



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-25:026</b>	<b>SUBJECT PROPERTY:</b>	505 Glover Road, Stoney Creek
<b>ZONE:</b>	R2 (Low Density Residential - Large Lot)	<b>ZONING BY-LAW:</b>	Hamilton Zoning By-law 05-200, as Amended by By-law 24-051

**APPLICANTS:**      Owner: Milos Manojlovic  
                          Applicant: Milos Manojlovic  
                          Agent: Stephen Mauro

The following variances are requested:

- 1.A Rear Yard Setback of 0.9 metres shall be provided instead of the minimum required Rear Yard setback of 1.2 metres.
- 2.A Flankage Yard Setback of 2.85 metres shall be provided instead of the minimum required Flankage Yard setback of 3.0 metres.
- 3.A maximum lot coverage of 37.2% shall be provided instead of the maximum required Lot Coverage of 35%.

**PURPOSE & EFFECT:**      To facilitate the construction of an accessory building at the rear of the property.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, May 29, 2025</b>
<b>TIME:</b>	<b>2:00 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>

	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

## **PUBLIC INPUT**

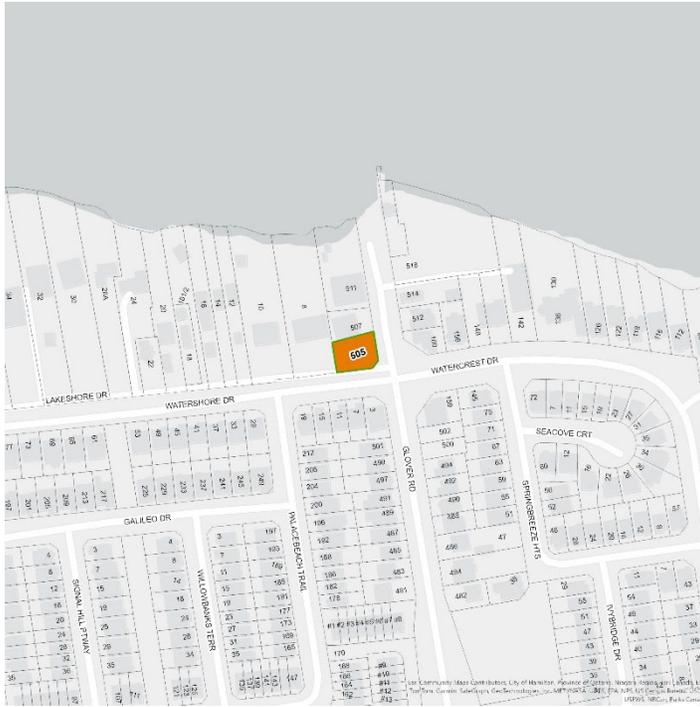
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon May 27, 2025

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon May 28, 2025

## **FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:026, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: May 12, 2025

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Justin Leung,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

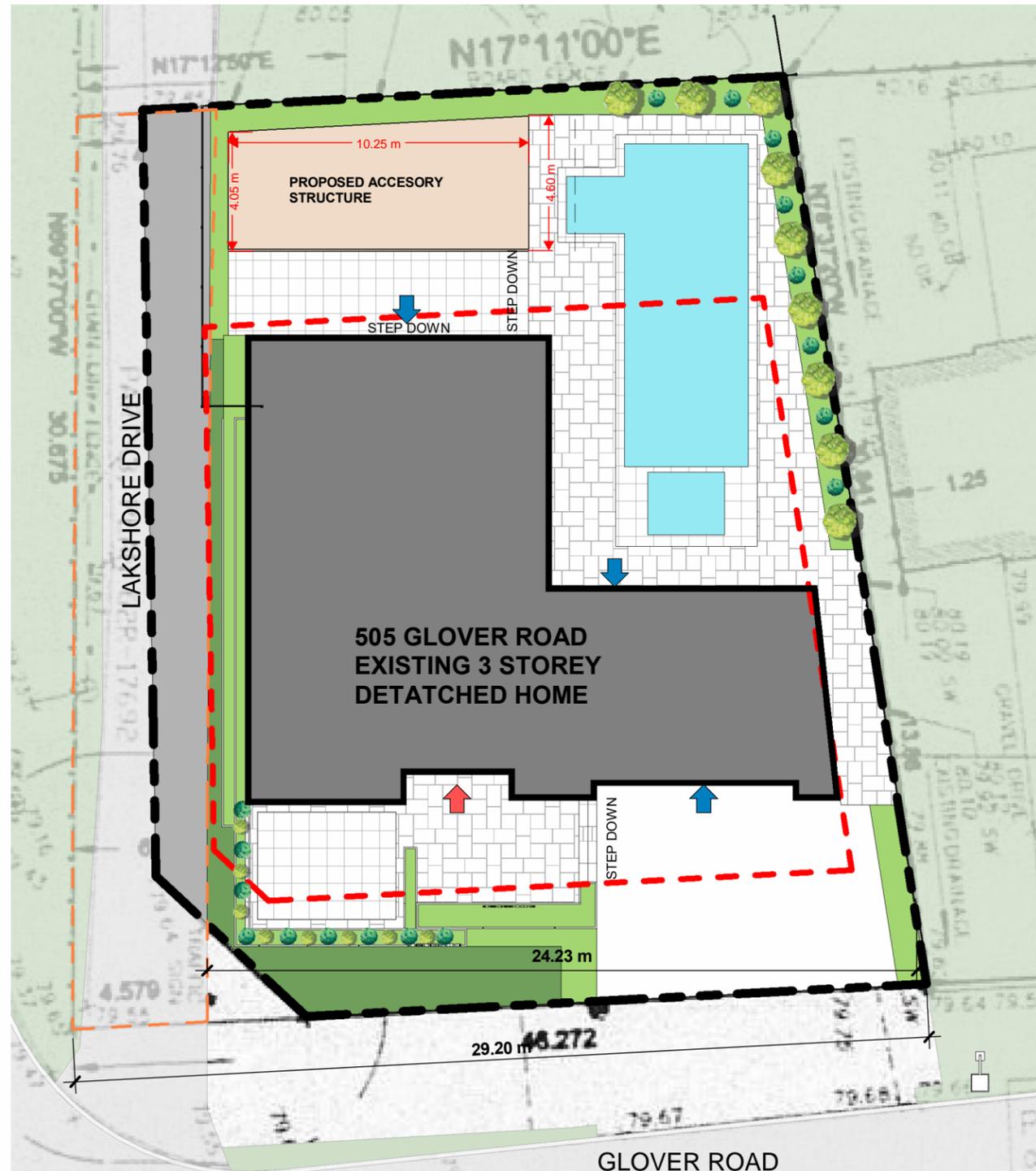
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

