

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-25:085	SUBJECT PROPERTY:	29 Wiltshire Place, Ancaster
ZONE:	R1 (Low Density Residential)	ZONING BY-LAW:	Hamilton Zoning By-law No. 05-200

APPLICANTS: Owner: Lina El-Khali; Houssam Cheaib
Applicant: A. Draaistra Contracting Inc., Darren Draaistra
Agent: A. Draaistra Contracting Inc., Darren Draaistra

The following variances are requested:

1. A canopy, including eaves and gutters may encroach a maximum of 3.65 metres into the required rear yard instead of the maximum permitted encroachment of 1.5 metres.

PURPOSE & EFFECT: To permit the construction of a new canopy attached to the rear of the existing Single Detached Dwelling.

- i. This variance is required to facilitate Building Permit Application No. 24-7896 for alterations to the exterior of the single detached dwelling to construct a 30.0m² deck in the rear yard.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, May 29, 2025
TIME:	1:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

A-25:085

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

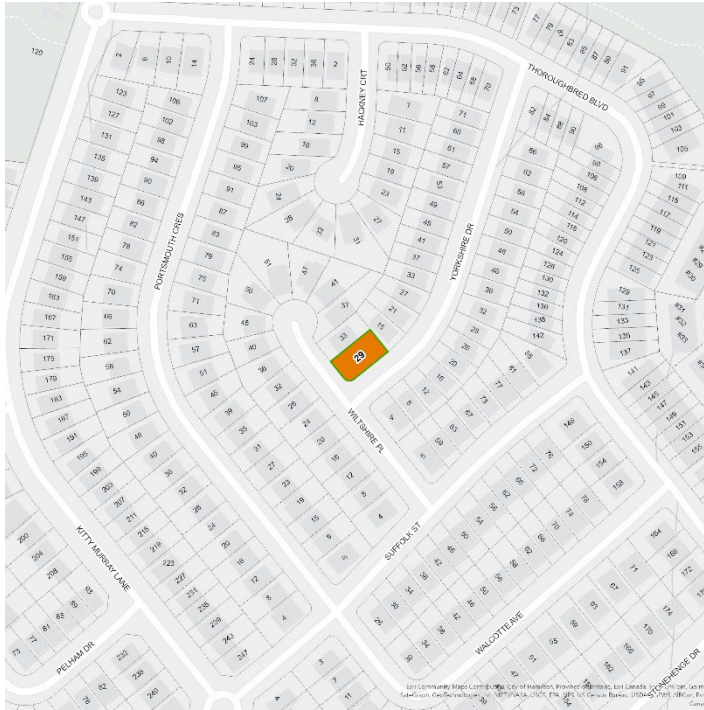
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon May 27, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon May 28, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:085, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: May 12, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

