



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-25:118	SUBJECT PROPERTY:	682 Cochrane Road, Hamilton
ZONE:	R1 (Low Density Residential)	ZONING BY-LAW:	Hamilton Zoning By-law 05-200, as Amended by 24-051

APPLICANTS: Owner: Sam Williams and Courtney Dorsey Williams
Agent: Kristjan Fortune – Kristjan Fortune Designs

The following variances are requested:

1. A minimum 2.2 metre flankage yard setback shall be permitted instead of the minimum required 3.0 metre setback.
2. A porch shall be permitted to project a maximum of 1.0 metre into the required flankage yard and may be as close as 1.2 metres to flankage lot line instead of the maximum of 1.5 metres, or to a maximum of half the distance of the required yard, whichever is the lesser.

PURPOSE & EFFECT: To facilitate the construction of an addition to the existing single detached dwelling.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, July 17, 2025
TIME:	1:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)

	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment
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For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

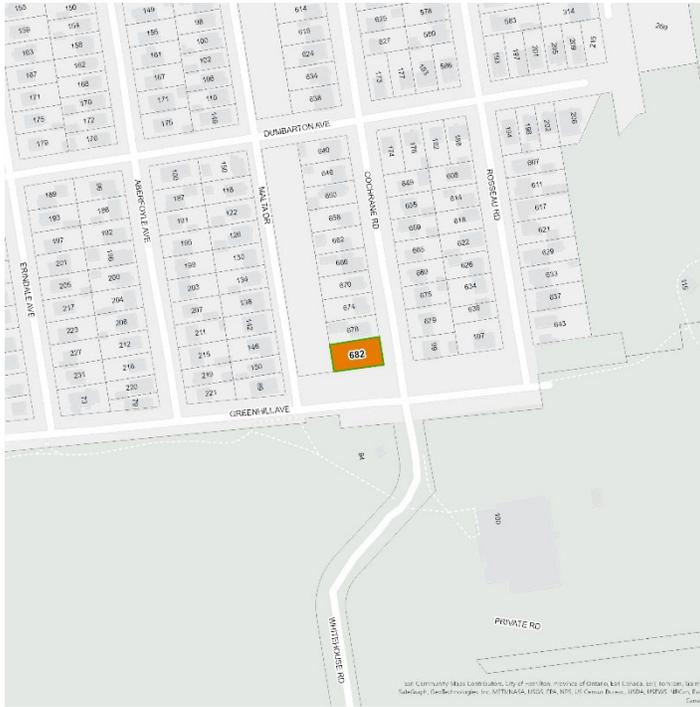
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon July 15, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon July 16, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:118, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: June 30, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

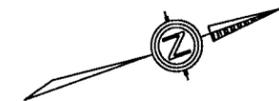
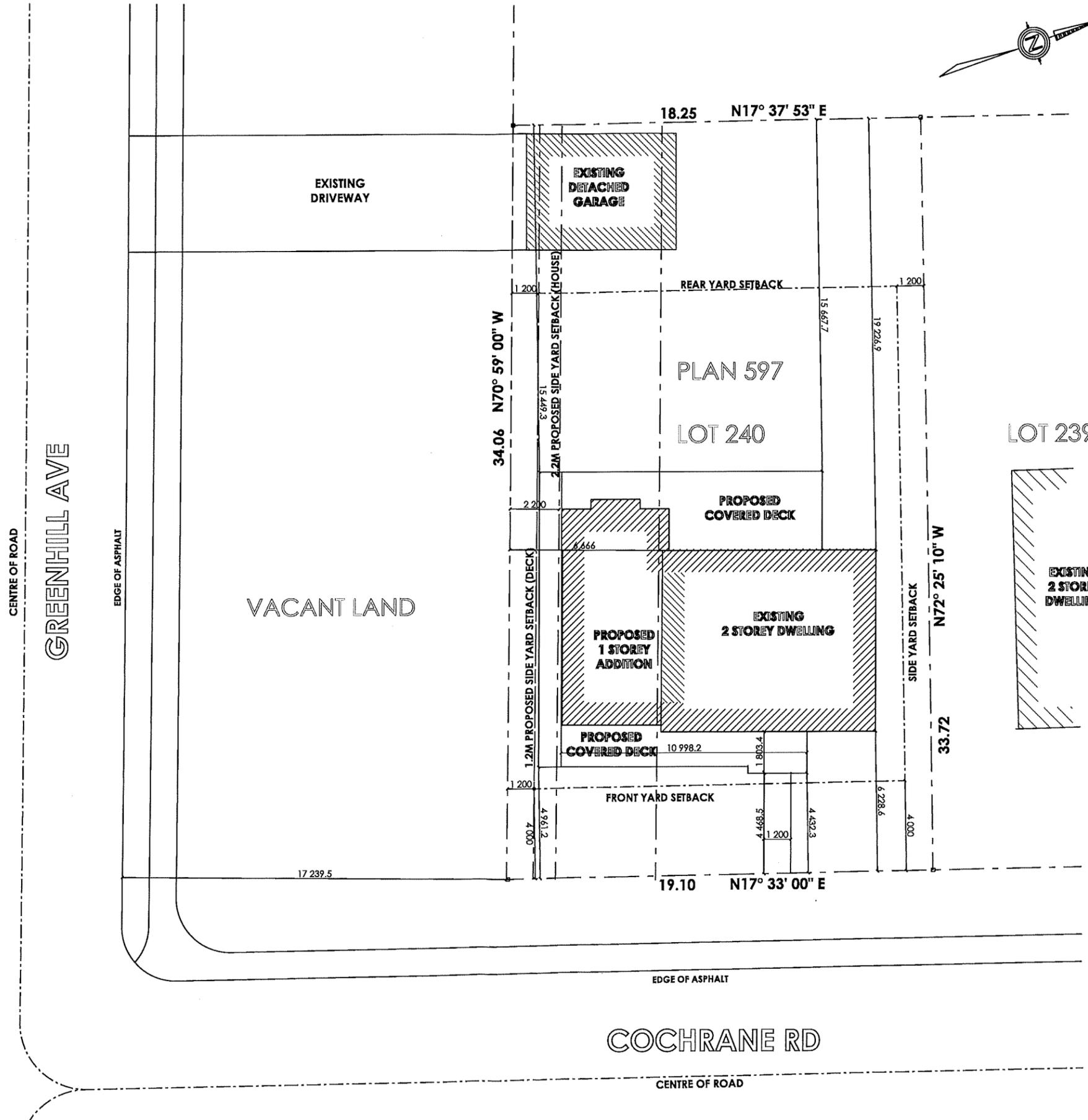
2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