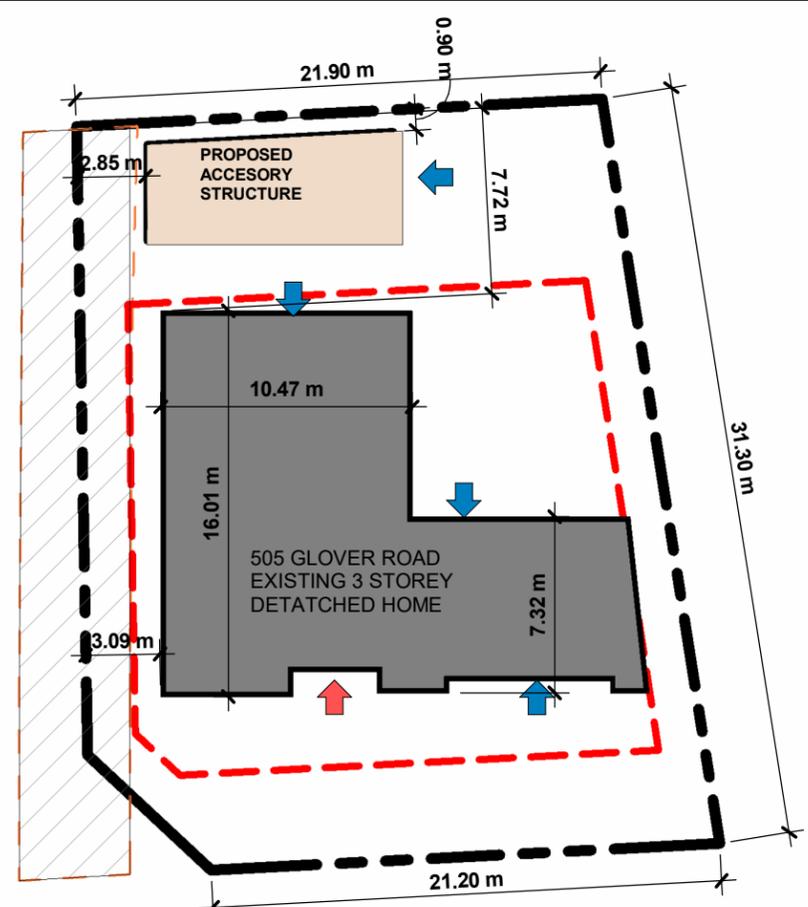


**SITE PLAN**  
1 : 200

SITE PLAN LEGEND	
	ENTRANCE / EXIT
	PROPERTY LINE
	BUILDING SETBACK LINE
	LANDSCAPE SETBACK LINE
	EASEMENT LINE
	PROPOSED BUILDING
	EXISTING BUILDING

