



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-25:011	SUBJECT PROPERTY:	49 Upper Lake Avenue, Stoney Creek
ZONE:	R1 (Low Density Residential)	ZONING BY-LAW:	Hamilton Zoning By-law 05-200, as Amended by By-law 24-051

APPLICANTS: Owner: Steve Wachnuik
 Agent: Michael P. Sabelli

The following variances are requested:

1. A maximum gross floor area of 57.5 square metres and a maximum building height of 6.045 metres shall be permitted for all buildings accessory to the single detached dwelling instead of the requirement that all buildings accessory to a single detached dwelling shall not exceed a maximum gross floor area of 45 square metres and shall have a maximum building height of 4.5 metres.

PURPOSE & EFFECT: To facilitate the construction of a second-floor addition to an existing storage garage.

Notes:

- i. The variance has been written as requested by the applicant. Additional variances may be required if zoning conformity cannot be achieved.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, May 29, 2025
TIME:	1:55 p.m.
PLACE:	Via video link or call in (see attached sheet for details)

	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

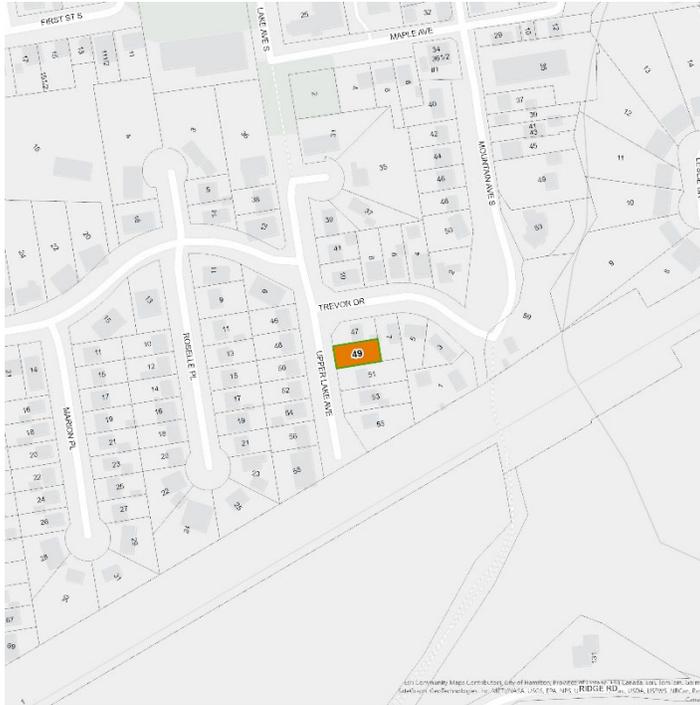
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon May 27, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon May 28, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:011, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: May 12, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

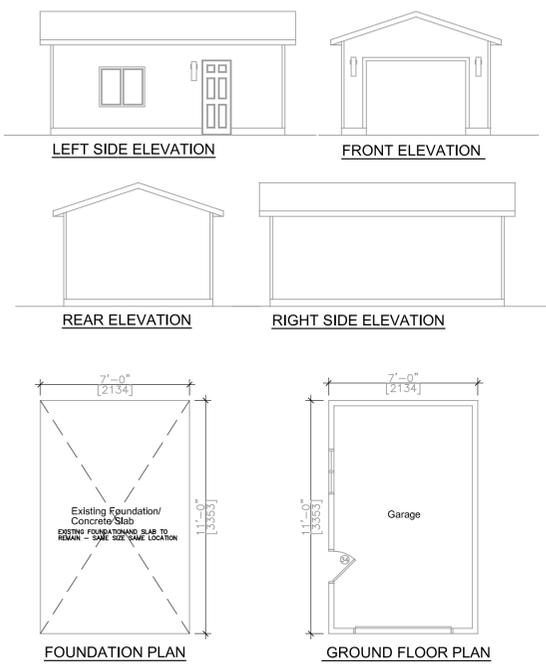
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

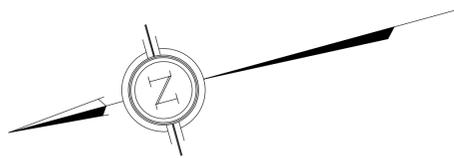
Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



Existing Storage Garage



NOTE:
ALL PROPOSED RAIN WATER LEADERS TO DISCHARGE ANY RAIN WATER ON PROPERTY OR EXISTING SWALES.
NO WATER IS TO BE DRAINED ON TO ADJACENT PROPERTIES OR WALKWAYS OR DRIVEWAYS.

NOTE:
THIS PLOT PLAN IS NOT A SURVEY. UNIQUE DESIGNS DESIGN INC. DOES NOT GUARANTEE THE ACCURACY OF THIS DOCUMENT NOR DOES UNIQUE DESIGNS INC. CLAIM TO HAVE THE QUALIFICATIONS TO PRODUCE A DRAWING INTENDED FOR THE USE AS A SURVEY. THE DRAWING PRODUCED IS INTENDED TO BE USED ONLY AS A DIAGRAM TO COMPLEMENT THE PROVIDED ARCHITECTURAL DRAWINGS. SPECIFICALLY, FOR THE PURPOSES OF ORIENTATION, ZONING, LIMITING DISTANCES AND BUILDING HEIGHT AND THEIR RELATIONSHIP WITH THE INTENDED USE OF THE BUILDING. TRUE SITE SETBACKS MAY NEED TO BE PROVIDED BY A QUALIFIED LAND SURVEYOR.

SITE STATISTICS

MUNICIPAL ADDRESS
49 UPPER LAKE AVE.,
STONE CREEK, ONT.

BUILDING CLASSIFICATION
RESIDENTIAL – SINGLE DETACHED DWELLING

ZONING
RESIDENTIAL – R1 ZONE

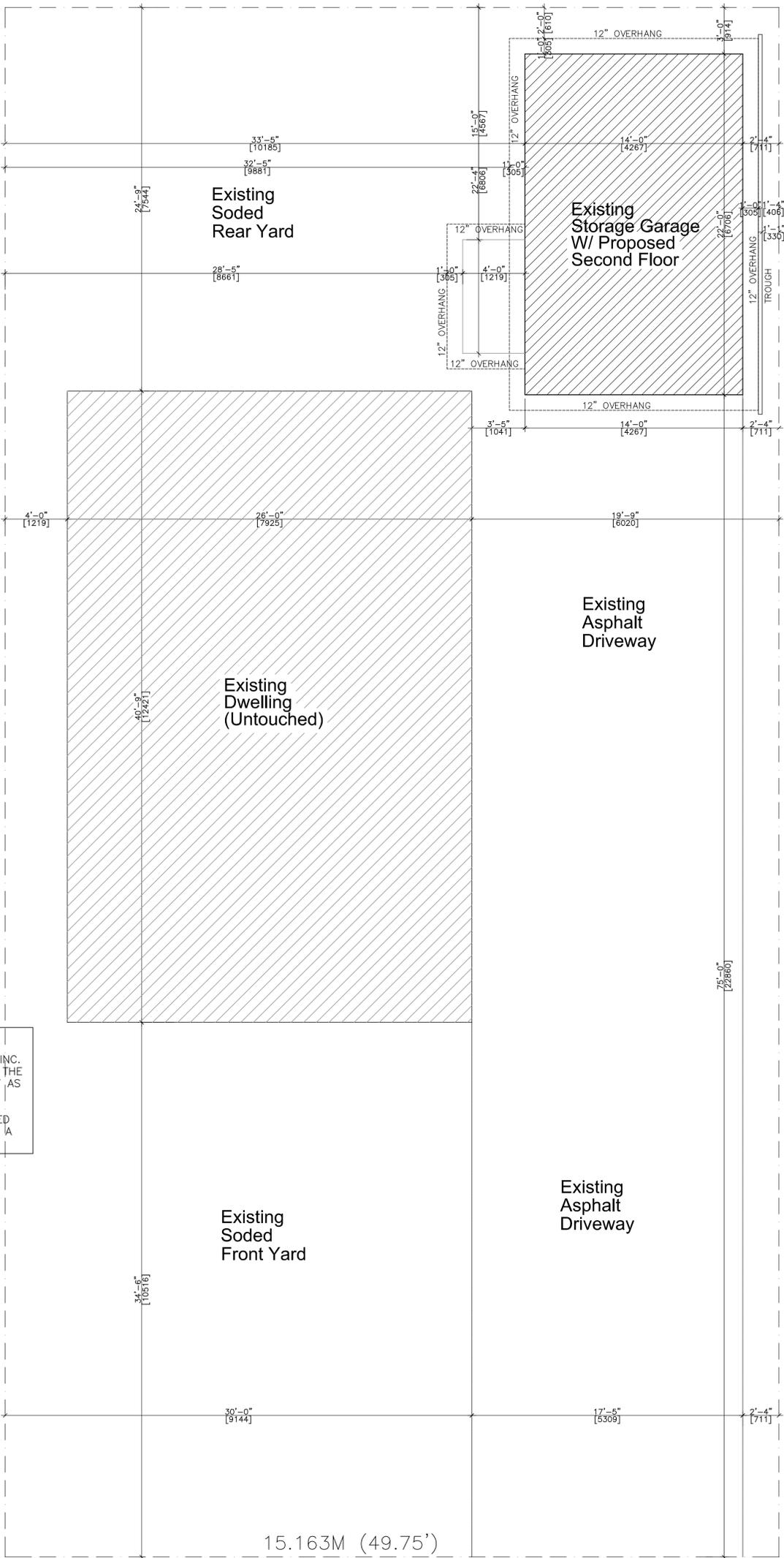
REQUIREMENTS FOR ACCESSORY BUILDING
MIN. SIDE YARDS 1.2M (3.93')
MIN. REAR YARD 1.2M (3.93')
MAX. BLDG HT. 4.50M (14.764')