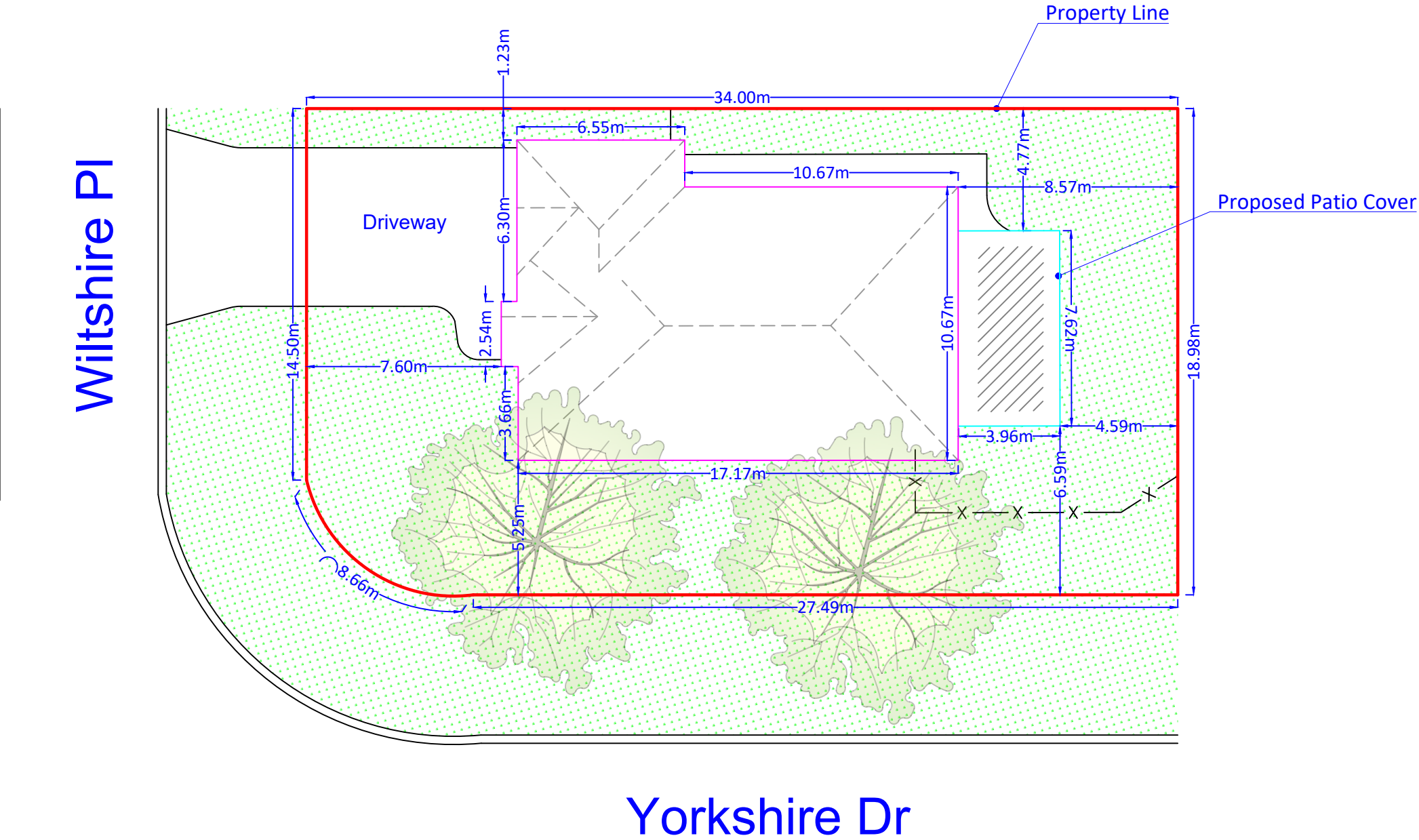
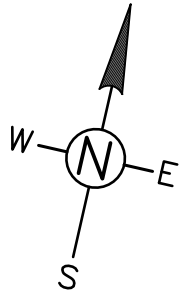
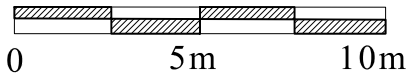
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

SITE PLAN



ADDRESS: 29 Wiltshire Pl
Ancaster, ON L9K 1M4
Scale: 1:200

THIS IS NOT A LEGAL SURVEY, NOR IS IT INTENDED TO BE OR REPLACE ONE
This work product represents only generalized locations of features, objects or boundaries and should not be relied upon as being legally authoritative for the precise location of any feature, object or boundary.



29 WILTSHIRE PLACE
HAMILTON, ONTARIO
L9K 1M4

PATIO COVER



SPECIAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO LAST EDITION OF NATIONAL BUILDING CODE OF CANADA AND CURRENT EDITION OF ONTARIO BUILDING CODE
 - ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION
 - DRAWINGS TO BE USED SOLELY FOR THE PROJECT IDENTIFIED ON SHEETS
 - ALL FOOTINGS TO BE BUILT ON UNDISTURBED SOILED AND BE A MNIMUM OF 4' BELOW FINISHED GRADE
 - BACKFILL TO BE COMPACTED IN 6" LAYERS
 - DRAWINGS ARE NOT TO BE SCALED
- THESE DRAWINGS ARE PROTECTED BY COPYRIGHT LAWS AND SHALL NOT BE USED, ALTERED, TRANSFERED OR REPODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN AUTHORIZATION OF A. DRAAISTRA CONTRACTING INC.