GENERAL PROVISIONS			
Zone <b>LOW DENSITY RESIDENTIAL - R2</b> City of Hamilton Zoning By-law No. 05-200			
ZONING DATA	REQUIRED	EXISTING	PROPOSED
MIN FRONT YARD	4 m	10.01 m	10.01 m
MIN REAR YARD	7.5 m	7.72 m	0.6 m
MIN INTERIOR SIDE YARD	2 m	<b>3.09 m</b>	2.85 m
MIN FLANKAGE YARD	3 m	1.18 m	0.9 m
MIN LOT AREA	630 sqm	790.15 sqm	790.15 sqm
MIN LOT WIDTH	18 m	24.23 m	24.23 m
MAX LOT COVERAGE	35%	31.15%	37.18%
BUILDING HEIGHT MAX	10.5 m	10.6	10.6 m
MIN LANDSCAPE AREA	40%	73.49%	62.94%

SITE STATISTICS			
DESCRIPTION	AREA (SM)	AREA (SF)	%
LANDSCAPE+DRIVEWAY	462.80 m <sup>2</sup>	4,982 ft <sup>2</sup>	62.82%
	462.80 m <sup>2</sup>	4,982 ft <sup>2</sup>	62.82%
<b>LOT COVERAGE</b>			
EXISTING	229.52 m <sup>2</sup>	2,470 ft <sup>2</sup>	31.15%
PROPOSED	44.41 m <sup>2</sup>	478 ft <sup>2</sup>	6.03%
	273.93 m <sup>2</sup>	2,949 ft <sup>2</sup>	37.18%
<b>OVERALL SITE</b>	736.73 m <sup>2</sup>	7,930 ft <sup>2</sup>	100%

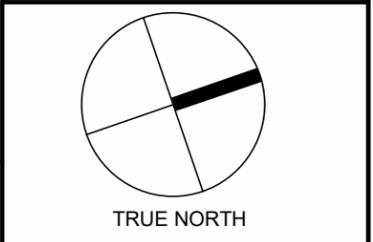


**SETBACK PLAN**  
1 : 300



Chamberlain Architect Services Limited  
5096 South Service Road Suite 103 Burlington, Ontario L7L 5H4 CANADA  
Tel: 905.631.7777 Fax: 905.631.7717  
www.chamberlainipd.com

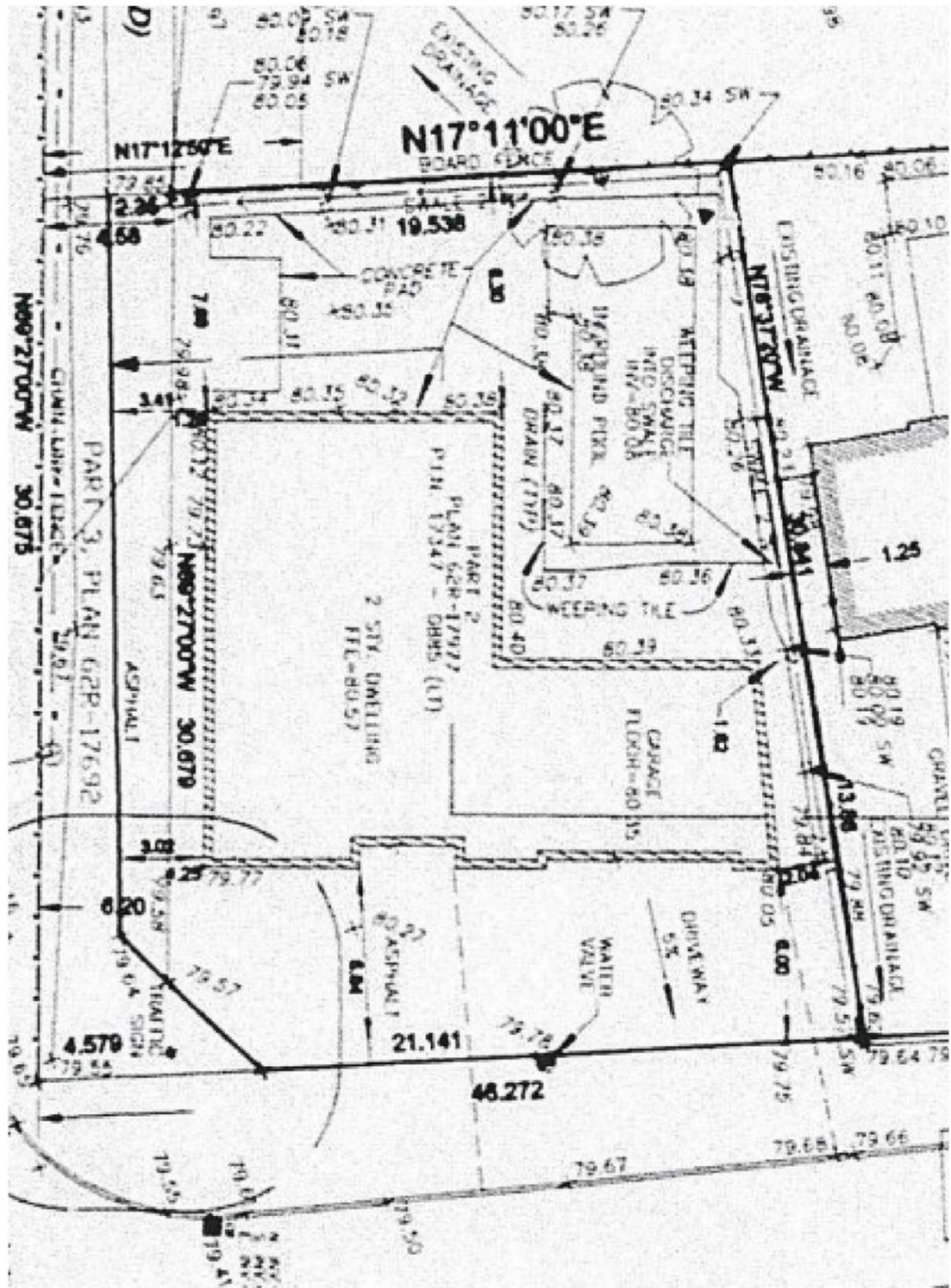
NO.	ISSUED	DATE
	MINOR VARIANCE	2025.02.03