EXISTING YARDS AT PROPOSED BUILDING
SIDE YARD (RIGHT) 2.33' (0.71M) EXISTING
SIDE YARD (LEFT) 33.45' (10.19M) EXISTING
REAR YARD 3.0' (0.914M) EXISTING
FRONT YARD N/A
LOT FRONTAGE 49.75' (15.63M) EXISTING

REQUIRED VARIANCES
+ ACCESSORY BLDG PROPOSED HT.
+ ACCESSORY BLDG SIDE / REAR YARD
+ ACCESSORY BLDG GFA – 616 SQ FT. (57.22M2)

LOT AREA
EXISTING 4975 SQ FT (462.192 M2)

30.48M (100.00')



UPPER LAKE AVE

SITE PLAN

PRELIMINARY

Job Number 102824	Date 11.12.24	Drawn By A0	Scale 1/4"=1'-0"
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WACHNUIK RESIDENCE

49 UPPER LAKE AVE.,
STONE CREEK, ONT.



UNIQUE DESIGNS INC.

PLOT PLAN

DO NOT SCALE DRAWINGS

No.	DATE	DESCRIPTION
1.	11.04.24	ISSUED FOR REVIEW
2.		
3.		
4.		
5.		
6.		
7.		
8.		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under O.B.C. Article 3.2.6.1 of the Building Code

MAURO FORTELLATO
Name
Signature

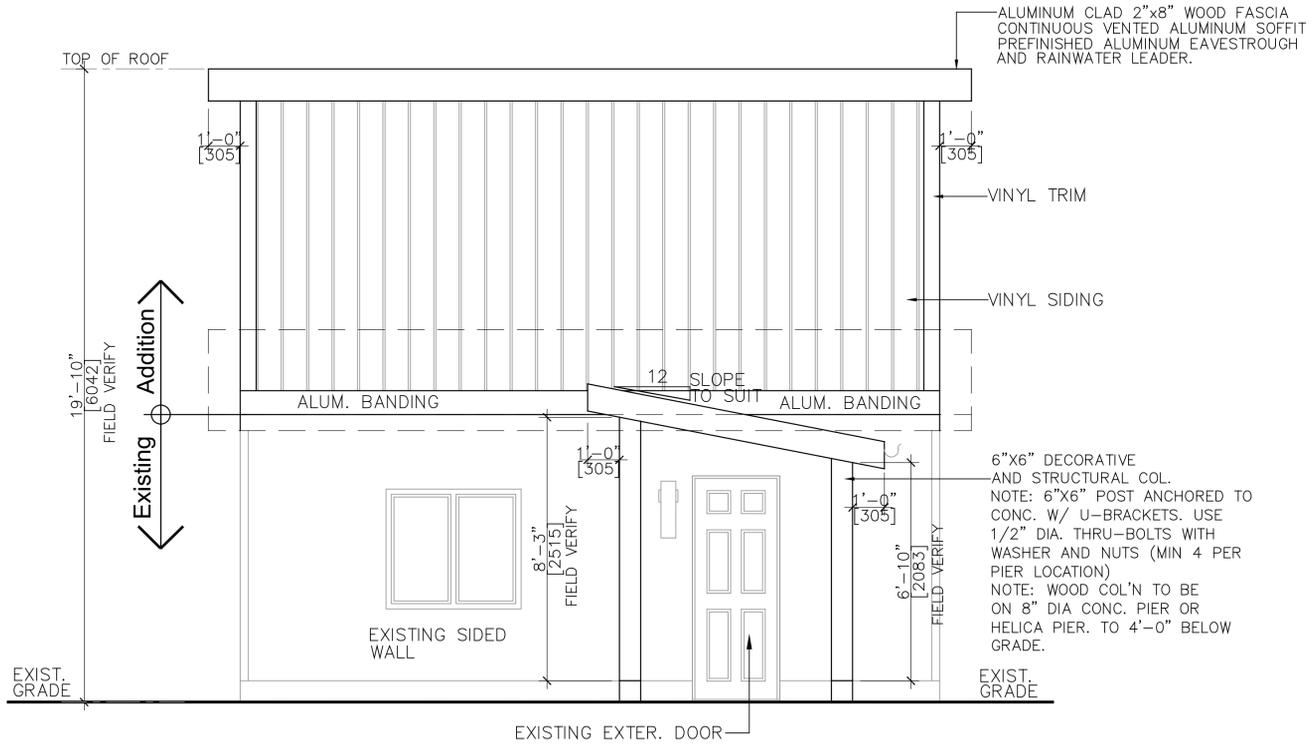
REGISTRATION INFORMATION
Required unless design is exempt under O.B.C. Article 3.2.6.1 of the Building Code

