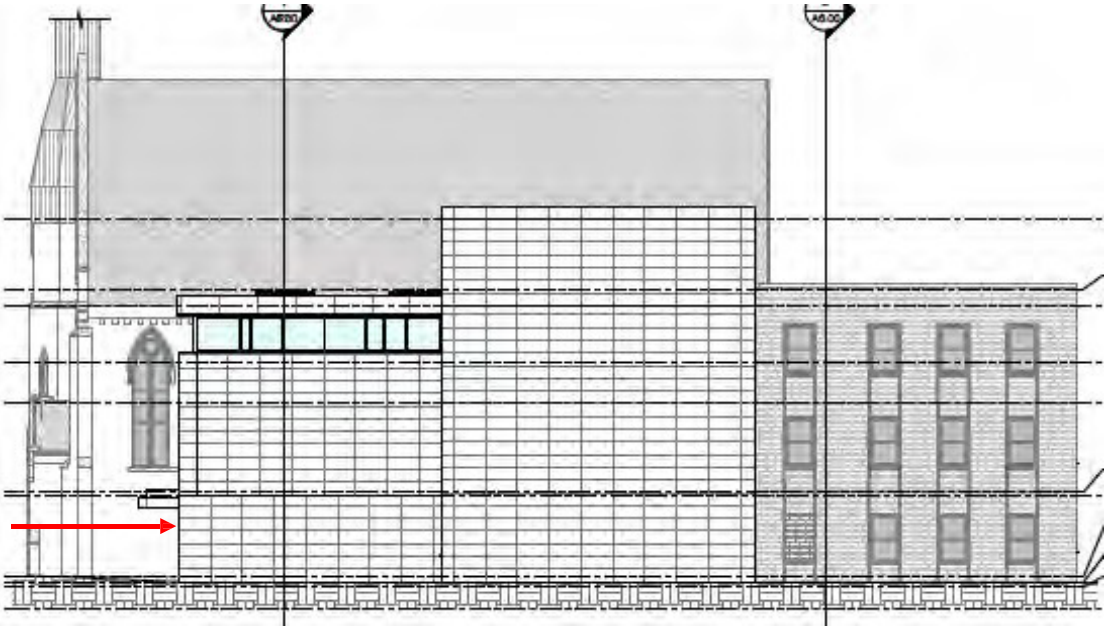


Proposed Addition on the east side of the Church – glazed front wall and new landscaping on Wilson Street – interior space in the addition is organized around an atrium to minimize impacts on the east wall of the Church – skylights in the roof will provide natural light to illuminate the stained glass windows in the atrium

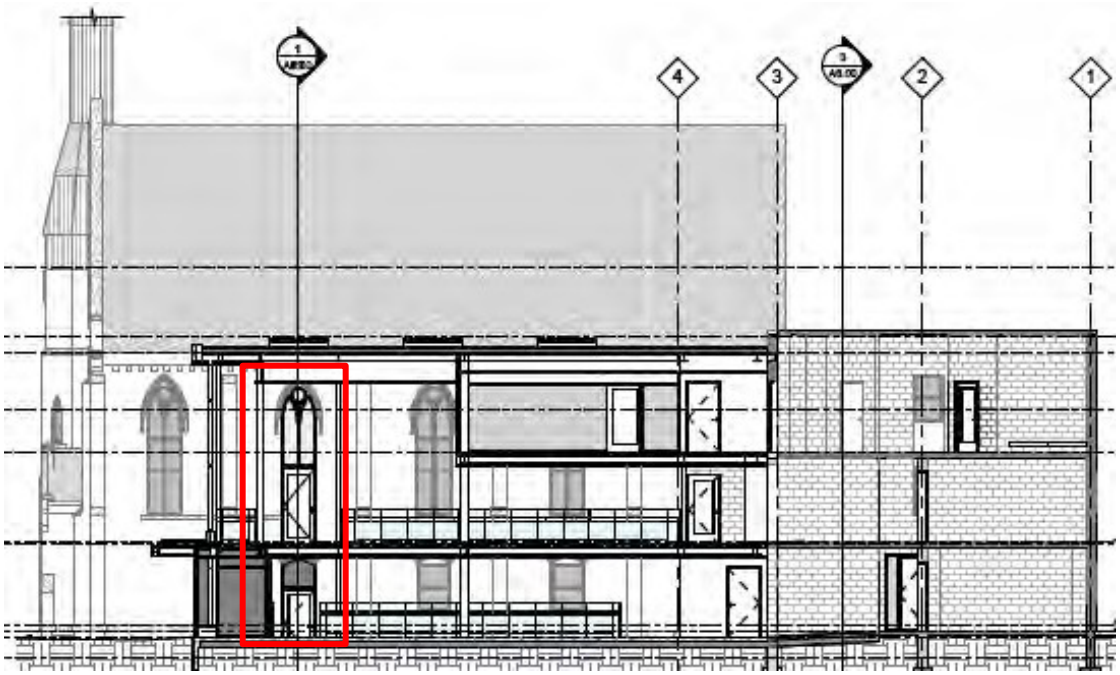
Proposed Interior Alterations

Minor changes will be made to the interior of the Sanctuary. The oak and glass partition wall at the south end of the Sanctuary that was installed in 1991 will be removed to enlarge the Sanctuary space. The existing passenger lift in this area will be removed since it will be replaced by a new elevator in the addition.

Proposed Interior Alterations to the Sanctuary - partition wall installed in 1991 to be removed – Gallery to remain

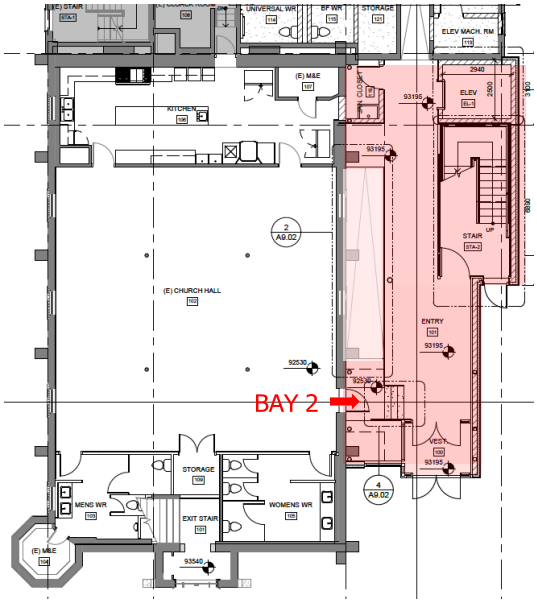


PROPOSED ADDITION East side elevation – the addition is setback and does not impact the church roof

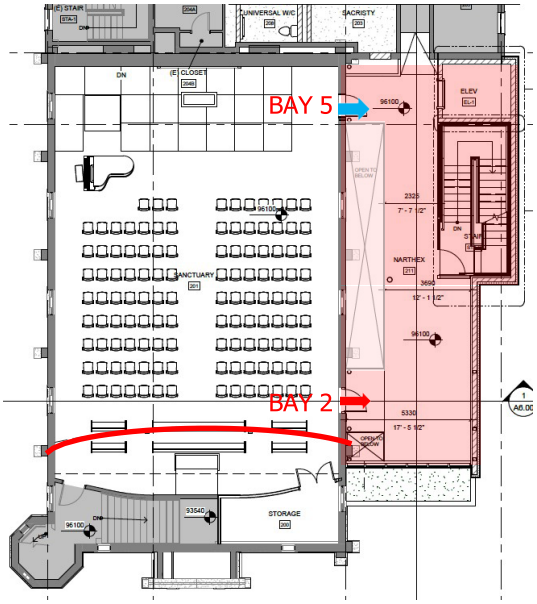


Bay 2 Bay 5

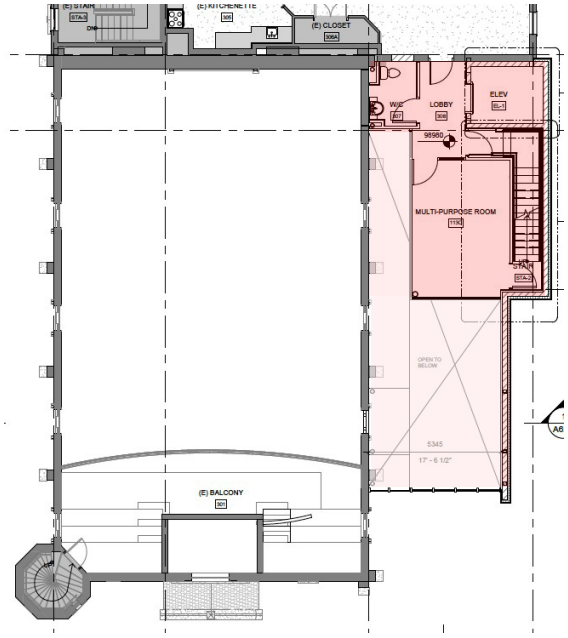
PROPOSED ADDITION Section through to the east side elevation of the Church – existing windows in Bay 2 will be modified for doorways into the new addition – the upper portions of these windows will remain



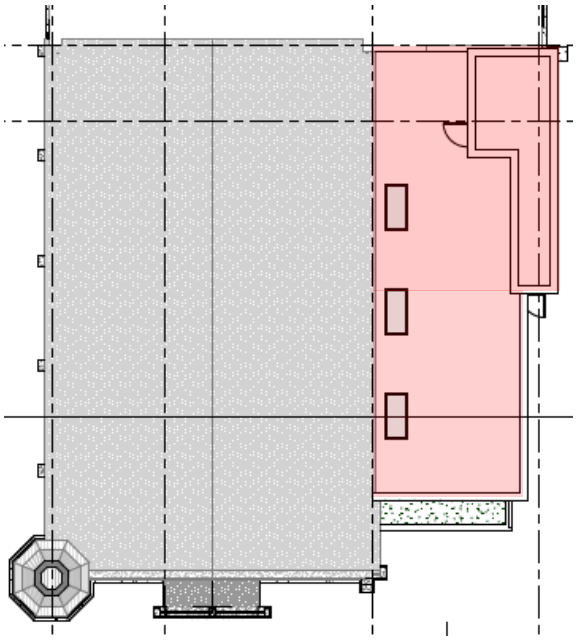
LEVEL 1 – Parish Hall



LEVEL 2 - Sanctuary



LEVEL 3 - Gallery



ROOF PLAN

Proposed 3-storey Addition

Atrium open to below

Partition wall to be removed

New doorway through east wall of the Church

Existing doorway through east wall of the Church

7.0 HERITAGE IMPACT ASSESSMENT

The proposed demolition of the 1902 Caretaker's House will not have a negative impact on the cultural heritage value of the site. It does not have significant cultural heritage value and has not been identified as a heritage attribute. Demolition of a structure that the congregation has no use for to allow expansion of the Church provides positive benefits because it support ongoing use of the heritage building.

The impacts of the proposed addition have been minimized through thoughtful design measures including:

- locating the addition on the side and setting it back from the front wall of the Church
- matching the height and employing a flat roof to avoid impacts to the Church roof
- utilizing the existing masonry openings in the east wall of the Church for through connections into the new addition
- utilizing an atrium connection that minimizes impacts on the east wall of the Church
- employing a high quality of design in a contemporary manner that reflects current needs of the congregation and is complementary in scale and massing to the 1867 Church

There will be direct impacts to one of the 1908 stained-glass windows in the east wall of the Sanctuary that is a heritage attribute. The lower portion must be removed so that a new doorway can be installed. Negative impacts can be mitigated by preserving the upper portion *in situ* and by salvaging and reusing any glass that is removed. The salvaged glass can be reused either as a feature in the new addition or for use as a repair material for any windows that require repairs. This work should be undertaken by a stained-glass expert.

East wall of the Church – the stained-glass window in Bay 2 must be modified for a doorway into the proposed addition.

Potential impacts to the foundation and east wall of the Church during demolition, excavation and new construction can be mitigated through careful planning and construction management.

Careful planning includes preparation of detailed structural drawings and masonry specifications by qualified professionals with heritage expertise for new openings through and new connections to the east wall and foundation of the Church.

Careful construction management includes monitoring and protection of the heritage masonry and stained-glass windows in the east wall throughout the demolition and construction process.

8.0 CONCLUSIONS & RECOMMENDATIONS

The proposed alterations will have positive impacts for the heritage resource because they will support its ongoing use by the congregation associated with it. Furthermore, the proposed expansion will improve the congregation's capacity to provide social services and programs that benefit the community.

Negative impacts associated with the proposed demolition of the Caretakers' House at 39 Wilson Street are minor and can be mitigated through documentation and salvage. This building has been documented and potential salvage items have been identified in the photo-documentation provided in Appendix B: Photo Documentation. No further mitigation is required. The applicant is encouraged to remove the recommended salvage items prior to demolition, if feasible.

Negative impacts to the east wall of the Church associated with the proposed addition have been effectively minimized through thoughtful design measures. The proposed interior renovations to the Church will have no negative impacts on the cultural heritage value or heritage attributes.

Therefore, it is recommended that the proposed alterations be permitted, subject to the applicant providing the following information to heritage staff for final approval, prior to the issue of building permits:

- *Shoring & Vibration Monitoring Plan*: a plan for shoring and monitoring the east wall and foundation of the Church during construction that includes limiting vibrations and protection measures for the stained-glass windows

- *Structural Drawings & Specifications:* detailed structural drawings and specifications new openings through the east wall of the Church and installation of new foundations adjacent to the rubblestone foundation of the Church

- *Stained Glass Window Salvage & Protections Measures* – a qualified stained-glass professional should be consulted to assess the condition of the stained-glass windows in the east wall, provide protection measures during construction, and undertake any removals. Salvaged glass should be re-used in the new addition and/or used as a repair material for windows that require repairs.

9.0 SOURCES

Archives of the Lutheran Synod are at Wilfred Laurier University (St. Paul's Evangelical Lutheran Church - St. John's Evangelical Lutheran Church - Trinity Lutheran Church)

Bailey, Thomas Melville, ed. Entry for 'Hills, Albert H.' in the *Dictionary of Hamilton Biography*, Vol. 1. (1981)

Charlton, Anne et al, *Significant Places of Worship Inventory in the City of Hamilton 1801-2001* (2012)

Concordia University, Canadian Women Artists History Initiative, entry for 'Jost, Ottilie Palm', *Bibliographic Database* (2007)

Hamilton Public Library, St. John's Evangelical Lutheran Church scrapbook, St. Paul's Evangelical Lutheran Church scrapbook.

Hill, Robert, ed. Entry for 'Hills, Albert Harvey' in the *Biographical Dictionary of Architects in Canada; 1800-1950*

MacCuaig, Stuart. *Climbing the cold white peaks: A Survey of Artists in and from Hamilton 1910-1950* (Hamilton Artists Inc., (1986); pp. 51-53.

Ministry of Tourism, Culture & Sport (MTCS). *Ontario Heritage Toolkit* (2006)

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

Wilson, Paul. 'Elizabeth rushes in for angel retreads: Restores Historical Altar Icon'. *Hamilton Spectator*, (Thursday, November 13, 1997); p A3

10.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a *Master of Arts in Architectural History* from the University of Toronto and a *Diploma in Heritage Conservation* from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian & Conservation Specialist at Taylor Hazell Architects in Toronto, and 12 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching Architectural History at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION

37-39 Wilson Street: 1867 Church & 1902 Caretaker's House – condo construction next door

37-39 Wilson Street; 1867 Church & 1902 Caretaker's House - there is a narrow walkway between them that is closed off from the street by an iron gate

1867 Church – front entrance on Wilson Street

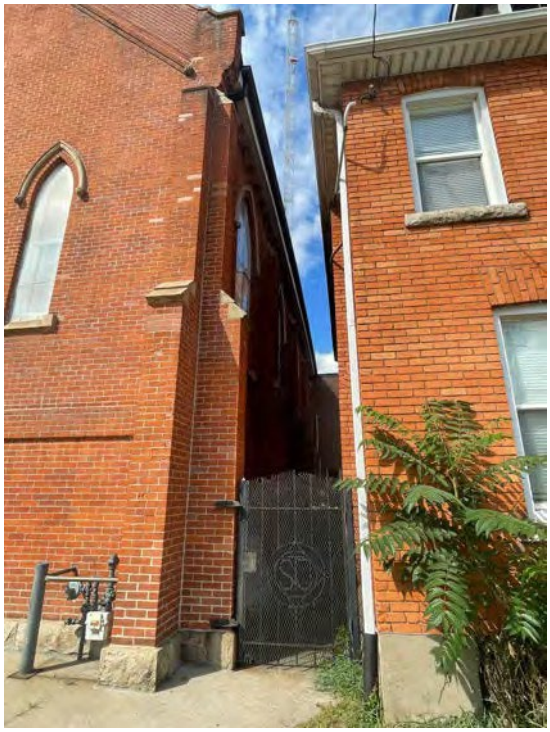
1867 Church – corner tower

1867 Church - west side elevation on Hughson N

1969 Sunday School Addition – attached at rear

1867 Church - west side elevation on Hughson N – raised Sanctuary, above a full height basement level

1969 Sunday School Addition that replaced the attached 1867 Parsonage – the original windows have been replaced – cladding has been installed on top of the concrete window caps and above the door – the trim framing the window bays is Queenston limestone



Narrow gap between the Church & Caretaker's House

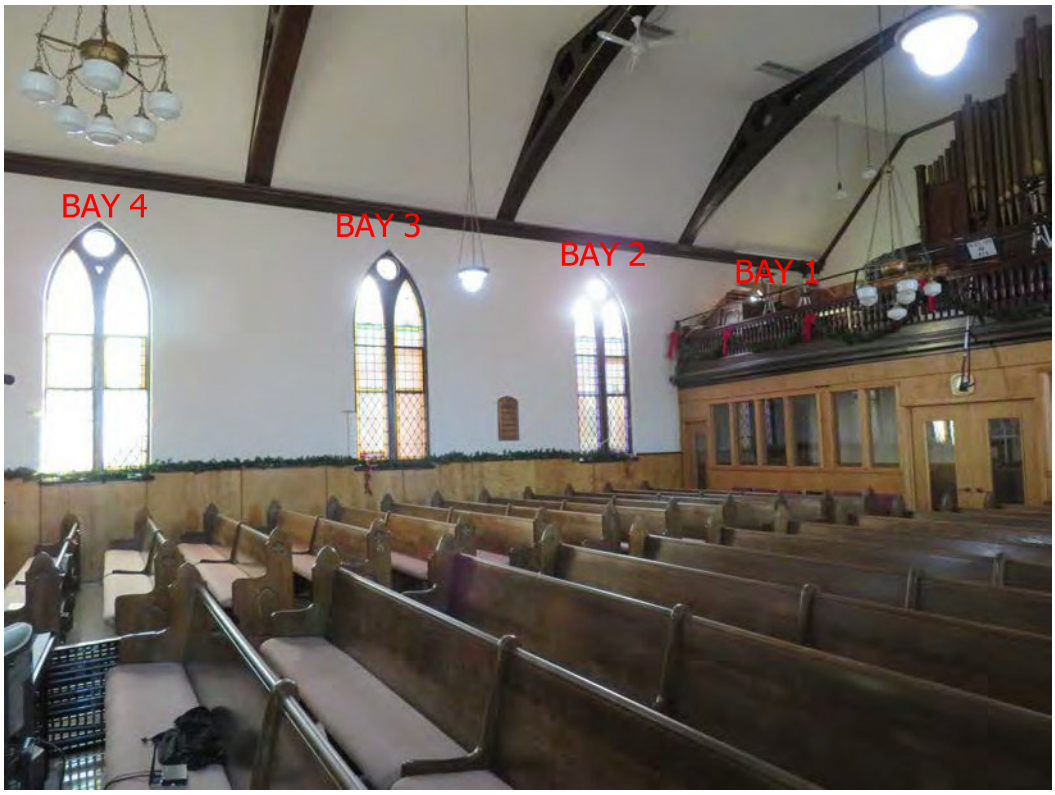
Iron gate with "STJ" (St. John's)
POTENTIAL SALVAGE ITEM

East wall of the Church – basement window infilled

Narrow path betw. Church & Caretaker's House

Church Interior – Sanctuary north wall - 1908 Resurrection altarpiece by Ottilie Palm Jost (1878-1961)

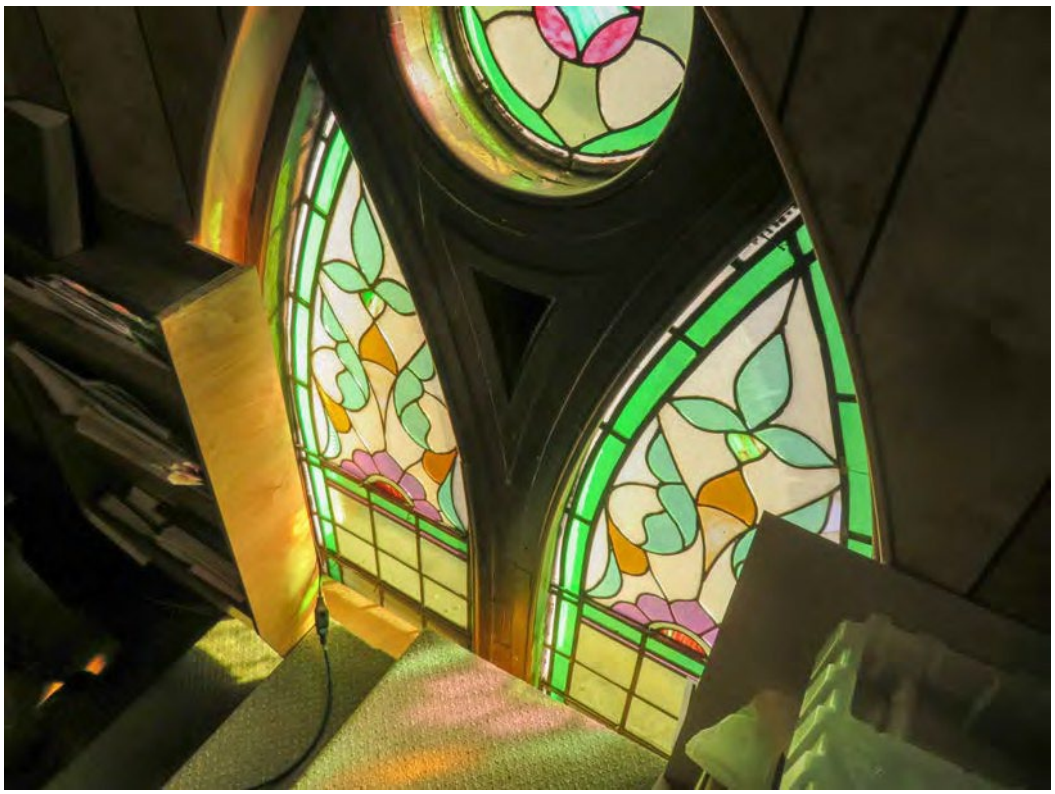
Church Interior – Sanctuary east wall – existing doorway into the rear addition in Bay 5 – a similar modification will be made to the window in Bay 1



Church Interior – Sanctuary east wall & Gallery – the Gallery overlaps the stained-glass window in Bay 1


Church Interior – below the Gallery – oak partition wall & elevator installed in 1991 to be removed

Church interior – looking south towards the Gallery & Organ

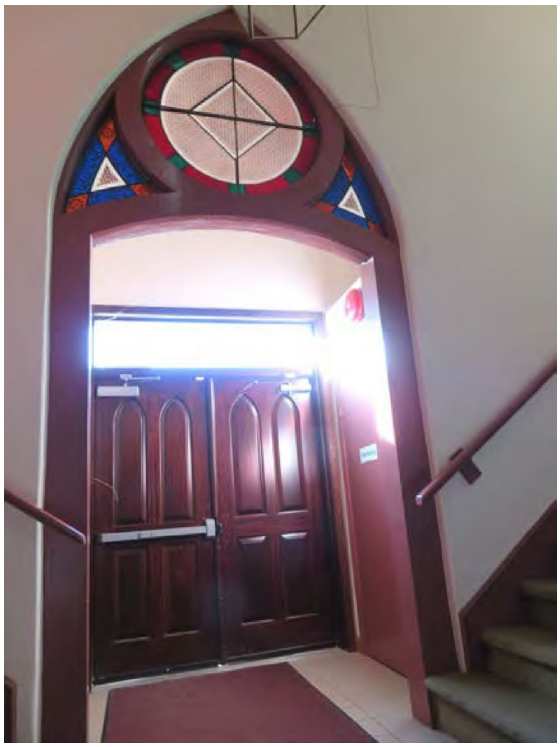


Church interior – Sanctuary east wall from the Gallery – the Gallery overlaps the stained-glass window in Bay 1

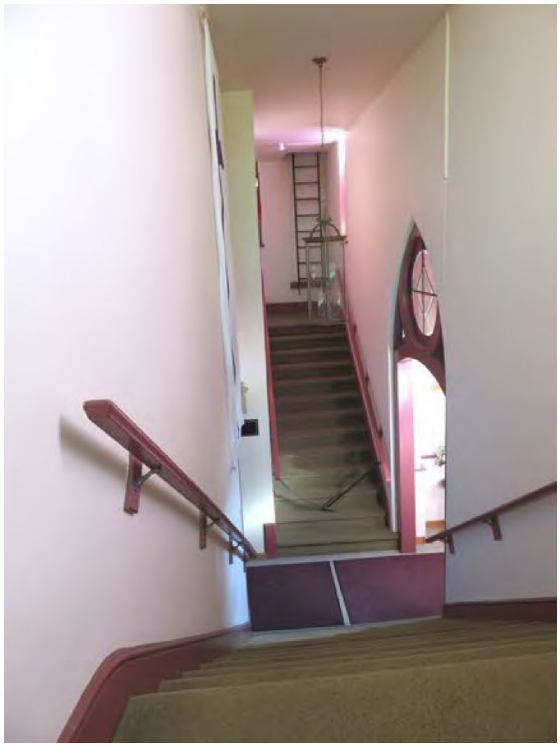
Church interior – Sanctuary east wall – stained-glass windows in Bays 1, 2, 3 & 4 (left) – there is a door in Bay 5 with stained glass above that matches the other windows

