



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-25:085</b>	<b>SUBJECT PROPERTY:</b>	29 Wiltshire Place, Ancaster
<b>ZONE:</b>	R1 (Low Density Residential)	<b>ZONING BY-LAW:</b>	Hamilton Zoning By-law No. 05-200

**APPLICANTS:** Owner: Lina El-Khali; Houssam Cheaib  
 Applicant: A. Draaistra Contracting Inc., Darren Draaistra  
 Agent: A. Draaistra Contracting Inc., Darren Draaistra

The following variances are requested:

1. A canopy, including eaves and gutters may encroach a maximum of 3.65 metres into the required rear yard instead of the maximum permitted encroachment of 1.5 metres.

**PURPOSE & EFFECT:** To permit the construction of a new canopy attached to the rear of the existing Single Detached Dwelling.

- i. This variance is required to facilitate Building Permit Application No. 24-7896 for alterations to the exterior of the single detached dwelling to construct a 30.0m<sup>2</sup> deck in the rear yard.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, May 29, 2025</b>
<b>TIME:</b>	<b>1:30 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

## A-25:085

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

### PUBLIC INPUT

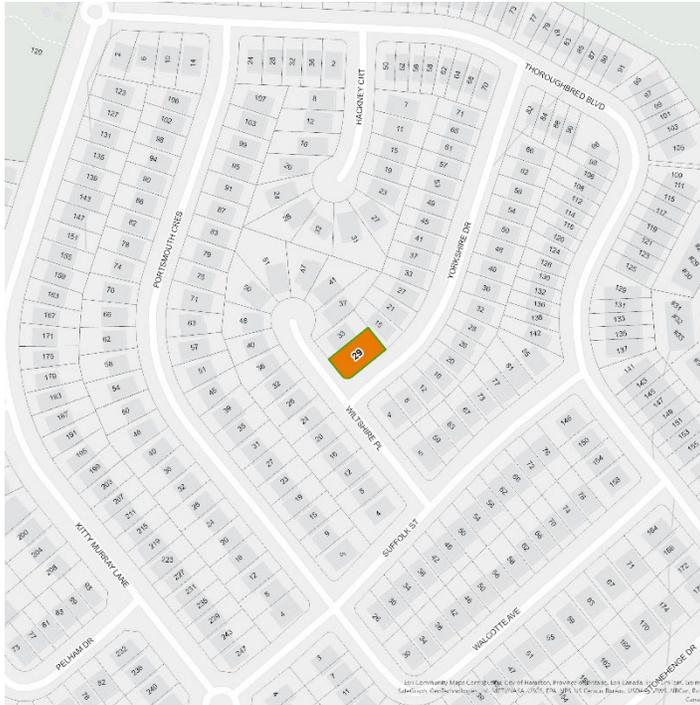
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon May 27, 2025

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon May 28, 2025

### FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:085, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: May 12, 2025

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Justin Leung,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

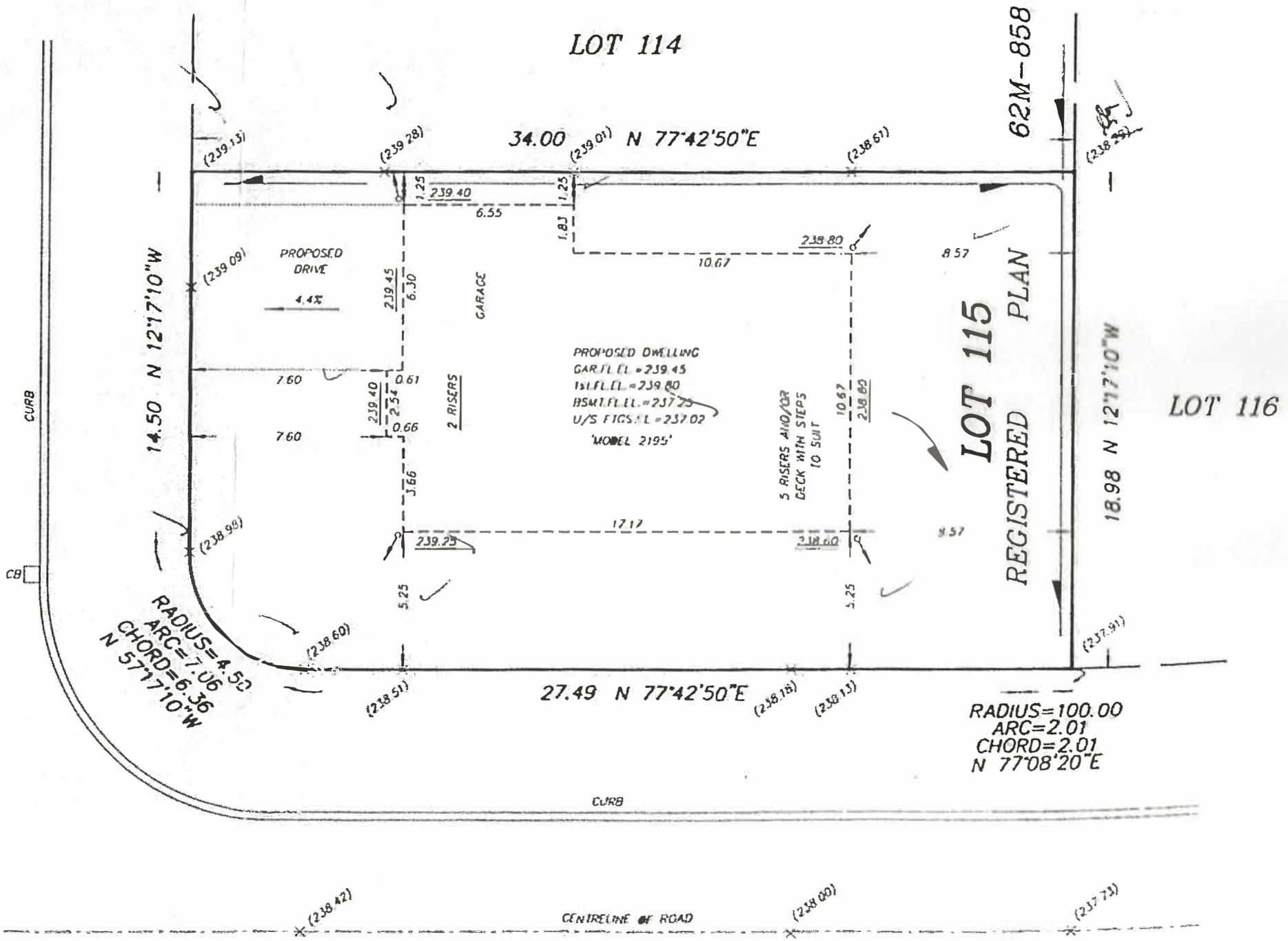
##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.