UNIQUE DESIGNS INC.
Firm Name

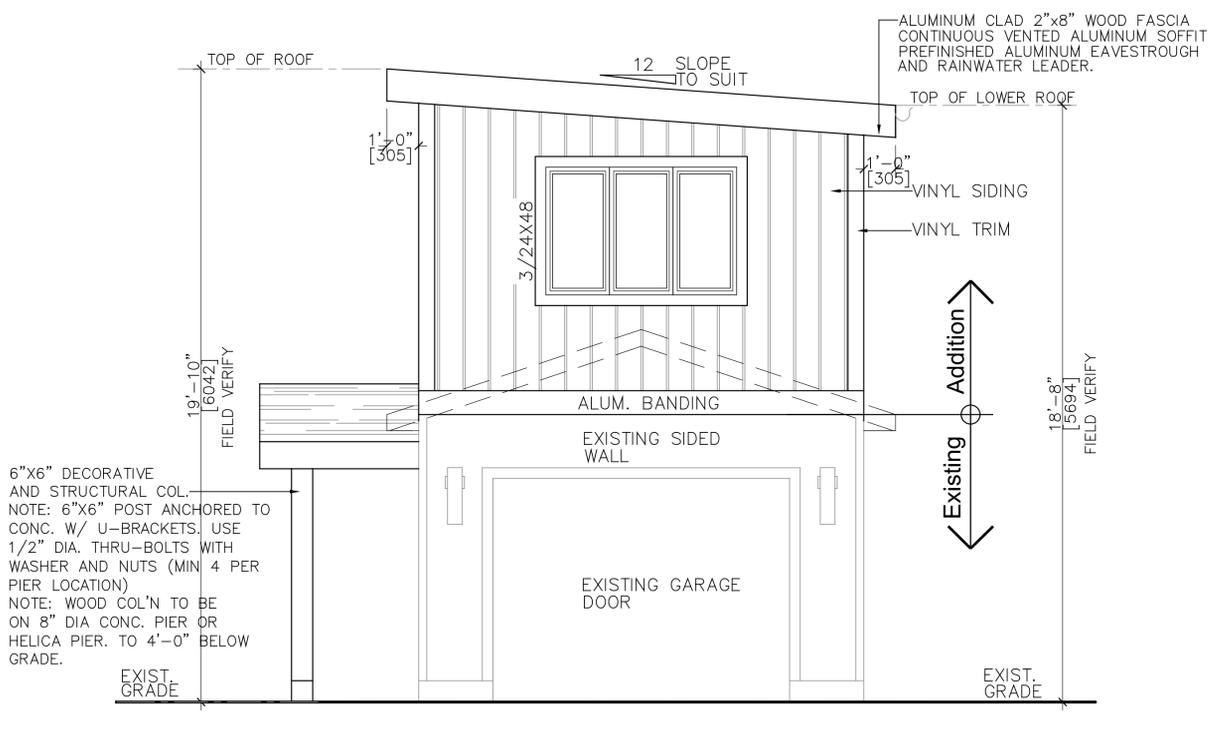
15084
BCH
31992
BCH

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

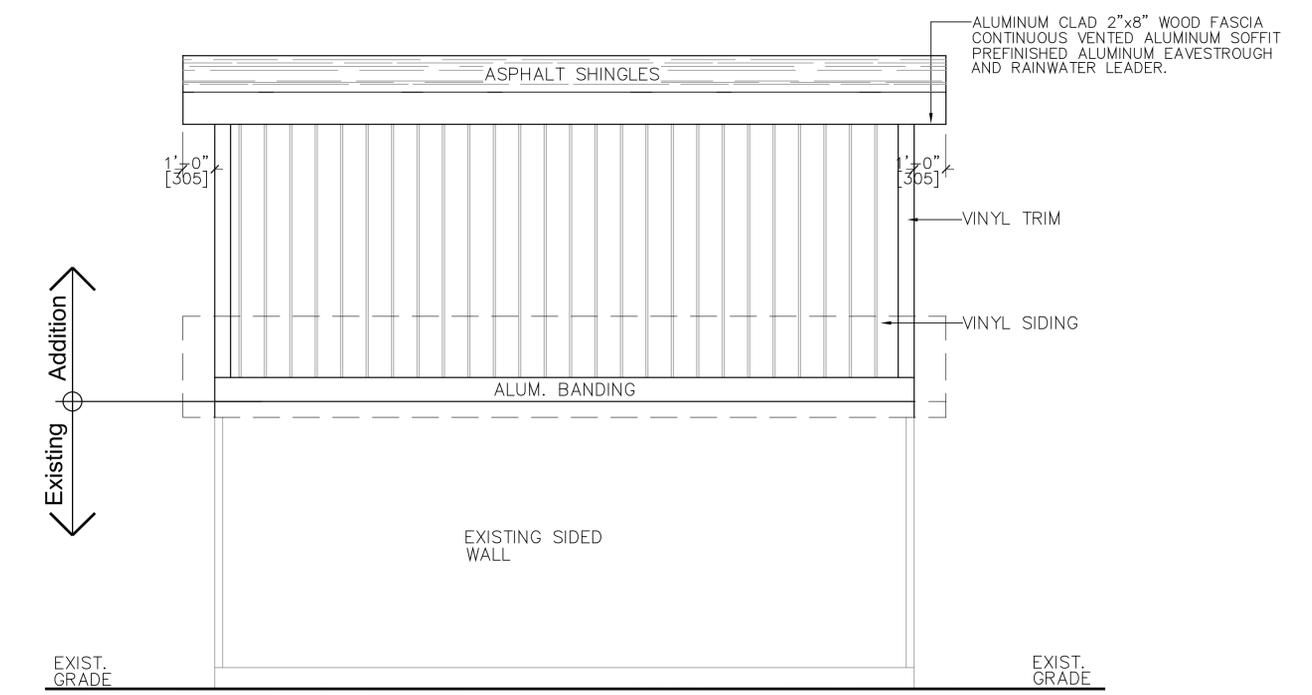
THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.



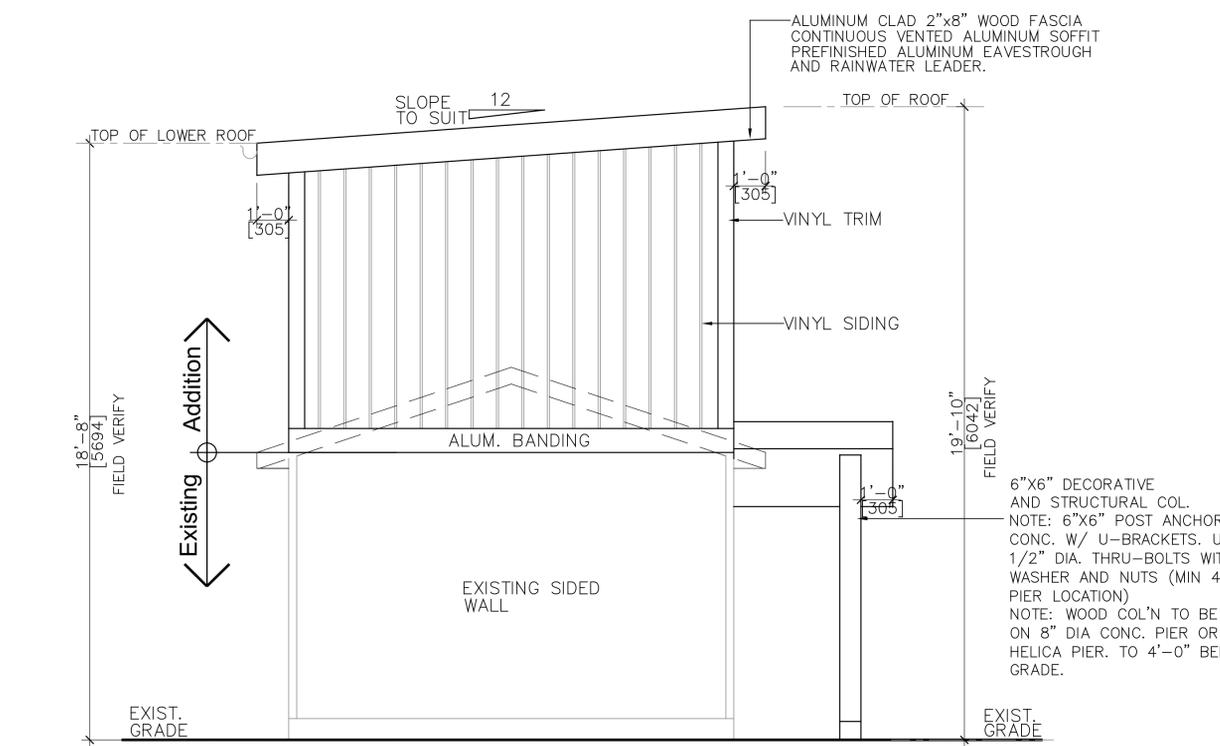
LEFT SIDE ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

No.	DATE	DESCRIPTION
1.	11.12.24	ISSUED FOR PERMIT
2.		
3.		
4.		
5.		
6.		
7.		
8.		

UNIQUE DESIGNS INC.