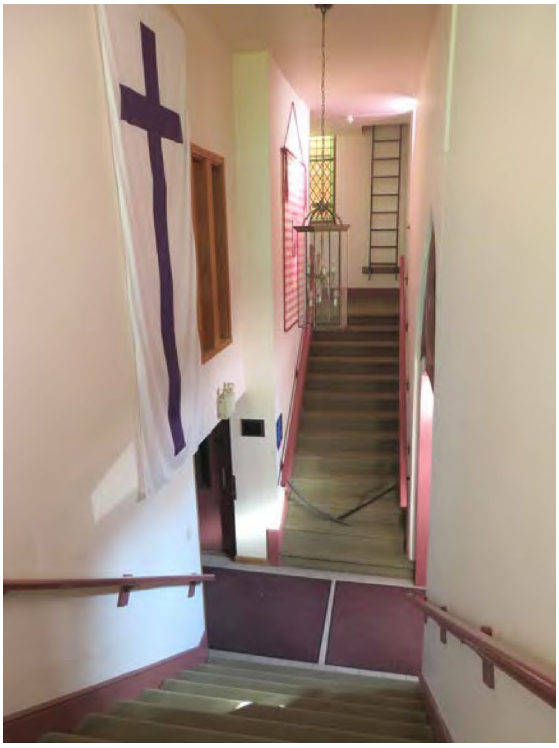
RECOMMENDED MITIGATION: salvage stained-glass from window to be modified for new doorway – work to be undertaken by stained-glass expert

1908 altar painting of the Resurrection by Ottilie Palm Jost (1878-1961) – the trefoil stained-glass window is back lit – inscribed 'Be Not Afraid'

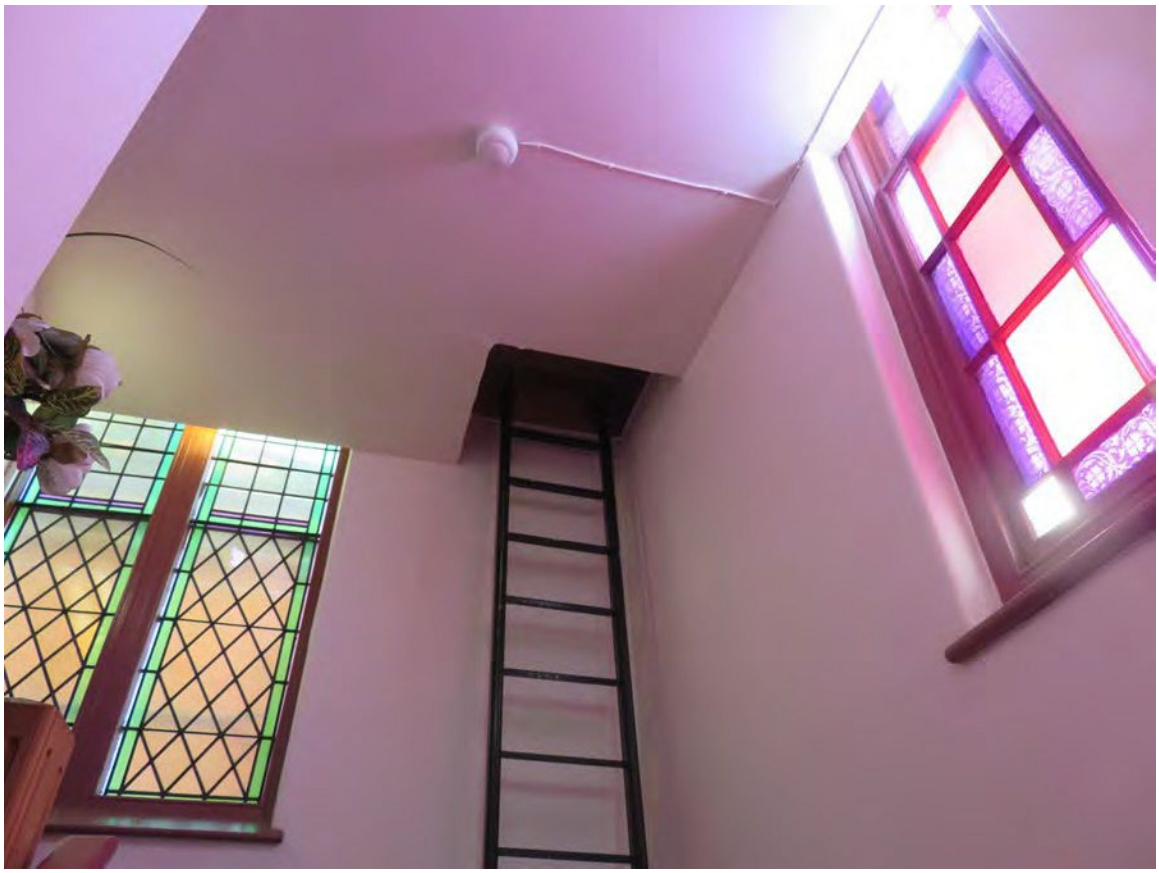


Church interior – small Vestibule inside the Front Entrance on Wilson Street – doorway and arched transom with stained glass – *arch and stained-glass transom are heritage attributes to be preserved *in situ*





Church Interior - Corridor inside the Main Entrance on Wilson Street with two staircases up to the Gallery – the west stairs continue up into the tower

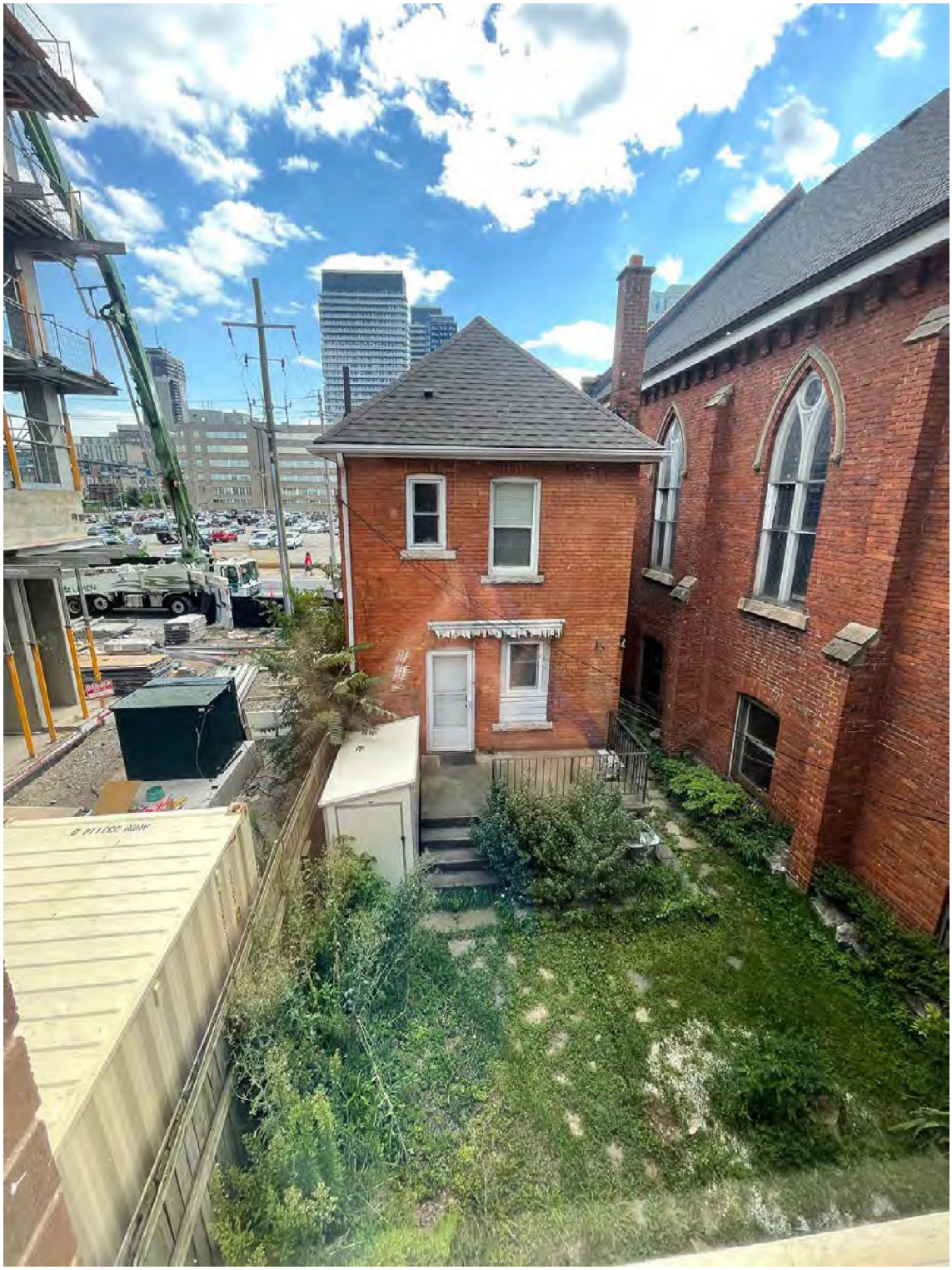


Church Interior – the Gallery overlaps the stained-glass window in Bay 1 on the east side elevation (left) and stained glass windows on the front elevation (right) – the front elevation has 1867 stained & etched glass windows

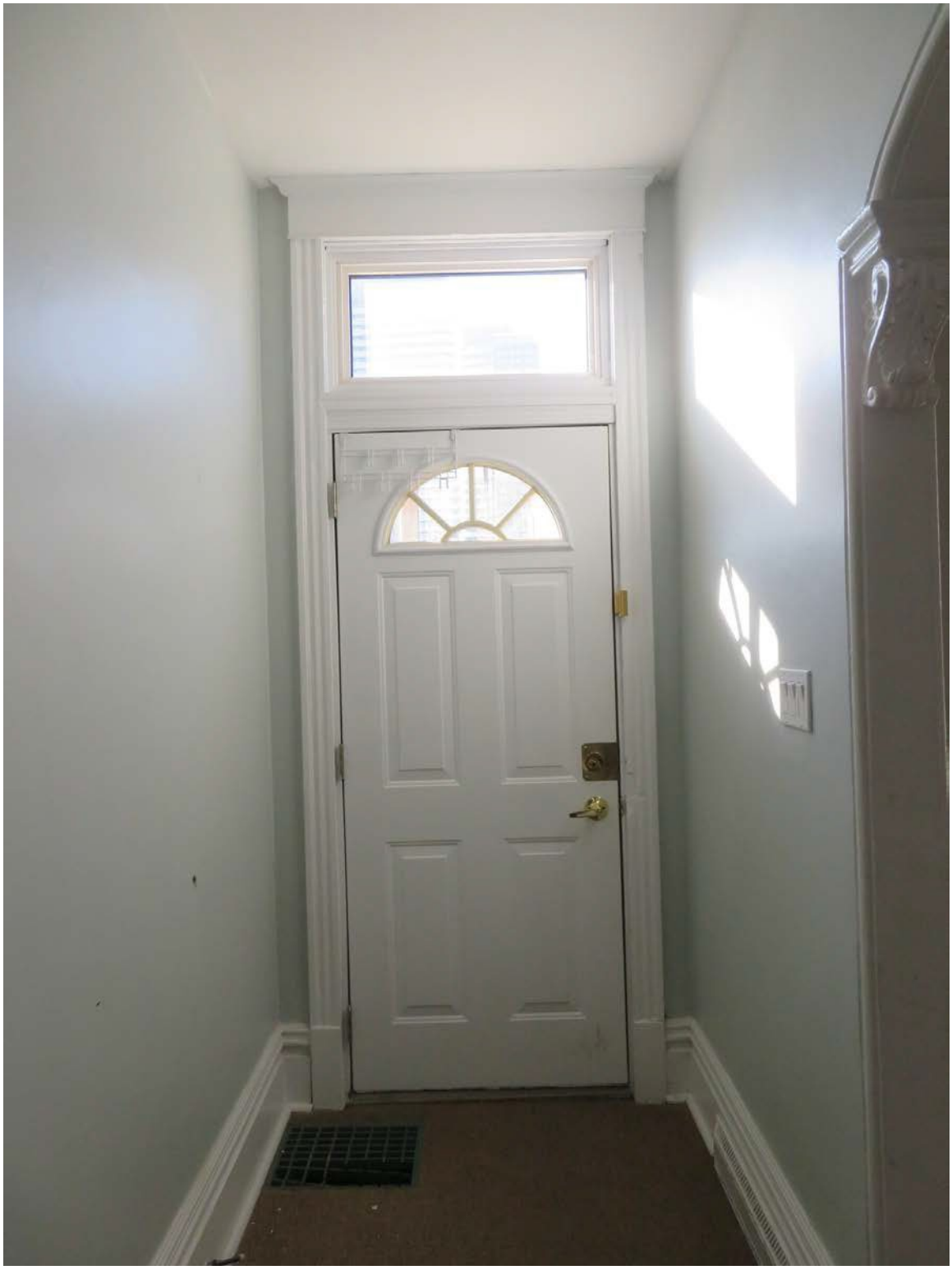
Church Interior – damaged 1908 stained-glass windows in the east (left) and west (right) side elevations

RECOMMENDED MITIGATION: stained glass expert to assess condition of stained-glass windows in East wall and provide protection measures

1902 Caretakers House, 39 Wilson Street – brick veneer – windows and doors have brick arches and cut stone sills – doors and windows have been replaced and concrete stairs have been installed at the front entrance on Wilson Street – foundation is parged



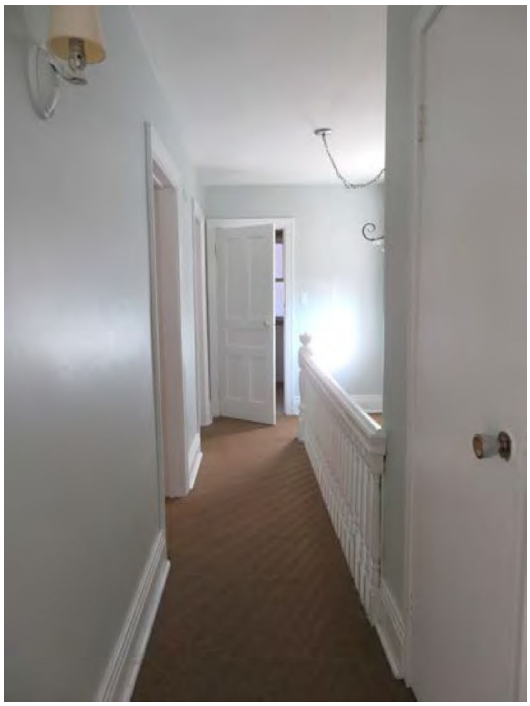
1902 Caretaker's House – view from the stairwell of the rear addition to the rear elevation and rear yard of the Caretaker's House – the east wall of the church is visible on the right – the new condo construction next door is visible on the left



1902 Caretaker's House – interior – front door with transom above – replacement door

1902 Caretaker's House – interior – 1st floor – the front room has two arched openings with ornate scrolls – the ornate heat vent covers are original

POTENTIAL SALVAGE ITEMS: metal vent covers & decorative wall brackets



1902 Caretaker's House – interior – stairs to the 2nd floor

Hallway on the 2nd floor

1902 Caretaker's House - original stair railing and newel post in the upstairs hallway

POTENTIAL SALVAGE ITEMS: stair newel, handrail & balusters

1902 Caretaker's House – interior – 2nd floor – original doors and vent covers

1902 Caretaker's House – interior – 2nd floor – original doors and vent covers

POTENTIAL SALVAGE ITEMS: paneled wood doors

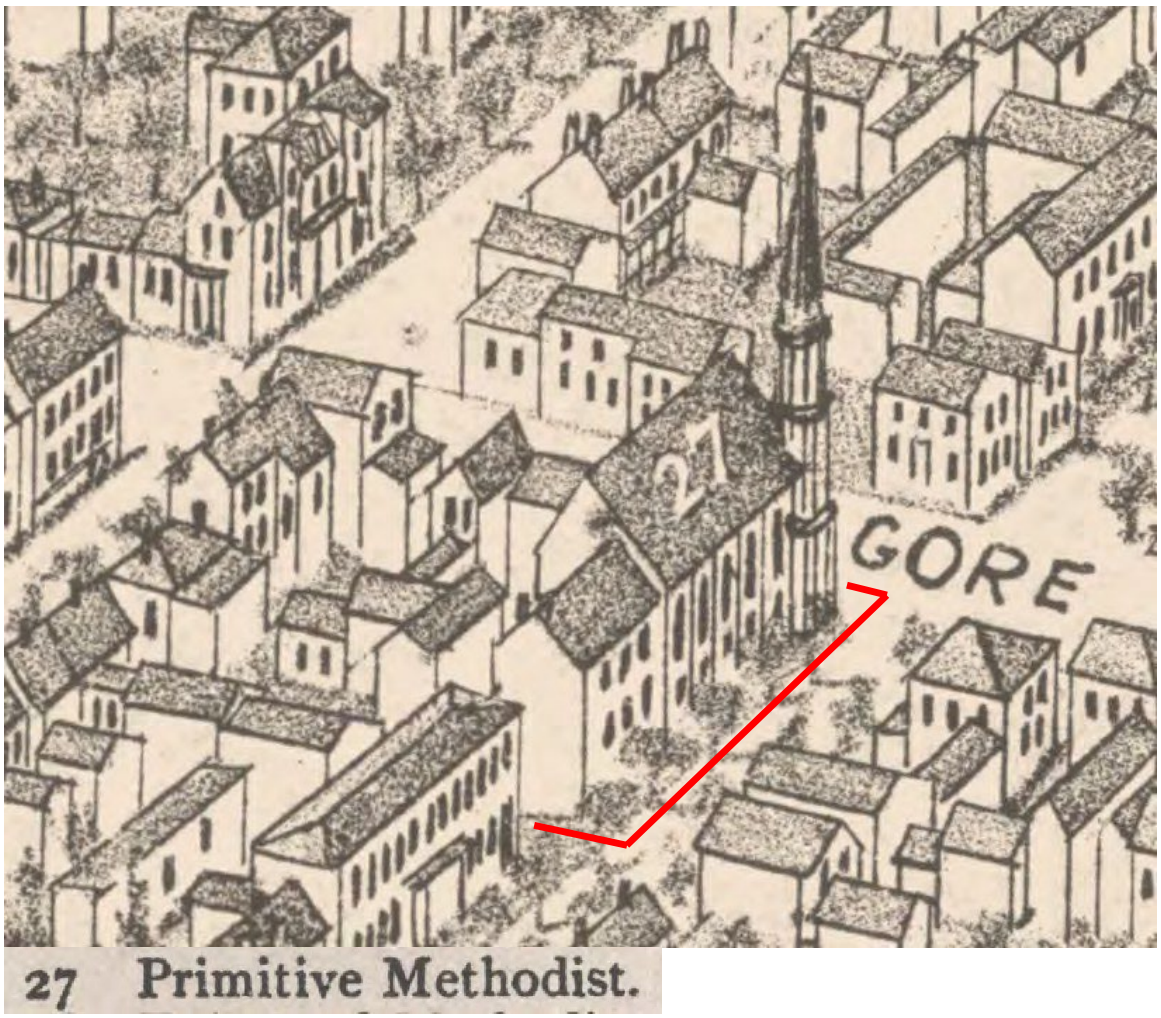
1902 Caretaker's House – interior – 2nd floor – original door hardware and vent covers

POTENTIAL SAVLAGE ITEMS: door hardware & decorative metal vent covers

APPENDIX B: HISTORIC DOCUMENTATION

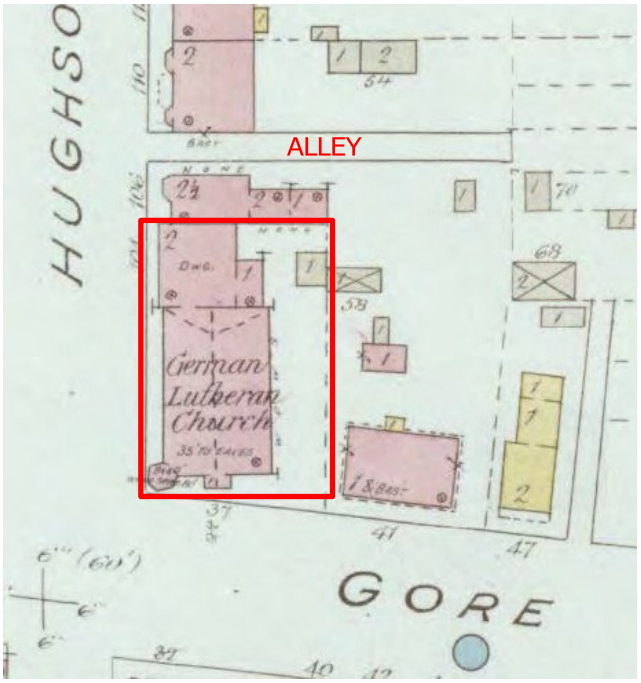
1851 MARCUS SMITTH MAP [HPL]

COMMENT: empty lot on northeast corner of Gore & Hughson, owned by 'Dr. J. Bates'



1876 BIRDSEYE VIEW OF HAMILTON [McMaster]

- northeast corner of Gore (now Wilson E) & Hughson N
- large church with a corner tower on Gore Street and a 2-storey wing at the back on Hughson Street
- trees along Hughson Streer North – large building to the north
- identified as the Prmitive Methodist Church

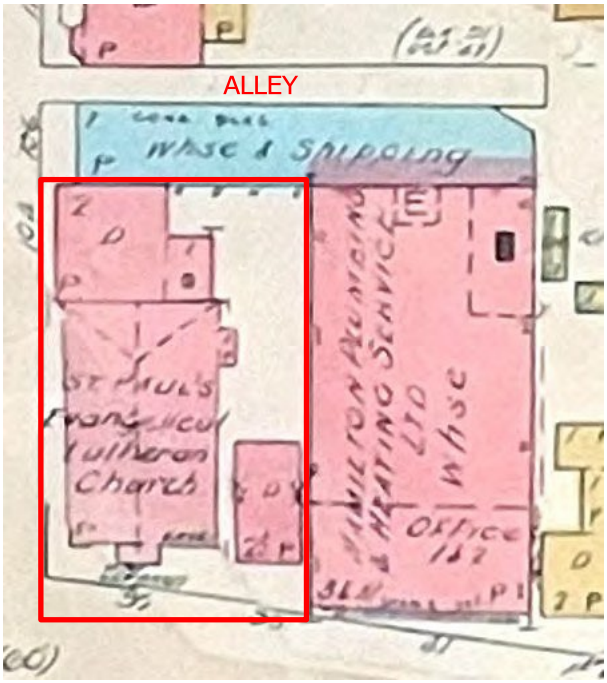


1898 FIRE INSURANCE PLAN, SHEET 16 [McMaster]

- brick church with corner tower and the the 2-storey structure attached at the back that served as the Manse
- street address is #37 Gore Street and #104-106 Hughson Street North
- identified as German Lutheran Church

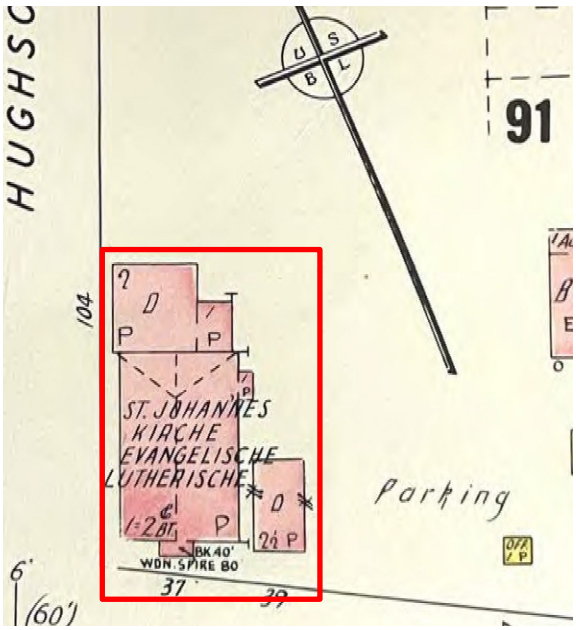
1911 FIRE INSURANCE PLAN, SHEET 16 [McMaster]

- there is a 2.5-storey brick structure in the east side yard that corresponds to the Caretaker's House at 37 Wilson Street that is proposed for demolition
- there is a large Odd Fellows Hall next door
- the street address is #37-39 Gore Street and 104 Hughson Street North
- identified as the German Lutheran Church