LOT 114

62M-858

34.00 (239.01) N 77°42'50"E

14.50 N 121°17'10"W

18.98 N 121°17'10"W

LOT 116

LOT 115  
REGISTERED PLAN

PROPOSED DWELLING  
GAR.F.L.L. = 239.45  
1st.F.L.L. = 239.80  
BSM1.F.L.L. = 237.75  
U/S F.L.L. = 237.02  
'MODEL 2195'

5 RISERS AND/OR  
DECK WITH STEPS  
TO SUIT

GARAGE

PROPOSED DRIVE  
4.4%

27.49 N 77°42'50"E

RADIUS=100.00  
ARC=2.01  
CHORD=2.01  
N 77°08'20"E

**YORKSHIRE DRIVE**

(ESTABLISHED ACCORDING TO REG'D PLAN 62M-858)



**29 WILTSHIRE PLACE  
HAMILTON, ONTARIO  
L9K 1M4**

**PATIO COVER**



**SPECIAL NOTES:**

- ALL CONSTRUCTION SHALL CONFORM TO LAST EDITION OF NATIONAL BUILDING CODE OF CANADA AND CURRENT EDITION OF ONTARIO BUILDING CODE
- ALL DIMENSIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION
- DRAWINGS TO BE USED SOLELY FOR THE PROJECT IDENTIFIED ON SHEETS
- ALL FOOTINGS TO BE BUILT ON UNDISTURBED SOILED AND BE A MNIMUM OF 4' BELOW FINISHED GRADE

- BACKFILL TO BE COMPACTED IN 6" LAYERS
- DRAWINGS ARE NOT TO BE SCALED

THESE DRAWINGS ARE PROTECTED BY COPYRIGHT LAWS AND SHALL NOT BE USED, ALTERED, TRANSFERRED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN AUTHORIZATION OF A. DRAAISTRA CONTRACTING INC.

**CONCRETE:**

- ALL CONCRETE TO CONFORM TO CSA A23.1/A23.2
- FULL COMPRESSIVE STATE AT 28 DAYS
- AIR ENTRAINMENT 5-8%

- RELIEF CUTS IN CONCRETE SLAB TO BE DONE WITHIN 24HRS OF POURING

**LUMBER:**

- ALL FRAMING LUMBER TO BE GRADE 2 OR BETTER
- ALL LUMBER EXPOSED TO MOISTURE TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED

- ENGINEERED DESIGN DRAWINGS REQUIRED FOR ALL EWP DESIGN
- ENGINEERED AND SEALED DRAWINGS REQUIRED FOR TRUSS COMPONENTS AND TRUSS LAYOUT

- TRUSS BRACING AND STRAPPING AND ANY REQUIRED CONNECTORS TO BE SPECIFIED BY TRUSS MANUFACTURER
- TRUSS TIE DOWN TO SUSTAIN UPLIFT AND /OR LATERAL MOVEMENT SHOWN ON TRUSS DESIGN AND COLUMN PIER

**STEEL:**

- DEFORMED CONCRETE REINFORCEMENT BAR TO COMPLY WITH CSA G30.18-09
- REINFORCING BAR TO BE GRADE 400R OR BETTER
- STRUCTURAL STEEL SHALL BE IN ACCORDANCE TO CSA G40.21 - GRADE 350W. BOLTS SHALL BE GRADE #5 OR EQUIVALENT



**Darren Draaistra**  
Designer - Sales  
74066 WELLANDPORT ROAD,  
WELLANDPORT, ONTARIO 289-455-8310  
darren@adraaistracontracting.ca

**Natural Light Patio Covers**

MOBILE:

DRAWN BY: D. DRAAISTRA

SCALE: 3/16" = 1'-0"