CONCRETE:

- ALL CONCRETE TO CONFORM TO CSA A23.1/A23.2
- FULL COMPRESSIVE STATE AT 28 DAYS
- AIR ENTRAINMENT 5-8%
- RELIEF CUTS IN CONCRETE SLAB TO BE DONE WITHIN 24HRS OF POURING

LUMBER:

- ALL FRAMING LUMBER TO BE GRADE 2 OR BETTER
- ALL LUMBER EXPOSED TO MOISTURE TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED
- ENGINEERED DESIGN DRAWNINGS REQUIRED FOR ALL EWP DESIGN
- ENGINEERED AND SEALED DRAWINGS REQUIRED FOR TRUSS COMPONENTS AND TRUSS LAYOUT
- TRUSS BRACING AND STRAPPING AND ANY REQUIRED CONNECTORS TO BE SPECIFIED BY TRUSS MANUFACTURER
- TRUSS TIE DOWN TO SUSTAIN UPLIFT AND /OR LATERAL MOVEMENT SHOWN ON TRUSS DESIGN AND COLUMN PIER

STEEL:

- DEFORMED CONCRETE REINFORCEMENT BAR TO COMPLY WITH CSA G30.18-09
- REINFORCING BAR TO BE GRADE 400R OR BETTER
- STRUCTURAL STEEL SHALL BE IN ACCORDANCE TO CSA G40.21 - GRADE 350W. BOLTS SHALL BE GRADE #5 OR EQUIVALENT



Darren Draaistra
Designer - Sales
74066 WELLANDPORT ROAD,
WELLANDPORT, ONTARIO
289-455-8310
darren@adraaistracontracting.ca

Natural Light Patio Covers

MOBILE:

DRAWN BY: D. DRAAISTRA

SCALE: 3/16" = 1'-0"

DATE: March 4, 2025

PAGE:

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TITLE PAGE



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"



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MOBILE:

DRAWN BY: D. DRAAISTRA

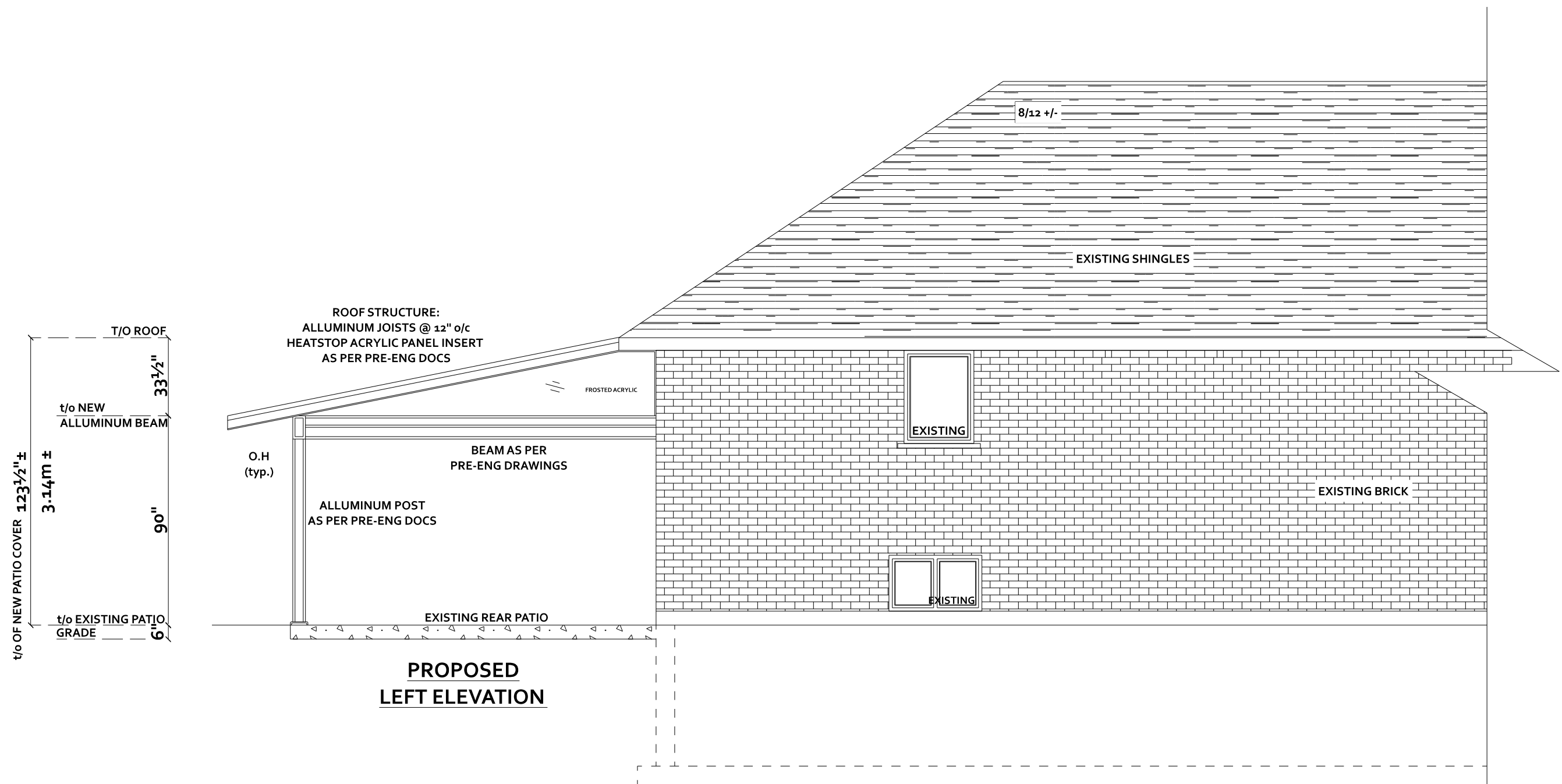
SCALE: 1/4" = 1'-0"