EXIST/PROPOSED ELEVATIONS



PROPOSED SECOND FLR ADDITION

WACHNUIK RESIDENCE

49 UPPER LAKE AVE., STONEY CREEK, ONT.

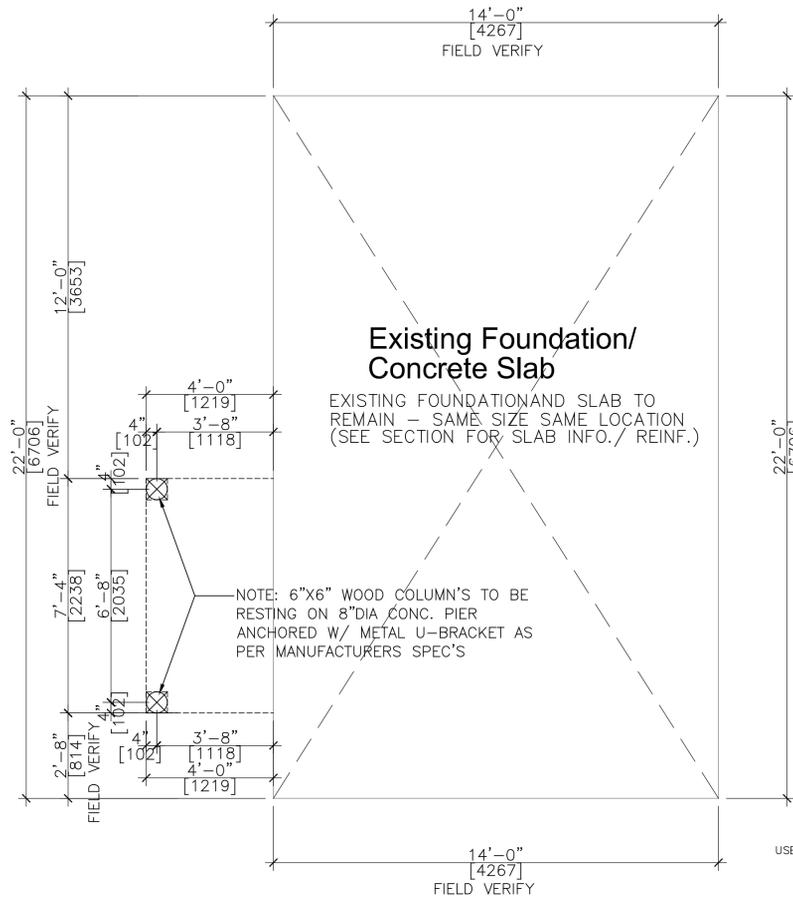
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code
 MAURO FORTUNATO Signature 15084 BCN
 Name Signature BCN

REGISTRATION INFORMATION
 Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code
 UNIQUE DESIGNS INC 31090 BCN
 Firm Name BCN

Drawn By	Scale
Date:	3/8"=1'-0"
11.12.24	
Job Number	A1
102824	

DO NOT SCALE DRAWINGS

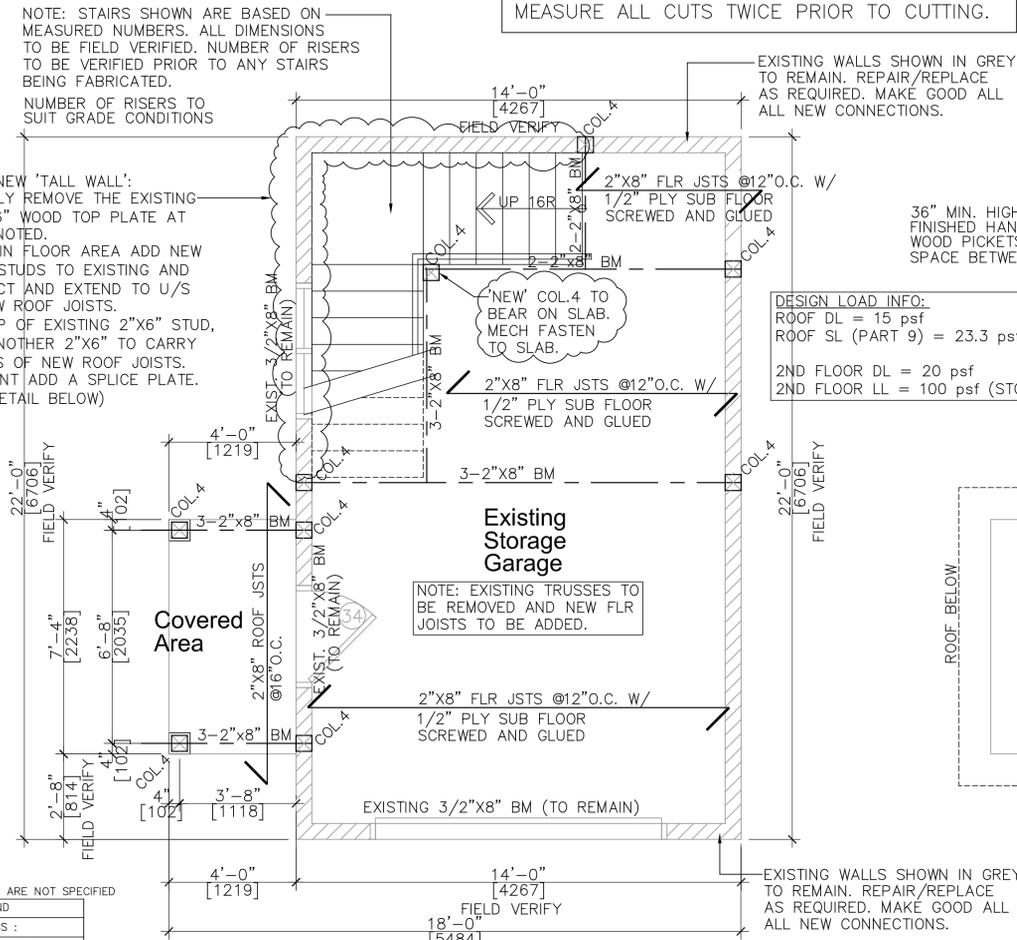


FOUNDATION PLAN

USE ONLY WHERE 'LVL'S' ARE NOT SPECIFIED

WOOD LINTEL LEGEND	
FOR WOOD OPENINGS :	
44" OR LESS USE 2/2"x8"	
66" OR LESS USE 2/2"x10"	
88" OR LESS USE 2/2"x12"	
PROVIDE INSUL. BETWEEN HEADERS IF POSSIBLE	

- NOTE: STAIRS SHOWN ARE BASED ON MEASURED NUMBERS. ALL DIMENSIONS TO BE FIELD VERIFIED. NUMBER OF RISERS TO BE VERIFIED PRIOR TO ANY STAIRS BEING FABRICATED.
- NUMBER OF RISERS TO SUIT GRADE CONDITIONS
- NOTE FOR NEW TALL WALL:
- LOCALLY REMOVE THE EXISTING 2"x6" WOOD TOP PLATE AT AREA NOTED.
 - AT MAIN FLOOR AREA ADD NEW 2"x6" STUDS TO EXISTING AND CONNECT AND EXTEND TO U/S OF NEW ROOF JOISTS.
 - AT TOP OF EXISTING 2"x6" STUD, ADD ANOTHER 2"x6" TO CARRY TO U/S OF NEW ROOF JOISTS.
 - AT JOINT ADD A SPLICE PLATE. (SEE DETAIL BELOW)

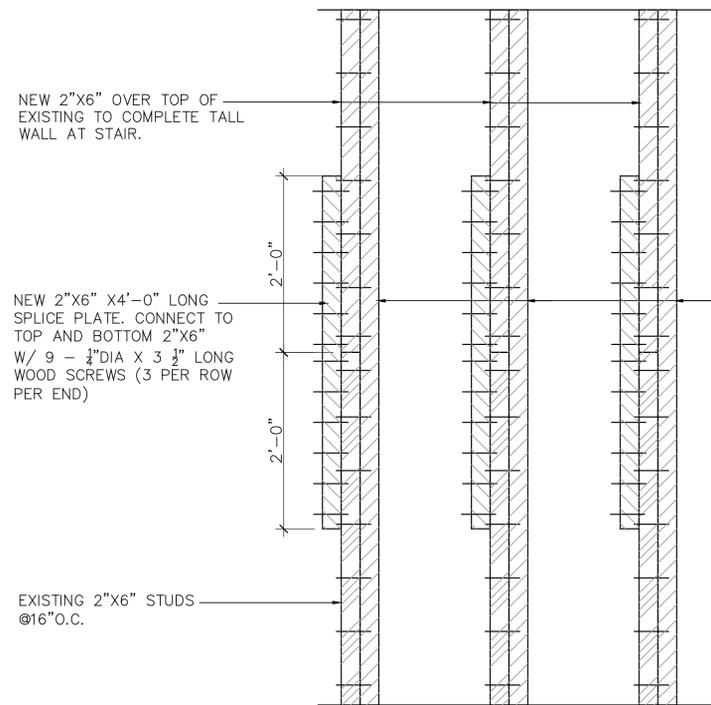


GROUND FLOOR PLAN

NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +- . VERIFY ON SITE PRIOR TO CONSTRUCTION.