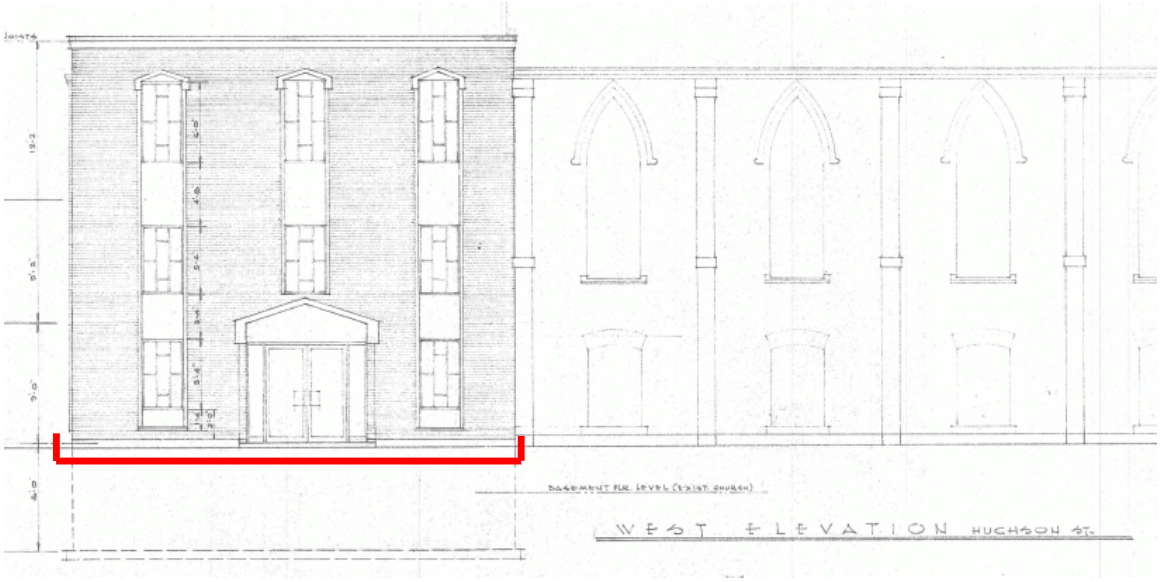
1947 FIRE INSURANCE PLAN, SHEET 126 [McMaster]

- the Odd Fellows Hall next door on Wilson Street is now a warehouse with shipping entrance on Hughson
- the house next door on Hughson Street has been demolished & replaced by a loading dock
- the street address is #37-39 Gore Street and 104 Hughson Street North
- identified as St. Paul's Evangelical Lutheran Church



1964 FIRE INSURANCE PLAN, SHEET 126 [McMaster]

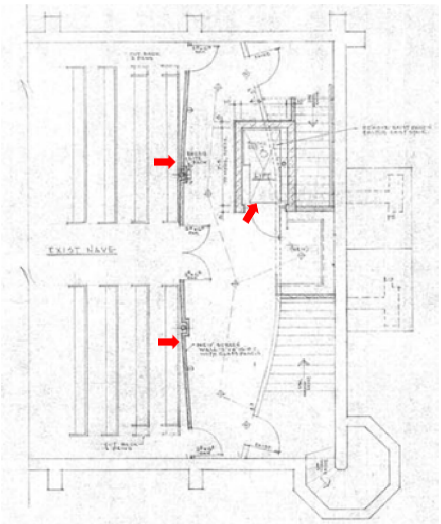
- several brick houses next door on Hughson Street North have been demolished
- the Odd Fellows Hall next door on Wilson Street has been demolished
- the street address is #37-39 Gore Street and 104 Hughson Street North
- identified as St. Johannes Kirche Evangelische Lutherische

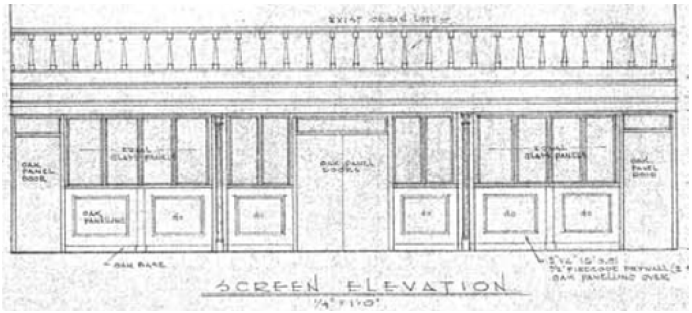


1969 ARCHITECTURAL DRAWING: Church Hall, St. John's Lutheran Church

- 3-storey Sunday School Addition on Hughson Street that replaced the Old Manse
- note the geometric pattern of the original windows that have since been replaced

ARCHITECT: JAMES HENRY CHRISTIE (1922-2007)





1991 ARCHITECTURAL DRAWING

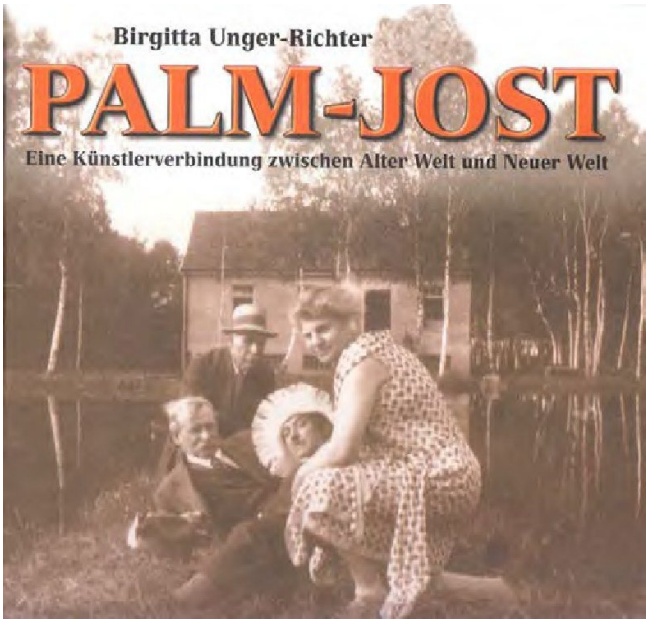
- Left: new screen wall and elevator
- Right: new oak & glass screen built below the existing gallery railing

ARCHITECT: JAMES HENRY CHRISTIE (1922-2007)

c.1969 PHOTO: Trinity Lutheran, Hughson Street North elevation – Sunday School addition that replaced the Old Manse {Lutheran Archives, WLU}
COMMENT: note the original geometric glazing pattern in the windows of the Sunday School Addition and stone framing details – note the original louvres in the Church steeple – note the original stone coping on the Church gable

APPENDIX C: OTTILIE PALM-JOST (1878-1961)

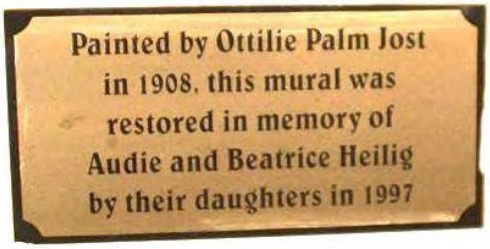
Studied at the Hamilton School of Art and at summer schools in New England with the American Impressionist painters of the time.
Founding Member of the Hamilton Art Students League (1898).
Worked as an illustrator for the Hamilton Herald, Hamilton Spectator and the Globe (Toronto).
In 1908 she painted a large mural of The Resurrection for St. John's Lutheran Church (restored by Elizabeth Shambrook in 1997).
In 1911 she moved to Germany where she continued to exhibit her work.
Beckett Gallery, *Otillie Palm Jost (1868-1961) Canadian Impressionist,* 1992 exhibition.
The Art Gallery of Hamilton has a several of her works, including what appears to be a study for The Resurrection altarpiece.



The Resurrection, 1908 - St. John's Lutheran Church, Hamilton (now Trinity Lutheran) photo credit: Terry Wayne

photo credit: Terry Wayne


photo credit: Terry Wayne



1997 restoration dedicated to Audie & Beatrice Heilig

Study for Figure of Jesus, Art Gallery of Hamilton

Artists in Canada

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- Search tips
- Copyright

Artist/Maker name "Jost, Ottilie Palm"

Back to list

1 of 1

Artist/Maker	Jost, Ottilie Palm
Artist other names	• Palm Jost, Ottilie
Technique	• Painting
Gender	Female
Birth	• 1878-02-13 Hamilton, Ontario, Canada
Death	• 1961 - - March 1961
Address	• Hamilton, Ontario, Canada
File location	• Winnipeg Art Gallery - Clara Lander Library • Hamilton Public Library - Local History and Archives Department • Art Gallery of Ontario - Edward P. Taylor Research Library and Archives • Montreal Museum of Fine Arts - Library
Record number	8391
Record Creation Date	1985-03-13
Record Change Date	2012-04-18

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St. John's Evangelical Lutheran Church

Heritage Status

City Inventory: Yes

Address: 104 Hughson Street North
Current Use: Place of Worship **Previous Building**: Yes

Alternate/ Historical Name(s): Primitive Methodist Church, The Old German Church, St. Paul's Lutheran Church, St. Paul's Evangelical Lutheran Church

Current Affiliation: Lutheran
Historical Affiliation(s): Methodist

Associated Features:

Architect(s): Albert H. Hills
Builder(s): Albert H. Hills 1865, Mr. Houlden 1884

Construction Date: 1865 **Material:** Red Brick **Style:** Gothic Revival

Associated Person(s): Rev. Thomas Heisse, Pastor Philipp Weingartner, Ottilie Palm-Jost
Associated Group(s): Trinity Lutheran Church

Associated Event(s): 1907-1911, Mr. Gompf, a Hamilton brewery owner commissioned artist Ottilie Palm-Jost to create a large canvas for behind the altar; 1910, creation of Trinity Lutheran Church by English-speaking members of the church; 1955, church reorganization brings new name to the church, now St. John's Lutheran Church; Annual Good Friday Passiontide concerts
Associated Theme(s): Preservation of German language, 'Mother Church' of Hamilton's Lutheran congregations during reorganization in 1950s

Additions/Alterations: 1884, addition of tower and steeple; 1907-1911, interior changes including painting of large canvas behind altar; 1923, chancel remodelled; 1947, interior of church renovated; 1962, repairs to steeple
Architectural Features: Circular brick tower topped by wooden spire, circular windows in front façade, date stone 1864

History

As early as 1845, a small group of Primitive Methodist adherents began worshipping in a frame building on John Street North, between Wilson and Cannon. The membership replaced this early structure with a brick building in 1865 on Hughson Street North, but following the amalgamation of the various sects within the Methodist Church, in 1880 they voted to join the larger Gore Street Methodist Church on John Street North and vacate their own building. In 1884, St Paul's German Evangelical Lutheran congregation, looking for a larger place of worship for their growing membership, purchased the vacant church for $8,000.

The Lutheran congregation in Hamilton can trace their origins to 1857, when the curate of Christ's Church, Rev. Theo Heisse conducted services and performed the rites of the church in the German language for a small group of immigrants. A year later, the group was offered the use of the schoolroom of the Congregational Church and Rev. C. Rechenberg from First Lutheran in Toronto came to conduct occasional services. Wishing to have their own place of worship, in 1864 the growing congregation purchased a small brick building to serve as a "kirche" on Market and Bay Streets from lawyer John Holden, naming it St Paul's Lutheran. Steady growth of church membership during the 1870s resulted in the building becoming overcrowded and the site unsuitable for redevelopment; so the need for a new location became necessary.

On obtaining ownership of the Hughson Street Church, the Lutheran congregation transferred the name of their former church and the 1864 date stone to the new location. They undertook alterations to the building, the most notable being the addition of a steeple on the southwest corner tower; however, during the erection, there was a terrible accident, when the contractor lost his life in a fall.

Between the beginnings of the congregation in 1857 and 1920, the German language was used for all the services and rites of the church. Gradually English was introduced and services in both languages were held, but the outbreak of war in 1939 resulted in the exclusive used of English at all main services. This church has always been recognized as a place that welcomed European immigrants to its congregation – between 1889 and 1900, 1920 and 1931 and again following the end of World War II, large numbers of refugees and immigrants from Germany and the Baltic States of

Latvia, Lithuania and Estonia arrived in Hamilton and came to St. Paul's to worship – swelling the congregation to number several thousand by 1953.

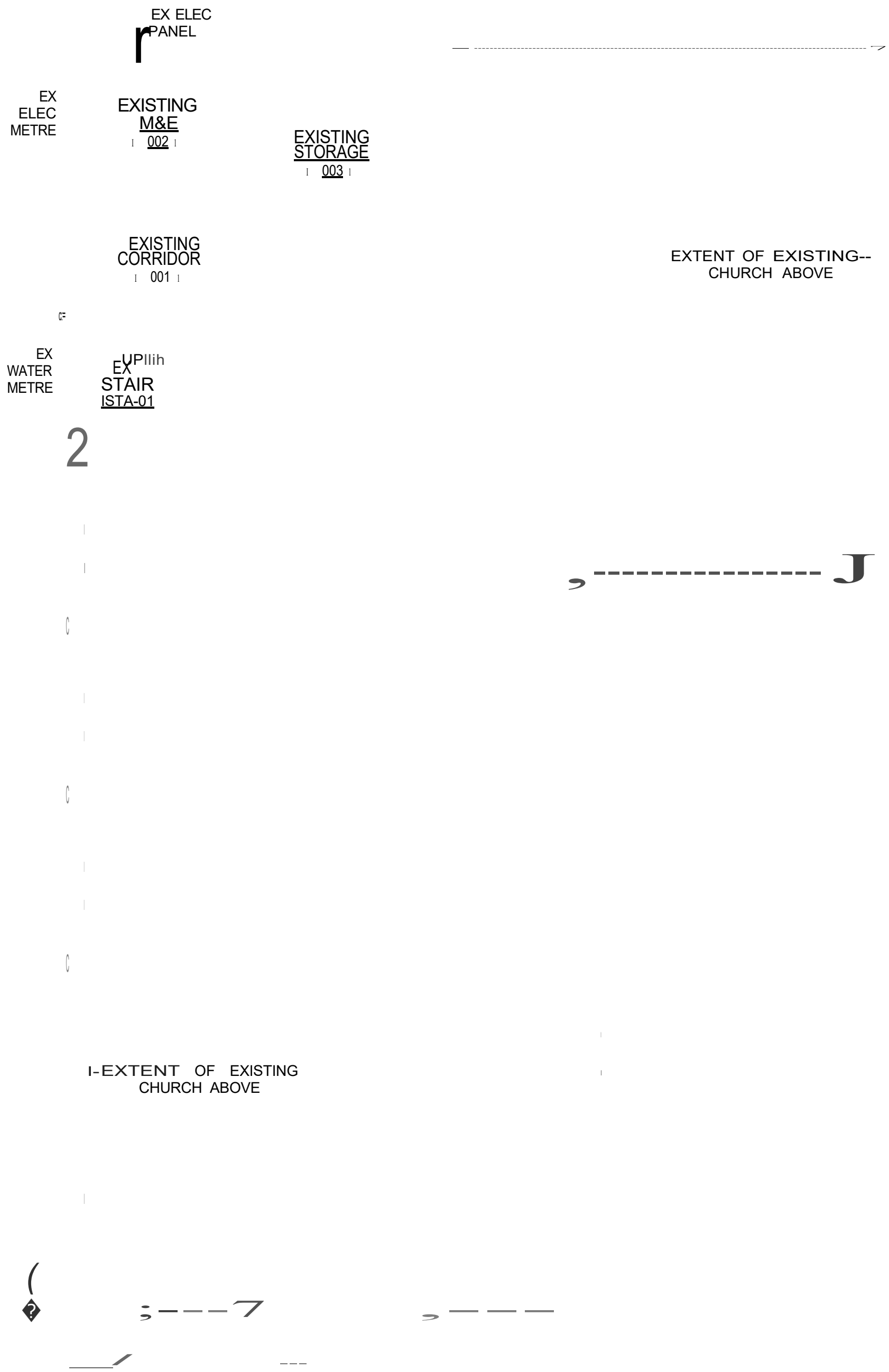
As a way of solving the serious accommodation problem, the Synod of the Evangelical Lutheran Church of Canada introduced major changes in 1955 by dissolving Hamilton's two Lutheran churches, St. Paul's Lutheran and Trinity Lutheran on Victoria Avenue. The total membership was reorganized and four new congregations officially created – Grace Lutheran in the west, Faith Lutheran in the east, Transfiguration Lutheran on the Hamilton Mountain and St. Paul's, which was renamed St. John's, to serve the downtown area.

The two church buildings, St. Paul's and Trinity, were put up for sale. Synod directed that the purchase of St Paul's should be offered to the largest ethnic group worshipping at the church, namely the German congregation, while the other English-speaking congregations would build new places of worship, financed from the sale of the two former churches that was expected to raise $150,000.

Formally dissolved on 29 May 1955, the first worship service in the renamed St. John's Evangelical Lutheran Church was held 5 June 1955. Pastor Philipp Weingartner was installed as minister of the new congregation – having come to Canada with his family and like many of his parishioners, a refugee from Europe,

Reference Material:

St. John's Evangelical Lutheran Church Scrapbook (Hamilton Public Library)



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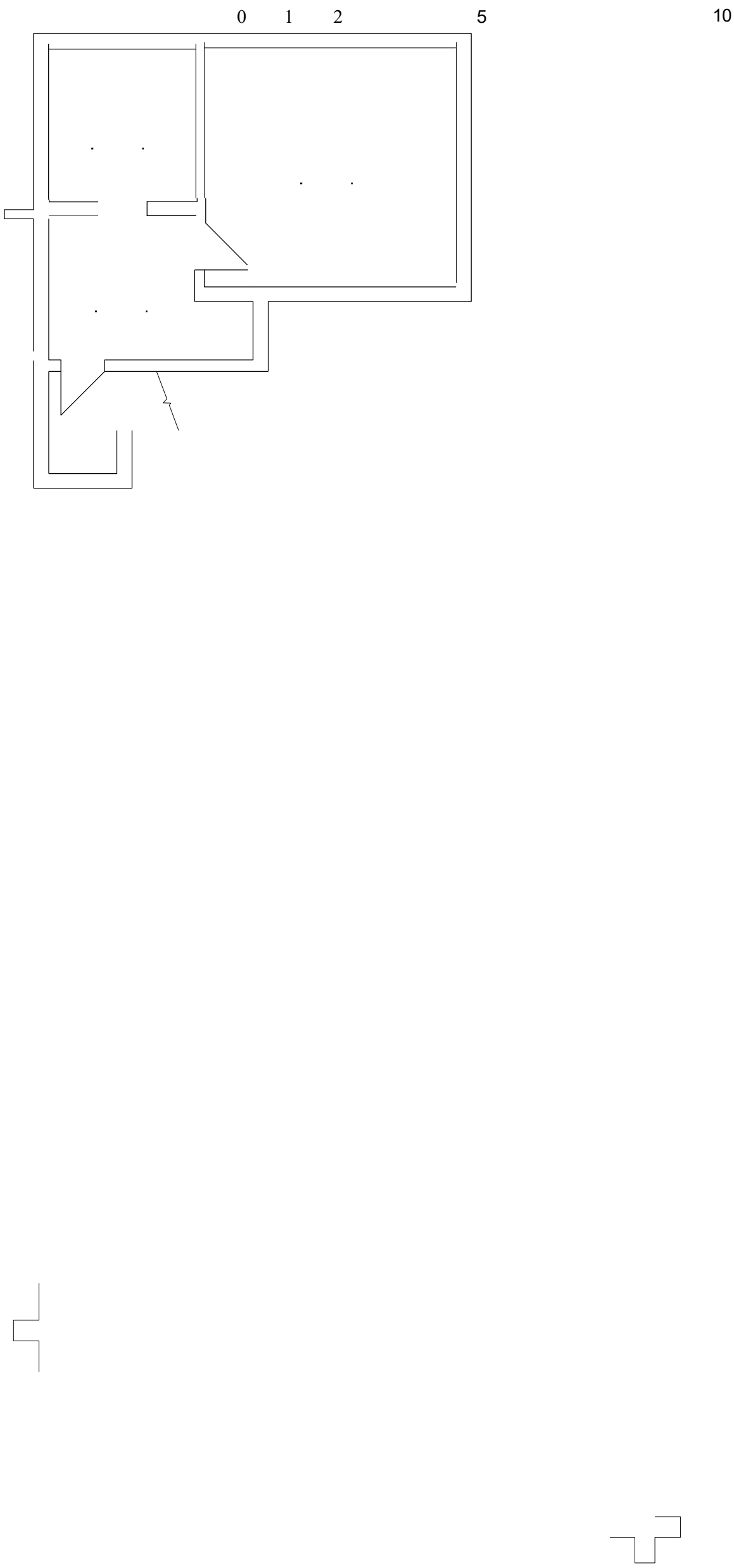
EXISTING BASEMENT PLAN

(m)

SCALE: 1:100

104 HUGHSON ST N
2023-06-26
PREPARED BY: MEASUREX

TRINITY LUTHERAN CHURCH



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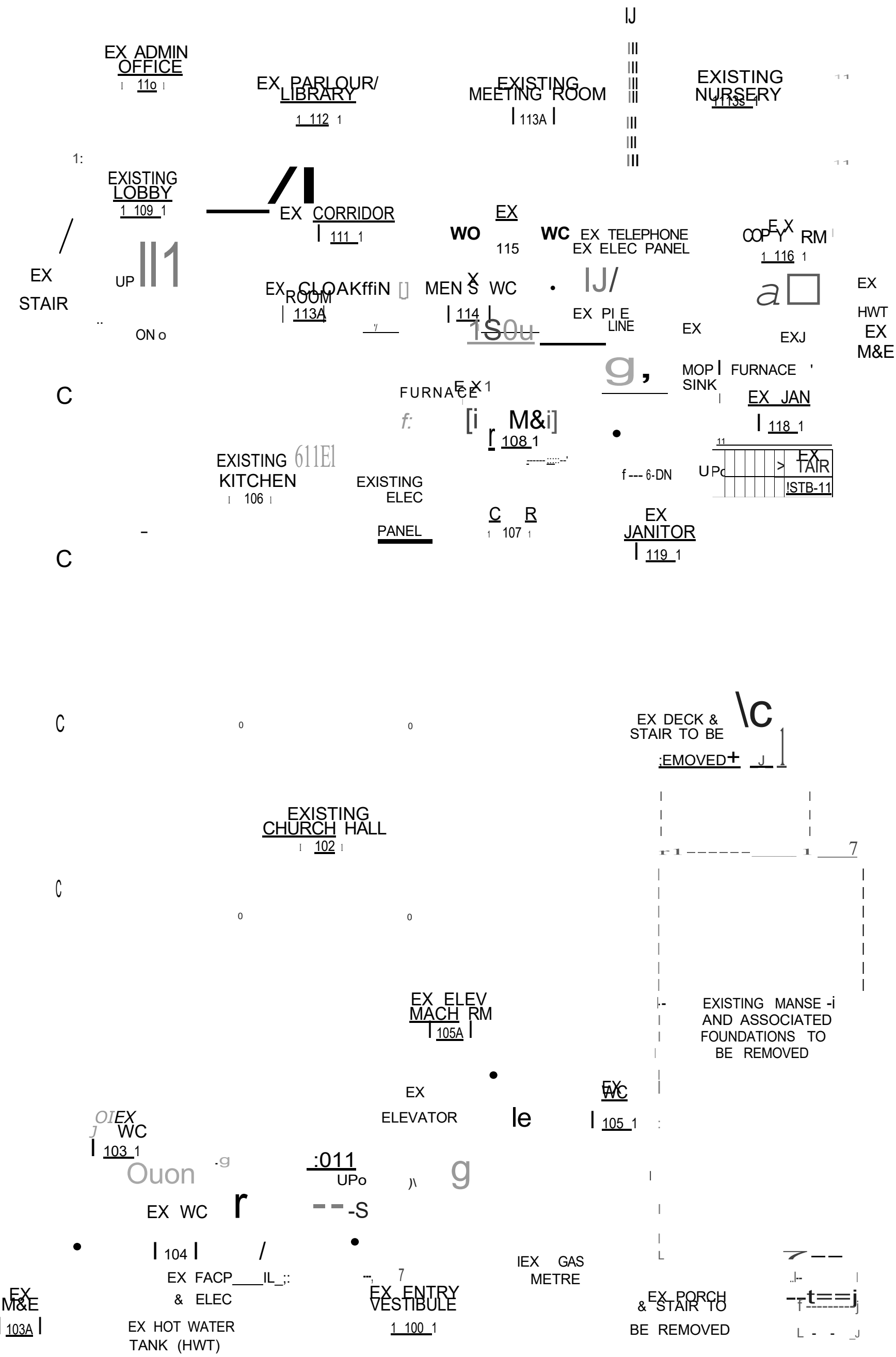
(m)