DATE: March 4, 2025

PAGE:

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PROPOSED ELEVATIONS



PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"



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MOBILE:

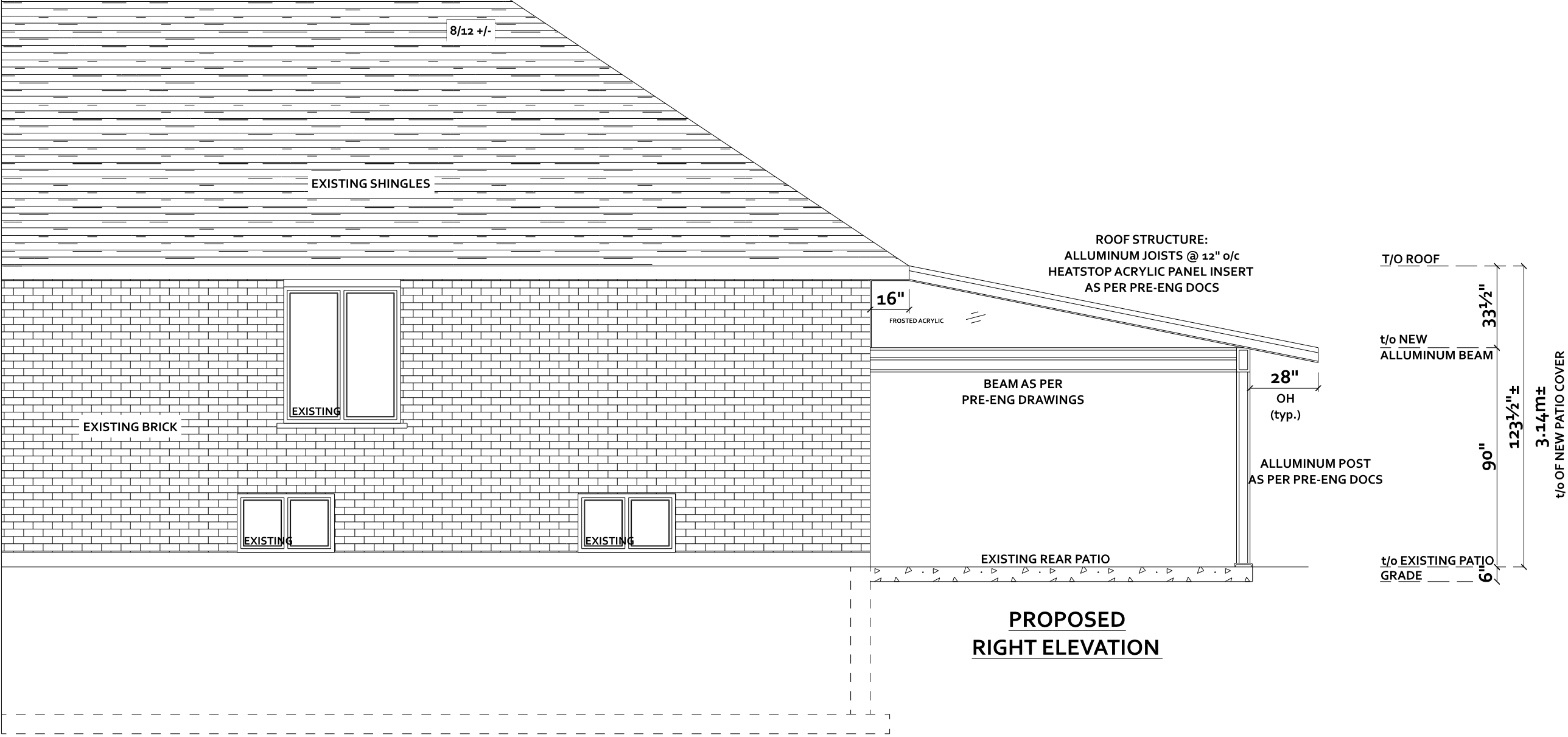
DRAWN BY: D. DRAAISTRA

SCALE: 1/4" = 1'-0"

DATE: March 4, 2025

PAGE:

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LEFT ELEVATION



PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



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Natural Light Patio Covers

MOBILE:

DRAWN BY: D. DRAAISTRA

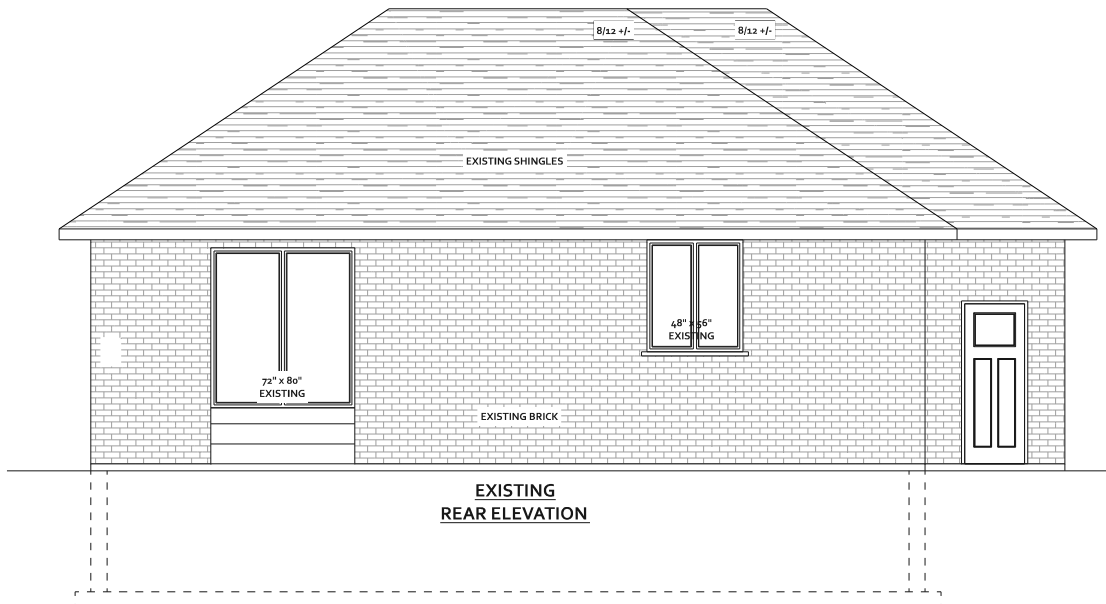
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DATE: March 4, 2025

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RIGHT ELEVATION



 <p>DRAAISTRA CONTRACTING</p> <p>Darren Draaistra Designer - Sales 74066 WELLANDPORT ROAD, WELLANDPORT, ONTARIO 289-455-8310 darren@adraaistracontracting.ca</p>	<h1>Natural Light Patio Covers</h1>	
	<p>MOBILE:</p>	
	<p>DRAWN BY: D. DRAAISTRA</p>	<p>PAGE:</p> <p>6 / 6</p>
	<p>SCALE: As Noted</p>	
<p>DATE: March 4, 2025</p>		<p>EXISTING ELEVATIONS</p>