PROPOSED SITE PLAN
SCALE: 1:200



DESIGNED BY:
KRISTJAN FORTUNE DESIGNS
905-510-5425
info@kristjanfortunedesigns.com



DESIGNER: KRISTJAN FORTUNE
FIRM: KRISTJAN FORTUNE DESIGNS
FIRM BCIN: 121448

15/06/25
DATE SIGNATURE OF DESIGNER

These drawings are the property of
KRISTJAN FORTUNE DESIGNS
and/or its clients only.

Contractors will check & verify
all dimensions & site conditions
prior to proceeding with work

DRAWING DATE	NO.
15/06/25	01

SCALE: 1:200

PROJECT #: 24-682-C

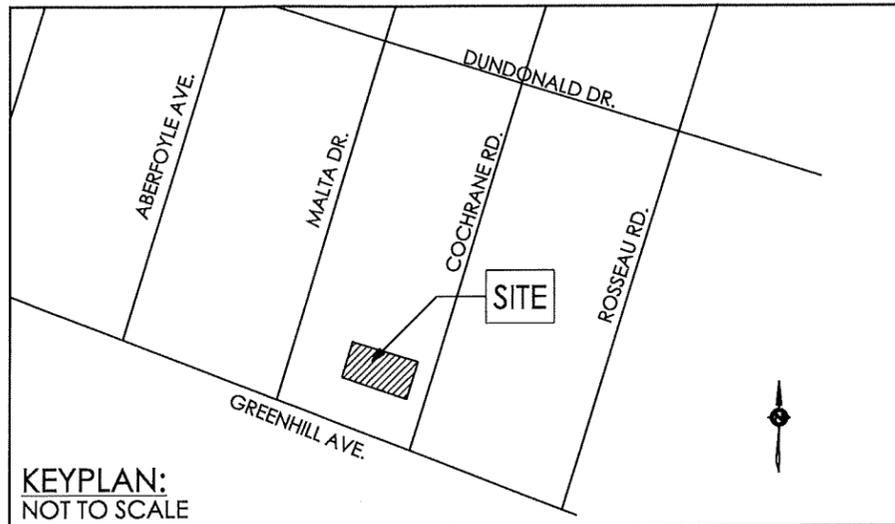
PROJECT ADDRESS: 682 COCHRANE RD
HAMILTON, ON
L8K 3H8

DRAWING: PROPOSED SITE PLAN

DRAWING NO: A0.03

PROJECT DIMENSIONS

LOT AREA:	7073.8 SqFt	657.18 SqM
EXISTING HOUSE LOT COVERAGE (including HOUSE & GARAGE):	1178.8 SqFt	109.51 SqM
PROPOSED HOUSE LOT COVERAGE (including HOUSE & GARAGE):	1659.7 SqFt	154.17 SqM
EXISTING HOUSE LOT COVERAGE/ LOT AREA RATIO %:		16.66%
PROPOSED HOUSE LOT COVERAGE/LOT AREA RATIO%:		23.46%
EXISTING MAIN FLOOR:	832.5 SqFt	77.34 SqM
PROPOSED NEW MAIN FLOOR:	485.8 SqFt	45.13 SqM
PROPOSED NEW TOTAL MAIN FLOOR:	1318.3 SqFt	122.47 SqM
EXISTING SECOND FLOOR:	565.9 SqFt	52.57 SqM
EXISTING TOTAL GFA:	1398.4 SqFt	129.92 SqM
PROPOSED TOTAL GFA:	1964.3 SqFt	182.49 SqM
EXISTING GFA/LOT AREA RATIO %		19.77%
PROPOSED GFA/LOT AREA RATIO%		27.77%
EXISTING GARAGE:	346.3 SqFt	32.17 SqM
EXISTING FRONT DECK:	83.7 SqFt	7.78 SqM
EXISTING BACK DECK:	276.0 SqFt	25.64 SqM
EXISTING TOTAL DECK:	359.7 SqFt	33.42 SqM
PROPOSED DECK:	692 SqFt	64.29 SqM
BUILDING HEIGHT:	22'-9"	6.93 M