DATE: March 4, 2025

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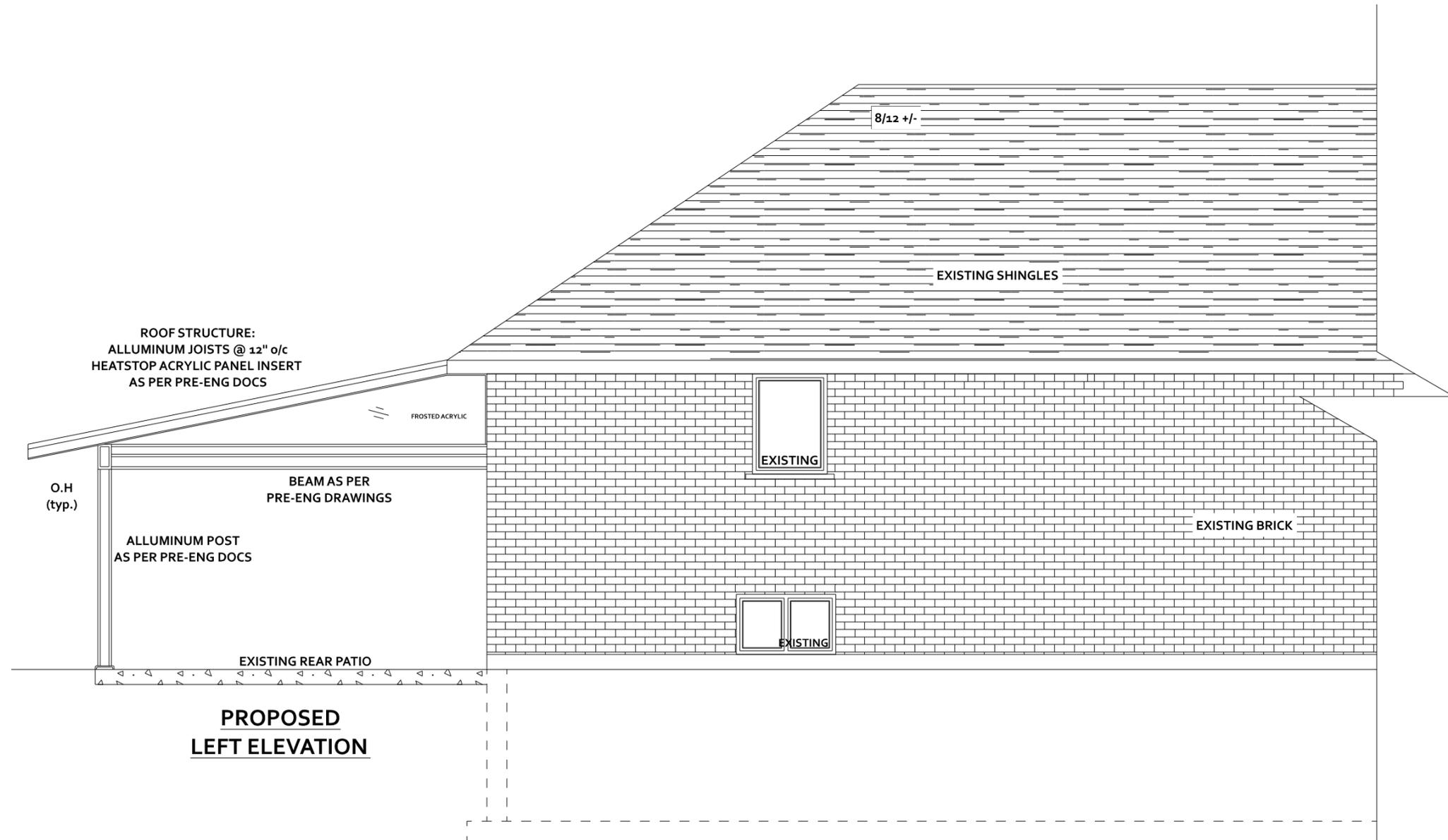
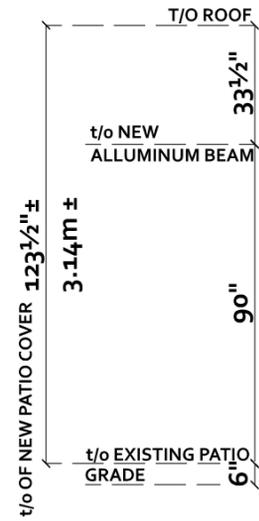
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TITLE PAGE



**PROPOSED REAR ELEVATION**

SCALE: 1/4" = 1'-0"

 <b>DRAAISTRA</b> CONTRACTING Darren Draaistra Designer - Sales 74066 WELLANDPORT ROAD, WELLANDPORT, ONTARIO 289-455-8310 darren@adraaistracontracting.ca	<b>Natural Light Patio Covers</b>	
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	SCALE: 1/4" = 1'-0"	PROPOSED ELEVATIONS
DATE: March 4, 2025		