DOOR LEGEND	GENERAL NOTES:	FLOOR PLAN DIMENSIONS :
1 1'8" x 8'0"	SMOKE ALARMS :	ALL DIMENSIONS ON FLOOR PLANS
2 2'0" x 8'0"	NOTE ALL SMOKE ALARMS WITH-IN A SINGLE DWELLING UNIT	ARE FROM NOMINAL STUD FACE TO NOMINAL STUD FACE OR FACE OF EXTERIOR FINISH MATERIAL.
3 2'4" x 8'0"		
4 2'6" x 8'0"		
5 2'8" x 8'0"		
6 3'0" x 8'0"		

COLUMN SCHEDULE
COL. 1=3-2x4
COL. 2=4-2x4
COL. 3=2-2x6
COL. 4=3-2x6
COL. 5=4-2x6

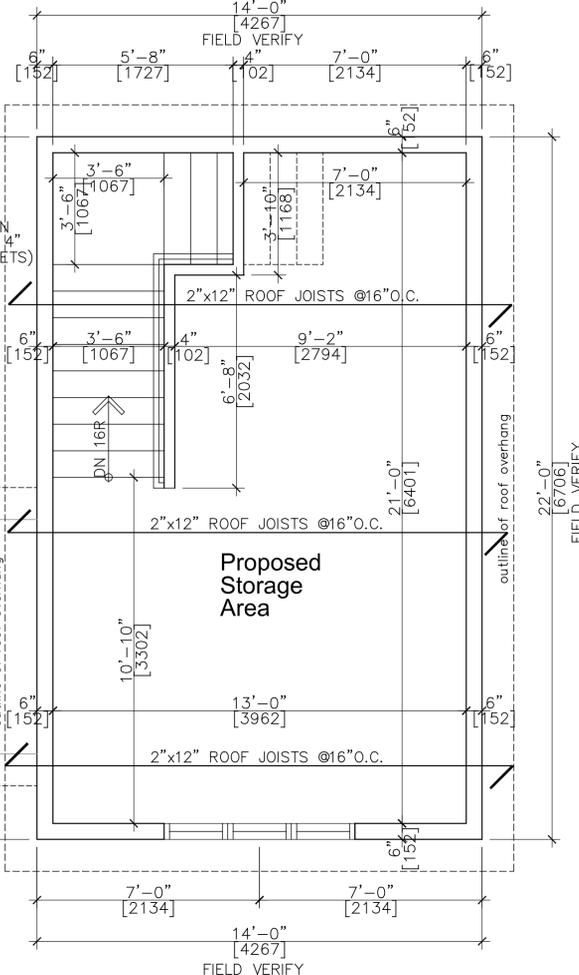


TALL WALL DETAIL AT STAIR



- STAMP IS FOR:
- NEW TALL WALL AT NEW STAIR.
 - EXISTING CONC. THICKENED SLAB EDGE
 - EXISTING MAIN FLR STUD WALL FRAMING
 - EXISTING WOOD HEADERS

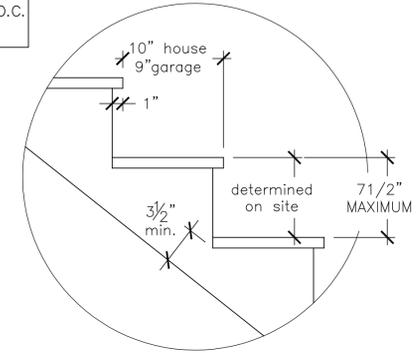
- NOTE: ADJUST DIMENSIONS AS NEEDED ON SITE MEASURE ALL CUTS TWICE PRIOR TO CUTTING.
- NOTE: ALL EXISTING ROOM SIZES, DIMENSIONS TO BE VERIFIED BY THE OWNER CONTRACTOR, BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.
- NOTE: CONTRACTOR, BUILDER, OWNER TO MAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING EXISTING WALLS AND ADDING NEW BEAM SUPPORTS. MAKE SURE CEILING ON BOTH SIDES ARE SHORED UP PRIOR TO REMOVING ANY LOAD BEARING WALLS.
- NOTE: EXISTING INTERIOR DRYWALL TO REMAIN ANY AREAS THAT ARE TO BE 'OPENED' FOR THE ADDITION OF BRG. POINT'S SHALL BE REPAIRED TO ORIGINAL STATE. MAKE GOOD ALL NEW CONNECTIONS.
- NOTE: ALL EXISTING DIMENSIONS TO BE VERIFIED BY THE OWNER CONTRACTOR, BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.
- NOTE: CONTRACTOR / BUILDER / OWNER TO BE CAREFUL WHEN CUTTING OUT NEW WINDOWS/OPENINGS. ENSURE PROPER SUPPORTS ARE IN PLACE DURING DEMOLITION PHASE.
- NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +- . VERIFY ON SITE PRIOR TO CONSTRUCTION.



SECOND FLOOR PLAN

FLOOR PLAN DIMENSIONS : ALL DIMENSIONS ON FLOOR PLANS ARE FROM NOMINAL STUD FACE TO NOMINAL STUD FACE OR FACE OF EXTERIOR FINISH MATERIAL.

NEW INTERIOR PARTITION WALL
1/2" DRYWALL
2"x4" OR 2"x6" WOOD STUDS @16"O.C.
1/2" DRYWALL



NOTE: OWNER TO VERIFY EXISTING MECH. AND ELECTRICAL PANEL MEETS OR EXCEEDS REQUIREMENTS OF THE O.B.C. AN INDEPENDANT QUALIFIED PERSON SHALL DETERMINE IF EXISTING MECH./ELECT. SERVICES MEETS THE REQUIRED INTENT OF THE USE TO BE PROVIDED.

NOTE: NEW CONCRETE FOOTINGS AND FOUNDATION WALL SOIL BEARING CAPACITY IS ASSUMED AT 75 Kpa OR GREATER.

NOTE: PROVIDE SOLID BLOCK IN JOIST SPACE AND IN ALL BEARING WALLS AS NOTED ON PLAN. REPORT ANY DISCREPANCY TO DESIGNER.

NOTE: ALL COLUMNS AT ROOF MUST TRANSFER TO GROUND FLOOR IF NOT PICKED UP ON A WINDOW, DOOR OR POST ABOVE.

NOTE: ALL SIZES, DIMENSIONS TO BE VERIFIED BY THE OWNER/ CONTRACTOR/BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR/ BUILDER TO FIELD VERIFY ALL EXISTING/ NEW DIMENSIONS BEFORE ORDERING ANY MATERIALS.

NOTE: ALL REQUIRED FRAMING TO BE VERIFIED PRIOR TO CONSTRUCTION. FRAMER TO MEET ALL REQUIREMENTS AS PER OWNERS REQUEST.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO 15084
Name Signature BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC 31090
Firm Name BCIN

DO NOT SCALE DRAWINGS

UNIQUE DESIGNS INC.