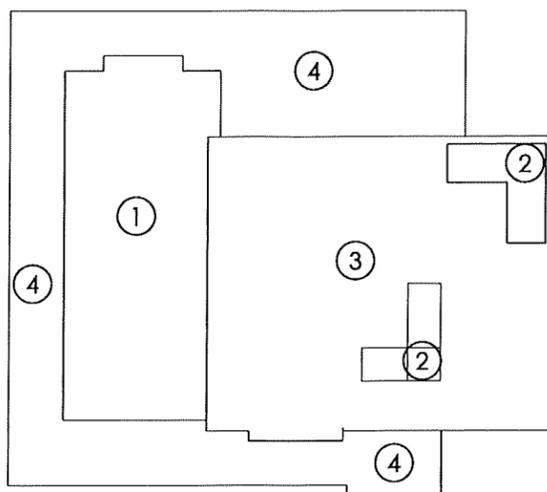


GLAZED OPENING CALCULATIONS

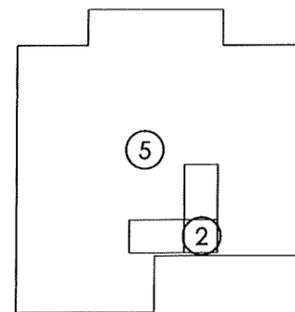
<p>FRONT WALL AREA: 617.0 SqFt = 57.32 m2 UNPROTECTED GLAZED OPENINGS ON FRONT WALL: 69.2 SqFt = 6.43 m2 % OF UNPROTECTED GLAZED OPENINGS ON FRONT WALL: 11.2 %</p>	<p>BACK WALL AREA: 674.4 SqFt = 62.65 m2 UNPROTECTED GLAZED OPENINGS ON REAR WALL: 93.6 SqFt = 8.7 m2 % OF GLAZED OPENINGS ON REAR WALL: 13.88 %</p>
<p>LEFT WALL AREA: 447.8 SqFt = 41.6 m2 UNPROTECTED GLAZED OPENINGS ON LEFT WALL: 39.9 SqFt = 3.71 m2 % OF UNPROTECTED GLAZED OPENINGS ON LEFT WALL: 8.91 %</p>	<p>RIGHT WALL AREA: 444.4 SqFt = 41.29 m2 UNPROTECTED GLAZED OPENINGS ON RIGHT WALL: 24.3 SqFt = 2.26 m2 % OF UNPROTECTED GLAZED OPENINGS ON RIGHT: 5.47 %</p>
<p>TOTAL WALL AREA: 2183.6 SqFt = 202.86 m2 TOTAL UNPROTECTED GLAZED OPENINGS ON ALL WALLS: 227.0 SqFt = 21.09 m2 TOTAL % OF UNPROTECTED GLAZED OPENINGS ON ALL WALLS: 10.4%</p>	

AREA CALCULATIONS:

- ① MAIN FLOOR
- ② STAIRS
- ③ EXISTING MAIN FLOOR
- ④ COVERED DECK
- ⑤ EXISTING SECOND FLOOR



MAIN



SECOND

DRAWING NOTES:

① HSS 3-1/2" dia. 8"x8"x1/2" BOTTOM PLATE 6"x6"x1/2" TOP PLATE ON 46" x 46" x 18" CONCRETE PAD	⑦ 2"x6" @ 16" o/c LOAD BEARING WALL ON 16" x 10" FOOTING	⑱ GLASS SHOWER WALL
② BEAM POCKET (TYP.) MIN. 31/2" END BEARING FOR WOOD & STEEL BEAMS, WITH 7 7/8" SOLID MASONRY BENEATH THE BEAM	⑩ 6"x6" MIN. WOOD POST ANCHORED TO CONC. PIER W/ METAL SHOE & 1/2" Dia. BOLT SHOE ANCHORED MIN. 4" INTO 12" CONC. PIER 4'-0" MIN. BELOW GRADE	⑲ HSS 3-1/2" dia.
③ 4" AIR VENT O.B.C. 9.32.2	⑪ EXISTING CONCRETE BLOCK PIER ON 16"x32" FOOTING	⑳ LOAD POINT
④ MIN. 6" - 35MPA POURED CONCRETE SLAB WITH 6% ENTRAINED AIR	⑫ SMOKE/CARBON ALARM O.B.C. 9.10.19.3 & 9.33.4.2	㉑ 3-2"x6" WOOD POST
⑤ TYPICAL BASEMENT FLOOR: 3" CONCRETE SLAB c/w FIBRE MESH REINFORCEMENT 6 mil POLY VAPOR BARRIER 2" RIGID INSULATION COMPACTED GRANULAR FILL	⑬ GAS FIREPLACE VENT DIRECTLY OUT	㉒ 2" x 6" LOAD BEARING WALL
⑥ 10" POURED CONCRETE FOUNDATION WALL WITH 24" x 8" FOOTING	⑭ FURNACE	㉓ AUTOMATIC DOOR CLOSER
	⑮ WATER HEATER	㉔ 3-PLY-2"x12" SPF.
	⑯ HEAT RECOVERY VENTILATOR	㉕ 3-PLY-2"x14" LVL
	⑰ FLOOR DRAIN (PROVIDE TRAP SEAL)	㉖ 3'-6" GUARD RAIL (WOOD)
		㉗ DOWN SPOUT
		㉘ PROVIDE 2-15M VERT ALL SIDES OF WALL OPENINGS. VERTICAL BARSTO EXTEND FROM FOOTING TO TOP OF WALL

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DESIGNER: KRISTJAN FORTUNE
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FIRM BCIN: 121448

15/06/25
DATE SIGNATURE OF DESIGNER

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Contractors will check & verify all dimensions & site conditions prior to proceeding with work

DRAWING DATE	NO.
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15/06/25	01
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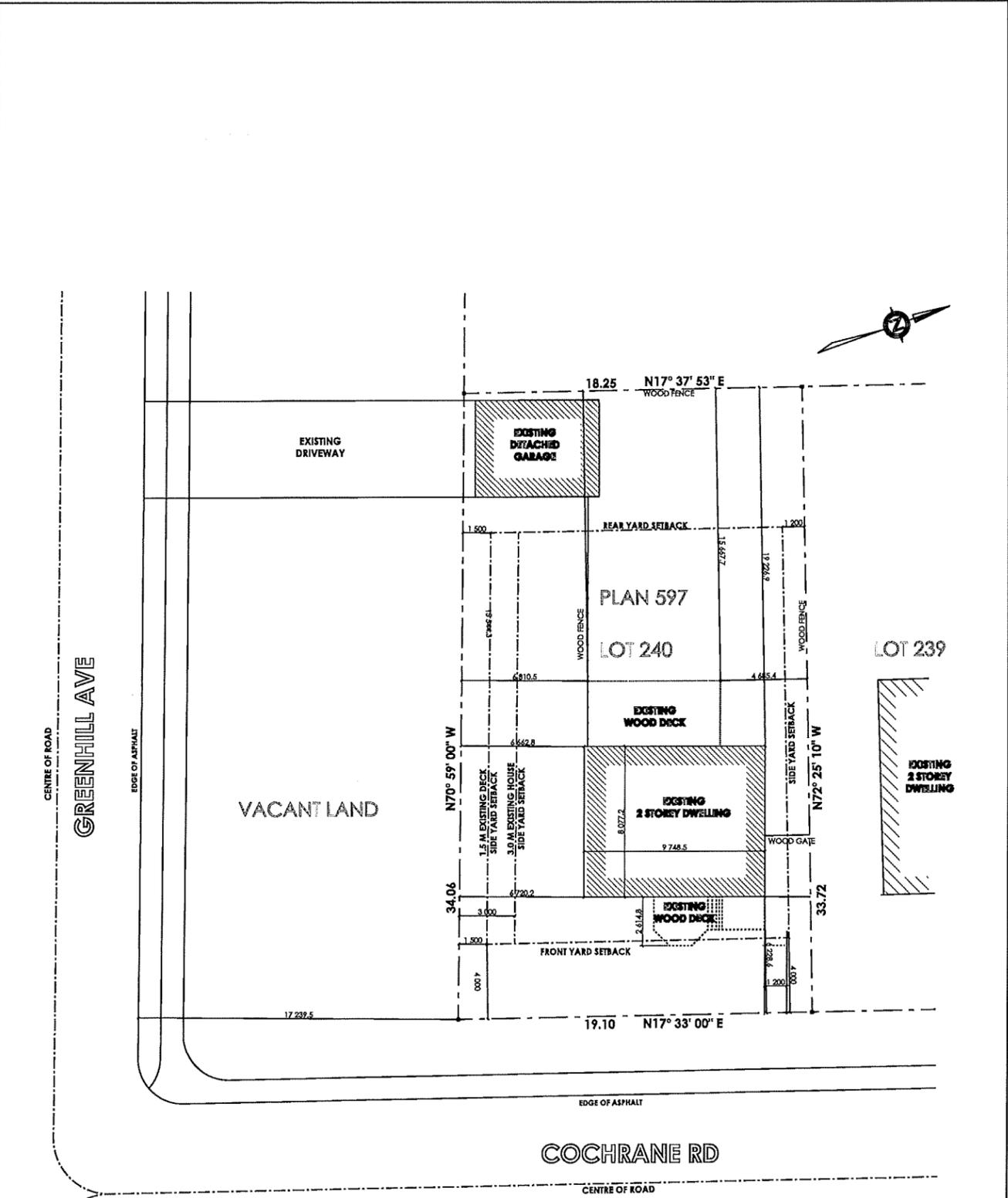
SCALE: AS NOTED