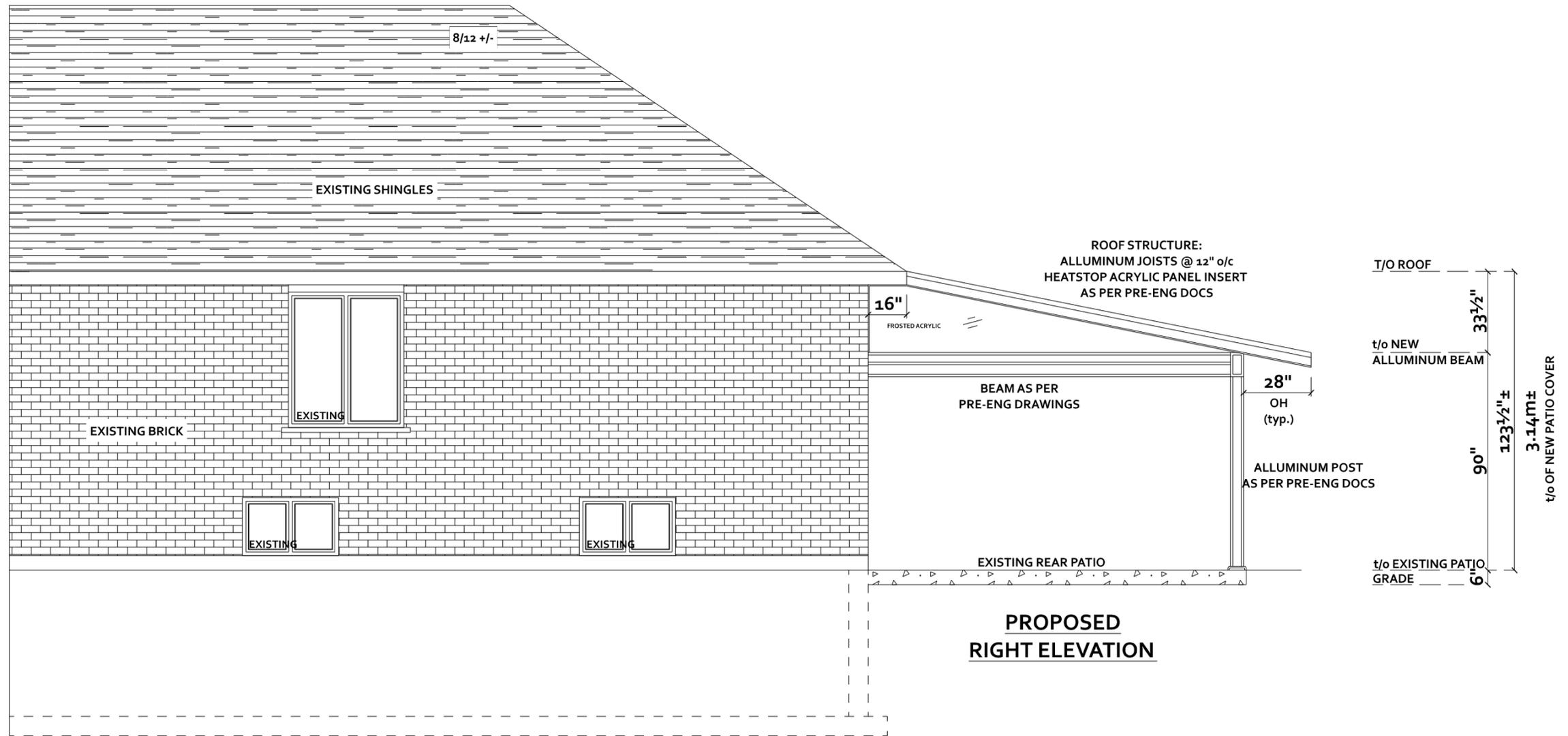


**PROPOSED  
LEFT ELEVATION**

**PROPOSED LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

 <b>DRAAISTRA</b> CONTRACTING	<b>Natural Light Patio Covers</b>	
	MOBILE:	
74066 WELLANDPORT ROAD, WELLANDPORT, ONTARIO	Darren Draaistra Designer - Sales 289-455-8310 darren@adraaistracontracting.ca	DRAWN BY: D. DRAAISTRA
		SCALE: 1/4" = 1'-0"
		DATE: March 4, 2025
		PAGE: <b>3 / 6</b> LEFT ELEVATION



**PROPOSED RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"



**DRAAISTRA**  
CONTRACTING

Darren Draaistra  
Designer - Sales  
74066 WELLANDPORT ROAD,  
WELLANDPORT, ONTARIO  
289-455-8310  
darren@adraaistracontracting.ca

**Natural Light Patio Covers**

MOBILE:

DRAWN BY: D. DRAAISTRA

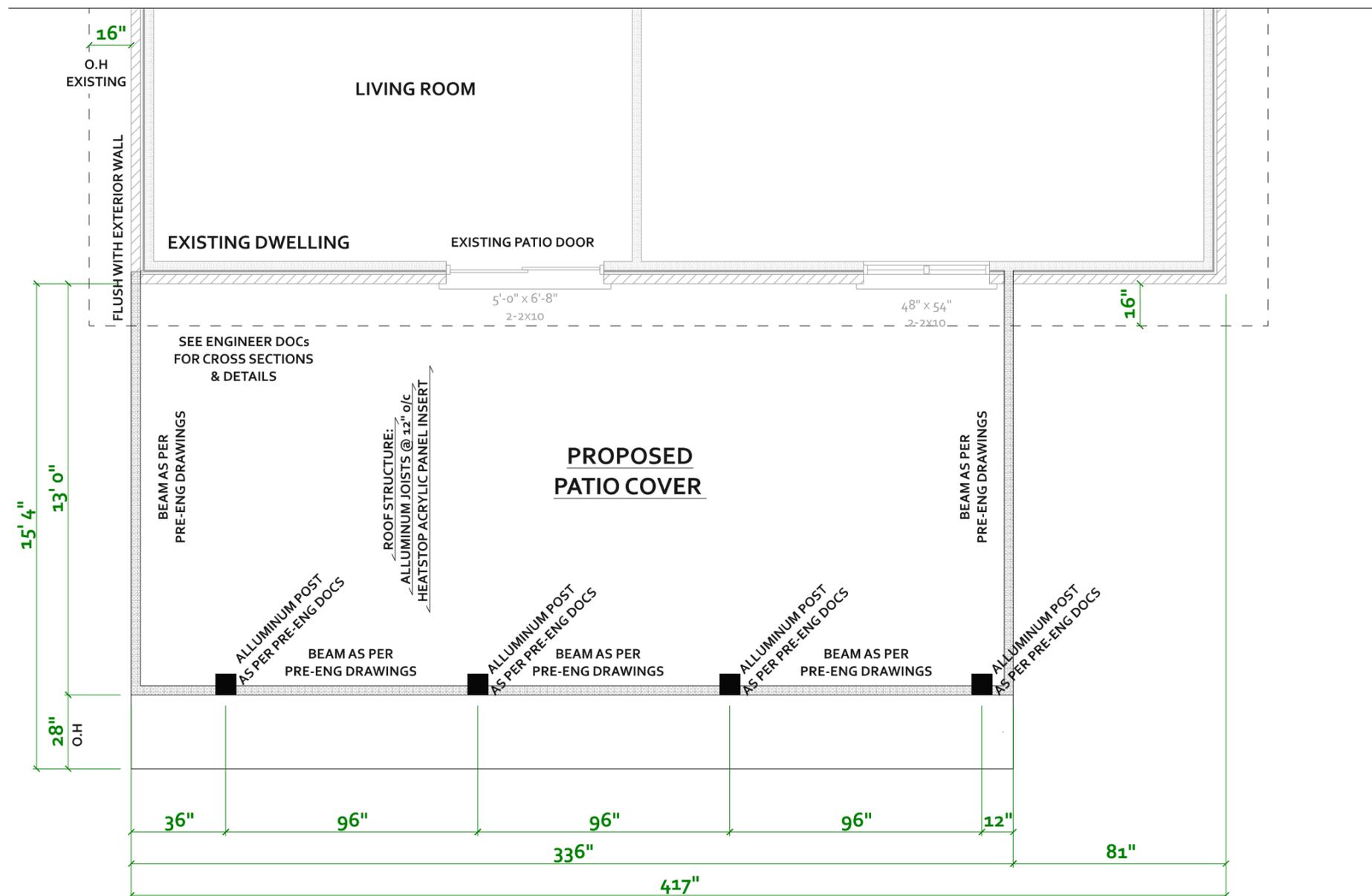
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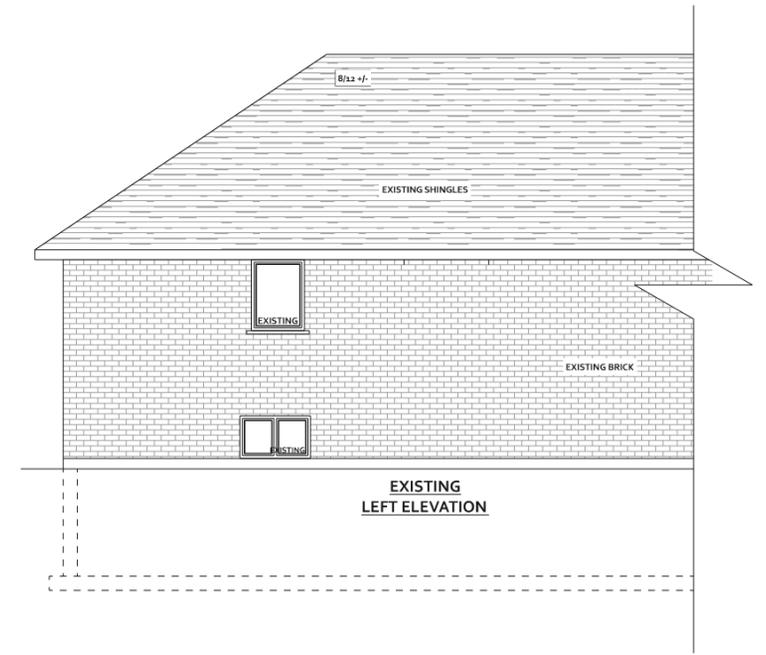
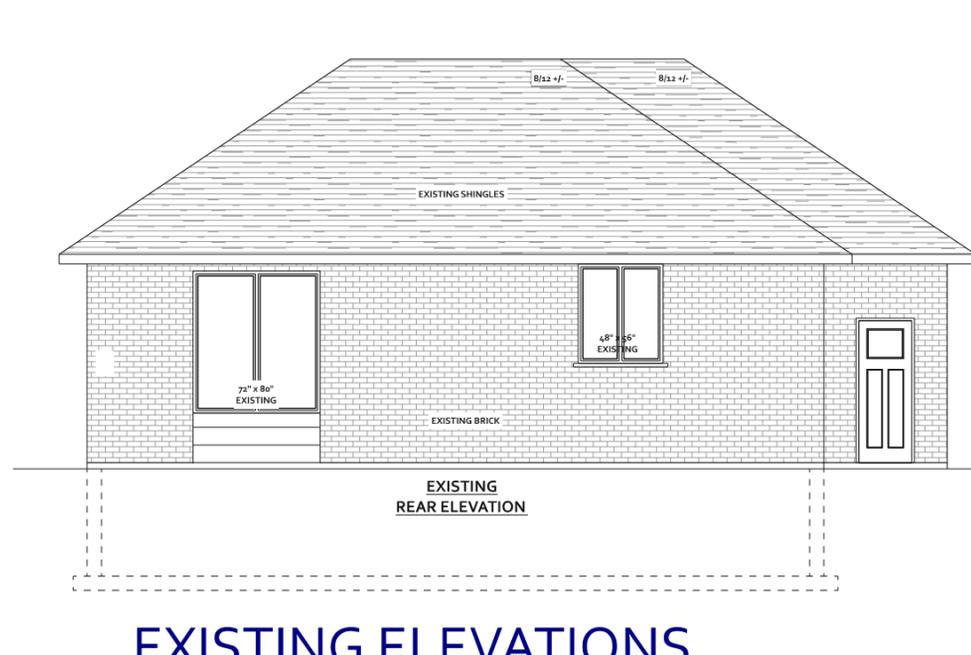
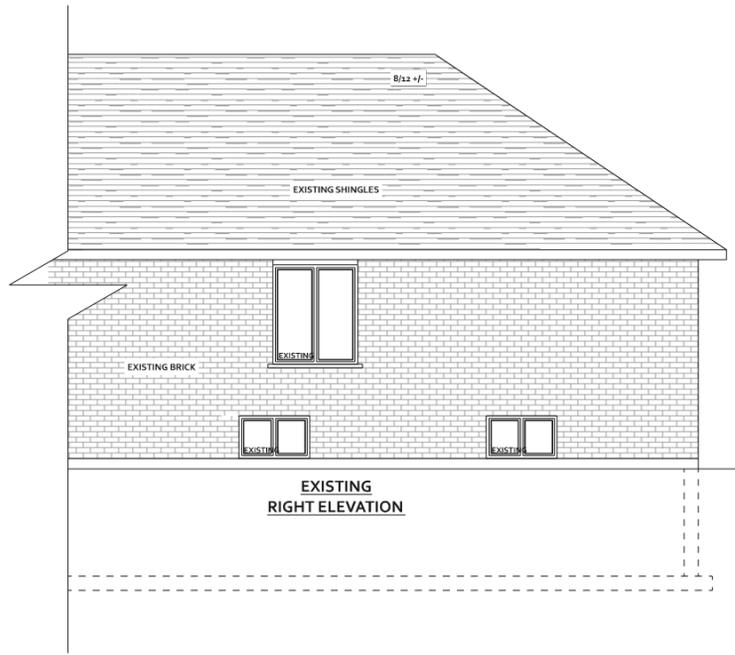
RIGHT ELEVATION