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
Building Division
71 Main Street West – 3rd Floor
Hamilton, Ontario, Canada, L8P 4Y5
Phone: 905.546.2720 Fax: 905.546.2764
www.hamilton.ca

DATE: November 25, 2024

Lina El Khalil

[REDACTED]
[REDACTED]

RE: 29 WILTSHIRE PLACE
Building Permit Application Number 24-7896
Building Permit Application Review Letter #1

The following item(s) are required to be addressed prior to further review of the above-noted building permit application:

Item	Fees/Charges Payable to the City of Hamilton prior to permit issuance	Amount
F1.	A Surcharge Fee of \$283.00 is outstanding. You can pay this fee at the 3rd floor front counter.	\$283.00

Item	Zoning	Reference
Z1.	This property is in an R1 zone under the 05-200 by-law. A rear setback of 6m is required for a covered patio/porch. As you currently have a rear setback of 4.21m you will either need to revise your site plan location or successfully apply for a Minor Variance with the Committee of Adjustment. You can contact them at cofa@hamilton.ca	

Item	Ontario Building Code Unless otherwise noted all Ontario Building Code (OBC) references are Division B; [A] - Division A; [C] - Division C.	Reference
C1.	The provided engineered specification package for the covered patio does provide general information on the product however, site specific drawings	<insert reference>

	showing foundation, dwelling attachment details etc are required. These drawings can be completed by a qualified designer such as a BCIN designer with structural, Architect or Professional Engineer.	
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Note: Responding information will only be reviewed if provided in a single comprehensive submission complete with an itemized covering letter. Incomplete submissions will be subject to additional fees.

All documents shall be signed by the applicable required design professional(s). When revised drawings are submitted provide two (2) copies sealed and signed by the design professional(s).

Please be advised that should revised drawings be received that do not address the above-noted issues, there may be additional plan review fees owing in the amount of \$170.00 per hour of review time.

If you require further information, please contact Plan Reviewer at (905) 546-2424 ext. 4670.

Regards,



Jocelyn Vanderveken
Plan Examiner / Permit Application Specialist
For Director, Building Division



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	Lina El-Khalil Houssam Cheaib	
Applicant(s)	A. Draaistra Contracting Inc. Darren Draaistra	
Agent or Solicitor	A. Draaistra Contracting Inc. Darren Draaistra	

1.2 Primary contact

☒ Applicant

☐ Owner
☐ Agent/Solicitor

1.3 Sign should be sent to

☐ Applicant

☒ Owner
☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes* ☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

☒ In person
☐ Cheque

☐ Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	29 Wiltshire Place, Ancaster Ontario		
Assessment Roll Number	14029030304		
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

4.59m rear yard setback for a Patio Cover (min 6m) a 1.41m difference

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

We are limited to our setback distance for the next patio cover

3.3 Is this an application 45(2) of the Planning Act.

☒ Yes

☐ No

If yes, please provide an explanation:

Minor Variance application

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
19.19m	34.35m	653.5m ²	20

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Family Dwelling	7.6 m	8.57m	1.23 m & 5.25m	01/01/2000

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Patio Cover	N/A	4.59m	6.59m & 4.77m	10/16/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- _____

4.6 Type of sewage disposal proposed: (check appropriate box)

☒ publicly owned and operated sanitary sewage

☐ system privately owned and operated individual

☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

☐ provincial highway

☐ municipal road, seasonally maintained

☒ municipal road, maintained all year _____

☐ right of way

☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Stay the same, Single Family Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single Detached Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

October 2021

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
N/A

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single Family Dwelling

7.4 Length of time the existing uses of the subject property have continued:

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

The patio cover still has a proper setback at 4.59m and there is still adequate space between the property line

7.6 What is the existing zoning of the subject land? R1 - Residential Low Density

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

☐ Yes

☒ No

If yes, please provide the file number: [REDACTED]

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
 - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
 - ☐ Hydrogeological Assessment
 - ☐ Septic Assessment
 - ☐ Archeological Assessment
 - ☐ Noise Study
 - ☐ Parking Study
-
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