WACHNUIK
RESIDENCE

49 UPPER LAKE AVE.,
STONEY CREEK, ONT.

Drawn By	Scale
Date:	3/8"=1'-0"
Job Number	A2
102824	

No.	DATE	DESCRIPTION
1.	11.12.24	ISSUED FOR PERMIT
2.		
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THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

STRUCTURAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION MUST COMPLY WITH THE LATEST ADDITION OF THE O.B.C. 2012.
- DO NOT SCALE THESE DRAWINGS.
- SUBMIT STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW BY THE DESIGNER PRIOR TO FABRICATION. MAKE FIELD MEASUREMENTS NECESSARY FOR FABRICATION AND ERECTION.
- THE CONTRACTOR SHALL PROVIDE INSPECTION REPORTS PREPARED BY AN INSPECTION AND TESTING AGENCY ON THE STRUCTURAL STEEL ERECTION AND CONCRETE STRENGTH.
- ALL FOOTING SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUSTAINING A LOAD OF 4 KSF.
- SPECIFIED 28 DAY CONCRETE STRENGTH IS 20 MPA. ALL CONCRETE EXPOSED TO FREEZE-THAW CYCLES IN A SATURATED CONDITION SHALL BE CLASSIFICATION C-1 TO CSA-A23.1-M90
- REINFORCING STEEL: G30.18M GRADE 400R.
- STRUCTURAL STEEL CSA G40.21M :
 - HSS SECTIONS GRADE 350W CLASS H
 - ANCHOR BOLTS GRADE 260W
 - PIPE MATERIAL ASTM A53
 - OTHER STEEL GRADE 300W
 - WELDING TO CONFORM TO CSA W59 AND W47.1
- LOAD BEARING MASONRY MATERIALS:
 - HOLLOW BLOCK CSA A165.1M-H/15/X/X
 - SOLID BLOCK CSA A165.1M-S/15/X/X
 - BELOW GRADE MORTAR CSA A179M-TYPE S
 - ABOVE GRADE MORTAR CSA A179M-TYPE N
 - GROUT FOR BLOCK CORES CSA A179M 1:3:2 CEMENT: SAND PEA GRAVEL BY VOLUME, 8" SLUMP
- STRUCTURAL LUMBER:
 - ALL LUMBER TO BE KILN-DRIED, GRADED TO CONFORM TO CSA 0141, SPF NO.2 UNLESS NOTED
- SUPPLY JOIST HANGERS TO THE JOIST MANUFACTURER'S SPECIFICATIONS.
- PROVIDE WEB STIFFENERS WHERE TJI JOISTS CONNECTED USING HANGERS
- PROVIDE FIRE PROTECTION WHEN WELDING CLOSE TO COMBUSTIBLE MATERIALS.

NOTES:

THESE NOTES COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012. UNLESS SPECIFICALLY ALTERED BY MUNICIPALITY HAVING JURISDICTION, IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CONFORM WITH THESE SECTIONS WHERE APPLICABLE AND FAMILIARIZE HIMSELF SPECIFICALLY WITH PART 9 OF THE CODE

ALL STRUCTURAL LUMBER TO BE EASTERN SPRUCE NO.2 CONSTRUCTION GRADE, UNLESS OTHERWISE NOTED. SIZES ARE DETERMINED FROM SPAN OFF TABLES OF THE BUILDING CODE 2012

ALL WINDOWS ARE DOUBLE GLAZED OR THERMOPANE

ALL WINDOW HEADS TO BE 6'-10" (OR 7'-10") ABOVE FIN. FLOOR OR TO MATCH DOOR HEAD FRAMING HEIGHTS

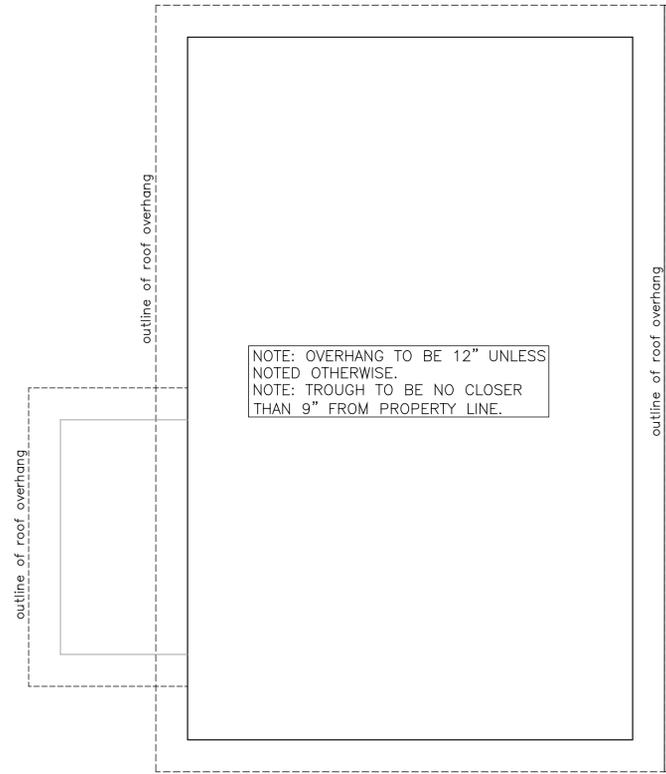
ALL EXTERIOR DOORS, IF WOOD TO HAVE STORM DOORS OR TO BE OF METAL INSULATED TYPE.

ALL TIMBER TO BE SUPPORTED MIN 6" ABOVE FIN. GRADE UNLESS PRESSURE TREATED AGAINST TERMITES REMOVE WOOD DEBRIS OR VEGETABLE MATTER FROM BACKFILL

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND SERVICES CHECKED AND VERIFIED GRADING AND SERVICES ENGINEERED

FOUNDATION WALLS TO BE CONSTRUCTED TO A MIN 6" ABOVE APPROVED GRADES AT HOUSE

PROPOSED GRADE LINE AS INDICATED ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT



ROOF PLAN

CEILING JOISTS

JOIST SIZE	JOIST SPACING		
	12" o.c.	16" o.c.	24" o.c.
2x4	10'-2"	9'-3"	8'-1"
2x6	16'-0"	14'-7"	12'-9"
2x8	21'-1"	19'-2"	16'-9"
2x10	26'-11"	24'-6"	21'-4"

SUBFLOORING

FLOOR JOIST UP TO	SUBFLOORING		
	WAFFER BD.	PLYWOOD	LUMBER
16" O.C.	5/8"	5/8"	1 1/16"
20" O.C.	5/8"	5/8"	3/4"
24" O.C.	3/4"	3/4"	3/4"

ROOF SHEATHING

ROOF FRAMING	ROOF SHEATHING UNSUPPORTED EDGES	ROOF SHEATHING TONGUE & GROOVE, 'H'-CLIPS OR OTHER EDGE SUPPORT
12" O.C.	3/8" PLYWOOD, WAFFER BD. OR 1 1/16" LUMBER	5/16" PLYWOOD, 3/8" WAFFER BD. OR 1 1/16" LUMBER
16" O.C.	3/8" PLYWOOD, 7/16" WAFFER BD. OR 1 1/16" LUMBER	5/16" PLYWOOD, 3/8" WAFFER BD. OR 1 1/16" LUMBER
24" O.C.	1/2" PLYWOOD OR 3/4" LUMBER	3/8" PLYWOOD, 7/16" WAFFER BD. OR 3/4" LUMBER

ROOF JOISTS (WHERE CEILING IS INSTALLED)

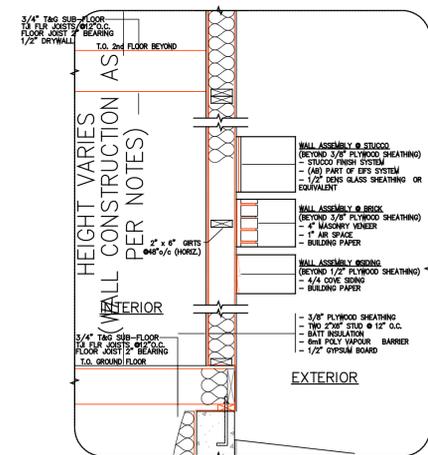
JOIST SIZE	MAXIMUM CLEAR SPAN					
	ROOF SNOW LOAD 21 PSF			ROOF SNOW LOAD 31 PSF		
	JOIST SPACING		JOIST SPACING	JOIST SPACING		JOIST SPACING
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	16" O.C.	24" O.C.
2X4	8'-1"	7'-4"	6'-5"	7'-1"	6'-5"	5'-7"
2X6	12'-9"	11'-6"	10'-1"	11'-1"	10'-1"	8'-9"
2X8	16'-9"	15'-2"	13'-3"	14'-7"	13'-3"	11'-7"