## PROPOSED PATIO COVER

SCALE: 1/4" = 1'-0"

 <b>DRAAISTRA</b> CONTRACTING Darren Draaistra Designer - Sales 74066 WELLANDPORT ROAD, WELLANDPORT, ONTARIO 289-455-8310 darren@adraaistracontracting.ca	<b>Natural Light Patio Covers</b>	
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	DRAWN BY: D. DRAAISTRA SCALE: 1/4" = 1'-0" DATE: March 4, 2025	PAGE: <div style="font-size: 2em; font-weight: bold;">5 / 6</div> FLOOR PLAN



# EXISTING ELEVATIONS

SCALE: 1/8" = 1'-0"

**9.3.4 CONCRETE**  
9.3.4.1 GENERAL  
(1) Except as provided in sentence (2), unreinforced and nonprestressed reinforced concrete shall be designed, mixed, placed, cured and finished in accordance with the requirements for "B" class concrete stated in clause 8.3 of CAN/CSA A308, "Concrete Mixtures and Methods of Concrete Construction."  
(2) Reinforced and nonprestressed site-batched concrete shall be designed, mixed, placed and cured in accordance with articles 9.3.4.1.1 to 9.3.4.1.5.

9.3.4.2 CEMENT  
(1) Cement shall meet the requirements of CAN/CSA A300, "Cementitious Materials for use in concrete."  
(2) Cement shall meet the requirements of CAN/CSA A308, "Concrete Mixtures and Methods of Concrete Construction."  
(3) Concrete in contact with sulfates, which is deleterious to normal cement, shall conform to the requirements in clause 10.5 of CAN/CSA A308, "Concrete Mixtures and Methods of Concrete Construction."  
(4) Aggregates shall conform to the requirements in clause 10.5 of CAN/CSA A308, "Concrete Mixtures and Methods of Concrete Construction."  
(5) Admixtures shall conform to the requirements in clause 10.5 of CAN/CSA A308, "Concrete Mixtures and Methods of Concrete Construction."  
(6) Water shall be clean and free of injurious amounts of organic and other deleterious material.  
(7) Water shall be clean and free of injurious amounts of oil, organic matter, sediment or any other deleterious material.

9.3.4.3 WATER  
(1) Except as provided elsewhere in this part, the compressive strength of unreinforced concrete after all grout shall not be less than:  
(a) 10 MPa for garage floors, carport floors and all exterior flatwork;  
(b) 15 MPa for exterior floors other than those for garages and carports; and  
(c) 15 MPa for all other applications.  
(2) The use of aggregates in unreinforced site-batched concrete mixes referred to in sentence (1) shall not exceed:  
(a) the distance between the sides of vertical form, or  
(b) the thickness of flatwork.

9.3.4.4 ADMIXTURES  
(1) Admixtures shall conform to ASTM C494/C494M "An accelerating admixture for concrete" or ASTM C493/C493M "Chemical admixture for concrete" as applicable.  
9.3.4.5 COLD WEATHER REQUIREMENTS  
(1) When the air temperature is below 10°C, concrete shall be:  
(a) kept at a temperature of not less than 10°C or more than 22°C while being mixed and placed; and  
(b) maintained at a temperature of not less than 10°C for 28 days after placing.  
(2) No frozen material or ice shall be used in concrete described in sentence (1).

**9.3.4.1.1 LUMBER & WOOD PRODUCTS**  
9.3.4.1.1.1 GENERAL  
(1) Lumber for joists, rafters, trusses and beams and for the uses listed in Table 9.23.1.2.1 shall be identified for a grade, class or quality by a grade as determined by the NDS, "Standard Grading Rules for Canadian Lumber."  
(2) Lumber shall be kiln-dried to a moisture content of not more than 19%.