PROJECT NAME  
**ACCESSORY BUILDING**  
PROJECT ADDRESS  
505 GLOVER RD, STONEY CREEK, HAMILTON, ON  
SHEET NAME  
**SITE PLAN - PROPOSED**

PROJECT NO.:  
XX  
DRAWN BY:  
Author  
PLOT DATE:  
09/09/11  
SCALE:  
As indicated

DRAWING:  
**P1.2**



**SITE PLAN LEGEND**

- ENTRANCE / EXIT
- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE SETBACK LINE
- EASEMENT LINE
- PROPOSED BUILDING
- EXISTING BUILDING

**GENERAL PROVISIONS**

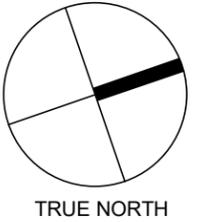
**Zone** LOW DENSITY RESIDENTIAL - R2  
**City of Hamilton** Zoning By-law No. 05-200

ZONING DATA	REQUIRED	EXISTING	PROPOSED
MIN FRONT YARD	4 m	10.01 m	10.01 m
MIN REAR YARD	7.5 m	7.72 m	0.42 m
MIN INTERIOR SIDE YARD	2 m	1.71 m	1.71 m
MIN EXTERIOR SIDE YARD	2 m	1.18 m	0.17 m
MIN LOT AREA	630 sqm	790.15 sqm	790.15 sqm
MIN LOT WIDTH	18 m	24.23 m	24.23 m
MAX LOT COVERAGE	35%	26.51%	32.53%
BUILDING HEIGHT MAX	10.5 m	10.6	10.6 m
MIN LANDSCAPE AREA	40%	73.49%	67.47%



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 CANADA  
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 Fax: 905.631.7717  
 www.chamberlainipd.com

NO.	ISSUED	DATE



PROJECT NAME  
**ACCESSORY BUILDING**  
 PROJECT ADDRESS  
 505 GLOVER RD,  
 STONEY CREEK,  
 HAMILTON, ON  
 SHEET NAME  
**SITE PLAN - EXISTING**

PROJECT NO.:  
 XX  
 DRAWN BY  
 Author  
 PLOT DATE  
 09/09/11  
 SCALE  
 As indicated