PROJECT #: 24-682-C

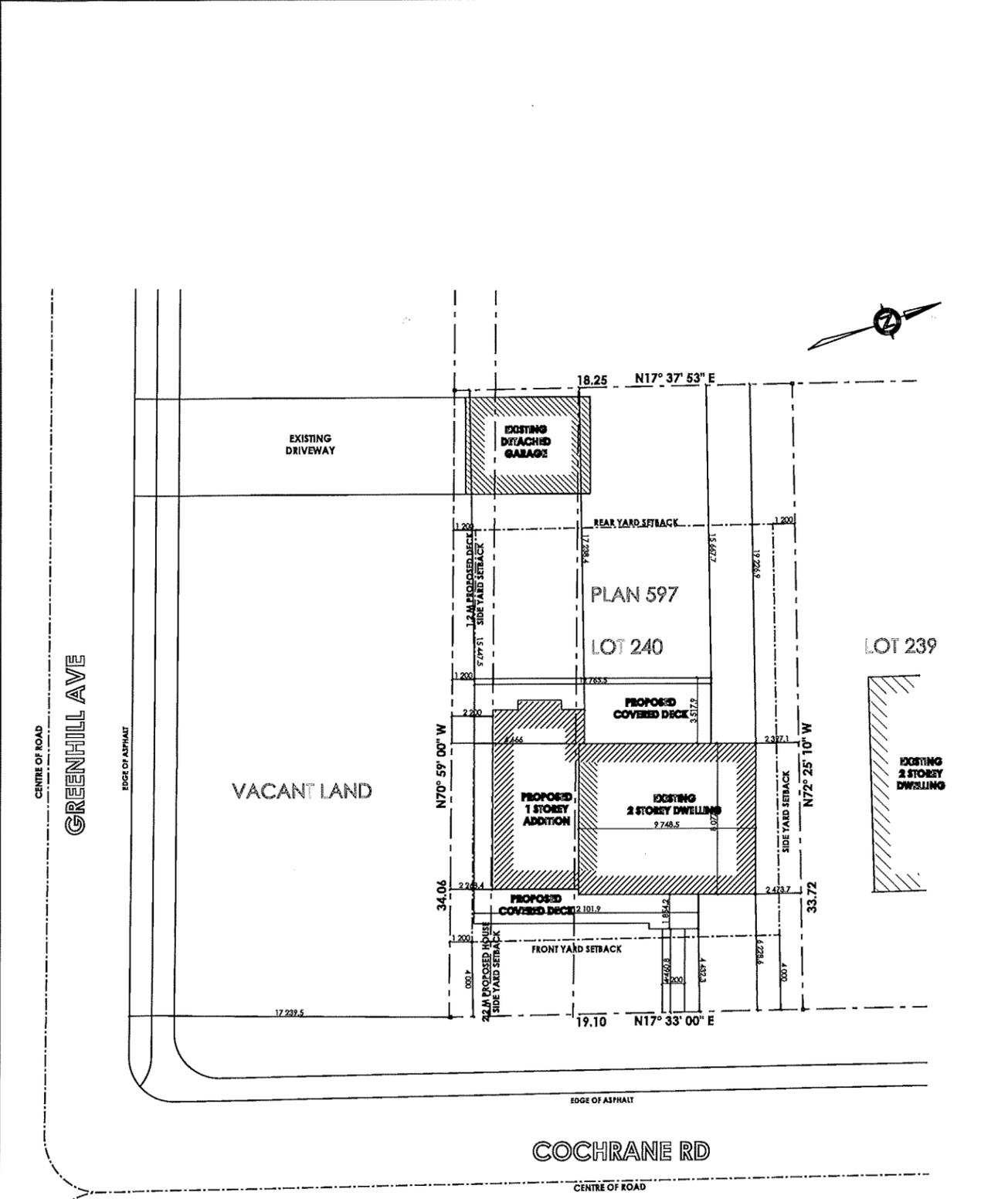
PROJECT ADDRESS: 682 COCHRANE RD HAMILTON, ON L8K 3H8

DRAWING: SITE STATISTICS

DRAWING NO: A0.01



EXISTING SITE PLAN
SCALE: 1:300



PROPOSED SITE PLAN
SCALE: 1:300



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15/04/25
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DRAWING DATE	NO.
15/06/25	01