9.3.4.1.1.2 STRENGTH & RIGIDITY  
(1) All members shall be framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity.  
9.3.4.1.1.3 PATTERNS  
(1) Unless otherwise indicated in part 9.3, all forms shall be of concrete steel and shall conform to the requirements in clause 10.5 of CAN/CSA A308, "Concrete Mixtures and Methods of Concrete Construction."  
(2) Formwork shall be designed to support the weight of the concrete and the weight of the formwork itself, plus the weight of the wind load, and shall be braced to prevent tipping or movement.  
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**Table 9.23.1.2.1**  
Wall Sheathing Thickness and Specifications  
Forming Part of Sentence 9.23.1.2.1(1)

Type of Sheathing	Minimum Thickness, mm	Material Standards
Exterior (insulating)	9.5	CAN/ULC-S361
Interior Sheathing	9.5	ASTM C1177 / C1177M ASTM C1208 / C1208M
Lumber	17.5	See Table 9.23.1.1
Mineral Fibre, Rigid Board, Type 2	25	CAN/ULC-S702.1
OSB, OSB Grade	6.0	CSA-Q407.0
OSB, OSB Grade, and Weatherboard, R-1 Grade	6.35	CSA-Q407.0
Phenolic board	25	CAN/CSA-S125M
Fibreglass Insulation	6.0	CSA-Q101 CSA-Q102
Polystyrene, Types 1 and 2	38	CAN/ULC-S701.1
Polystyrene, Types 3 and 4	25	CAN/ULC-S701.1
Polystyrene and Polyisocyanurate Type 1, board	38	CAN/ULC-S701.1
Polyurethane and Polyisocyanurate Types 2 and 3, board	25	CAN/ULC-S701.1

**Table 9.23.4.3**  
Maximum Spans for Steel Beams Supporting Floors in Dwelling Units<sup>(1)</sup>  
Forming Part of Sentence 9.23.4.3(1)

Section	Supported Joist Length, m (Half the sum of joist spans on both sides of the beam)				
	2.4	3.0	3.6	4.2	4.8
One Storey Supported					
W150 x 22	5.5	5.2	4.9	4.6	4.3
W200 x 21	6.5	6.2	5.9	5.7	5.4
W200 x 27	7.3	6.9	6.6	6.3	6.1
W200 x 31	7.8	7.4	7.1	6.8	6.6
W250 x 24	8.1	7.6	7.3	7.0	6.6
W250 x 33	9.2	8.7	8.3	8.0	7.7
W250 x 39	10.0	9.4	9.0	8.6	8.1
W310 x 31	10.4	9.8	9.4	8.9	8.4
W310 x 39	11.4	10.7	10.2	9.8	9.5
Two Storey Supported					
W150 x 22	4.9	4.4	4.1	3.8	3.4
W200 x 21	5.6	5.1	4.6	4.3	4.1
W200 x 27	6.4	6.1	5.6	5.3	4.9
W200 x 31	6.9	6.5	6.2	5.8	5.4
W250 x 24	6.8	6.1	5.6	5.2	4.9
W250 x 33	8.2	7.7	7.0	6.5	6.1
W250 x 39	8.8	8.3	7.8	7.2	6.8
W310 x 31	8.7	7.8	7.2	6.7	6.2
W310 x 39	10.0	9.3	8.5	7.9	7.4

**Table 9.10.14.4**  
Maximum Aggregate Area of Openings in Exterior Walls  
Forming Part of Sentence 9.10.14.4(1)

Occupancy Classification of Building	Minimum Total Area of Opening, % of Exterior Wall Area	Opening Dimensions, m																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
		1.2	1.5	1.8	2.1	2.4	2.7	3.0	3.3	3.6	3.9																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
Residential, Business and professional services and industrial	10	0	8	13	17	21	25	29	33	37	41	45	49	53	57	61	65	69	73	77	81	85	89	93	97	101	105	109	113	117	121	125	129	133	137	141	145	149	153	157	161	165	169	173	177	181	185	189	193	197	201	205	209	213	217	221	225	229	233	237	241	245	249	253	257	261	265	269	273	277	281	285	289	293	297	301	305	309	313	317	321	325	329	333	337	341	345	349	353	357	361	365	369	373	377	381	385	389	393	397	401	405	409	413	417	421	425	429	433	437	441	445	449	453	457	461	465	469	473	477	481	485	489	493	497	501	505	509	513	517	521	525	529	533	537	541	545	549	553	557	561	565	569	573	577	581	585	589	593	597	601	605	609	613	617	621	625	629	633	637	641	645	649	653	657	661	665	669	673	677	681	685	689	693	697	701	705	709	713	717	721	725	729	733	737	741	745	749	753	757	761	765	769	773	777	781	785	789	793	797	801	805	809	813	817	821	825	829	833	837	841	845	849	853	857	861	865	869	873	877	881	885	889	893	897	901	905	909	913	917	921	925	929	933	937	941	945	949	953	957	961	965	969	973	977	981	985	989	993	997	1001	1005	1009	1013	1017	1021	1025	1029	1033	1037	1041	1045	1049	1053	1057	1061	1065	1069	1073	1077	1081	1085	1089	1093	1097	1101	1105	1109	1113	1117	1121	1125	1129	1133	1137	1141	1145	1149	1153	1157	1161	1165	1169	1173	1177	1181	1185	1189	1193	1197	1201	1205	1209	1213	1217	1221	1225	1229	1233	1237	1241	1245	1249	1253	1257	1261	1265	1269	1273	1277	1281	1285	1289	1293	1297	1301	1305	1309	1313	1317	1321	1325	1329	1333	1337	1341	1345	1349	1353	1357	1361	1365	1369	1373	1377	1381	1385	1389	1393	1397	1401	1405	1409	1413	1417	1421	1425	1429	1433	1437	1441	1445	1449	1453	1457	1461	1465	1469	1473	1477	1481	1485	1489	1493	1497	1501	1505	1509	1513	1517	1521	1525	1529	1533	1537	1541	1545	1549	1553	1557	1561	1565	1569	1573	1577	1581	1585	1589	1593	1597	1601	1605	1609	1613	1617	1621	1625	1629	1633	1637	1641	1645	1649	1653	1657	1661	1665	1669	1673	1677	1681	1685	1689	1693	1697	1701	1705	1709	1713	1717	1721	1725	1729	1733	1737	1741	1745	1749	1753	1757	1761	1765	1769	1773	1777	1781	1785	1789	1793	1797	1801	1805	1809	1813	1817	1821	1825	1829	1833	1837	1841	1845	1849	1853	1857	1861	1865	1869	1873	1877	1881	1885	1889	1893	1897	1901	1905	1909	1913	1917	1921	1925	1929	1933	1937	1941	1945	1949	1953	1957	1961	1965	1969	1973	1977	1981	1985	1989	1993	1997	2001	2005	2009	2013	2017	2021	2025	2029	2033	2037	2041	2045	2049	2053	2057	2061	2065	2069	2073	2077	2081	2085	2089	2093	2097	2101	2105	2109	2113	2117	2121	2125	2129	2133	2137	2141	2145	2149	2153	2157	2161	2165	2169	2173	2177	2181	2185	2189	2193	2197	2201	2205	2209	2213	2217	2221	2225	2229	2233	2237	2241	2245	2249	2253	2257	2261	2265	2269	2273	2277	2281	2285	2289	2293	2297	2301	2305	2309	2313	2317	2321	2325	2329	2333	2337	2341	2345	2349	2353	2357	2361	2365	2369	2373	2377	2381	2385	2389	2393	2397	2401	2405	2409	2413	2417	2421	2425	2429	2433	2437	2441	2445	2449	2453	2457	2461	2465	2469	2473	2477	2481	2485	2489	2493	2497	2501	2505	2509	2513	2517	2521	2525	2529	2533	2537	2541	2545	2549	2553	2557	2561	2565	2569	2573	2577	2581	2585	2589	2593	2597	2601	2605	2609	2613	2617	2621	2625	2629	2633	2637	2641	2645	2649	2653	2657	2661	2665	2669	2673	2677	2681	2685	2689	2693	2697	2701	2705	2709	2713	2717	2721	2725	2729	2733	2737	2741	2745	2749	2753	2757	2761	2765	2769	27