SCALE: 1:100

104 HUGHSON ST N
2023-06-26
PREPARED BY: MEASUREX



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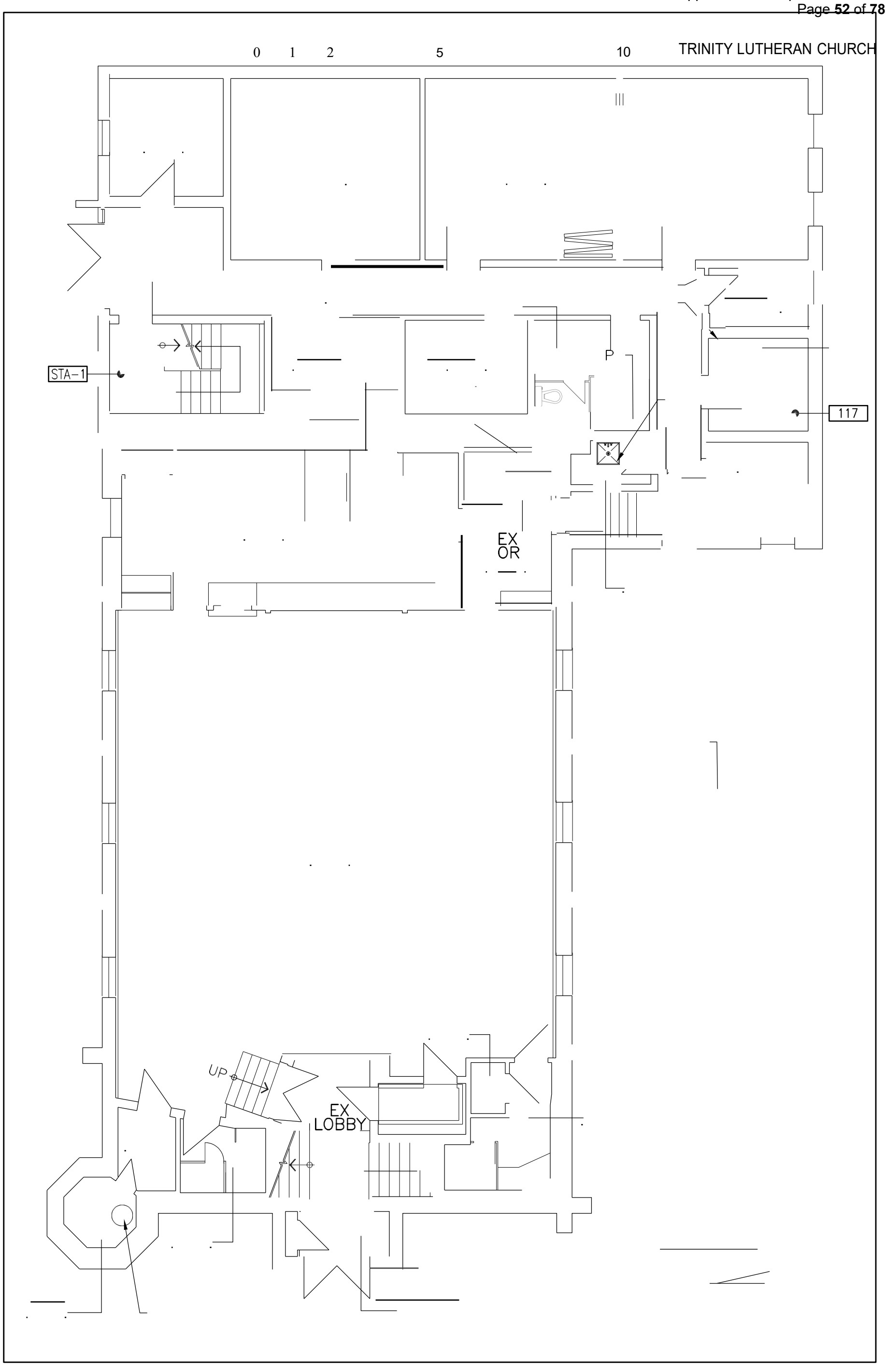
EXISTING GROUND FLOOR PLAN

(m)

SCALE: 1:100

A1.1

104 HUGHSON ST N
2023-06-26
PREPARED BY: MEASUREX



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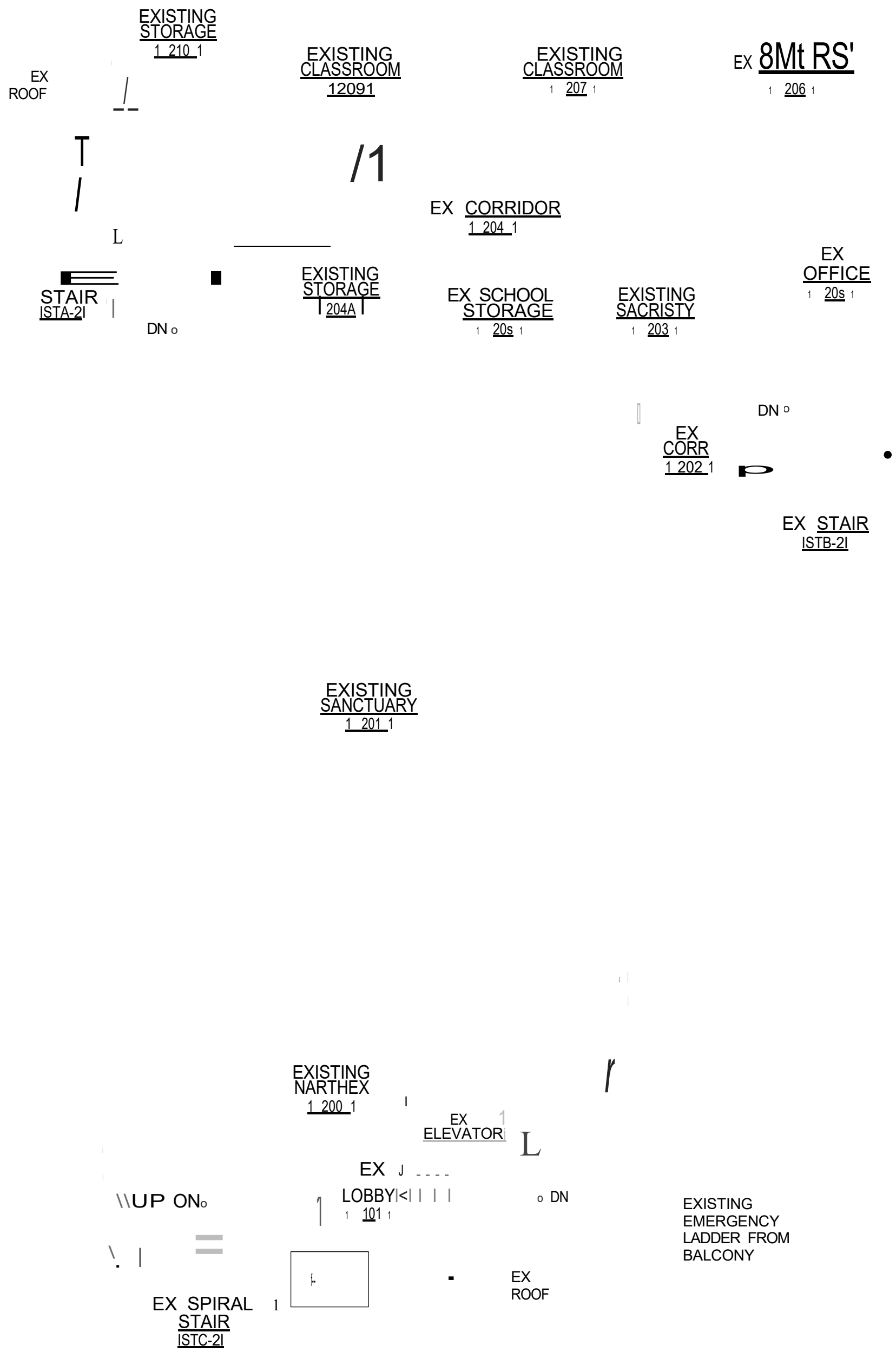
(m)
SCALE: 1:100

104 HUGHSON ST N
2023-06-26
PREPARED BY: MEASUREX



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EXISTING SANCTUARY LEVEL PLAN

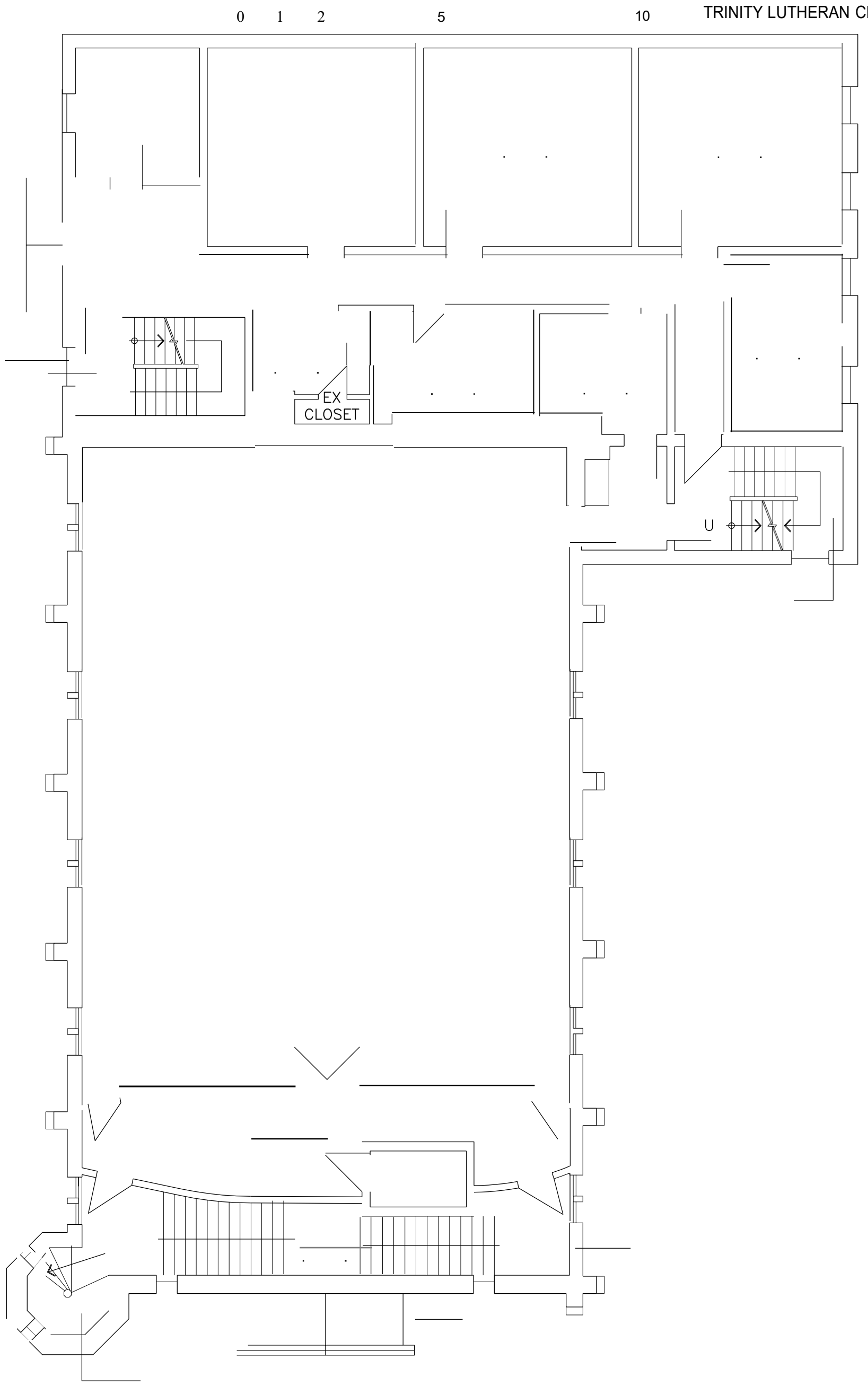
(m)

SCALE: 1:100

X"1.2

104 HUGHSON ST N
2023-06-26
PREPARED BY: MEASUREX

TRINITY LUTHERAN CHURCH



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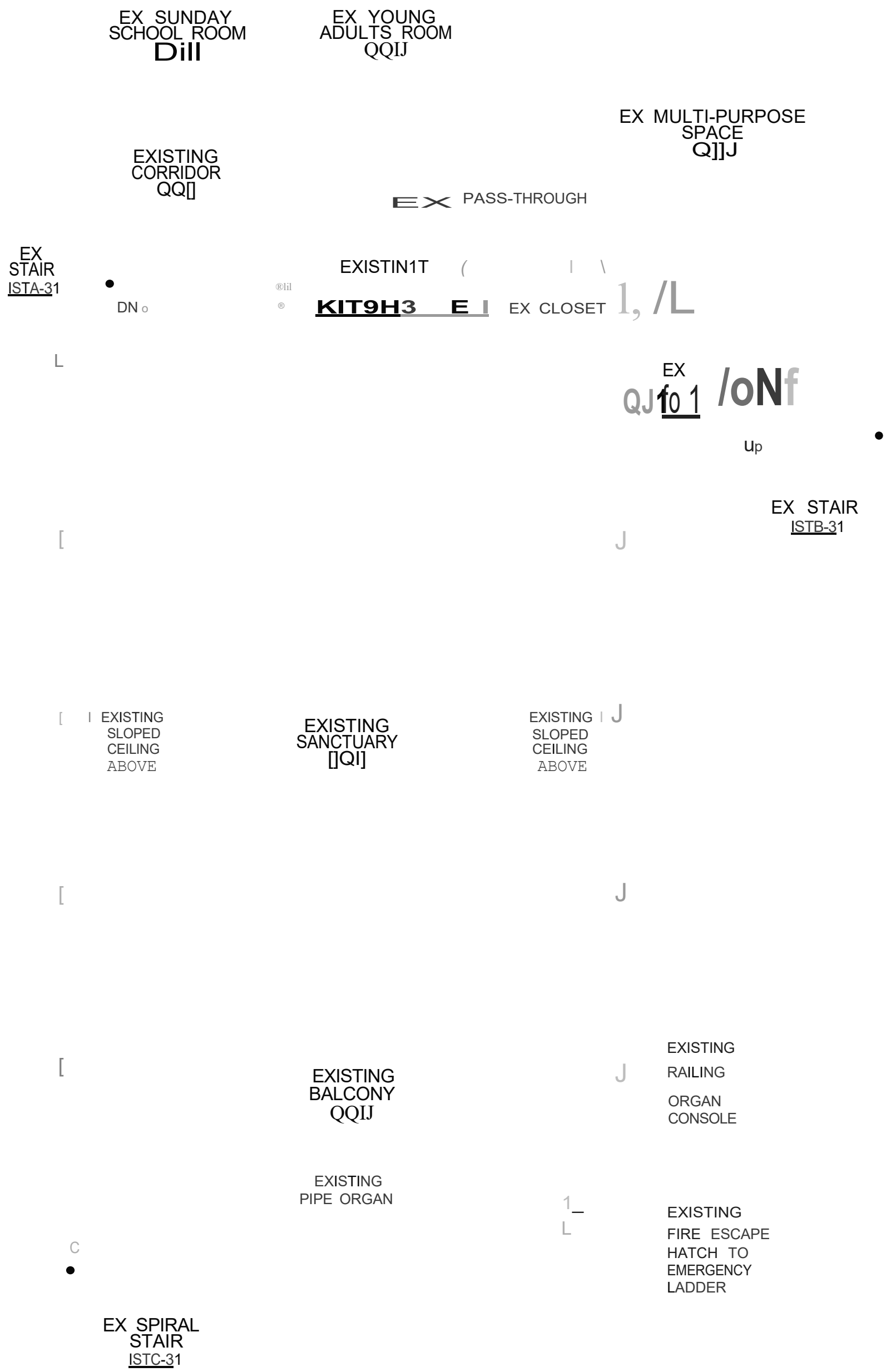
(m)

SCALE: 1:100

104 HUGHSON ST N
2023-06-26
PREPARED BY: MEASUREX



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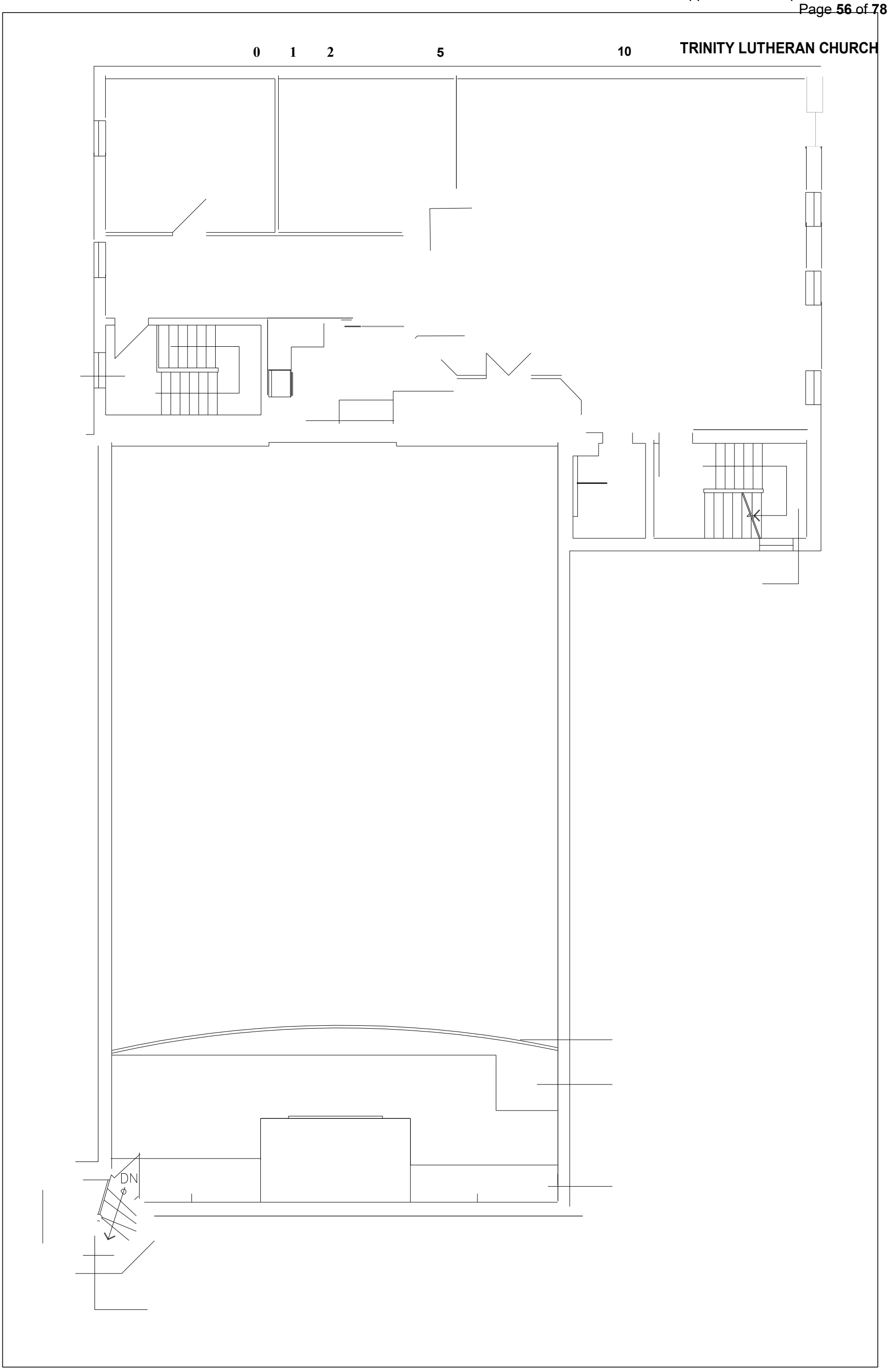
EXISTING UPPER LEVEL PLAN

C7 C7 (m)

SCALE: 1:100

104 HUGHSON ST N
2023-06-26
PREPARED BY: MEASUREX



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SCALE: 1:100

104 HUGHSON ST N
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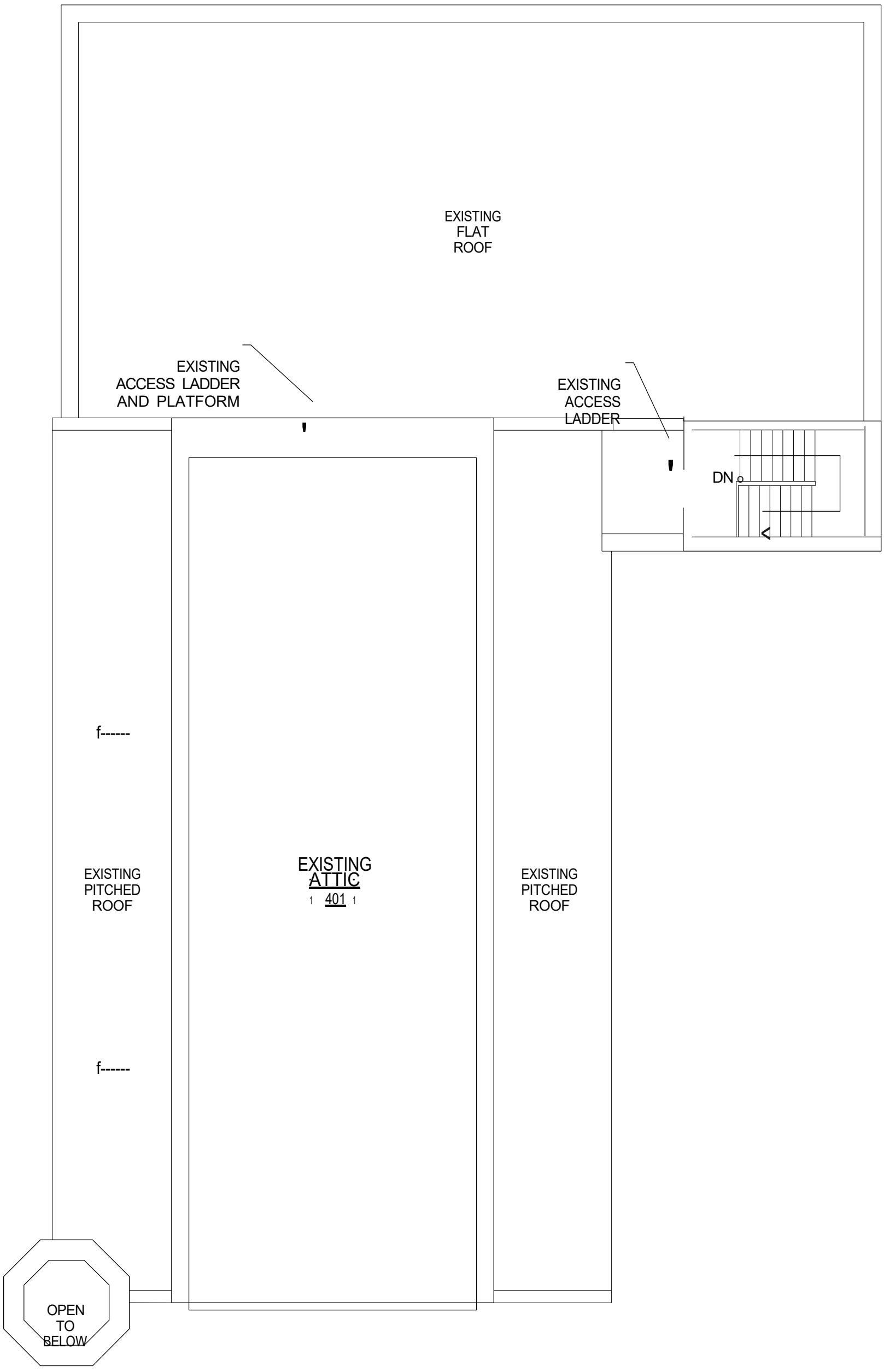

EXISTING ROOF LEVEL PLAN

SCALE: 1:100

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2023-06-26
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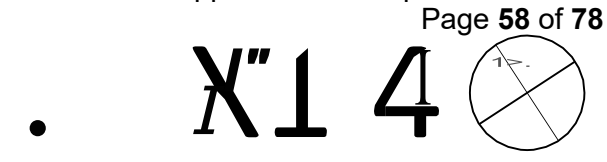

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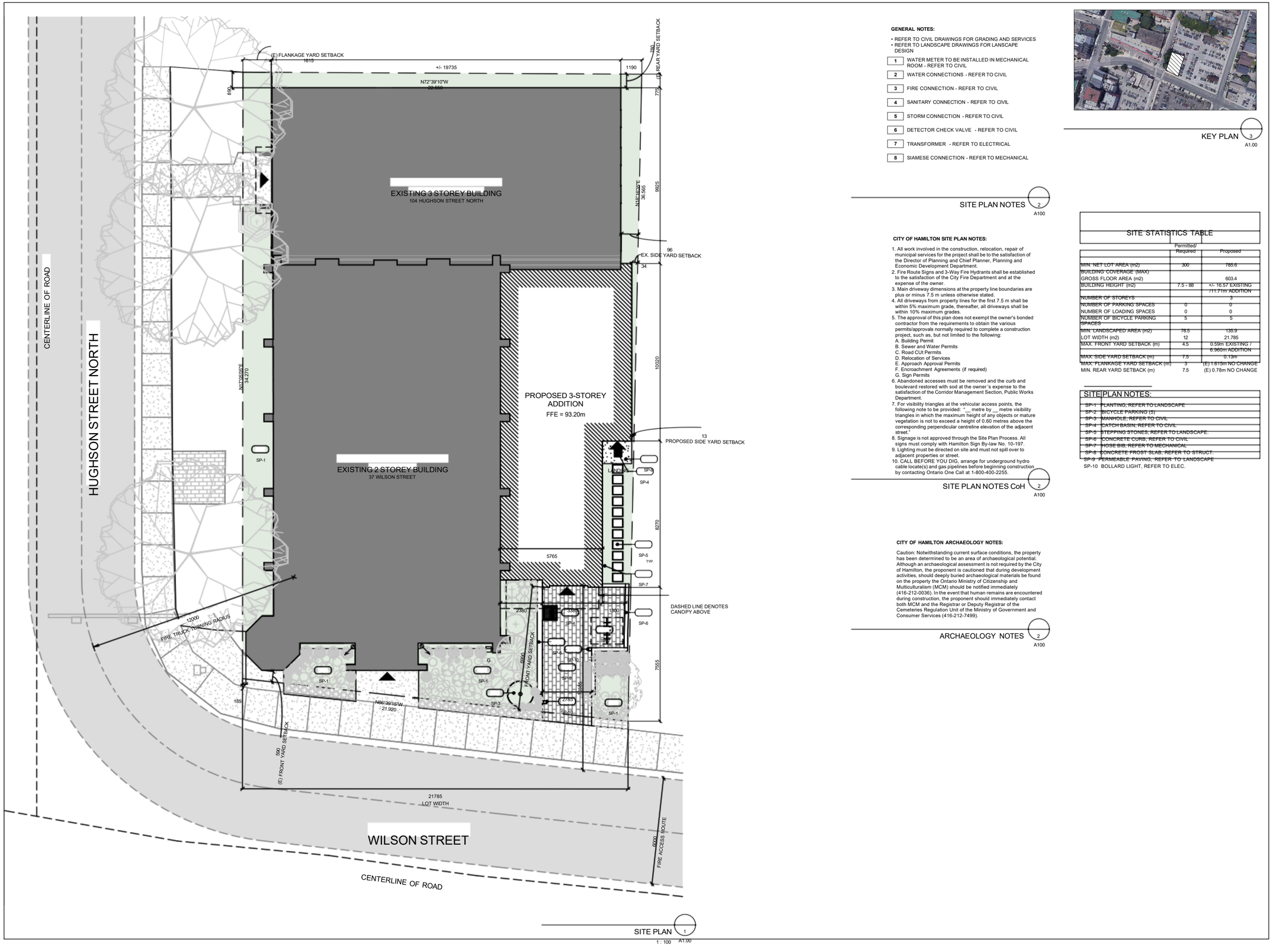
2023-06-26
PREPARED BY: MEASUREX



SITE PLAN 1 A1.00
1 : 100

GENERAL NOTES:

- REFER TO CIVIL DRAWINGS FOR GRADING AND SERVICES
- REFER TO LANDSCAPE DRAWINGS FOR LANSCAPE DESIGN

1. WATER METER TO BE INSTALLED IN MECHANICAL ROOM - REFER TO CIVIL
2. WATER CONNECTIONS - REFER TO CIVIL
3. FIRE CONNECTION - REFER TO CIVIL
4. SANITARY CONNECTION - REFER TO CIVIL
5. STORM CONNECTION - REFER TO CIVIL
6. DETECTOR CHECK VALVE - REFER TO CIVIL
7. TRANSFORMER - REFER TO ELECTRICAL
8. SIAMESE CONNECTION - REFER TO MECHANICAL

SITE PLAN NOTES 2 A100

CITY OF HAMILTON SITE PLAN NOTES:

1. All work involved in the construction, relocation, repair of municipal services for the project shall be to the satisfaction of the Director of Planning and Chief Planner, Planning and Economic Development Department.
2. Fire Route Signs and 3-Way Fire Hydrants shall be established to the satisfaction of the City Fire Department and at the expense of the owner.
3. Main driveway dimensions at the property line boundaries are plus or minus 7.5 m unless otherwise stated.
4. All driveways from property lines for the first 7.5 m shall be within 5% maximum grade, thereafter, all driveways shall be within 10% maximum grades.
5. The approval of this plan does not exempt the owner's bonded contractor from the requirements to obtain the various permits/approvals normally required to complete a construction project, such as, but not limited to the following:
   A. Building Permit
   B. Sewer and Water Permits
   C. Road CUt Permits
   D. Relocation of Services
   E. Approach Approval Permits
   F. Encroachment Agreements (if required)
   G. Sign Permits
6. Abandoned accesses must be removed and the curb and boulevard restored with sod at the owner`s expense to the satisfaction of the Corridor Management Section, Public Works Department.
7. For visibility triangles at the vehicular access points, the following note to be provided: "__ metre by __ metre visibility triangles in which the maximum height of any objects or mature vegetation is not to exceed a height of 0.60 metres above the corresponding perpendicular centreline elevation of the adjacent street."
8. Signage is not approved through the Site Plan Process. All signs must comply with Hamilton Sign By-law No. 10-197.
9. Lighting must be directed on site and must not spill over to adjacent properties or street.
10. CALL BEFORE YOU DIG, arrange for underground hydro cable locate(s) and gas pipelines before beginning construction by contacting Ontario One Call at 1-800-400-2255.