SCALE: AS NOTED
PROJECT #: 24-682-C
PROJECT ADDRESS: 682 COCHRANE RD
HAMILTON, ON
L8K 3H8

DRAWING: SITE PLAN

DRAWING NO: A0.02



FRONT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



LEFT ELEVATION



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 FIRM: KRISTJAN FORTUNE DESIGNS
 FIRM BCIN: 121448

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15/06/25	01

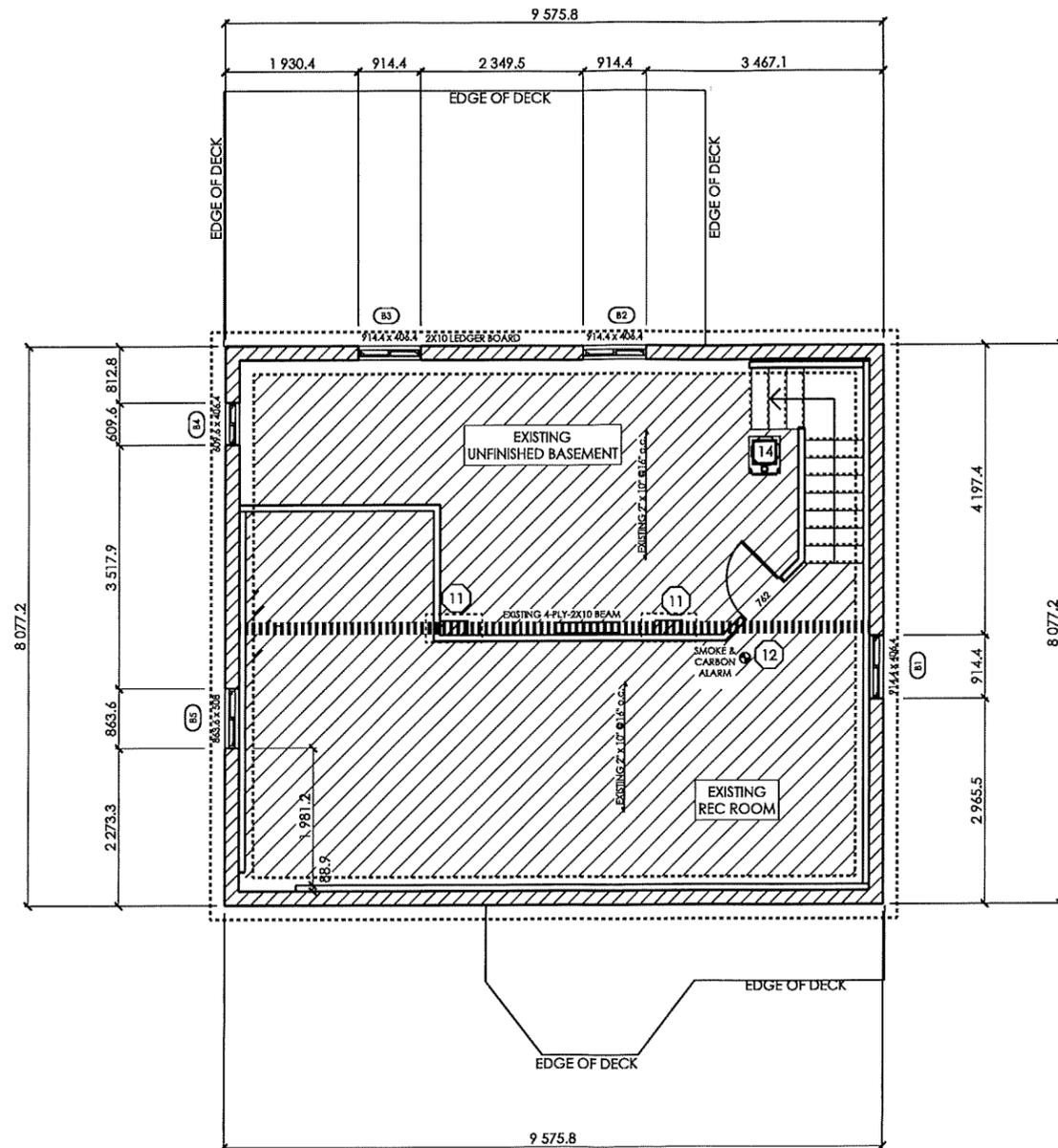
SCALE: N/A

PROJECT #: 24-682-C

PROJECT ADDRESS: 682 COCHRANE RD
 HAMILTON, ON
 L8K 3H8

DRAWING: PROPOSED STREETScape

DRAWING NO: A0.04



NOTES:

- (12) SMOKE/CARBON ALARM
- (13) GAS FIREPLACE VENT DIRECTLY OUT
- (20) POINT LOAD
- (21) 3-2"x6" WOOD POST
- (28) 3-PLY-2"x14" SPF.

LINTELS:

WL2 = 5" X 3 1/2" X 5/16" (125X90X8)
+ 3 - 2" X 8" SPR.

WL5 = 6" X 4" X 3/8" (150X100X10)
+ 3 - 2" X 10" SPR.

WL8 = 5" X 3 1/2" X 5/16" (125X90X8)
+ 3 - 2" X 12" SPR.

WOOD LINTELS:

WB2 = 3 - 2" X 8" SPRUCE BEAM

WB5 = 3 - 2" X 10" SPRUCE BEAM

WB8 = 3 - 2" X 12" SPRUCE BEAM

OPENING SCHEDULE

ID	SIZE	LINTEL
B1	3'-0" x 1'-4"	EXISTING
B2	3'-0" x 1'-4"	EXISTING
B3	3'-0" x 1'-4"	EXISTING
B4	2'-10" x 1'-4"	EXISTING TO BE REMOVED
B5	2'-10" x 1'-8"	EXISTING TO BE REMOVED



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DESIGNER: KRISTJAN FORTUNE
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10/12/24
DATE SIGNATURE OF DESIGNER

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DRAWING DATE	NO.
10/05/2022	01