DRAWING:  
**P1.1**

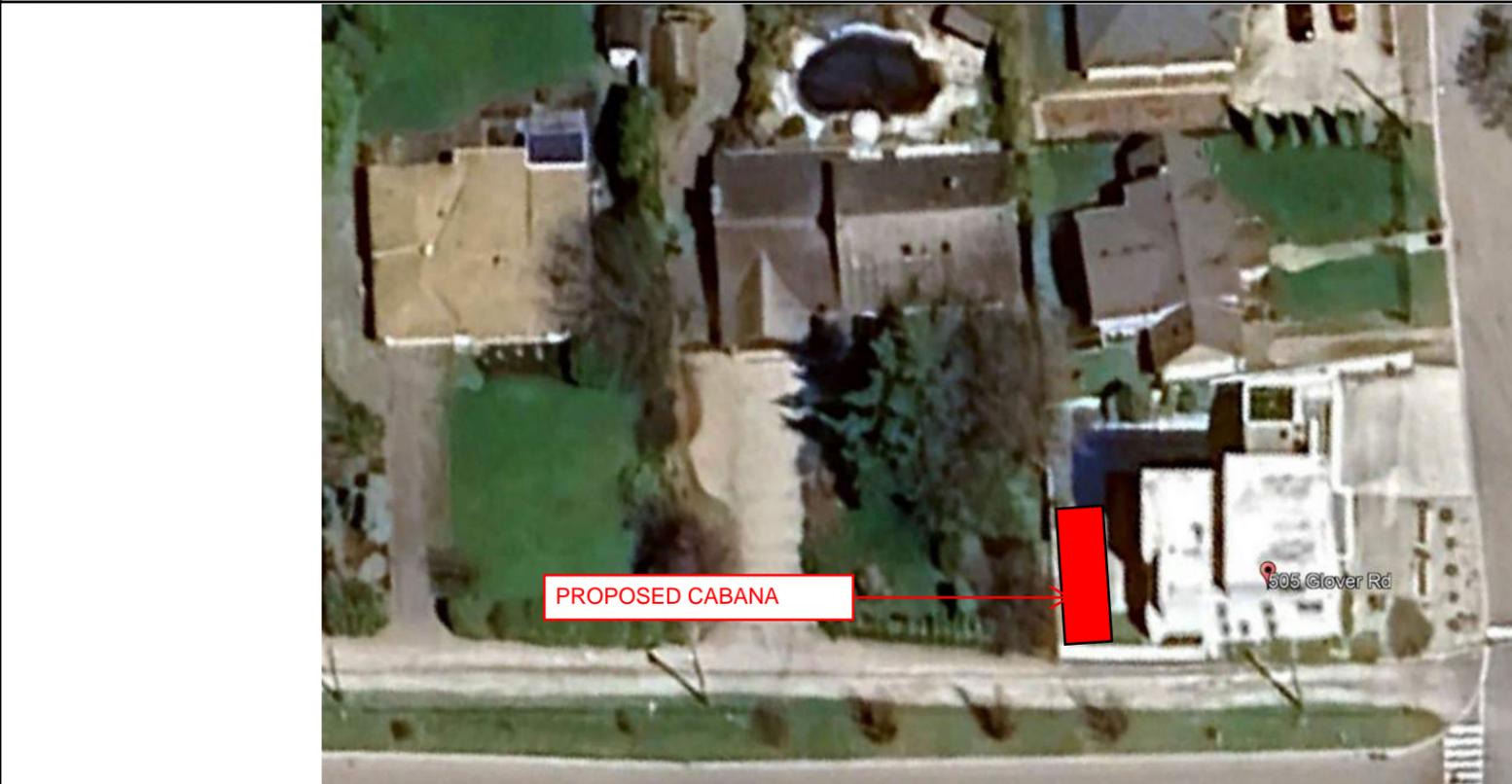
**SITE PLAN - EXISTING**  
 1 : 200

**RATIONALE**

- THE ADDITION OF A CABANA AND COVERED PATIO WILL NOT IMPEDE ON NEIGHBOURING PROPERTIES GIVEN THAT THE PROPERTY IS A CORNER LOT • THIS PROJECT SERVES AS AN ENHANCEMENT TO THE EXISTING PROPERTY, ENSURING THE NEW STRUCTURES COMPLEMENT THE CURRENT HOME WITHOUT OVERWHELMING THE SITE OR NEIGHBORHOOD.
- THE PROPOSED ADDITION WILL NOT IMPACT EXISTING PARKING REQUIREMENTS. THE GARAGE AND DRIVEWAY REMAIN UNCHANGED, MAINTAINING FULL COMPLIANCE WITH CURRENT ZONING REGULATIONS FOR PARKING.

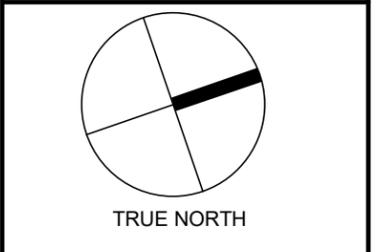
**STREETSCAPE COMPATIBILITY**

- AS DEMONSTRATED IN THE ACCOMPANYING DIAGRAMS, THE PROPOSED CABANA WILL HAVE A MINIMAL IMPACT ON THE STREETSCAPE OF WATERSHORE DRIVE, MAINTAINING THE VISUAL RHYTHM AND CHARACTER OF THE NEIGHBORHOOD. GIVEN THAT THE CORNER LOT IS ALREADY FENCED.
- THE CABANA IS DESIGNED WITH A LOW HEIGHT AND MODEST FORM, RISING LESS THAN 1 METER ABOVE THE EXISTING FENCE, ENSURING IT BLENDS SEAMLESSLY WITH THE SURROUNDING PROPERTIES AND DOES NOT DOMINATE THE VISUAL LANDSCAPE.
- MATURE TREES ALONG WATERSHORE DRIVE AND BETWEEN THE PROPERTY AND THE NEIGHBORING LOT TO THE WEST ACT AS NATURAL BUFFERS, PROVIDING PRIVACY AND MINIMIZING ANY VISUAL IMPACT FROM BOTH THE STREET AND ADJACENT PROPERTIES.
- THE ADDITION WILL PRESERVE THE NEIGHBORHOOD AESTHETIC, AS THE TREES AND LANDSCAPING OFFER SUFFICIENT COVERAGE, MAKING THE CABANA DISCREET AND HARMONIOUS WITH THE EXISTING ENVIRONMENT.