SITE PLAN NOTES CoH 2 A100

CITY OF HAMILTON ARCHAEOLOGY NOTES:

Caution: Notwithstanding current surface conditions, the property has been determined to be an area of archaeological potential. Although an archaeological assessment is not required by the City of Hamilton, the proponent is cautioned that during development activities, should deeply buried archaeological materials be found on the property the Ontario Ministry of Citizenship and Multiculturalism (MCM) should be notified immediately (416-212-0036). In the event that human remains are encountered during construction, the proponent should immediately contact both MCM and the Registrar or Deputy Registrar of the Cemeteries Regulation Unit of the Ministry of Government and Consumer Services (416-212-7499).

ARCHAEOLOGY NOTES 2 A100

KEY PLAN 3 A1.00

SITE STATISTICS TABLE

	Permitted/ Required	Proposed
MIN. NET LOT AREA (m2)	300	785.6
BUILDING COVERAGE (MAX)		
GROSS FLOOR AREA (m2)		603.4
BUILDING HEIGHT (m2)	7.5 - 88	+/- 16.57 EXISTING 11.71m ADDITION
NUMBER OF STOREYS		3
NUMBER OF PARKING SPACES	0	0
NUMBER OF LOADING SPACES	0	0
NUMBER OF BICYCLE PARKING SPACES	5	5
MIN. LANDSCAPED AREA (m2)	78.5	135.9
LOT WIDTH (m2)	12	21.785
MAX. FRONT YARD SETBACK (m)	4.5	0.59m EXISTING / 6.960m ADDITION
MAX. SIDE YARD SETBACK (m)	7.5	0.13m
MAX. FLANKAGE YARD SETBACK (m)	3	(E) 1.615m NO CHANGE
MIN. REAR YARD SETBACK (m)	7.5	(E) 0.78m NO CHANGE

SITE PLAN NOTES:

SP-1 PLANTING, REFER TO LANDSCAPE
SP-2 BICYCLE PARKING (5)
SP-3 MANHOLE, REFER TO CIVIL
SP-4 CATCH BASIN, REFER TO CIVIL
SP-5 STEPPING STONES, REFER TO LANDSCAPE.
SP-6 CONCRETE CURB, REFER TO CIVIL
SP-7 HOSE BIB, REFER TO MECHANICAL
SP-8 CONCRETE FROST SLAB, REFER TO STRUCT.
SP-9 PERMEABLE PAVING, REFER TO LANDSCAPE
SP-10 BOLLARD LIGHT, REFER TO ELEC.

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME: TRINITY LUTHERAN CHURCH

PROJECT ADDRESS: 104 HUGHSON ST N HAMILTON, ON L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE: SITE PLAN

DRAWN BY: SB

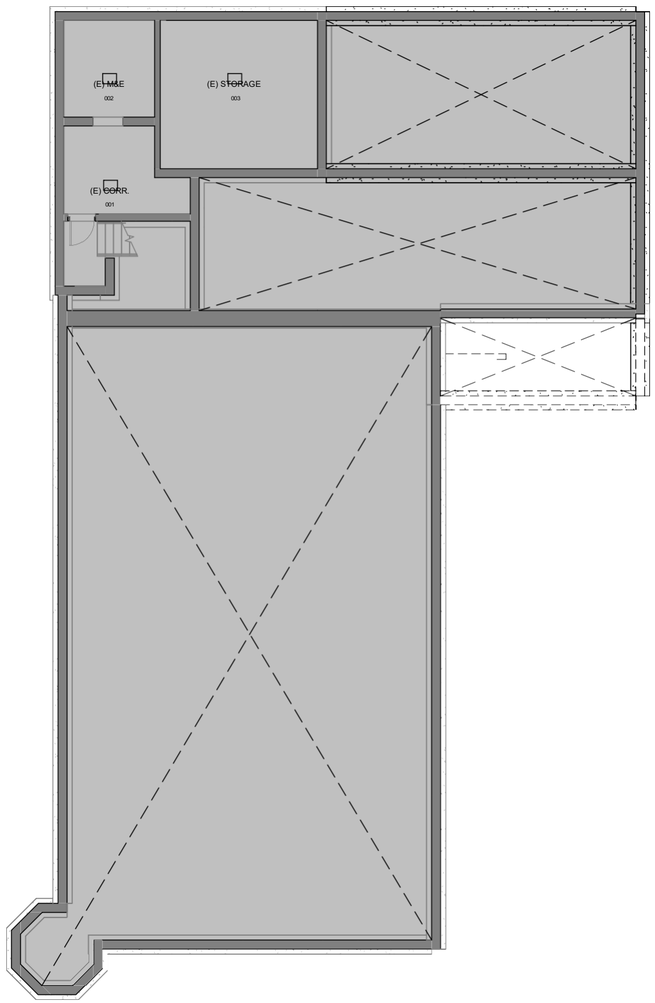
CHECKED BY: KB

DATE: -

SCALE: As indicated

DRAWING NO.: A1.00

PLOTTED: 2211/20/24 4:54:59 PM



BASEMENT - DEMOLITION PLAN
1 : 100
1
A2.00

LEGEND:

- (E) TO DEMOLISH
- (E) WALL TO REMAIN
- (E) DOOR TO DEMOLISH
- (E) DOOR TO REMAIN
- EXTENT OF FLOOR SLAB TO BE DEMOLISHED
- APPROXIMATE EXTENT OF ROOF DECK TO BE DEMOLISHED. REFER TO STRUCTURAL.
- (E) FLOOR TO REMAIN

GENERAL NOTES:

1. REFER TO STRUCTURAL FOR ASSOCIATED DEMOLITION.
2. REFER TO MECHANICAL AND ELECTRICAL FOR ASSOCIATED DEMOLITION. COORDINATE WITH MECHANICAL FOR EXTENT OF CHANGES TO (E) PLUMBING, HEATING, VENTILATION AND SPRINKLER SYSTEMS. COORDINATE WITH ELECTRICAL FOR EXTENT OF CHANGES TO (E) LIGHTING,POWER, FIRE ALARM AND DOOR SECURITY SYSTEMS.
3. (E) FLOOR AND ROOF STRUCTURE TO REMAIN, UNLESS NOTED OTHERWISE.
4. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
5. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
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7. PATCH, REPAIR AND MAKE GOOD ALL MATERIALS AND FINISHES WHERE DISTURBED BY DEMOLITION AND ALTERATIONS. REFER TO ALL DOCUMENTS FOR FULL EXTENT OF WORK REQUIRED. NOTE THAT MAKING GOOD INCLUDES WORK ASSOCIATED WITH THE REMOVAL OF (E) AND INSTALLATION OF NEW SERVICES, ETC. (I.E. PLUMBING, HEATING, ELECTRICAL MODIFICATIONS IN THE (E) BUILDING, INSTALLATION OF NEW DUCTS, CONDUITS, ETC. IN THE (E) BUILDING,ETC.).
8. WHERE (E) PARTITIONS / FURRINGS / BUILDING FITMENTS, HOUSEKEEPING PADS, ETC. ARE BEING DEMOLISHED, PATCH, REPAIR AND MAKE GOOD SUBSTRATES TO RECEIVE NEW SPECIFIED MATERIALS AND FINISHES.
9. WHERE (E) FLOORING MATERIALS ARE INDICATED IN THE PLANS OR ROOM FINISH SCHEDULE, COMPLETELY DEMOLISH (E) FLOORING TO EXPOSE THE STRUCTURAL FLOOR SLAB. PATCH, REPAIR, FILL HOLES IN SLAB, AND MAKE GOOD (E) FLOOR SLAB TO BE SMOOTH AND LEVEL AND VOID OF WAVES, BUMPS IN MATERIALS / FINISHES, OR DEPRESSIONS. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND FLOOR MANUFACTURERS REQUIREMENTS.
10. WHERE NEW CEILING MATERIALS ARE INDICATED ON THE REFLECTED CEILING PLANS OR ROOM FINISH SCHEDULE, COMPLETELY DEMOLISH (E) CEILING SYSTEMS AND BULKHEADS INCLUDING SUSPENSION SYSTEMS AND HANGERS, THEN INSTALL A COMPLETE NEW CEILING SYSTEM.
11. WHERE (E) MATERIALS AND REQUIRED TO BE SALVAGED FOR REUSE, COMPLETELY CLEAN (E) SURFACES FROM DEMOLISH MATERIALS AND MAKE CLEAN AND READY FOR REINSTALLATION.
12. WHERE (E) SERVICES ARE BEING DEMOLISH AND (E) STRUCTURAL SLAB PENETRATIONS ARE EXPOSED, FILL (E) SLAB PENETRATIONS WITH CONCRETE WITH FIRE RATING TO MATCH (E) ADJACENT FLOOR SLAB AND PATCH, REPAIR AND MAKE GOOD (E) FLOOR SLAB TO BE SMOOTH AND LEVEL AND VOID OF WAVES, BUMPS IN MATERIALS/FINISHES, OR DEPRESSIONS. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND FLOOR MANUFACTURERS REQUIREMENTS.
13. NOT ALL DEMOLITION IS SHOWN. CONTRACTORS TO SITE VERIFY AND DOCUMENT (E) CONDITIONS AND INCLUDE FOR DEMOLITION OF ALL REDUNDANT NON-ESSENTIAL BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO ABOVE CEILING FRAMING, REMAINING PLASTER/GWB CEILINGS, LIGHT FIXTURES, MECHANICAL AND ELECTRICAL SYSTEMS, BUILDING FITMENTS AND ACCESSORIES.

DEMOLITION NOTES

D-01	(E) WALL TO BE DEMOLISHED (INCLUDING, BUT NOT LIMITED TO ALL SERVICES, FITMENTS, ACCESSORIES, ETC.). PATCH, REPAIR AND MAKE GOOD ALL ADJACENT SURFACES TO REMAIN TO ACCEPT NEW CONSTRUCTION AND FINISHES. REFER TO STRUCTURAL FOR DEMOLITION OF STRUCTURAL FRAMING AND SUPPORTS.
D-02	DEMO PORTION OF (E) WALL FOR NEW OPENING. COORDINATE W/ NEW ARCHITECTURAL DRAWINGS & STRUCTURAL FOR LINTEL LOCATIONS
D-03	(E) WINDOW, FRAME AND SILL TO BE DEMOLISHED, INFILL TO MATCH.
D-04	(E) DOOR & FRAME TO BE DEMOLISHED
D-05	(E) DOOR PANEL TO BE REMOVED AND DISPOSED, MAKE GOOD (E) FRAME TO RECEIVE NEW DOOR PANEL AND HARDWARE
D-06	(E) PLUMBING FIXTURE TO BE REMOVED, INCLUDING ANY MILLWORK RELATED ITEMS. REFER TO MECH.
D-07	(E) STAIRS, RAILINGS, AND ASSOSCIATED ELEMENTS TO BE REMOVED
D-08	(E) FLOOR FINISHES TO BE REMOVED, EXPOSE EXISTING SUBSTRATE,PATCH AND MAKE GOOD TO RECEIVE NEW FINISH PER SPECIFICATIONS
D-09	REMOVE EXISTING WOOD PANELING, MAKE GOOD (E) WALLS TO RECEIVE NEW FINISH
D-10	REMOVE EXISTING STAGE SUBSTRUCTURE, STEPS, AND ALL ASSOCIATED ELEMENTS. MAKE GOOD (E) TO REMAIN
D-11	REMOVE EXISTING STEPPED PLATFORM FLOOR AND STAIRS.
D-12	REMOVE EXISTING BRICK VENEER, INSULATION AND ASSOCIATED ELEMENTS TO EXPOSED (E) CONCRETE BLOCKS

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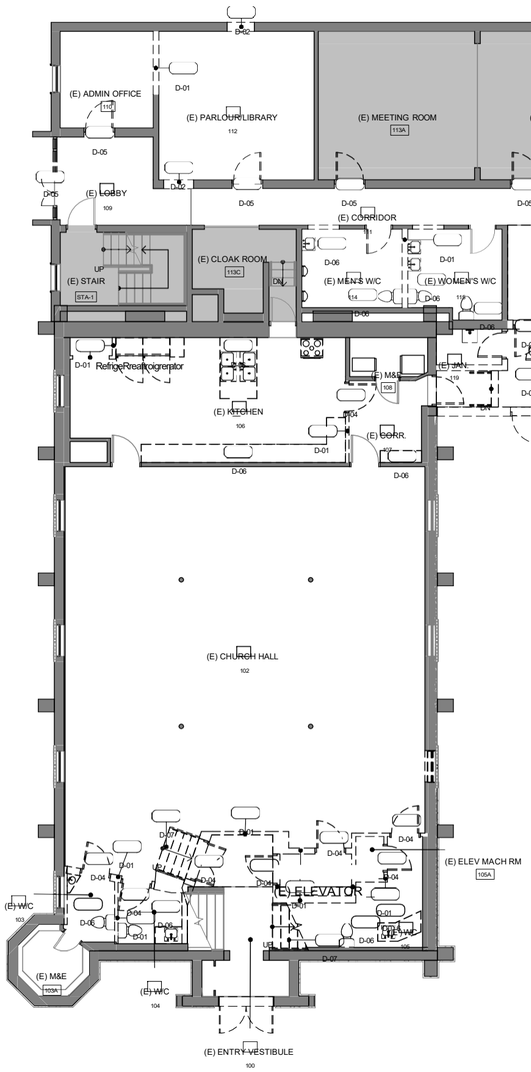
REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME:	TRINITY LUTHERAN CHURCH
PROJECT ADDRESS:	104 HUGHSON ST N HAMILTON, ON L8R 1C6
PROJECT NO.:	24022
DRAWING TITLE:	LEVEL 0 - DEMOLITION PLANS
DRAWN BY:	SB
CHECKED BY:	KB
DATE:	SEPTEMBER 2024
SCALE:	1 : 100
DRAWING NO.:	A2.00

PLOTTED: 11/2024 4:54:53 PM



GROUND LEVEL - DEMOLITION PLAN 1 A2.01
1 : 100

LEGEND:

- (E) TO DEMOLISH
- (E) WALL TO REMAIN
- (E) DOOR TO DEMOLISH
- (E) DOOR TO REMAIN
- EXTENT OF FLOOR SLAB TO BE DEMOLISHED
- APPROXIMATE EXTENT OF ROOF DECK TO BE DEMOLISHED. REFER TO STRUCTURAL.
- (E) FLOOR TO REMAIN

GENERAL NOTES:

1. REFER TO STRUCTURAL FOR ASSOCIATED DEMOLITION.
2. REFER TO MECHANICAL AND ELECTRICAL FOR ASSOCIATED DEMOLITION. COORDINATE WITH MECHANICAL FOR EXTENT OF CHANGES TO (E) PLUMBING, HEATING, VENTILATION AND SPRINKLER SYSTEMS. COORDINATE WITH ELECTRICAL FOR EXTENT OF CHANGES TO (E) LIGHTING, POWER, FIRE ALARM AND DOOR SECURITY SYSTEMS.
3. (E) FLOOR AND ROOF STRUCTURE TO REMAIN, UNLESS NOTED OTHERWISE.
4. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
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6. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
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8. WHERE (E) PARTITIONS / FURRINGS / BUILDING FITMENTS, HOUSEKEEPING PADS, ETC. ARE BEING DEMOLISHED, PATCH, REPAIR AND MAKE GOOD SUBSTRATES TO RECEIVE NEW SPECIFIED MATERIALS AND FINISHES.
9. WHERE (E) FLOORING MATERIALS ARE INDICATED IN THE PLANS OR ROOM FINISH SCHEDULE, COMPLETELY DEMOLISH (E) FLOORING TO EXPOSE THE STRUCTURAL FLOOR SLAB. PATCH, REPAIR, FILL HOLES IN SLAB, AND MAKE GOOD (E) FLOOR SLAB TO BE SMOOTH AND LEVEL AND VOID OF WAVES, BUMPS IN MATERIALS / FINISHES, OR DEPRESSIONS. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND FLOOR MANUFACTURERS REQUIREMENTS.
10. WHERE NEW CEILING MATERIALS ARE INDICATED ON THE REFLECTED CEILING PLANS OR ROOM FINISH SCHEDULE, COMPLETELY DEMOLISH (E) CEILING SYSTEMS AND BULKHEADS INCLUDING SUSPENSION SYSTEMS AND HANGERS, THEN INSTALL A COMPLETE NEW CEILING SYSTEM.
11. WHERE (E) MATERIALS AND REQUIRED TO BE SALVAGED FOR REUSE, COMPLETELY CLEAN (E) SURFACES FROM DEMOLISH MATERIALS AND MAKE CLEAN AND READY FOR REINSTALLATION.
12. WHERE (E) SERVICES ARE BEING DEMOLISH AND (E) STRUCTURAL SLAB PENETRATIONS ARE EXPOSED, FILL (E) SLAB PENETRATIONS WITH CONCRETE WITH FIRE RATING TO MATCH (E) ADJACENT FLOOR SLAB AND PATCH, REPAIR AND MAKE GOOD (E) FLOOR SLAB TO BE SMOOTH AND LEVEL AND VOID OF WAVES, BUMPS IN MATERIALS/FINISHES, OR DEPRESSIONS. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND FLOOR MANUFACTURERS REQUIREMENTS.
13. NOT ALL DEMOLITION IS SHOWN. CONTRACTORS TO SITE VERIFY AND DOCUMENT (E) CONDITIONS AND INCLUDE FOR DEMOLITION OF ALL REDUNDANT NON-ESSENTIAL BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO ABOVE CEILING FRAMING, REMAINING PLASTER/GWB CEILINGS, LIGHT FIXTURES, MECHANICAL AND ELECTRICAL SYSTEMS, BUILDING FITMENTS AND ACCESSORIES.

DEMOLITION NOTES

D-01	(E) WALL TO BE DEMOLISHED (INCLUDING, BUT NOT LIMITED TO ALL SERVICES, FITMENTS, ACCESSORIES, ETC.). PATCH, REPAIR AND MAKE GOOD ALL ADJACENT SURFACES TO REMAIN TO ACCEPT NEW CONSTRUCTION AND FINISHES. REFER TO STRUCTURAL FOR DEMOLITION OF STRUCTURAL FRAMING AND SUPPORTS.
D-02	DEMO PORTION OF (E) WALL FOR NEW OPENING. COORDINATE W/ NEW ARCHITECTURAL DRAWINGS & STRUCTURAL FOR LINTEL LOCATIONS
D-03	(E) WINDOW, FRAME AND SILL TO BE DEMOLISHED, INFILL TO MATCH.
D-04	(E) DOOR & FRAME TO BE DEMOLISHED
D-05	(E) DOOR PANEL TO BE REMOVED AND DISPOSED, MAKE GOOD (E) FRAME TO RECEIVE NEW DOOR PANEL AND HARDWARE
D-06	(E) PLUMBING FIXTURE TO BE REMOVED, INCLUDING ANY MILLWORK RELATED ITEMS. REFER TO MECH.
D-07	(E) STAIRS, RAILINGS, AND ASSOSCIATED ELEMENTS TO BE REMOVED
D-08	(E) FLOOR FINISHES TO BE REMOVED, EXPOSE EXISTING SUBSTRATE,PATCH AND MAKE GOOD TO RECEIVE NEW FINISH PER SPECIFICATIONS
D-09	REMOVE EXISTING WOOD PANELING, MAKE GOOD (E) WALLS TO RECEIVE NEW FINISH
D-10	REMOVE EXISTING STAGE SUBSTRUCTURE, STEPS, AND ALL ASSOCIATED ELEMENTS. MAKE GOOD (E) TO REMAIN
D-11	REMOVE EXISTING STEPPED PLATFORM FLOOR AND STAIRS.
D-12	REMOVE EXISTING BRICK VENEER, INSULATION AND ASSOCIATED ELEMENTS TO EXPOSED (E) CONCRETE BLOCKS

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME: TRINITY LUTHERAN CHURCH

PROJECT ADDRESS: 104 HUGHSON ST N HAMILTON, ON L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE: LEVEL 1 - DEMOLITION PLANS

DRAWN BY: SB

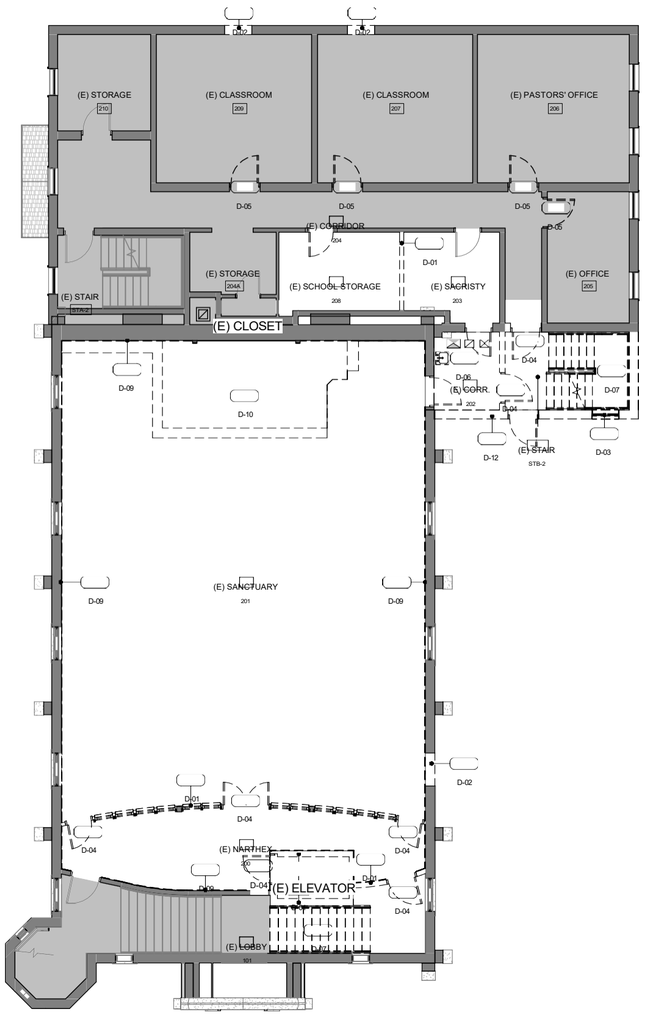
CHECKED BY: KB

DATE: SEPTEMBER 2024

SCALE: 1 : 100

DRAWING NO.: A2.01

PLOTTED: 22/11/2024 4:54:55 PM



LEVEL 2 - DEMOLITION PLAN (1) A2.02
1 : 100

LEGEND:

- (E) TO DEMOLISH
- (E) WALL TO REMAIN
- (E) DOOR TO DEMOLISH
- (E) DOOR TO REMAIN
- EXTENT OF FLOOR SLAB TO BE DEMOLISHED
- APPROXIMATE EXTENT OF ROOF DECK TO BE DEMOLISHED. REFER TO STRUCTURAL.
- (E) FLOOR TO REMAIN

GENERAL NOTES:

1. REFER TO STRUCTURAL FOR ASSOCIATED DEMOLITION.
2. REFER TO MECHANICAL AND ELECTRICAL FOR ASSOCIATED DEMOLITION. COORDINATE WITH MECHANICAL FOR EXTENT OF CHANGES TO (E) PLUMBING, HEATING, VENTILATION AND SPRINKLER SYSTEMS. COORDINATE WITH ELECTRICAL FOR EXTENT OF CHANGES TO (E) LIGHTING, POWER, FIRE ALARM AND DOOR SECURITY SYSTEMS.
3. (E) FLOOR AND ROOF STRUCTURE TO REMAIN, UNLESS NOTED OTHERWISE.
4. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
5. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
6. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
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8. WHERE (E) PARTITIONS / FURRINGS / BUILDING FITMENTS, HOUSEKEEPING PADS, ETC. ARE BEING DEMOLISHED, PATCH, REPAIR AND MAKE GOOD SUBSTRATES TO RECEIVE NEW SPECIFIED MATERIALS AND FINISHES.
9. WHERE (E) FLOORING MATERIALS ARE INDICATED IN THE PLANS OR ROOM FINISH SCHEDULE, COMPLETELY DEMOLISH (E) FLOORING TO EXPOSE THE STRUCTURAL FLOOR SLAB. PATCH, REPAIR, FILL HOLES IN SLAB, AND MAKE GOOD (E) FLOOR SLAB TO BE SMOOTH AND LEVEL AND VOID OF WAVES, BUMPS IN MATERIALS / FINISHES, OR DEPRESSIONS. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND FLOOR MANUFACTURERS REQUIREMENTS.
10. WHERE NEW CEILING MATERIALS ARE INDICATED ON THE REFLECTED CEILING PLANS OR ROOM FINISH SCHEDULE, COMPLETELY DEMOLISH (E) CEILING SYSTEMS AND BULKHEADS INCLUDING SUSPENSION SYSTEMS AND HANGERS, THEN INSTALL A COMPLETE NEW CEILING SYSTEM.
11. WHERE (E) MATERIALS AND REQUIRED TO BE SALVAGED FOR REUSE, COMPLETELY CLEAN (E) SURFACES FROM DEMOLISH MATERIALS AND MAKE CLEAN AND READY FOR REINSTALLATION.
12. WHERE (E) SERVICES ARE BEING DEMOLISH AND (E) STRUCTURAL SLAB PENETRATIONS ARE EXPOSED, FILL (E) SLAB PENETRATIONS WITH CONCRETE WITH FIRE RATING TO MATCH (E) ADJACENT FLOOR SLAB AND PATCH, REPAIR AND MAKE GOOD (E) FLOOR SLAB TO BE SMOOTH AND LEVEL AND VOID OF WAVES, BUMPS IN MATERIALS/FINISHES, OR DEPRESSIONS. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND FLOOR MANUFACTURERS REQUIREMENTS.
13. NOT ALL DEMOLITION IS SHOWN. CONTRACTORS TO SITE VERIFY AND DOCUMENT (E) CONDITIONS AND INCLUDE FOR DEMOLITION OF ALL REDUNDANT NON-ESSENTIAL BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO ABOVE CEILING FRAMING, REMAINING PLASTER/GWB CEILINGS, LIGHT FIXTURES, MECHANICAL AND ELECTRICAL SYSTEMS, BUILDING FITMENTS AND ACCESSORIES.