ROOF RAFTERS (WHERE NO CEILING IS INSTALLED)

RAFTER SIZE	MAXIMUM CLEAR SPAN					
	ROOF SNOW LOAD 21 PSF			ROOF SNOW LOAD 31 PSF		
	RAFTER SPACING		RAFTER SPACING	RAFTER SPACING		RAFTER SPACING
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	16" O.C.	24" O.C.
2X4	10'-2"	9'-3"	8'-1"	8'-11"	8'-1"	7'-1"
2X6	16'-0"	14'-7"	12'-9"	14'-0"	12'-9"	11'-1"
2X8	21'-1"	19'-2"	16'-9"	18'-5"	16'-9"	14'-5"



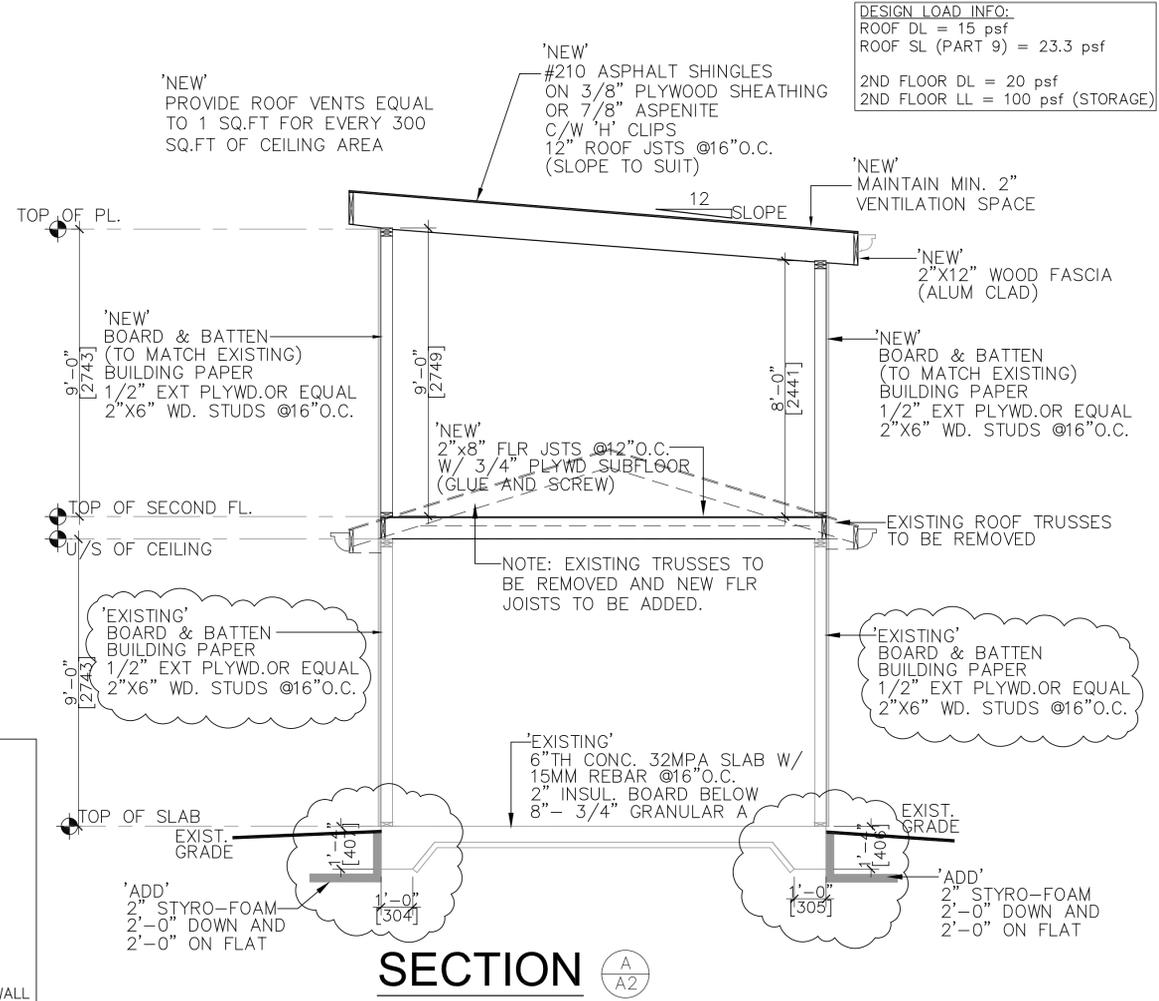
STAMP IS FOR:
 - NEW TALL WALL AT NEW STAIR.
 - EXISTING CONC. THICKENED SLAB EDGE
 - EXISTING MAIN FLR STUD WALL FRAMING
 - EXISTING WOOD HEADERS



TYP. CLEAR STOREY FRAMING DETAIL

9.19.1.2. Vent Requirements

- Except as provided in Sentence (2), the unobstructed vent area shall be not less than 1/300 of the insulated ceiling area.
- Where the roof slope is less than 1 in 6 or in roofs that are constructed with roof joists, the unobstructed vent area shall be not less than 1/150 of the insulated ceiling area.



SECTION A-A2

NOTE: ALL EXISTING ROOM SIZES, DIMENSIONS TO BE VERIFIED BY THE OWNER CONTRACTOR, BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.

NOTE: CONTRACTOR, BUILDER, OWNER TO MAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING EXISTING WALLS AND ADDING NEW BEAM SUPPORTS. MAKE SURE CEILINGS ON BOTH SIDES ARE SHORED UP PRIOR TO REMOVING ANY LOAD BEARING WALLS.

NOTE: ADJUST DIMENSIONS AS NEEDED ON SITE MEASURE ALL CUTS TWICE PRIOR TO CUTTING.

NOTE: ALL INTERIOR DIMENSIONS SHOWN ARE FIELD MEASURED AND ARE ALL +/-, VERIFY ON SITE PRIOR TO CONSTRUCTION.

NOTE: EXISTING INTERIOR DRYWALL TO REMAIN ANY AREAS THAT ARE TO BE 'OPENED' FOR THE ADDITION OF BRG. POINT'S SHALL BE REPAIRED TO ORIGINAL STATE. MAKE GOOD ALL NEW CONNECTIONS.

NOTE: ALL EXISTING DIMENSIONS TO BE VERIFIED BY CONTRACTOR OF EACH DISCIPLINE PRIOR TO COMMENCEMENT OF CONSTRUCTION. ADJUST AS NECESSARY TO ENSURE DESIGN ELEMENTS ARE MAINTAINED.

NOTE: ALL EXISTING ROOM SIZES, DIMENSIONS TO BE VERIFIED BY THE OWNER CONTRACTOR, BUILDER PRIOR TO AND DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR, BUILDER TO FIELD VERIFY ALL EXISTING DIMENSIONS BEFORE ORDERING ANY MATERIALS.