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NO.	ISSUED	DATE



PROJECT NAME  
**ACCESSORY BUILDING**  
 PROJECT ADDRESS  
 505 GLOVER RD,  
 STONEY CREEK,  
 HAMILTON, ON  
 SHEET NAME  
**RATIONALE**

PROJECT NO.:  
**XX**  
 DRAWN BY  
**Author**  
 PLOT DATE  
**09/09/11**  
 SCALE  
**As indicated**

DRAWING:  
**P1.0**



**STREETSCAPE ELEVATION**  
 1 : 500



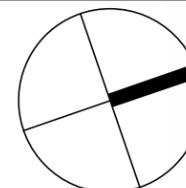
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NO.	ISSUED	DATE



TRUE NORTH

PROJECT NAME  
**505 GLOVER**

PROJECT ADDRESS  
Enter address here

SHEET NAME  
**EXTERIOR ELEVATION I**

PROJECT NO.:

XX

DRAWN BY

Author

PLOT DATE

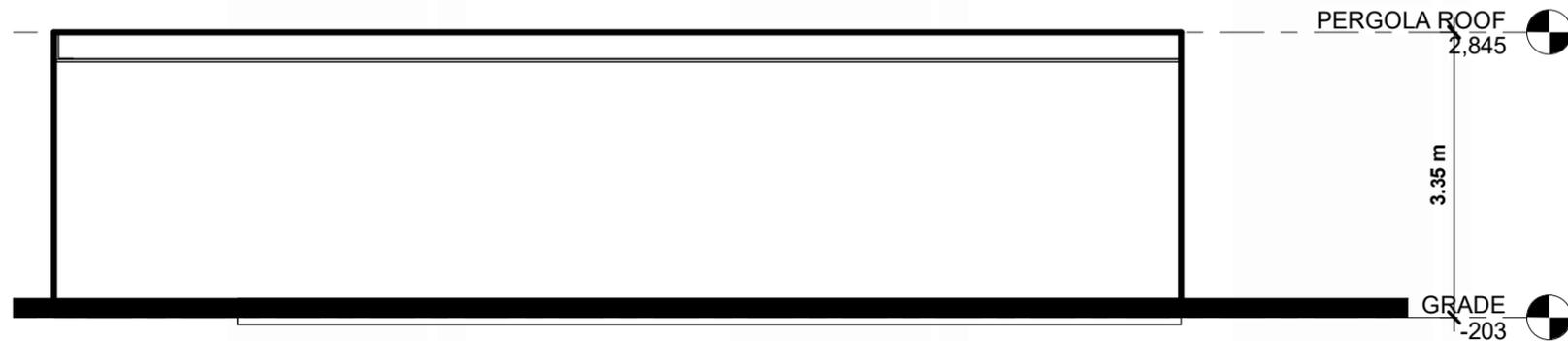
09/09/11

SCALE

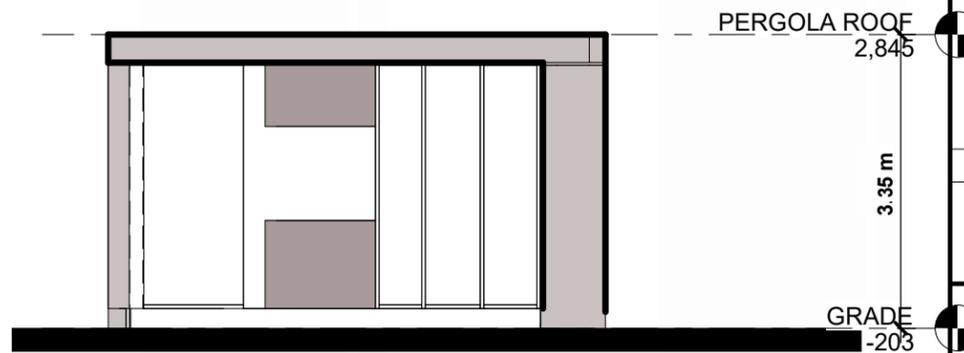
1 : 75

DRAWING:

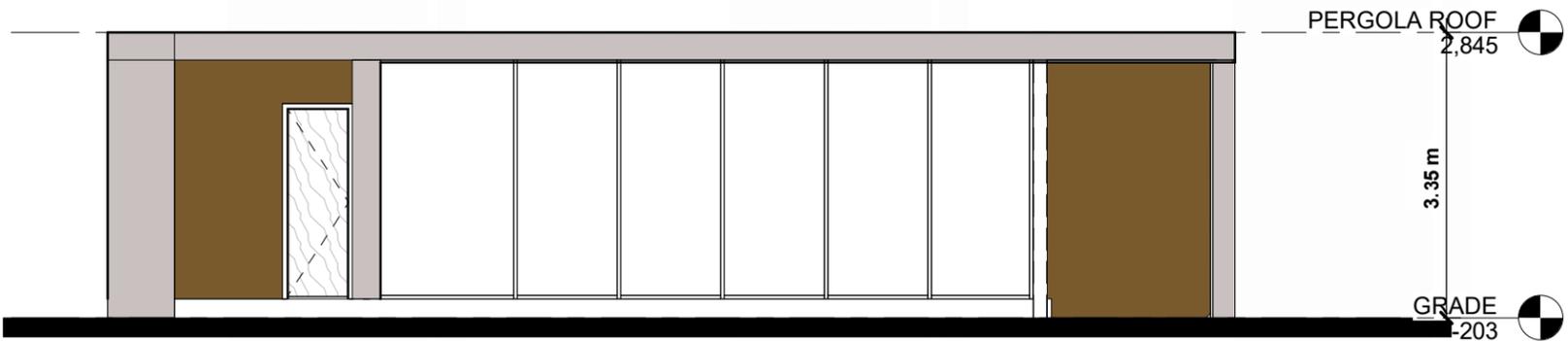
**P2.1**



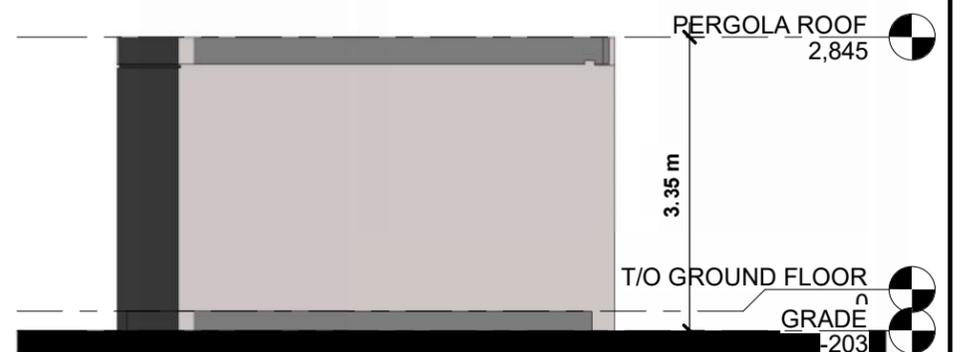
**NORTH ELEVATION**  
1 : 75



**EAST ELEVATION**  
1 : 75



**SOUTH ELEVATION**  
1 : 75



**WEST ELEVATION**  
1 : 75



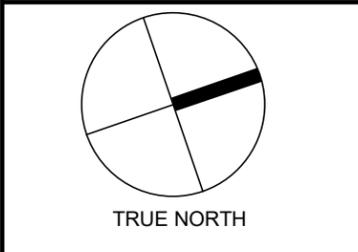
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NO.	ISSUED	DATE