SCALE: 1:100

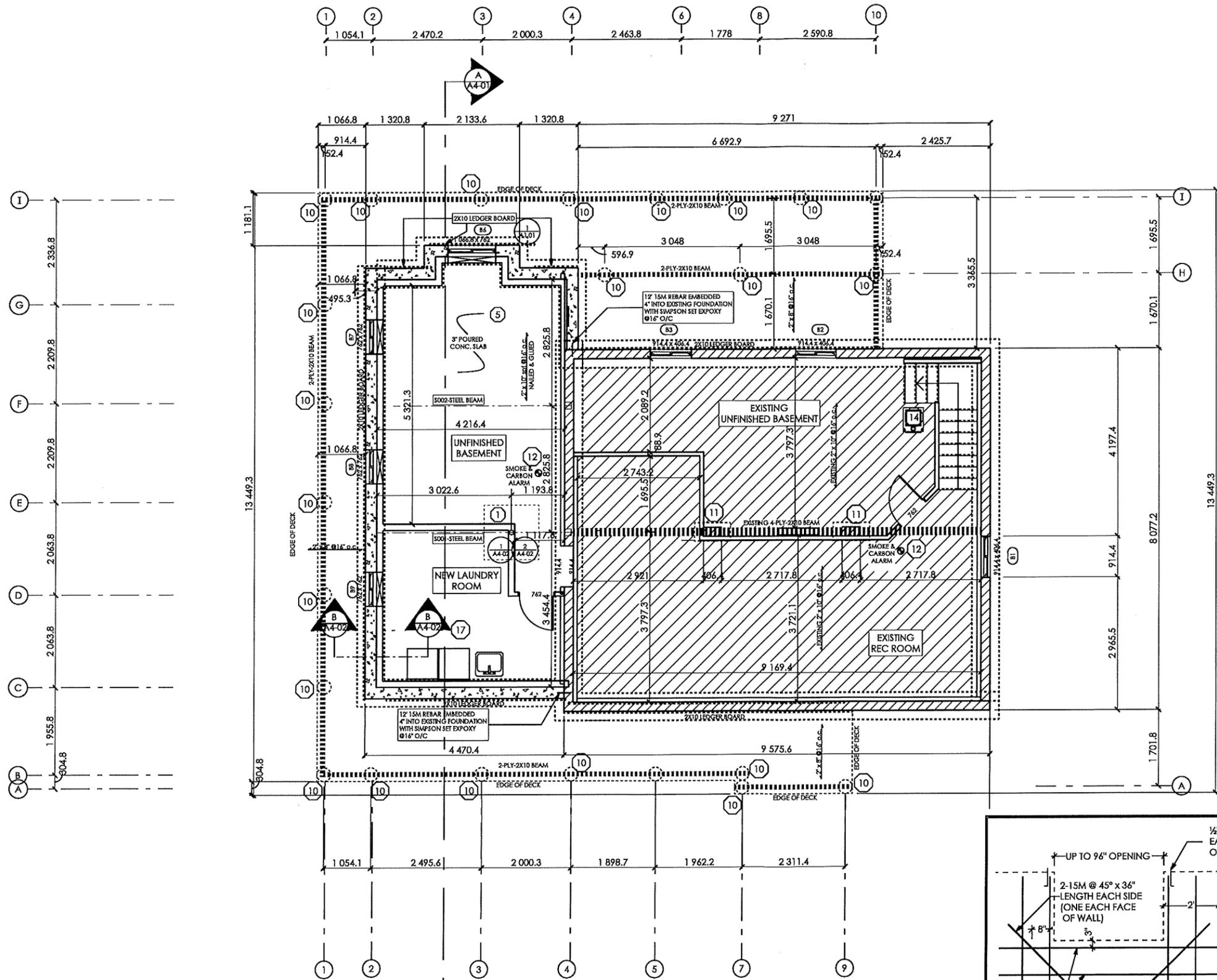
PROJECT #: 24-682-C

PROJECT: 682 COCHRANE RD
HAMILTON, ON
L8K 3H8

DRAWING: EXISTING
BASEMENT PLAN

DRAWING NO:

A1.01A



- NOTES:**
- HSS 3-1/2" dia. 8"x8"x1/2" BOTTOM PLATE 6"x6"x1/2" TOP PLATE ON 46" x 46" x 18" CONCRETE PAD
 - BEAM POCKET (TYP.) MIN. 3/2" END BEARING FOR WOOD & STEEL BEAMS, WITH 7 7/8" SOLID MASONRY BENEATH THE BEAM
 - 4" AIR VENT O.B.C. 9.32.2.2
 - MIN. 6" - 35MPA POURED CONCRETE SLAB WITH 6% ENTRAINED AIR
 - TYPICAL BASEMENT FLOOR: 3" CONCRETE SLAB c/w FIBRE MESH REINFORCEMENT 6 mil POLY VAPOR BARRIER 2" RIGID INSULATION COMPACTED GRANULAR FILL
 - 10" POURED CONCRETE FOUNDATION WALL WITH 24" x 8" FOOTING
 - 2"x6" @ 16" o/c LOAD BEARING WALL ON 16" x 10" FOOTING
 - 6x6/W6-W6 WELDED WIRE MESH SEE DRAWING A3-02 FOR DETAILS
 - 10M @ 8" TOP DOWELS SEE DRAWING A-13 FOR DETAILS
 - 6"x6" MIN. WOOD POST ANCHORED TO CONC. PIER W/ METAL SHOE & 1/2" Dia. BOLT SHOE ANCHORED MIN. 4" INTO 12" CONC. PIER 4'-0" MIN. BELOW GRADE
 - EXISTING CONCRETE BLOCK PIER ON 16"x32" FOOTING
 - SMOKE/CARBON ALARM
 - FURNACE
 - WATER HEATER
 - HEAT RECOVERY VENTILATOR
 - FLOOR DRAIN (PROVIDE TRAP SEAL)

STEEL BEAMS:

	HT	FLG	THK
S001-W10 X 26	(10.3" X 5.77" X .440)		
LENGTH:	12'-2-1/2"		
	+ 3-1/2" MIN. BEARING ON EACH SIDE		
S002-W10 X 26	(10.3" X 5.77" X .440)		
LENGTH:	12'-2-1/2"		
	+ 3-1/2" MIN. BEARING ON EACH SIDE		