Hamilton

DATE: November 25, 2024

Lina El Khalil

[Redacted]  
[Redacted]

**RE: 29 WILTSHIRE PLACE**  
**Building Permit Application Number 24-7896**  
**Building Permit Application Review Letter #1**

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The following item(s) are required to be addressed prior to further review of the above-noted building permit application:

Item	Fees/Charges Payable to the City of Hamilton prior to permit issuance	Amount
F1.	A Surcharge Fee of \$283.00 is outstanding. You can pay this fee at the 3rd floor front counter.	\$283.00

Item	Zoning	Reference
Z1.	This property is in an R1 zone under the 05-200 by-law. A rear setback of 6m is required for a covered patio/porch. As you currently have a rear setback of 4.21m you will either need to revise your site plan location or successfully apply for a Minor Variance with the Committee of Adjustment. You can contact them at <a href="mailto:cofa@hamilton.ca">cofa@hamilton.ca</a>	

Item	Ontario Building Code Unless otherwise noted all Ontario Building Code (OBC) references are Division B; [A] - Division A; [C] - Division C.	Reference
C1.	The provided engineered specification package for the covered patio does provide general information on the product however, site specific drawings	<insert reference>

	showing foundation, dwelling attachment details etc are required. These drawings can be completed by a qualified designer such as a BCIN designer with structural, Architect or Professional Engineer.	
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**Note: Responding information will only be reviewed if provided in a single comprehensive submission complete with an itemized covering letter. Incomplete submissions will be subject to additional fees.**

All documents shall be signed by the applicable required design professional(s). When revised drawings are submitted provide two (2) copies sealed and signed by the design professional(s).

Please be advised that should revised drawings be received that do not address the above-noted issues, there may be additional plan review fees owing in the amount of \$170.00 per hour of review time.

If you require further information, please contact Plan Reviewer at (905) 546-2424 ext. 4670.

Regards,



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Jocelyn Vanderveken  
Plan Examiner / Permit Application Specialist  
For Director, Building Division



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS
<b>Registered Owners(s)</b>	Lina El-Khalil Houssam Cheaib	[REDACTED]
<b>Applicant(s)</b>	A. Draaistra Contracting Inc. Darren Draaistra	
<b>Agent or Solicitor</b>	A. Draaistra Contracting Inc. Darren Draaistra	

1.2 Primary contact  Owner  Applicant  Agent/Solicitor

1.3 Sign should be sent to  Applicant  Owner  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent [REDACTED]

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type  In person  Credit over phone\*  
 Cheque

\*Must provide number above

## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	29 Wiltshire Place, Ancaster Ontario		
Assessment Roll Number	14029030304		
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

## 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

4.59m rear yard setback for a Patio Cover (min 6m) a 1.41m difference

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

We are limited to our setback distance for the next patio cover

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

Minor Variance application

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
19.19m	34.35m	653.5m <sup>2</sup>	20

4.2 Location of all buildings and structures on or proposed for the subject lands:  
 (Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Family Dwelling	7.6 m	8.57m	1.23 m & 5.25m	01/01/2000

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Patio Cover	N/A	4.59m	6.59m & 4.77m	10/16/2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
  - privately owned and operated individual well

- lake or other water body
- other means (specify)

\_\_\_\_\_

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
  - swales

- ditches
- other means (specify)

\_\_\_\_\_



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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: \_\_\_\_\_

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
- \_\_\_\_\_
- \_\_\_\_\_