NOTE: CONTRACTOR // BUILDER // OWNER TO BE CAREFUL WHEN EXCAVATING AROUND EXISTING DWELLING. DO NOT UNDERMINE EXISTING FOOTINGS

NOTE: CONTRACTOR // BUILDER // OWNER TO BE CAREFUL WHEN CUTTING OUT NEW WINDOWS/OPENINGS. ENSURE PROPER SUPPORTS ARE IN PLACE DURING DEMOLITION PHASE.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Div.C, Article 3.2.5.1 of the Building Code

MAURO FORTUNATO 15084
 Name Signature BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Div.C, Article 3.2.4.1 of the Building Code

UNIQUE DESIGNS INC 31090
 Firm Name BCIN



UNIQUE DESIGNS INC. SECTION, ROOF PLAN, NOTES, CHARTS

PROPOSED SECOND FLR ADDITION

WACHNUIK RESIDENCE

49 UPPER LAKE AVE., STONEY CREEK, ONT.

Drawn By Scale 3/8"=1'-0"

Date: 11.12.24

Job Number 102824

A3

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

**PROPOSED VARIANCES – 49 UPPER LAKE AVENUE,
STONE CREEK**

- 1) Proposed height of 6.045 metres whereas all accessory buildings shall have a maximum height of 4.5 metres.
- 2) Proposed aggregate gross floor area of 57.22 square metres or 12.4% total lot coverage whereas the maximum aggregate gross floor area of all accessory buildings shall not exceed 45 square metres or 7.5% total lot coverage.
- 3) Proposed building setback from a rear lot line of 0.91 metres whereas the minimum rear lot line is 1.2 metres.
- 4) Proposed building setback from a side lot line of 0.71 metres whereas the minimum side lot line is 1.2 metres.



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
Planning Division
71 Main Street West, 5th Floor
Hamilton, Ontario, Canada, L8P 4Y5
Phone: 905.546.2424 x 2719
Email: ZoningInquiry@hamilton.ca

January 7th, 2025

FILE: ZCR-24-114
ATTENTION OF: Emma Bodo
EMAIL: Emma.Bodo@hamilton.ca

Re: Zoning District: R1 (Low Density Residential)
Zoning By-law: Hamilton Zoning By-law 05-200
File Number: ZCR 24-114
Address: 49 Upper Lake Avenue, Stoney Creek

An Applicable Law Review respecting Zoning By-law compliance has been completed and the following comments are provided.

COMMENTS:

1. The applicant is proposing to construct a second-floor addition to an existing storage garage.
2. Please be advised that the below review has been completed for the proposed Accessory Building only. As per the application, the Single Detached Dwelling is an existing condition and is not proposed to be changed.
3. As per the submitted documents the proposed Accessory Building appears to be used for storage purposes only. No parking information has been provided; therefore, parking has not been reviewed.
4. Please be advised that the Electric Vehicle Parking requirements under By-law 24-052, remain under appeal and are not covered under Section 1.12 of the "Transitional Provisions" of the Hamilton Zoning By-law 05-200. At present, a review of the Electric Parking requirements has not been included in the following zoning chart. If the remaining portions of By-law 24-052 become final before issuance of a building permit, the Electric Vehicle Parking requirements will be applicable upon review for such building permit.
5. The proposed Accessory Building is permitted within the "R1" Low Density Residential zone within Hamilton Zoning By-law 05-200.
6. All signage shall conform to Hamilton Sign By-law 10-197. A Building permit(s) is required for all signage.
7. All fencing shall conform to Hamilton Fence By-law 10-142.

8. Construction of the proposed second-floor addition is subject to the issuance of a building permit in the normal manner. Be advised that Ontario Building Code regulations may require specific setback and construction types.
9. The designer shall ensure that the fire access route conforms to the Ontario Building Code.
10. The proposed development has been reviewed and compared to the standards of the Accessory Buildings under the General Provisions within Hamilton Zoning By-law 05-200, as indicated on the following chart:

Accessory Buildings (Section 4.8 of Hamilton Zoning By-law 05-200)

Section 4 – General Provisions			
(In accordance with the applicable regulations of Section 4 in the Hamilton Zoning By-law 05-200)			
Accessory Buildings in All Zones [as per section 4.8 of Hamilton Zoning By-law 05-200]	An accessory building may only be erected or used in accordance with the following:		
	a) Unless otherwise provided for in this By-law, Accessory Buildings shall not be used as a dwelling unit.	Proposed storage use only	Conforms
	b) Accessory Buildings shall not be permitted within a front or flankage yard.	Located in rear yard (existing condition)	Conforms
	d) Notwithstanding any other provisions in this By-law, where a zone contains a maximum setback requirement from a street line, the maximum setback requirement shall not apply to Accessory Buildings.	Not Applicable	N/A
	f) Except as permitted in Subsection 4.18 a), an Accessory Building shall not be erected prior to the erection of the principal building or structure on the lot.	Existing condition	Existing condition
	g) All Accessory Buildings shall have a maximum height of 4.5 metres.	6.045 metres	Non-conforming
	h) Notwithstanding Subsection 4.6a), an eave or gutter of any Accessory Building may encroach into any required yard to a maximum of 0.45 metres.	0.3048 metres	Conforms
	i) Rooftop amenity area shall be prohibited on all Accessory Buildings.	Not proposed	N/A

<p>Buildings Accessory to Single Detached Dwellings in All Zones</p> <p>[as per section 4.8.1.1a) of Hamilton Zoning By-law 05-200]</p>	<p>The aggregate Gross Floor Area of all Accessory Buildings shall not exceed 45 square metres or 7.5% total lot coverage, whichever is the lesser.</p>	<p>Lot Area: 462.19 m² Accessory Building: 57.22 m² 57.22/462.19 = 12.4% lot coverage</p>	<p>Non-conforming</p>
<p>Buildings Accessory to Single Detached Dwellings in All Zones</p> <p>[as per section 4.8.1.1d) of Hamilton Zoning By-law 05-200]</p>	<p>All accessory buildings with a Gross Floor Area greater than or equal to 18 square metres shall conform to the following regulations:</p> <p>i) Building Setback from a Rear Lot Line: Minimum 1.2 metres</p> <p>ii) Building Setback from a Side Lot Line: Minimum 1.2 metres</p>	<p>0.91 metres</p> <p>0.71 metres</p>	<p>Non-conforming</p> <p>Non-conforming</p>
<p>Buildings Accessory to Single Detached Dwellings in All Zones</p> <p>[as per section 4.8.1.1e) of Hamilton Zoning By-law 05-200]</p>	<p>Where a vehicular entrance to an Accessory Building faces a street line, the vehicular entrance shall be setback a minimum of 6.0 metres from the street line.</p>	<p>Not proposed</p>	<p>N/A</p>

Regards,

Emma Bodo

for the Manager of Zoning and Committee of Adjustment

To Whom it May Concern,

I Steve Wachnuk give Mauro Fortunato of Unique Designs Inc. and MICHAEL P. SABELLI to act on my behalf to obtain ALL required permits from the CITY OF HAMILTON. for my proposed project. All required documents and applications are attached along with payments.

Sincerely,

Print Steve Wachnuk

Sign 

Date NOV 29 2024



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	STEVE WACHMIK	[REDACTED]
Applicant(s)		
Agent or Solicitor	MICHAEL P. SABELLI	

1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

In person

Credit over phone*

Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	49 UPPER LAKE AVENUE		
Assessment Roll Number	-		
Former Municipality	STONEY CREEK		
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

SEE ATTACHED SHEET

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

ONE-STOREY STORAGE GARAGE IS EXISTING.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.163m	30.48m	462.192m ²	20m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
RESIDENTIAL DWELLING	10.516 M	7.594 M	1.219 M & 6.020 M	
STORAGE GARAGE	22.860 M	0.91 M	9.881 M & 0.71 M	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
STORAGE GARAGE	22.860 M	0.91 M	9.881 M & 0.71 M	
	NO CHANGE	CHANGE		

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
RESIDENTIAL DWELLING	98 m ²	NO CHANGE	1	
STORAGE GARAGE	28.61 m ²	28.61 m ²	1	2.515 M

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
STORAGE GARAGE 2ND FLOOR ADDITION	28.61 m ²	57.22 m ²	2	6.045 M

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

*SINGLE DETACHED DWELLING
- NO CHANGE*

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE-DETACHED DWELLING

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

MORE THAN 10 YEARS

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE-DETACHED DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE-DETACHED DWELLING

7.4 Length of time the existing uses of the subject property have continued:

MORE THAN 50 YEARS

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): *NEIGHBOURHOODS*

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) *NEIGHBOURHOODS*

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land?

R1 (LOW DENSITY RESIDENTIAL)

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*? Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