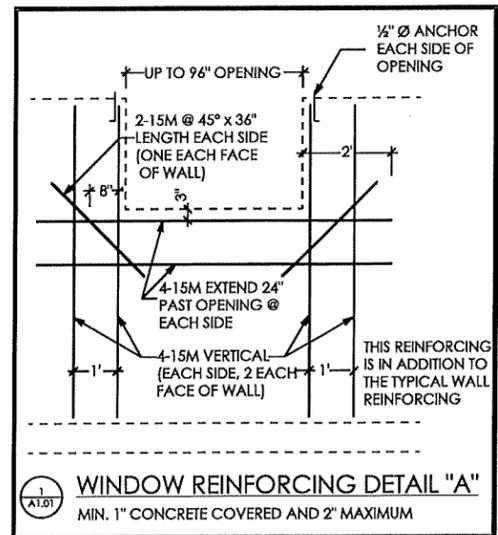
WOOD LINTELS:

WB5 = 3 - 2" X 10" SPRUCE BEAM

LINTELS:

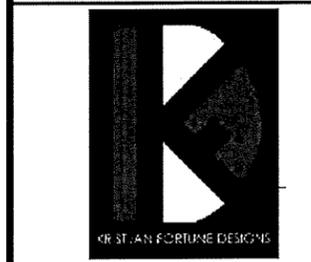
WL2 = 5" X 3 1/2" X 5/16" (125X90X8) + 3 - 2" X 8" SPR.

WL5 = 6" X 4" X 3/8" (150X100X10) + 3 - 2" X 10" SPR.



OPENING SCHEDULE

ID	SIZE	LINTEL
B1	3'-0" x 1'-4"	EXISTING
B2	3'-0" x 1'-4"	EXISTING
B3	3'-0" x 1'-4"	EXISTING
B6	3'-6" x 2'-6"	WL3
B7	2'-6" x 2'-6"	WL2
B8	2'-6" x 2'-6"	WL2
B9	2'-6" x 2'-6"	WL2



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DESIGNER: KRISTIAN FORTUNE
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FIRM BCIN: 121449

10/12/24
DATE SIGNATURE OF DESIGNER

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DRAWING DATE	NO.
10/12/2024	01

SCALE: 1:100

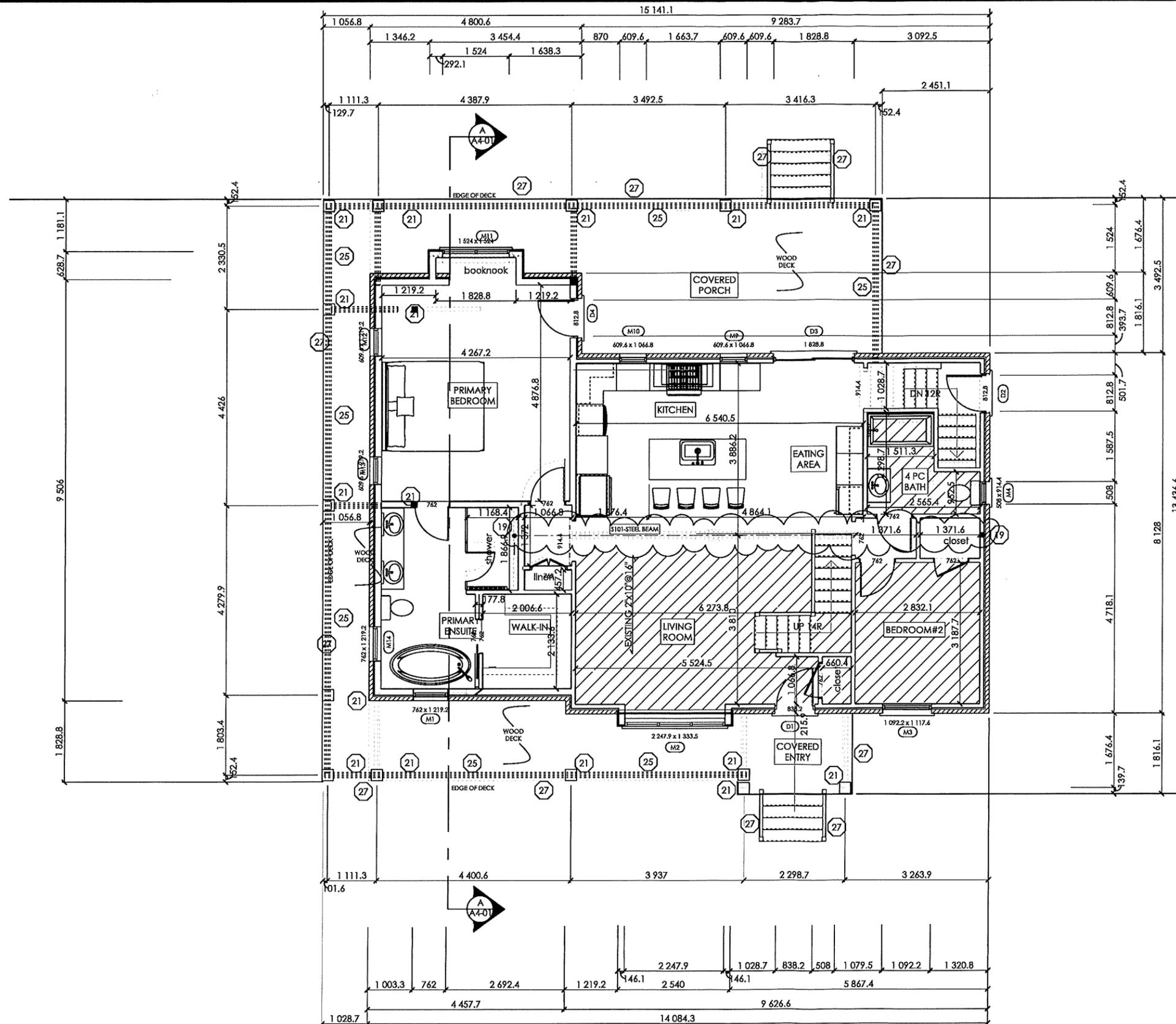
PROJECT #: 24-682-C

PROJECT: 682 COCHRANE RD HAMILTON, ON L8K 3H8

DRAWING: BASEMENT PLAN

DRAWING NO:

A1.01B



- NOTES:**
- 12 SMOKE/CARBON ALARM
 - 19 HSS 3-1/2" dia.
 - 20 POINT LOAD
 - 21 3-2"x6" WOOD POST
 - 22 2' x 6" LOAD BEARING WALL
 - 24 OPENING 8' HT
 - 25 3-PLY-2"x12" SPF.
 - 27 3'-6" GUARD RAIL (WOOD)
 - 28 3-PLY-2"x14" SPF.