DEMOLITION NOTES

D-01	(E) WALL TO BE DEMOLISHED (INCLUDING, BUT NOT LIMITED TO ALL SERVICES, FITMENTS, ACCESSORIES, ETC.). PATCH, REPAIR AND MAKE GOOD ALL ADJACENT SURFACES TO REMAIN TO ACCEPT NEW CONSTRUCTION AND FINISHES. REFER TO STRUCTURAL FOR DEMOLITION OF STRUCTURAL FRAMING AND SUPPORTS.
D-02	DEMO PORTION OF (E) WALL FOR NEW OPENING. COORDINATE W/ NEW ARCHITECTURAL DRAWINGS & STRUCTURAL FOR LINTEL LOCATIONS
D-03	(E) WINDOW, FRAME AND SILL TO BE DEMOLISHED, INFILL TO MATCH.
D-04	(E) DOOR & FRAME TO BE DEMOLISHED
D-05	(E) DOOR PANEL TO BE REMOVED AND DISPOSED, MAKE GOOD (E) FRAME TO RECEIVE NEW DOOR PANEL AND HARDWARE
D-06	(E) PLUMBING FIXTURE TO BE REMOVED, INCLUDING ANY MILLWORK RELATED ITEMS. REFER TO MECH.
D-07	(E) STAIRS, RAILINGS, AND ASSOSCIATED ELEMENTS TO BE REMOVED
D-08	(E) FLOOR FINISHES TO BE REMOVED, EXPOSE EXISTING SUBSTRATE,PATCH AND MAKE GOOD TO RECEIVE NEW FINISH PER SPECIFICATIONS
D-09	REMOVE EXISTING WOOD PANELING, MAKE GOOD (E) WALLS TO RECEIVE NEW FINISH
D-10	REMOVE EXISTING STAGE SUBSTRUCTURE, STEPS, AND ALL ASSOCIATED ELEMENTS. MAKE GOOD (E) TO REMAIN
D-11	REMOVE EXISTING STEPPED PLATFORM FLOOR AND STAIRS.
D-12	REMOVE EXISTING BRICK VENEER, INSULATION AND ASSOCIATED ELEMENTS TO EXPOSED (E) CONCRETE BLOCKS

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME: TRINITY LUTHERAN CHURCH

PROJECT ADDRESS: 104 HUGHSON ST N HAMILTON, ON L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE: LEVEL 2 - DEMOLITION PLANS

DRAWN BY: SB

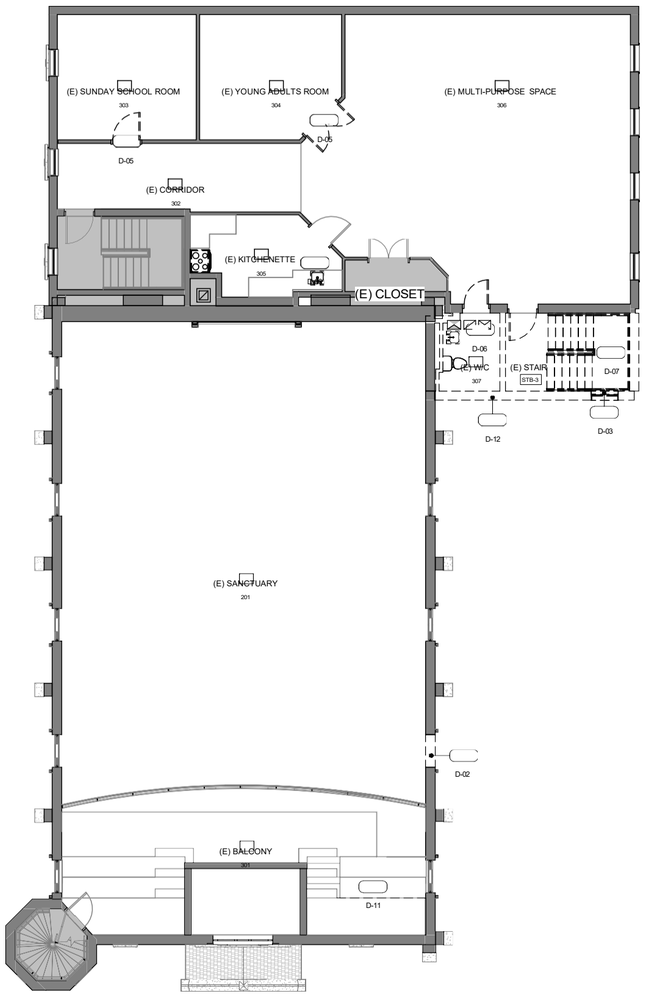
CHECKED BY: KB

DATE: SEPTEMBER 2024

SCALE: 1 : 100

DRAWING NO.: A2.02

PLOTTED: 22/11/2024 4:54:57 PM



LEVEL 3 - DEMOLITION PLAN 1 A2.03
1 : 100

LEGEND:

- (E) TO DEMOLISH
- (E) WALL TO REMAIN
- (E) DOOR TO DEMOLISH
- (E) DOOR TO REMAIN
- EXTENT OF FLOOR SLAB TO BE DEMOLISHED
- APPROXIMATE EXTENT OF ROOF DECK TO BE DEMOLISHED. REFER TO STRUCTURAL.
- (E) FLOOR TO REMAIN

GENERAL NOTES:

1. REFER TO STRUCTURAL FOR ASSOCIATED DEMOLITION.
2. REFER TO MECHANICAL AND ELECTRICAL FOR ASSOCIATED DEMOLITION. COORDINATE WITH MECHANICAL FOR EXTENT OF CHANGES TO (E) PLUMBING, HEATING, VENTILATION AND SPRINKLER SYSTEMS. COORDINATE WITH ELECTRICAL FOR EXTENT OF CHANGES TO (E) LIGHTING, POWER, FIRE ALARM AND DOOR SECURITY SYSTEMS.
3. (E) FLOOR AND ROOF STRUCTURE TO REMAIN, UNLESS NOTED OTHERWISE.
4. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
5. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
6. WHERE (E) SURFACES ARE DISTURBED DUE TO DEMOLITION OR ALTERATIONS AND NOT REQUIRED TO BE COVERED WITH NEW FINISHES, SUCH SURFACES SHALL BE PATCHED, REPAIRED AND MADE GOOD TO MATCH (E) ADJACENT MATERIALS AND FINISHES.
7. PATCH, REPAIR AND MAKE GOOD ALL MATERIALS AND FINISHES WHERE DISTURBED BY DEMOLITION AND ALTERATIONS, REFER TO ALL DOCUMENTS FOR FULL EXTENT OF WORK REQUIRED. NOTE THAT MAKING GOOD INCLUDES WORK ASSOCIATED WITH THE REMOVAL OF (E) AND INSTALLATION OF NEW SERVICES, ETC. (I.E. PLUMBING, HEATING, ELECTRICAL MODIFICATIONS IN THE (E) BUILDING, INSTALLATION OF NEW DUCTS, CONDUITS, ETC. IN THE (E) BUILDING,ETC.).
8. WHERE (E) PARTITIONS / FURRINGS / BUILDING FITMENTS, HOUSEKEEPING PADS, ETC. ARE BEING DEMOLISHED, PATCH, REPAIR AND MAKE GOOD SUBSTRATES TO RECEIVE NEW SPECIFIED MATERIALS AND FINISHES.
9. WHERE (E) FLOORING MATERIALS ARE INDICATED IN THE PLANS OR ROOM FINISH SCHEDULE, COMPLETELY DEMOLISH (E) FLOORING TO EXPOSE THE STRUCTURAL FLOOR SLAB. PATCH, REPAIR, FILL HOLES IN SLAB, AND MAKE GOOD (E) FLOOR SLAB TO BE SMOOTH AND LEVEL AND VOID OF WAVES, BUMPS IN MATERIALS / FINISHES, OR DEPRESSIONS. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND FLOOR MANUFACTURERS REQUIREMENTS.
10. WHERE NEW CEILING MATERIALS ARE INDICATED ON THE REFLECTED CEILING PLANS OR ROOM FINISH SCHEDULE, COMPLETELY DEMOLISH (E) CEILING SYSTEMS AND BULKHEADS INCLUDING SUSPENSION SYSTEMS AND HANGERS, THEN INSTALL A COMPLETE NEW CEILING SYSTEM.
11. WHERE (E) MATERIALS AND REQUIRED TO BE SALVAGED FOR REUSE, COMPLETELY CLEAN (E) SURFACES FROM DEMOLISH MATERIALS AND MAKE CLEAN AND READY FOR REINSTALLATION.
12. WHERE (E) SERVICES ARE BEING DEMOLISH AND (E) STRUCTURAL SLAB PENETRATIONS ARE EXPOSED, FILL (E) SLAB PENETRATIONS WITH CONCRETE WITH FIRE RATING TO MATCH (E) ADJACENT FLOOR SLAB AND PATCH, REPAIR AND MAKE GOOD (E) FLOOR SLAB TO BE SMOOTH AND LEVEL AND VOID OF WAVES, BUMPS IN MATERIALS/FINISHES, OR DEPRESSIONS. (E) FLOOR SLAB TO ACCEPT NEW SPECIFICATIONS AND FLOOR MANUFACTURERS REQUIREMENTS.
13. NOT ALL DEMOLITION IS SHOWN. CONTRACTORS TO SITE VERIFY AND DOCUMENT (E) CONDITIONS AND INCLUDE FOR DEMOLITION OF ALL REDUNDANT NON-ESSENTIAL BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO ABOVE CEILING FRAMING, REMAINING PLASTER/GWB CEILINGS, LIGHT FIXTURES, MECHANICAL AND ELECTRICAL SYSTEMS, BUILDING FITMENTS AND ACCESSORIES.

DEMOLITION NOTES

D-01	(E) WALL TO BE DEMOLISHED (INCLUDING, BUT NOT LIMITED TO ALL SERVICES, FITMENTS, ACCESSORIES, ETC.). PATCH, REPAIR AND MAKE GOOD ALL ADJACENT SURFACES TO REMAIN TO ACCEPT NEW CONSTRUCTION AND FINISHES. REFER TO STRUCTURAL FOR DEMOLITION OF STRUCTURAL FRAMING AND SUPPORTS.
D-02	DEMO PORTION OF (E) WALL FOR NEW OPENING. COORDINATE W/ NEW ARCHITECTURAL DRAWINGS & STRUCTURAL FOR LINTEL LOCATIONS
D-03	(E) WINDOW, FRAME AND SILL TO BE DEMOLISHED, INFILL TO MATCH.
D-04	(E) DOOR & FRAME TO BE DEMOLISHED
D-05	(E) DOOR PANEL TO BE REMOVED AND DISPOSED, MAKE GOOD (E) FRAME TO RECEIVE NEW DOOR PANEL AND HARDWARE
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D-07	(E) STAIRS, RAILINGS, AND ASSOSCIATED ELEMENTS TO BE REMOVED
D-08	(E) FLOOR FINISHES TO BE REMOVED, EXPOSE EXISTING SUBSTRATE,PATCH AND MAKE GOOD TO RECEIVE NEW FINISH PER SPECIFICATIONS
D-09	REMOVE EXISTING WOOD PANELING, MAKE GOOD (E) WALLS TO RECEIVE NEW FINISH
D-10	REMOVE EXISTING STAGE SUBSTRUCTURE, STEPS, AND ALL ASSOCIATED ELEMENTS. MAKE GOOD (E) TO REMAIN
D-11	REMOVE EXISTING STEPPED PLATFORM FLOOR AND STAIRS.
D-12	REMOVE EXISTING BRICK VENEER, INSULATION AND ASSOCIATED ELEMENTS TO EXPOSED (E) CONCRETE BLOCKS

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME: TRINITY LUTHERAN CHURCH

PROJECT ADDRESS: 104 HUGHSON ST N HAMILTON, ON L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE: LEVEL 3 - DEMOLITION PLANS

DRAWN BY: SB

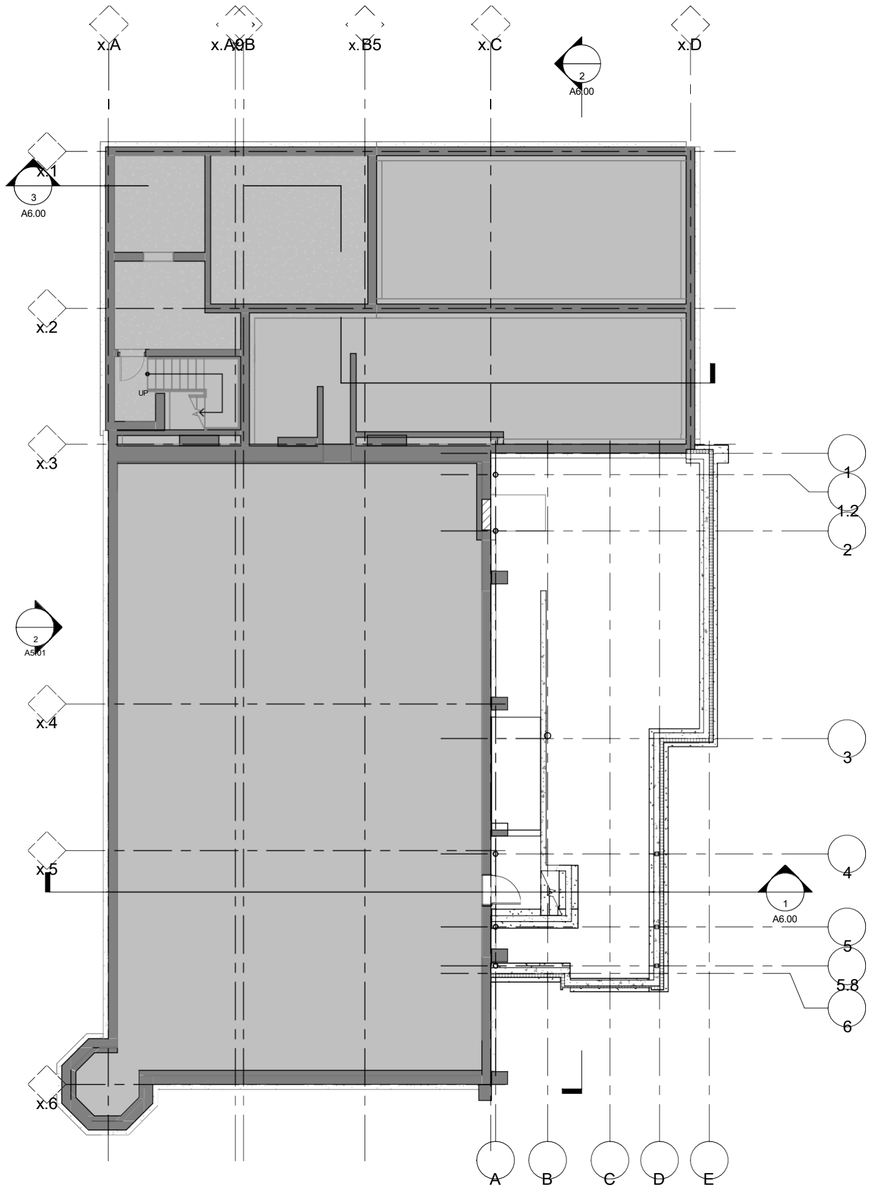
CHECKED BY: KB

DATE: SEPTEMBER 2024

SCALE: 1 : 100

DRAWING NO.: A2.03

PLOTTED: 11/2024, 4:54:59 PM



BASEMENT - FLOOR PLAN 1 A3.00
1 : 100

GENERAL NOTES:

1. FIRE RATED WALLS ASSEMBLIES ARE TO BE CONSTRUCTED AS CONTINUOUS FIRE SEPARATIONS AND TO BE TERMINATED AT INTERSECTION WITH ANOTHER FIRE SEPARATION OR A RATED MATERIAL. ALL PENETRATIONS TO BE SEALED W/FIRE STOP SEALANT AS REQUIRED.

2. REFER TO LIFE SAFETY DRAWING FOR LOCATION OF FIRE SEPARATIONS. ALL OPENINGS WITHIN A RATED ASSEMBLY ARE TO BE RATED OR PROTECTED OPENINGS.

3. FOR NON-BARRIER FREE UNITS, REFER TO DETAIL 4/A311 FOR STUD WALL REINFORCEMENT DETAILS REQUIRED BY OBC 3.3.4.9.

LINE DENOTATES APARTMENT COMPARTMENTALIZATION AIR CONTROL LAYER.

NOTES

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME:
TRINITY LUTHERAN CHURCH

PROJECT ADDRESS:
104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE:
LEVEL 0 - FLOOR PLANS

DRAWN BY: SB

CHECKED BY: KB

DATE: SEPTEMBER 2024

SCALE: 1 : 100

DRAWING NO.: A3.00

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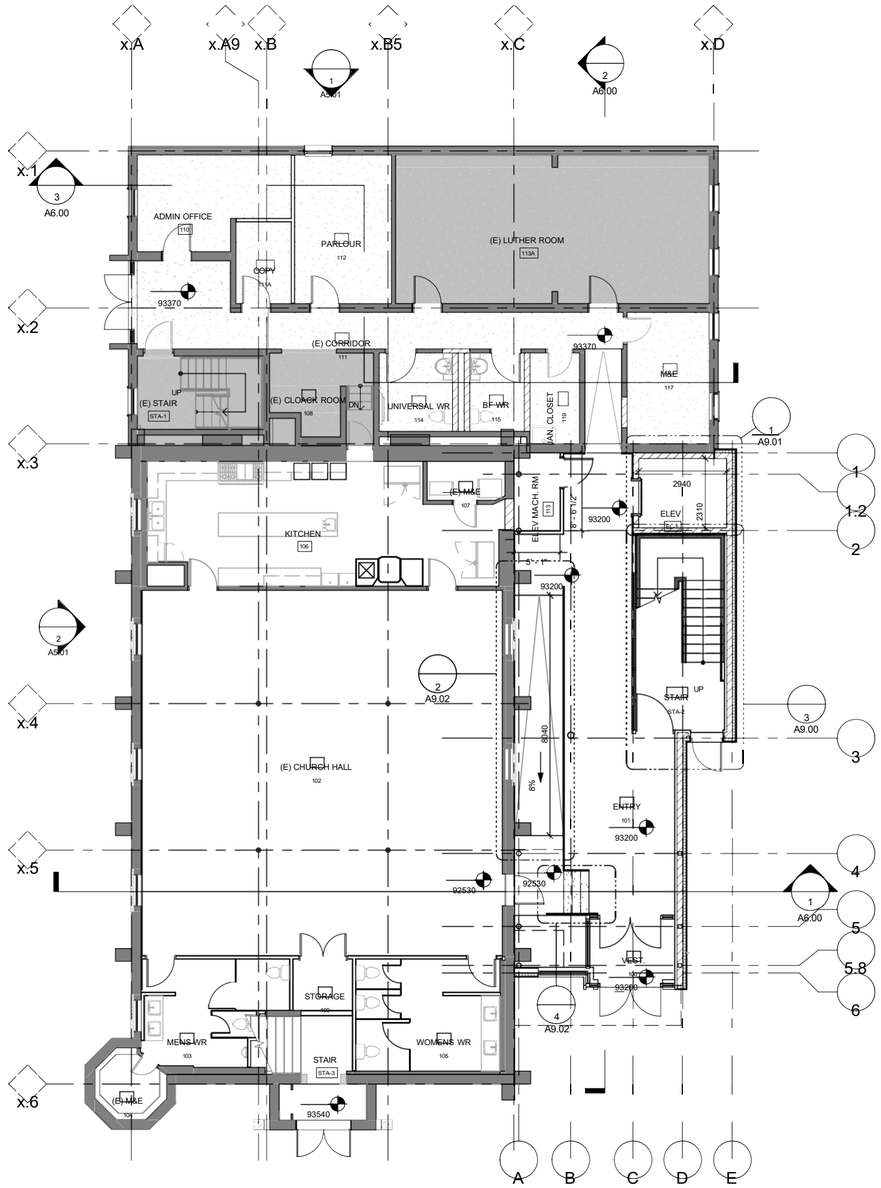

GROUND - FLOOR PLAN 1 A3.01
1 : 100

GENERAL NOTES:

1. FIRE RATED WALLS ASSEMBLIES ARE TO BE CONSTRUCTED AS CONTINUOUS FIRE SEPARATIONS AND TO BE TERMINATED AT INTERSECTION WITH ANOTHER FIRE SEPARATION OR A RATED MATERIAL. ALL PENETRATIONS TO BE SEALED W/FIRE STOP SEALANT AS REQUIRED.

2. REFER TO LIFE SAFETY DRAWING FOR LOCATION OF FIRE SEPARATIONS. ALL OPENINGS WITHIN A RATED ASSEMBLY ARE TO BE RATED OR PROTECTED OPENINGS.

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LINE DENOTATES APARTMENT COMPARTMENTALIZATION AIR CONTROL LAYER.