PROJECT NAME  
**ACCESSORY BUILDING**

PROJECT ADDRESS  
505 GLOVER RD,  
STONEY CREEK,  
HAMILTON, ON

SHEET NAME  
**PROPOSED 3D**

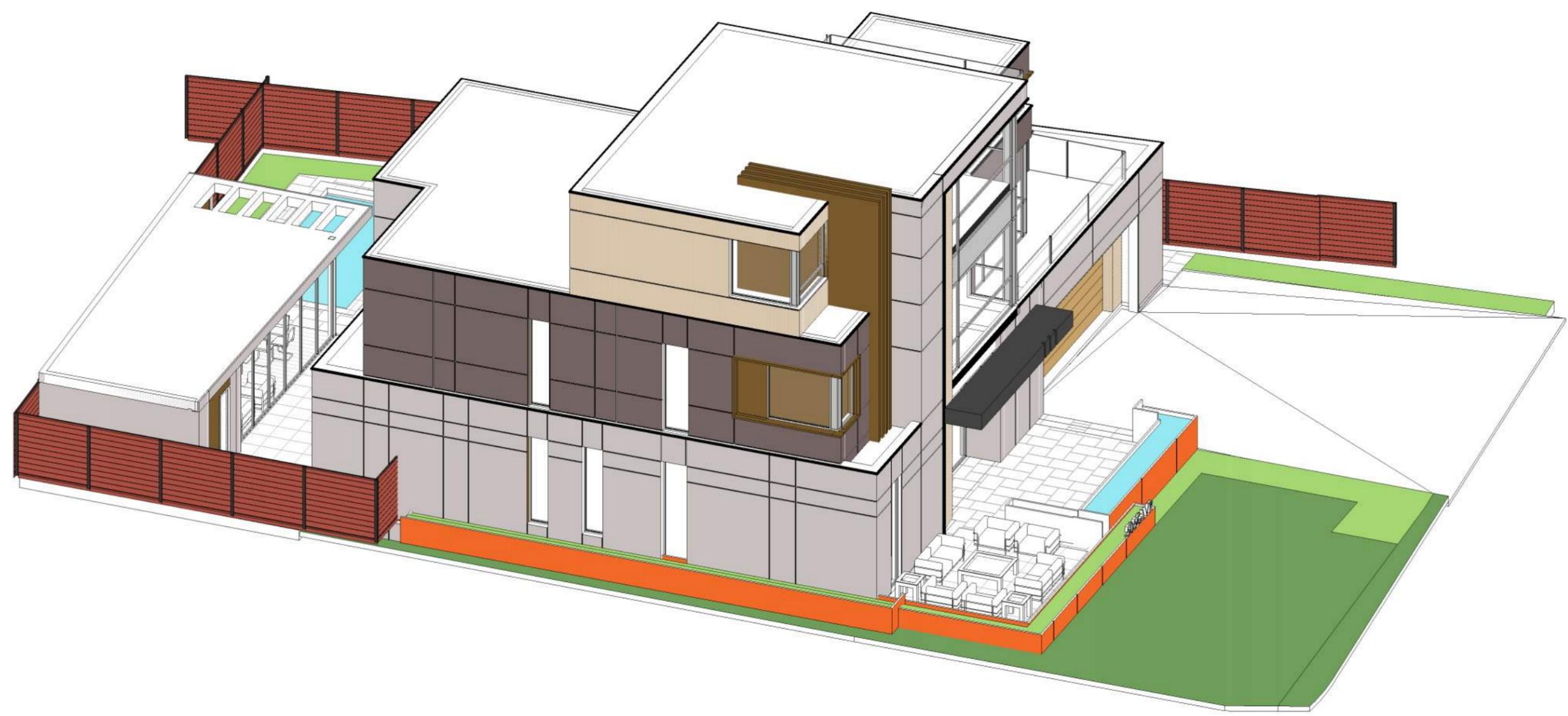
PROJECT NO.:  
**XX**

DRAWN BY  
**Author**

PLOT DATE  
**10/04/11**

SCALE

DRAWING:  
**P3.2**



EXISTING 3D Copy 1



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION  
UNDER SECTION 45 OF THE PLANNING ACT**

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS
Registered Owners(s)	Milos Manojlovic	[REDACTED]
Applicant(s)	Milos Manojlovic	
Agent or Solicitor	Stephen Mauro	

1.2 Primary contact  Applicant  Owner  Agent/Solicitor

1.3 Sign should be sent to  Applicant  Owner  Agent/Solicitor

1.4 Request for digital copy of sign  Yes\*  No

If YES, provide email address where sign is to be sent [REDACTED]

1.5 All correspondence may be sent by email  Yes\*  No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type  In person  Credit over phone\*  Cheque [REDACTED]

\*Must provide number above

## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	505 GLOVER ROAD S		
Assessment Roll Number	251800302038800		
Former Municipality	STONEY CREEK		
Lot		Concession	
Registered Plan Number	62R-17977	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

LANEWAY EASEMENT ALONG EAST SIDE OF PROPERTY

## 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

REDUCE REAR YARD AND SIDE YARD SETBACK TO ALLOW FOR  
INCREASE MAXIMUM LOT COVERAGE FROM 35% TO 37.18% ALLOWABLE.

Second Dwelling Unit  Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

THERE IS NOT ADEQUATE ROOM TO CONSTRUCT WITHIN THE SETBACK

3.3 Is this an application 45(2) of the Planning Act.

Yes  No

If yes, please provide an explanation:

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
25.23 m	36.02 m	790.15 m <sup>2</sup>	10 m

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SINGLE DETACHED DWELLING	10.01	7.72	1.52	01/01/2010

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
PATIO CABANA	30.07	0.09m	2.85m (FLANKAGE)	05/05/2025

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SINGLE DETACHED DWELLING	209.47	404.8	3	10.6

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
PATIO CABANA	44.41sm	44.41sm	1	3.35m

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)  
 \_\_\_\_\_

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)  
 \_\_\_\_\_

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
SINGLE DETACHED DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
SINGLE DETACHED DWELLING

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2021

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
SINGLE DETACHED DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
SINGLE DETACHED DWELLING

7.4 Length of time the existing uses of the subject property have continued:

INDEFINITE

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): n/a

Rural Settlement Area: n/a

Urban Hamilton Official Plan designation (if applicable) NEIGHBOURHOODS

Please provide an explanation of how the application conforms with the Official Plan.

THE USE REMAINS , ONLY REDUCTION IN SETBACK IS REQUIRED

7.6 What is the existing zoning of the subject land? R2 - LOW DENSITY

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: R2 - LOW DENSITY

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: \_\_\_\_\_

**8 ADDITIONAL INFORMATION**

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
  - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - Minimum Distance Separation Formulae (data sheet available upon request)
  - Hydrogeological Assessment
  - Septic Assessment
  - Archeological Assessment
  - Noise Study
  - Parking Study
- \_\_\_\_\_
- \_\_\_\_\_