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME:
TRINITY LUTHERAN CHURCH

PROJECT ADDRESS:
104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE:
LEVEL 1 - FLOOR PLANS

DRAWN BY: SB
CHECKED BY: KB
DATE: SEPTEMBER 2024
SCALE: 1 : 100
DRAWING NO.: A3.01

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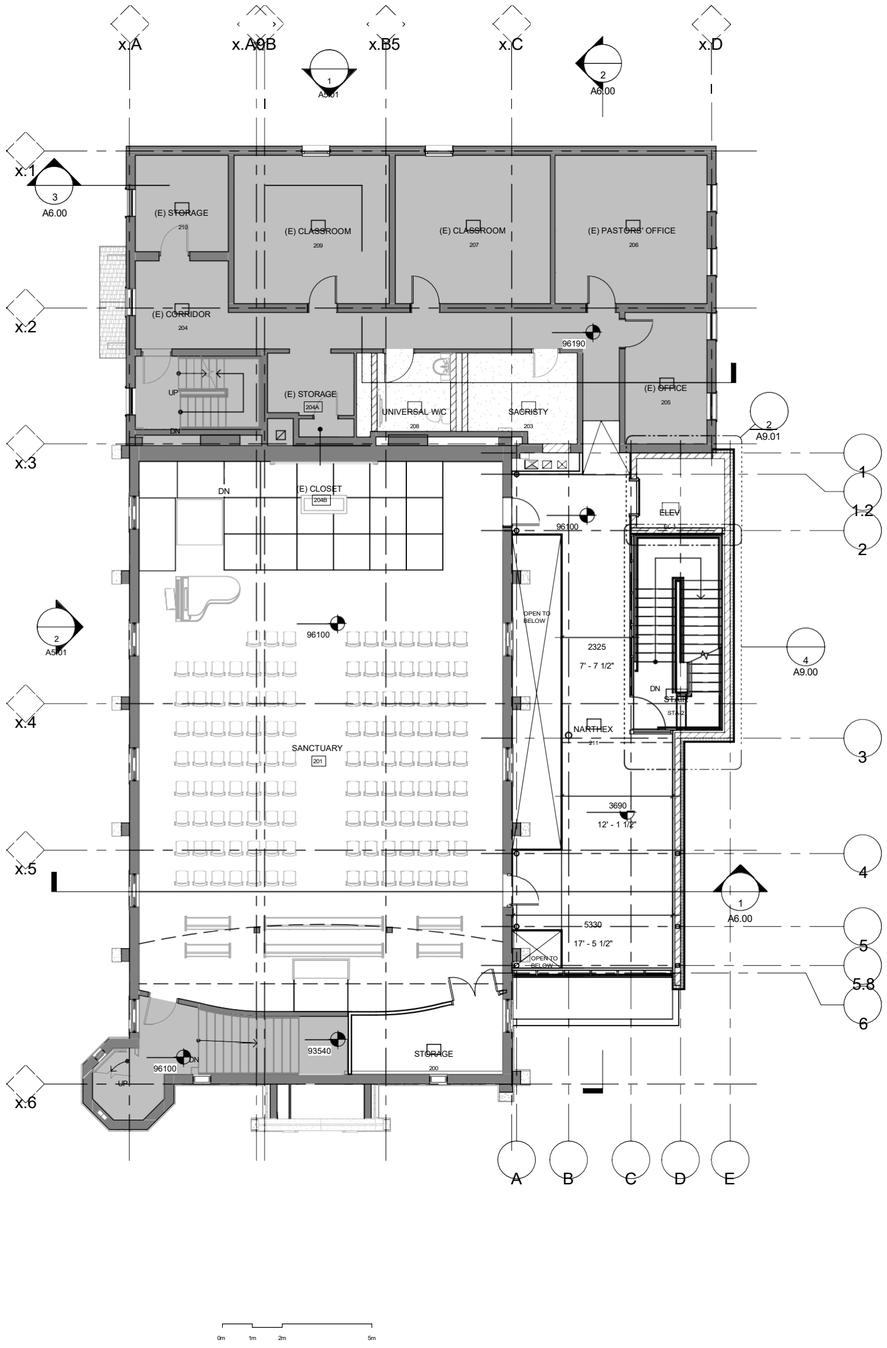

LEVEL 2 - FLOOR PLAN (1) 1 : 100 A3.02

GENERAL NOTES:

1. FIRE RATED WALLS ASSEMBLIES ARE TO BE CONSTRUCTED AS CONTINUOUS FIRE SEPARATIONS AND TO BE TERMINATED AT INTERSECTION WITH ANOTHER FIRE SEPARATION OR A RATED MATERIAL. ALL PENETRATIONS TO BE SEALED W/FIRE STOP SEALANT AS REQUIRED.

2. REFER TO LIFE SAFETY DRAWING FOR LOCATION OF FIRE SEPARATIONS. ALL OPENINGS WITHIN A RATED ASSEMBLY ARE TO BE RATED OR PROTECTED OPENINGS.

3. FOR NON-BARRIER FREE UNITS, REFER TO DETAIL 4/A311 FOR STUD WALL REINFORCEMENT DETAILS REQUIRED BY OBC 3.3.4.9.

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME: TRINITY LUTHERAN CHURCH

PROJECT ADDRESS: 104 HUGHSON ST N HAMILTON, ON L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE: LEVEL 2 - FLOOR PLANS

DRAWN BY: SB

CHECKED BY: KB

DATE: SEPTEMBER 2024

SCALE: 1 : 100

DRAWING NO.: A3.02

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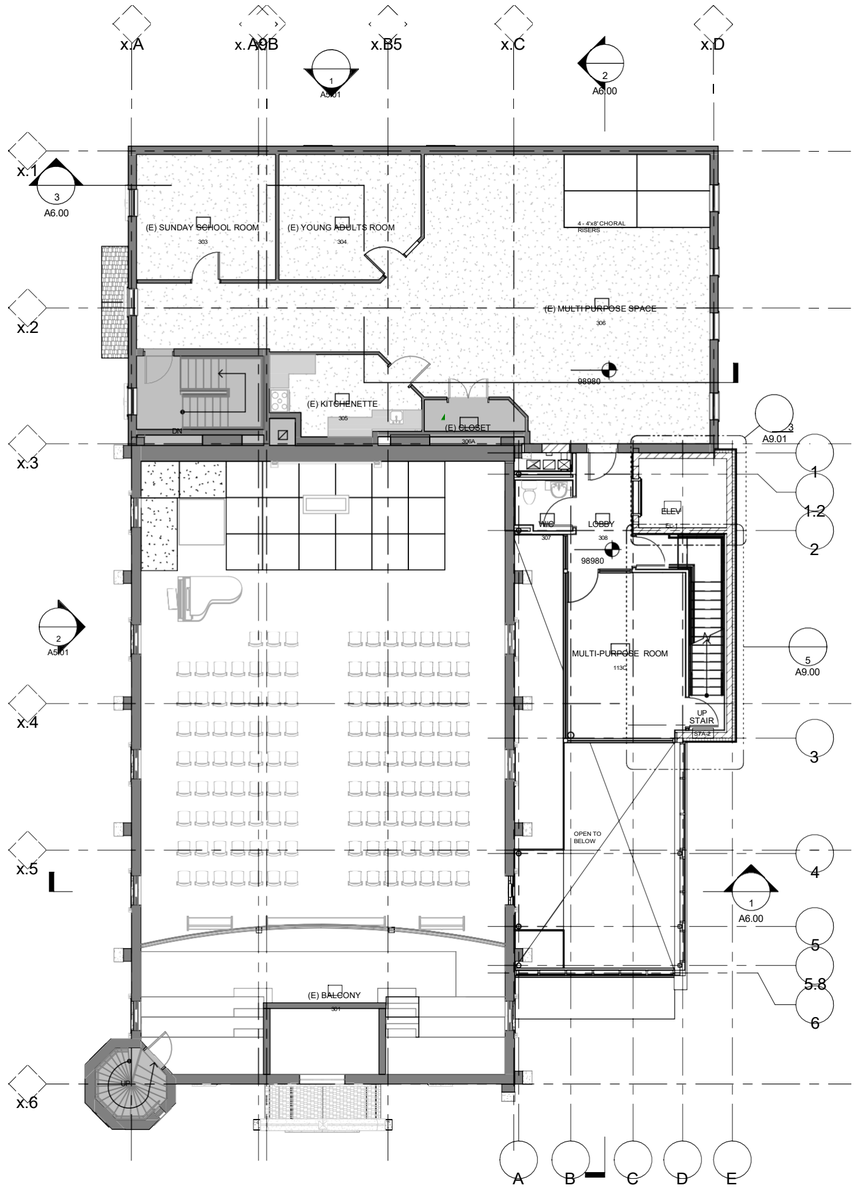

LEVEL 3 - FLOOR PLAN (1 / A3.03)
1 : 100

GENERAL NOTES:

1. FIRE RATED WALLS ASSEMBLIES ARE TO BE CONSTRUCTED AS CONTINUOUS FIRE SEPARATIONS AND TO BE TERMINATED AT INTERSECTION WITH ANOTHER FIRE SEPARATION OR A RATED MATERIAL. ALL PENETRATIONS TO BE SEALED W/FIRE STOP SEALANT AS REQUIRED.

2. REFER TO LIFE SAFETY DRAWING FOR LOCATION OF FIRE SEPARATIONS. ALL OPENINGS WITHIN A RATED ASSEMBLY ARE TO BE RATED OR PROTECTED OPENINGS.

3. FOR NON-BARRIER FREE UNITS, REFER TO DETAIL 4/A311 FOR STUD WALL REINFORCEMENT DETAILS REQUIRED BY OBC 3.3.4.9.

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME: TRINITY LUTHERAN CHURCH

PROJECT ADDRESS: 104 HUGHSON ST N HAMILTON, ON L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE: LEVEL 3 - FLOOR PLANS

DRAWN BY: SB

CHECKED BY: KB

DATE: SEPTEMBER 2024

SCALE: 1 : 100

DRAWING NO.: A3.03

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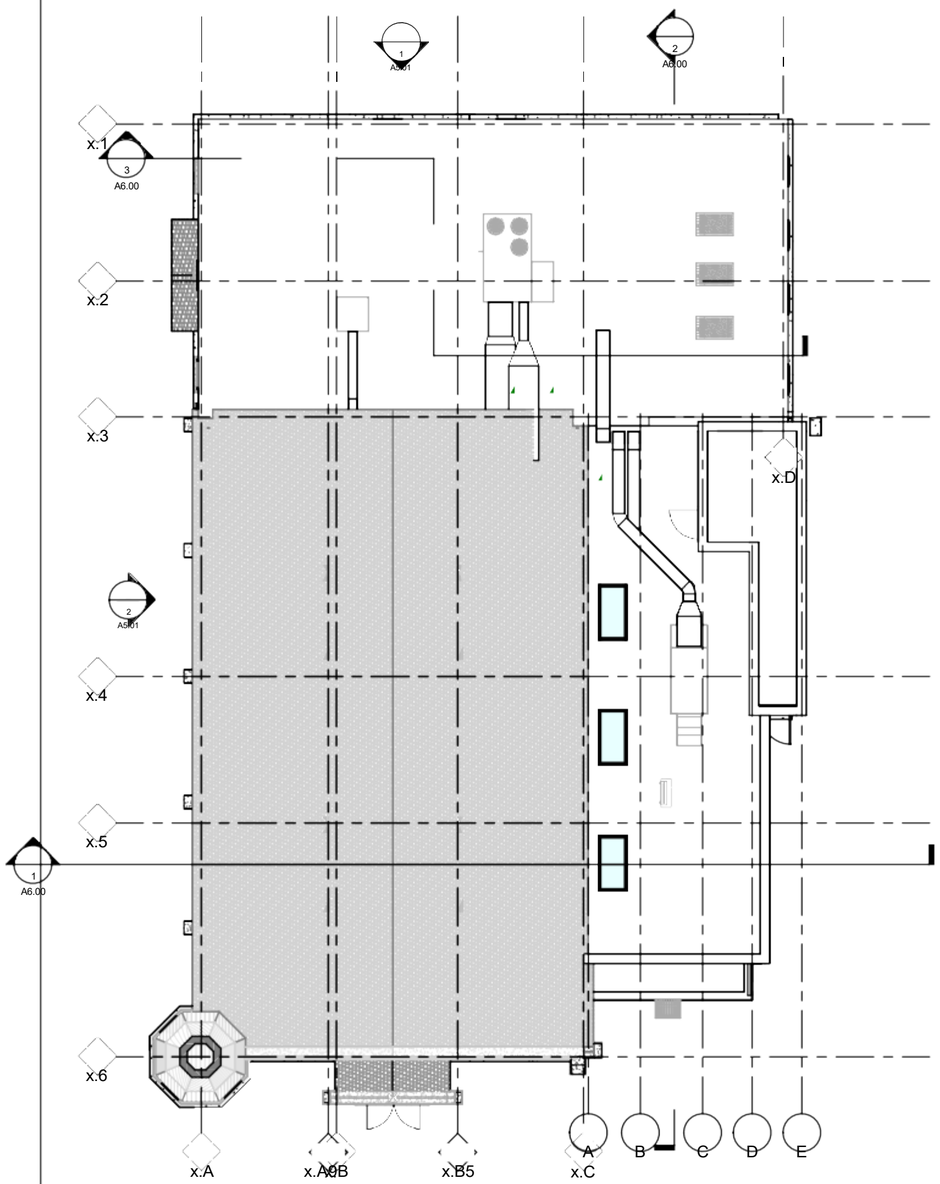

GENERAL NOTES:

1. FIRE RATED WALLS ASSEMBLIES ARE TO BE CONSTRUCTED AS CONTINUOUS FIRE SEPARATIONS AND TO BE TERMINATED AT INTERSECTION WITH ANOTHER FIRE SEPARATION OR A RATED MATERIAL. ALL PENETRATIONS TO BE SEALED W/FIRE STOP SEALANT AS REQUIRED.

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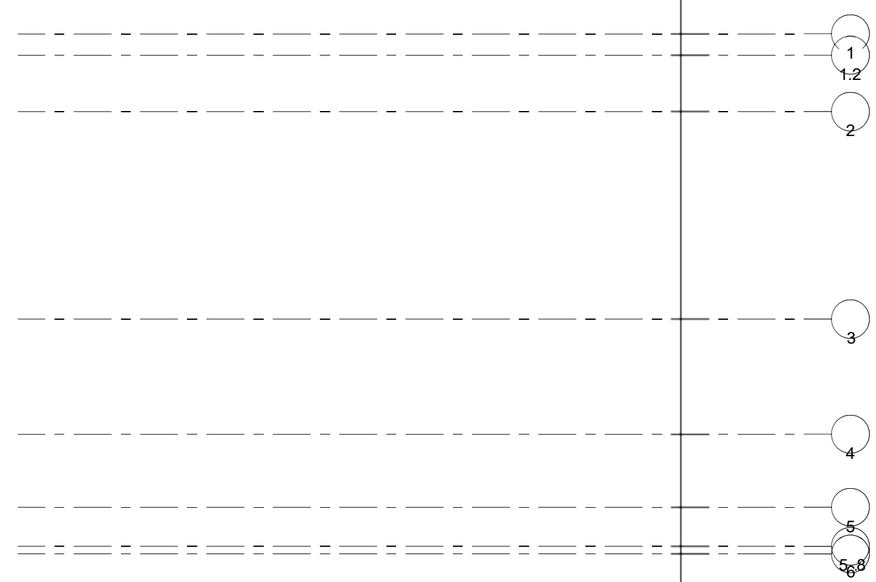
LINE DENOTATES APARTMENT COMPARTMENTALIZATION AIR CONTROL LAYER.

NOTES



ROOF PLAN 1
1 : 100 A3.04

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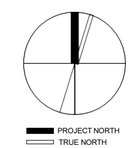
REV.	DESCRIPTION	DATE YYYY/MM/DD



PROJECT NAME:
TRINITY LUTHERAN CHURCH

PROJECT ADDRESS:
104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE:
ROOF PLAN

DRAWN BY: SB

CHECKED BY: KB

DATE: SEPTEMBER 2024

SCALE: 1 : 100

DRAWING NO.: A3.04

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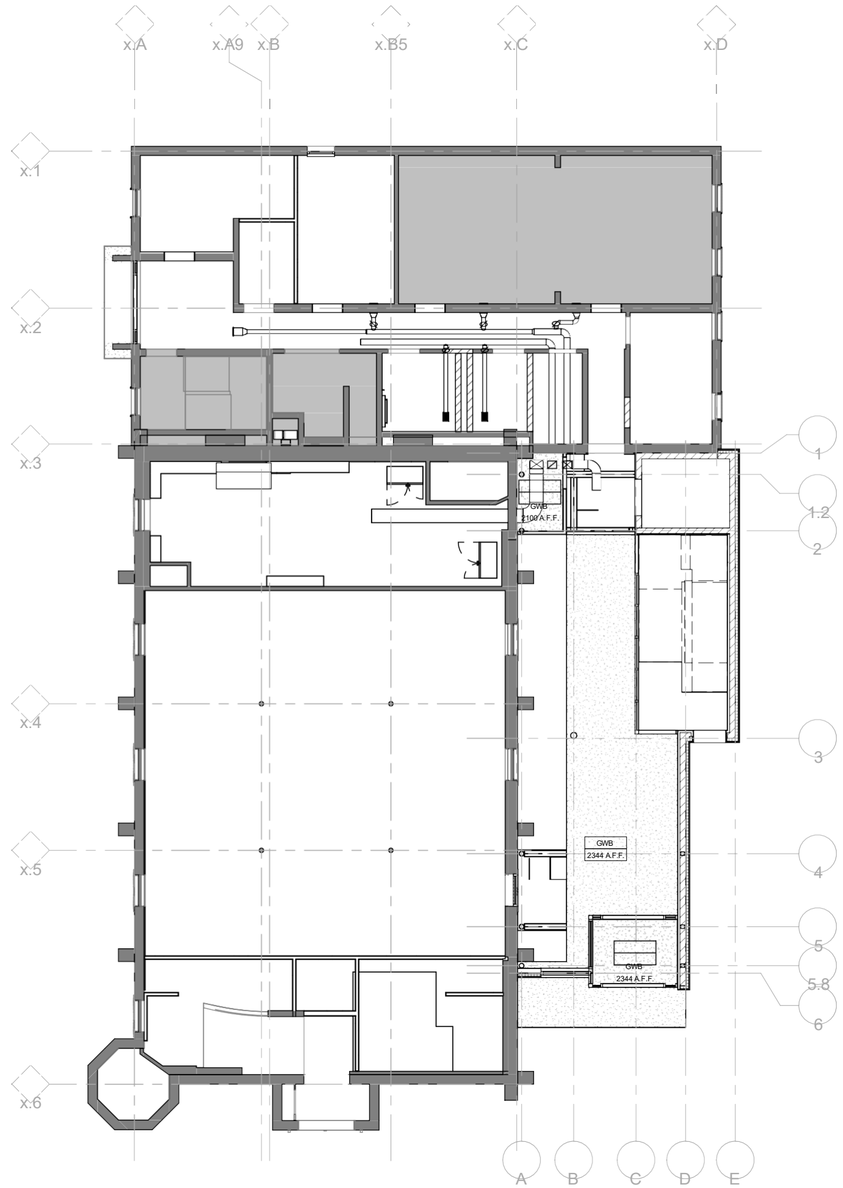

GROUND - RCP (1 / A4.01)
1 : 100

MATERIALS

- GYPSUM WALLBOARD CEILING
- SUSPENDED ACOUSTIC CEILING TYPE C1
- WOOD CEILING
- EXTENT OF SLOPED CLG BELOW 1220mm
- FIBER CEMENT BOARD CEILING

RCP SYMBOLS

- O ELECTRICAL DOCUMENTS
- 610X1220 RECESSED LIGHT FIXTURE
- SUSPENDED LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- TRACK LIGHT
- ROUND, SURFACE MOUNTED LED LIGHT FIXTURE, WHITE TRIM
- SUSPENDED DRUM LIGHT, WHITE 900mm
- LED WALL LIGHT FIXTURE
- LED VANITY LIGHT FIXTURE CENTERED ON SINK, TYP
- EXTERIOR WALL LIGHT FIXTURE
- CEILING FAN WITH LIGHT
- EXHAUST
- EXPOSED DUCTWORK PAINTED TO MATCH CEILING COLOUR
- MECHANICAL DIFFUSERS- SUPPLY AIR COLOUR TO MATCH CEILING/WALL COLOUR
- MECHANICAL DIFFUSERS- RETURN AIR COLOUR TO MATCH CEILING/WALL COLOUR.
- RECESSED CEILING HEATER
- SPRINKLER HEADS
- EXIT SIGN
- EXIT SIGN - DIRECTIONAL

ACCESS PANEL TO ACCESS FIRE DAMPERS, BALANCING DAMPERS, CLEANOUTS, MECHANICAL UNITS ETC. ACCESS PANEL FRAME TO BE CONCEALED PROVIDE FIRE RATED CEILINGS. SIZE 300x300 UNLESS OTHERWISE NOTED.

RCP GENERAL NOTES:

1. ALL SUSPENDED GWB CEILINGS TO BE TYPE C2, UNO. REFER TO DWG A0.1. WATER RESISTANT GYPSUM WALLBOARD TO BE USED IN WASHROOMS.
2. CEILING ACCESS PANELS TO BE PROVIDED TO ALL SERVICES REQUIRING ACCESS SUCH AS FIRE DAMPERS, BALANCING DAMPERS, SHUT-OFF VALVES, ETC.
3. ACCESS PANELS TO BE ALIGNED WITH OTHER CEILING FIXTURES, DIFFUSERS, AND DEVICES. CONTRACTOR TO SITE VERIFY LOCATIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT. COLOUR OF ACCESS PANEL TO MATCH CEILING COLOUR FINISH.
4. ALL LIGHT FIXTURES, DIFFUSERS, ETC. TO BE PLACED IN THE CENTER OF TILE UNLESS OTHERWISE NOTED.
5. ALL EXIT SIGNS TO BE CENTERED OVER DOOR UNLESS OTHERWISE NOTED, COORDINATE LOCATIONS WITH FLOOR PLANS.
6. DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DOCUMENTS REFER TO A4.1, A4.3-A4.5 DWGS FOR ENLARGED RCP IN UNITS.

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME: TRINITY LUTHERAN CHURCH

PROJECT ADDRESS: 104 HUGHSON ST N HAMILTON, ON L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE: LEVEL 1 - RCP

DRAWN BY: Author

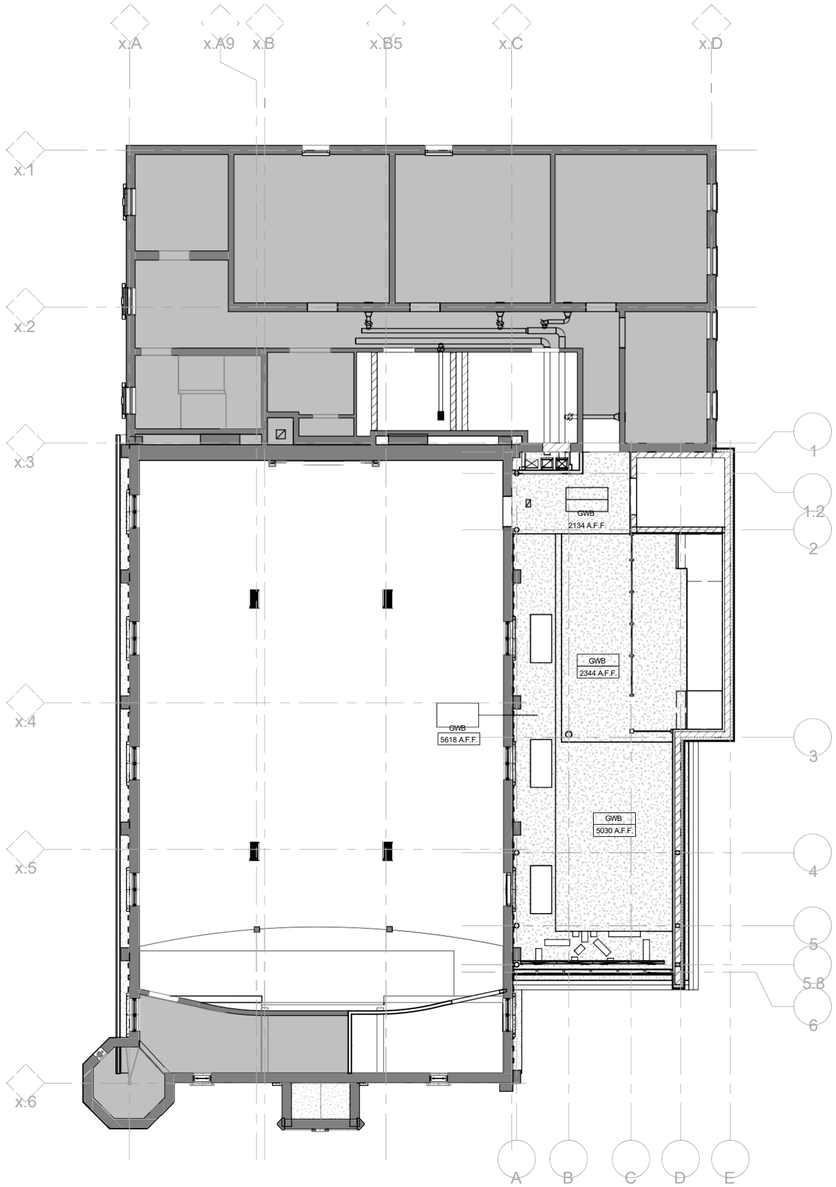
CHECKED BY: Checker

DATE: -

SCALE: 1 : 100

DRAWING NO.: A4.01

PLOTTED: 22/11/2024 4:55:16 PM



LEVEL 2 - RCP
1 : 100
1
A4.02

MATERIALS

- GYPSUM WALLBOARD CEILING
- SUSPENDED ACOUSTIC CEILING TYPE C1
- WOOD CEILING
- EXTENT OF SLOPED CLG BELOW 1220mm
- FIBER CEMENT BOARD CEILING

RCP SYMBOLS

- O ELECTRICAL DOCUMENTS
- 610X1220 RECESSED LIGHT FIXTURE
- SUSPENDED LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- TRACK LIGHT
- ROUND, SURFACE MOUNTED LED LIGHT FIXTURE, WHITE TRIM
- SUSPENDED DRUM LIGHT, WHITE 900mm
- LED WALL LIGHT FIXTURE
- LED VANITY LIGHT FIXTURE CENTERED ON SINK, TYP
- EXTERIOR WALL LIGHT FIXTURE
- CEILING FAN WITH LIGHT
- EXHAUST
- EXPOSED DUCTWORK PAINTED TO MATCH CEILING COLOUR
- MECHANICAL DIFFUSERS- SUPPLY AIR COLOUR TO MATCH CEILING/WALL COLOUR
- MECHANICAL DIFFUSERS- RETURN AIR COLOUR TO MATCH CEILING/WALL COLOUR.
- RECESSED CEILING HEATER
- SPRINKLER HEADS
- EXIT SIGN
- EXIT SIGN - DIRECTIONAL

ACCESS PANEL TO ACCESS FIRE DAMPERS, BALANCING DAMPERS, CLEANOUTS, MECHANICAL UNITS ETC. ACCESS PANEL FRAME TO BE CONCEALED PROVIDE FIRE RATED CEILINGS. SIZE 300x300 UNLESS OTHERWISE NOTED.

RCP GENERAL NOTES:

1. ALL SUSPENDED GWB CEILINGS TO BE TYPE C2, UNO. REFER TO DWG A0.1. WATER RESISTANT GYPSUM WALLBOARD TO BE USED IN WASHROOMS.
2. CEILING ACCESS PANELS TO BE PROVIDED TO ALL SERVICES REQUIRING ACCESS SUCH AS FIRE DAMPERS, BALANCING DAMPERS, SHUT-OFF VALVES, ETC.
3. ACCESS PANELS TO BE ALIGNED WITH OTHER CEILING FIXTURES, DIFFUSERS, AND DEVICES. CONTRACTOR TO SITE VERIFY LOCATIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANT. COLOUR OF ACCESS PANEL TO MATCH CEILING COLOUR FINISH.
4. ALL LIGHT FIXTURES, DIFFUSERS, ETC. TO BE PLACED IN THE CENTER OF TILE UNLESS OTHERWISE NOTED.
5. ALL EXIT SIGNS TO BE CENTERED OVER DOOR UNLESS OTHERWISE NOTED, COORDINATE LOCATIONS WITH FLOOR PLANS.
6. DRAWING TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DOCUMENTS REFER TO A4.1, A4.3-A4.5 DWGS FOR ENLARGED RCP IN UNITS.

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME:
TRINITY LUTHERAN CHURCH

PROJECT ADDRESS:
104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE:
LEVEL 2 - RCP

DRAWN BY: Author
CHECKED BY: Checker
DATE: -
SCALE: 1 : 100
DRAWING NO.: A4.02

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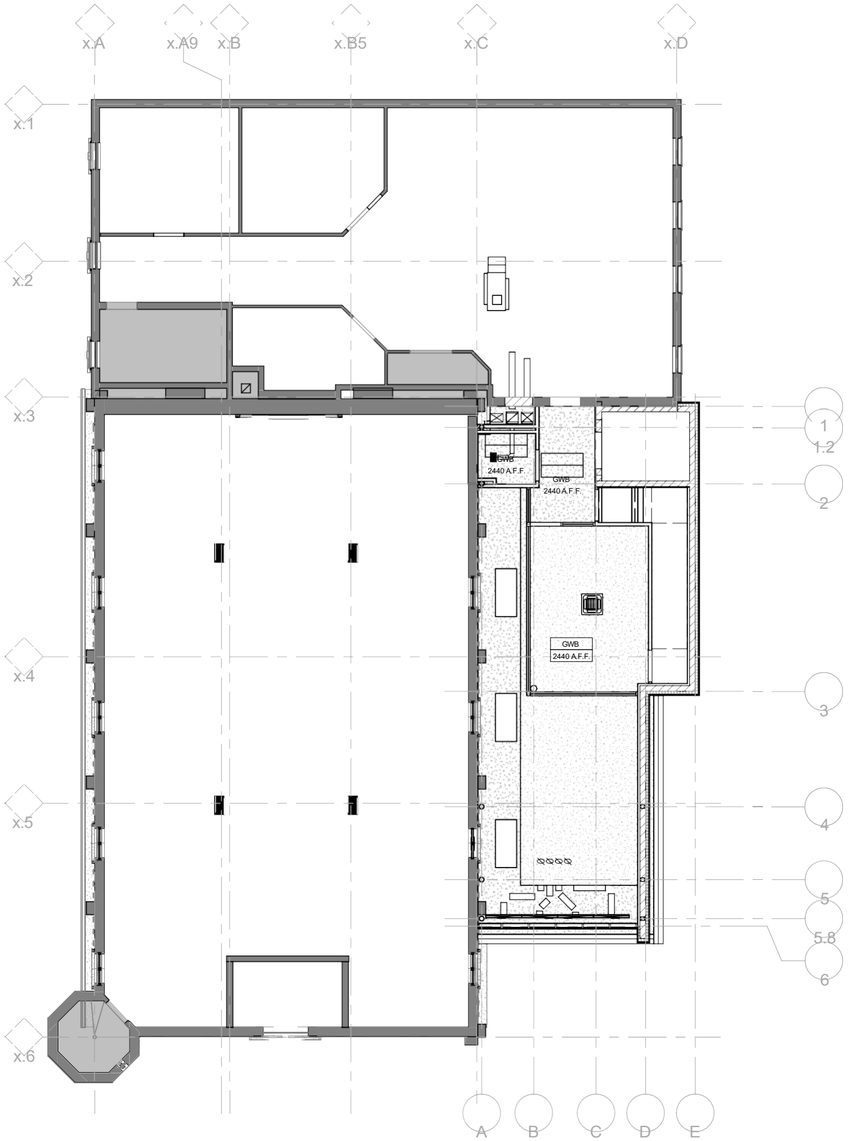

LEVEL 3 - RCP 1 A4.03
1 : 100

MATERIALS

- GYPSUM WALLBOARD CEILING
- SUSPENDED ACOUSTIC CEILING TYPE C1
- WOOD CEILING
- EXTENT OF SLOPED CLG BELOW 1220mm
- FIBER CEMENT BOARD CEILING

RCP SYMBOLS

- O ELECTRICAL DOCUMENTS
- 610X1220 RECESSED LIGHT FIXTURE
- SUSPENDED LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- TRACK LIGHT
- ROUND, SURFACE MOUNTED LED LIGHT FIXTURE, WHITE TRIM
- SUSPENDED DRUM LIGHT, WHITE 900mm
- LED WALL LIGHT FIXTURE
- LED VANITY LIGHT FIXTURE CENTERED ON SINK, TYP
- EXTERIOR WALL LIGHT FIXTURE
- CEILING FAN WITH LIGHT
- EXHAUST
- EXPOSED DUCTWORK PAINTED TO MATCH CEILING COLOUR
- MECHANICAL DIFFUSERS- SUPPLY AIR COLOUR TO MATCH CEILING/WALL COLOUR
- MECHANICAL DIFFUSERS- RETURN AIR COLOUR TO MATCH CEILING/WALL COLOUR.
- RECESSED CEILING HEATER
- SPRINKLER HEADS
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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NORTH
TRUE NORTH

PROJECT NAME: TRINITY LUTHERAN CHURCH

PROJECT ADDRESS: 104 HUGHSON ST N HAMILTON, ON L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE: LEVEL 3 - RCP

DRAWN BY: Author

CHECKED BY: Checker

DATE: -

SCALE: 1 : 100

DRAWING NO.: A4.03

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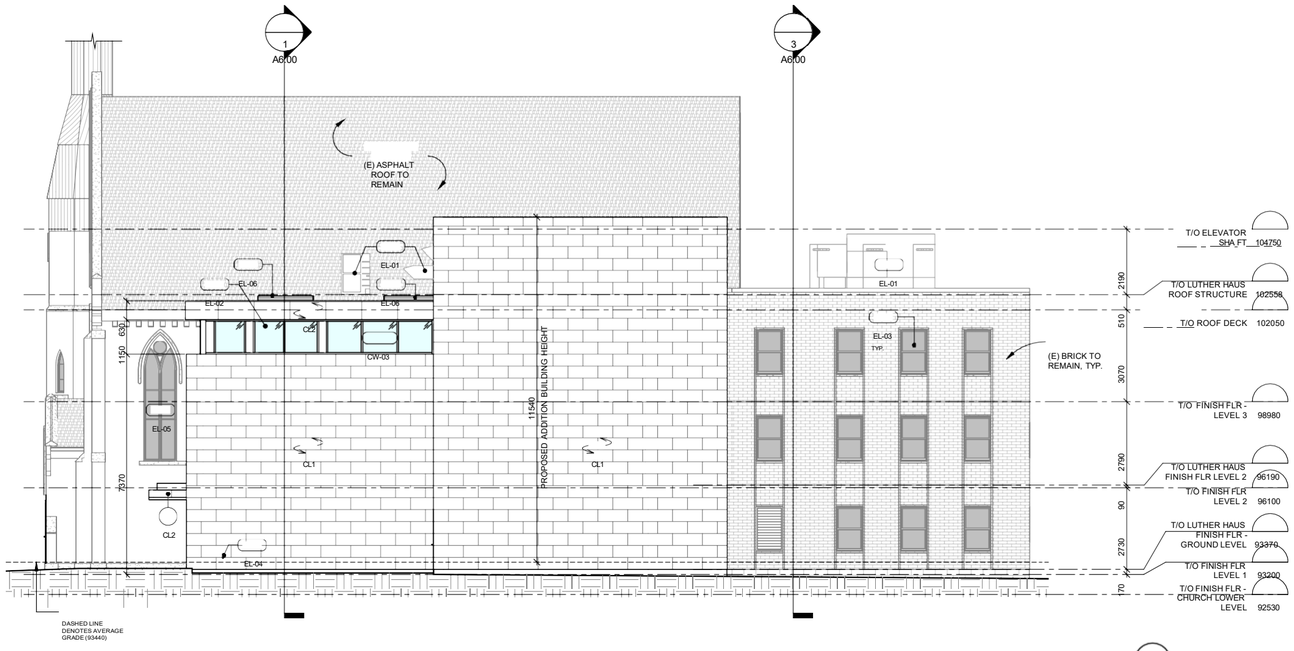
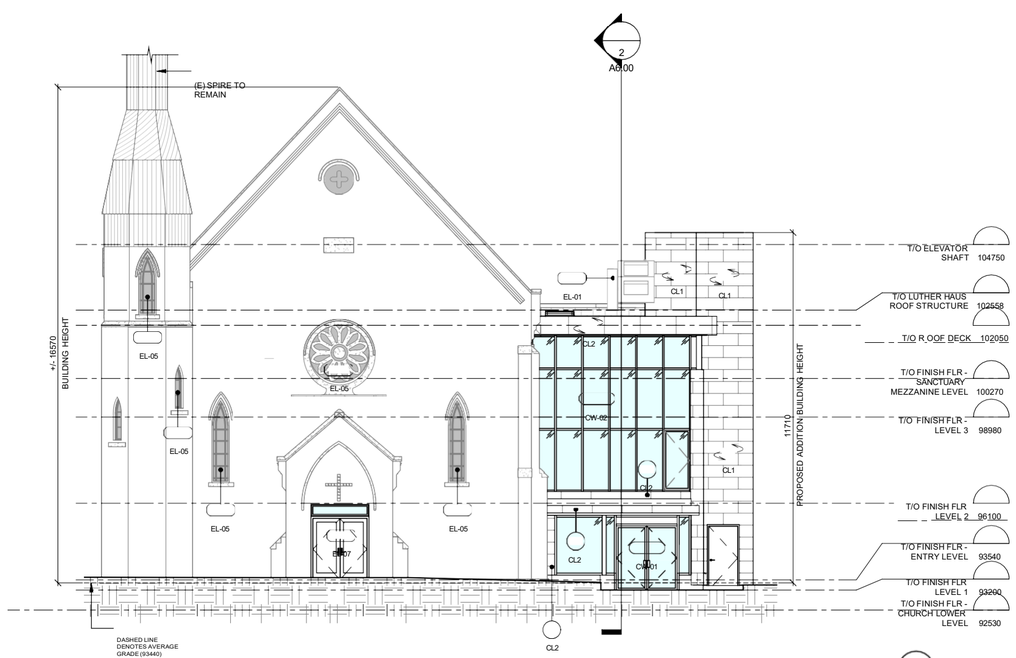


EAST ELEVATION (2 / A5.00)
1 : 100



SOUTH ELEVATION (1 / A5.00)
1 : 100

MATERIAL LEGEND

CL1 STONE-LOOK PANEL

CL2 ALUMINUM PANEL

NOTES

EL-01 ROOFTOP MECHANICAL EQUIPMENTS, REFER TO MECH.
EL-02 1 HR FRR ALUMINUM CURTAIN WALL SYSTEM
EL-03 (E) WINDOW TO REMAIN, TYP.
EL-04 HOSE BIB, REFER TO MECHANICAL
EL-05 (E) STAINED GLASS WINDOWS TO BE RESTORED
EL-06 CURB MOUNTED SKYLIGHT
EL-07 WOOD DOOR AND TRANSOM IN (E) OPENING

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NAME:
TRINITY LUTHERAN CHURCH

PROJECT ADDRESS:
104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE:
BUILDING ELEVATIONS

DRAWN BY: SB

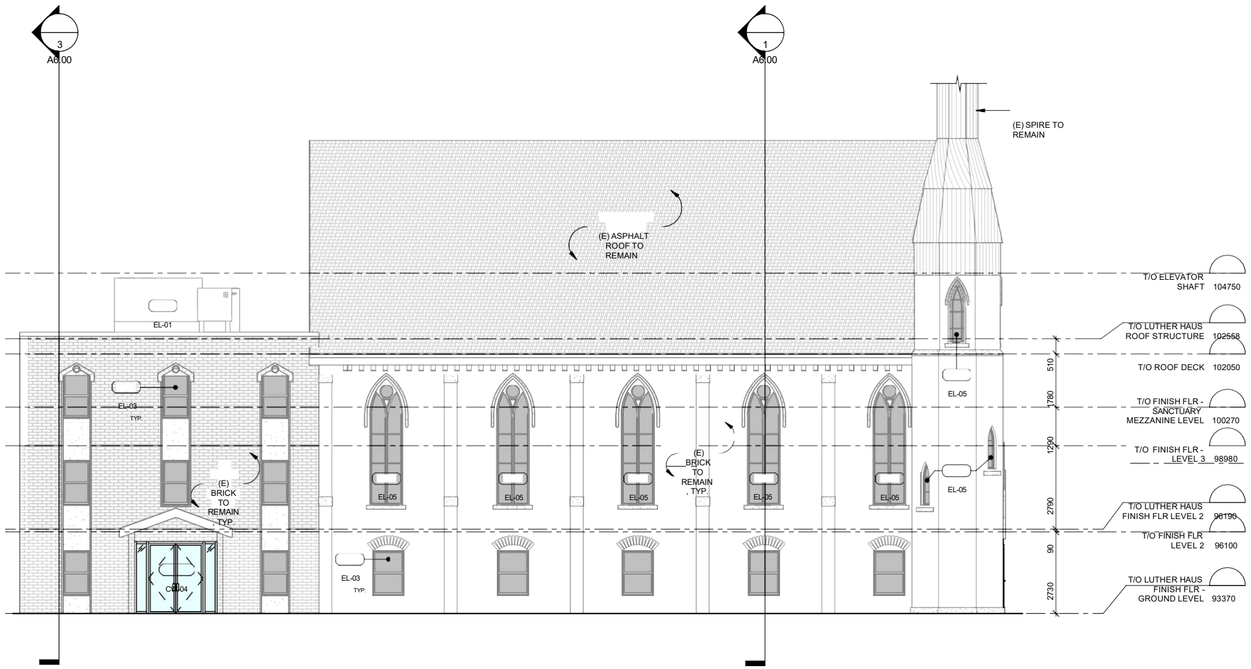
CHECKED BY: KB

DATE: SEPTEMBER 2024

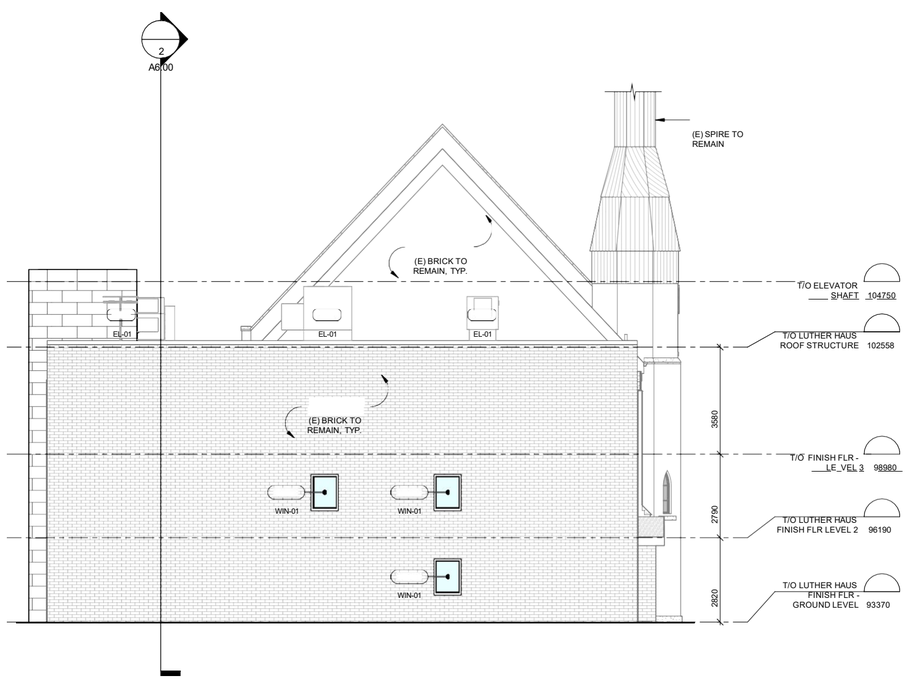
SCALE: 1 : 100

DRAWING NO.: A5.00

PLOTTED: 22/11/2024 4:55:28 PM



WEST ELEVATION 2 A5.01
1 : 100



NORTH ELEVATION 1 A5.01
1 : 100

MATERIAL LEGEND

CL1 STONE-LOOK PANEL

CL2 ALUMINUM PANEL

NOTES

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EL-06 CURB MOUNTED SKYLIGHT
EL-07 WOOD DOOR AND TRANSOM IN (E) OPENING

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NAME:
TRINITY LUTHERAN CHURCH

PROJECT ADDRESS:
104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.: 24022

DRAWING TITLE:
BUILDING ELEVATIONS

DRAWN BY: KB

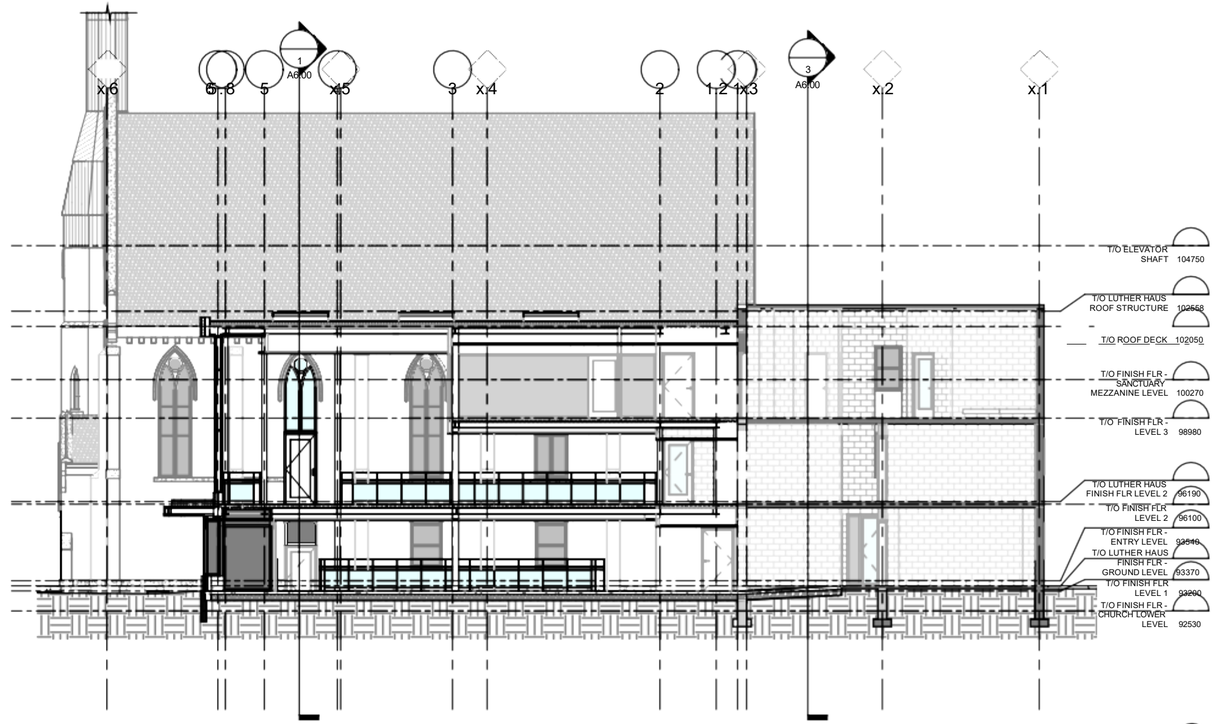
CHECKED BY: HY

DATE: 11/11/24

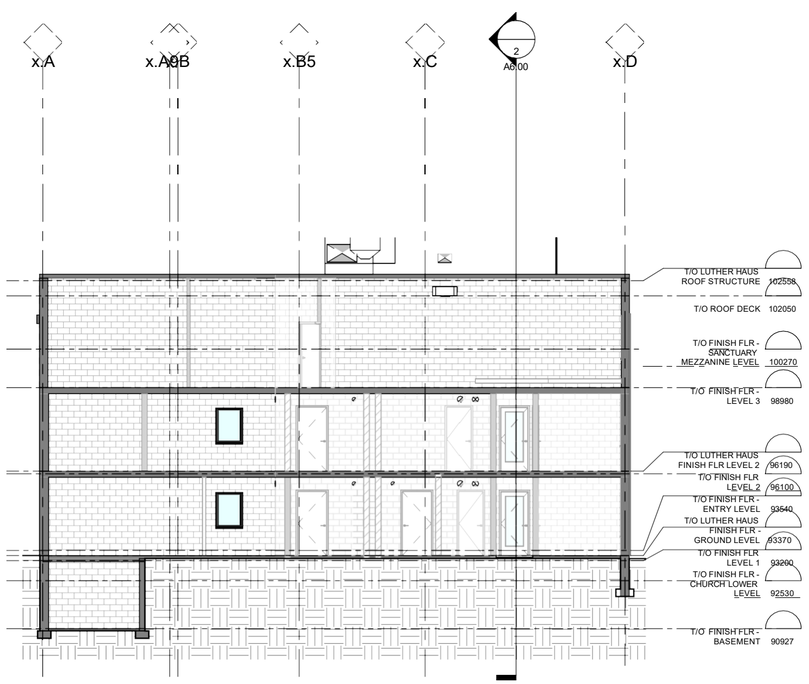
SCALE: 1 : 100

DRAWING NO.: A5.01

PLOTTED: 2211/02/24 4:55:32 PM



N/S BUILDING SECTION 2
1 : 100 A6.00



LUTHER HAUS SECTION 3
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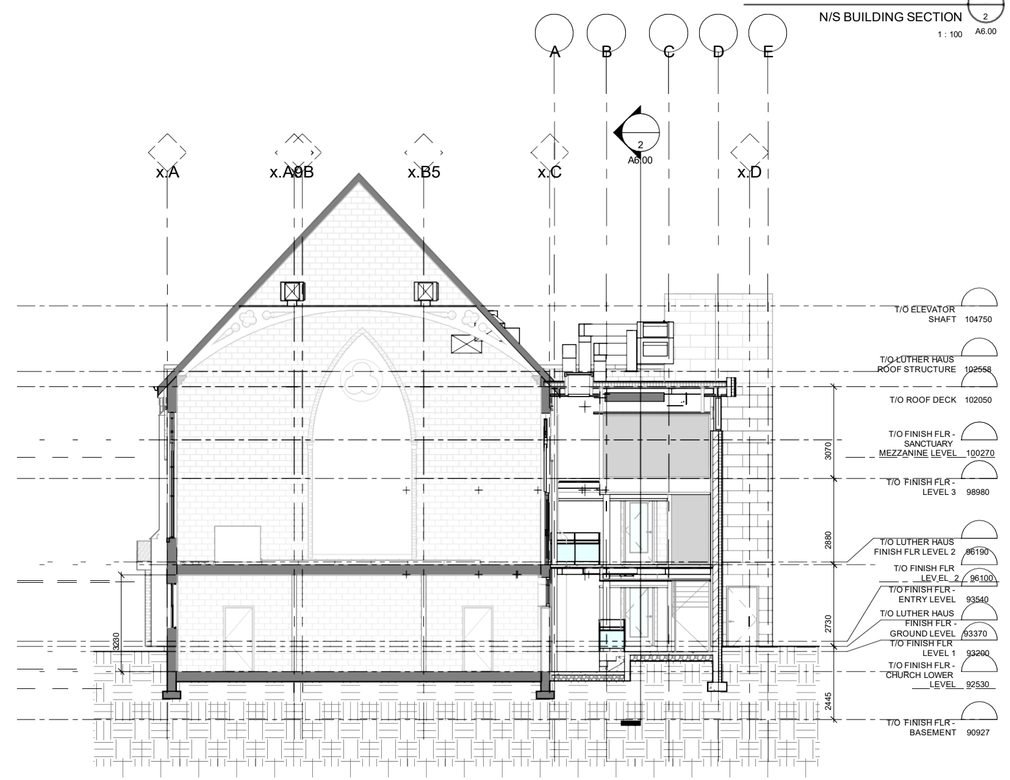

E/W BUILDING SECTION 1
1 : 100 A6.00

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REV.	DESCRIPTION	DATE YYYY/MM/DD

PROJECT NAME:
TRINITY LUTHERAN CHURCH

PROJECT ADDRESS:
104 HUGHSON ST N
HAMILTON, ON
L8R 1C6

PROJECT NO.:
24022

DRAWING TITLE:
BUILDING SECTIONS

DRAWN BY: SB

CHECKED BY: KB

DATE: SEPTEMBER 2024

SCALE: 1 : 100

DRAWING NO.:
A6.00

PLOTTED: 22/11/2024 4:55:36 PM