STEEL BEAMS:

S101-W10 X 26 HT FLG THK (10.3" X 5.77" X .440)
 LENGTH: 12'-2-1/2"
 + 3-1/2" MIN. BEARING ON EACH SIDE

LINTELS:

WL2 = 5" X 31/2" X 5/16" (125X90X8)
 + 3 - 2" X 8" SPR.

WL5 = 6" X 4" X 3/8" (150X100X10)
 + 3 - 2" X 10" SPR.

WL8 = 5" X 31/2" X 5/16" (125X90X8)
 + 3 - 2" X 12" SPR.

WOOD LINTELS:

WB2 = 3 - 2" X 8" SPRUCE BEAM

WB5 = 3 - 2" X 10" SPRUCE BEAM

WB8 = 3 - 2" X 12" SPRUCE BEAM

OPENING SCHEDULE

ID	SIZE	LINTEL
D1	2'-9" x 6'-8"	EXISTING
D2	2'-8" x 6'-9 1/2"	EXISTING
D3	6'-0" x 6'-9 1/2"	WB8
D4	2'-8" x 6'-9 1/2"	WB2
M1	2'-8" x 4'-0"	WB2
M2	7'-4 1/2" x 4'-4 1/2"	EXISTING
M3	3'-7" x 3'-8"	EXISTING
M4	1'-8" x 3'-0"	EXISTING
M9	2'-0" x 3'-6"	WB2
M10	2'-0" x 3'-6"	WB2
M11	5'-0" x 5'-0"	WB5
M12	2'-0" x 4'-0"	WB2
M13	2'-0" x 4'-0"	WB2
M14	2'-6" x 4'-0"	WB2



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 FIRM: KRISTJAN FORTUNE DESIGNS
 FIRM BCIN: 121448

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DRAWING DATE	NO.
10/12/2024	01

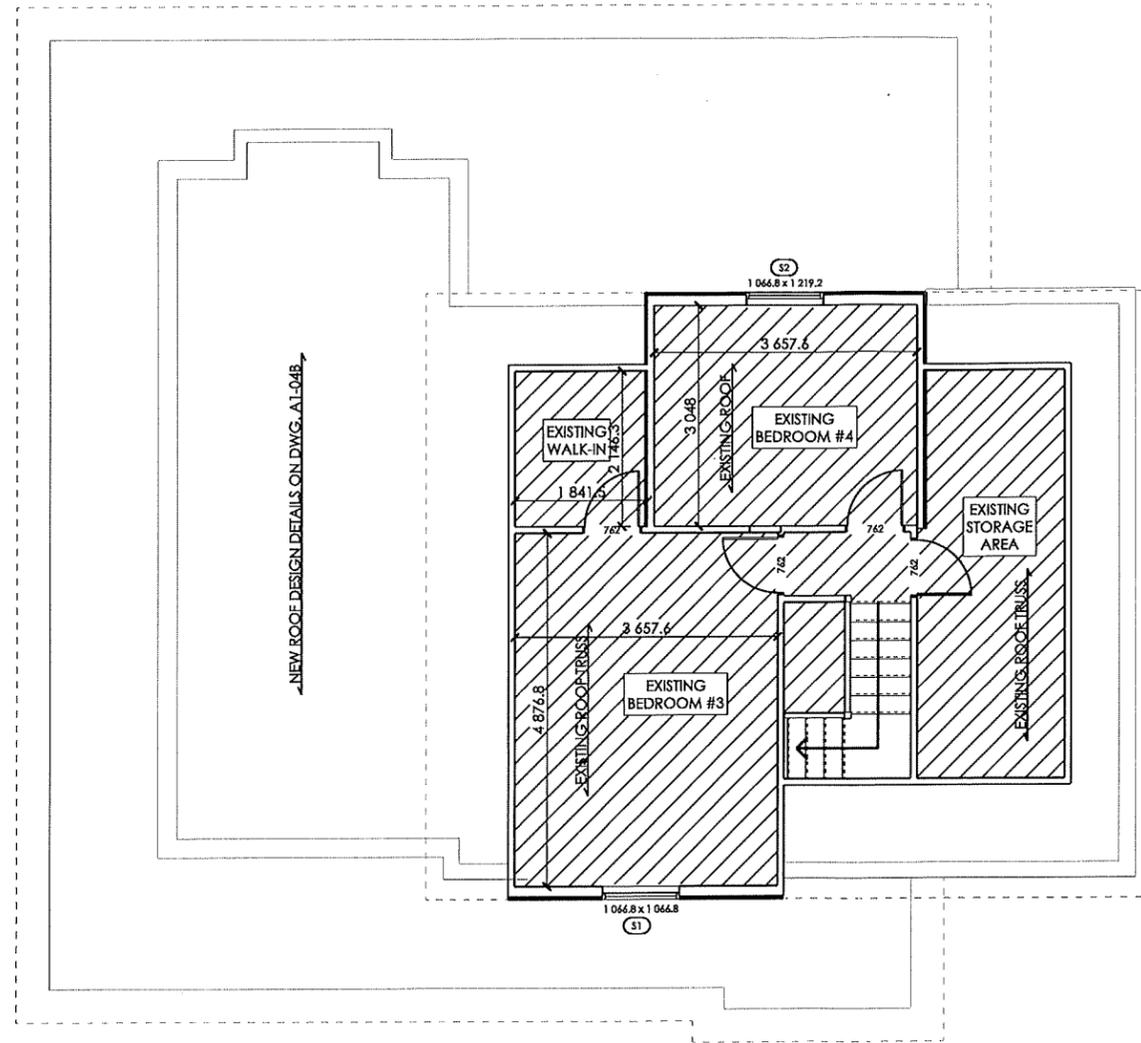
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PROJECT #: 24-682-C

PROJECT: 682 COCHRANE RD
 HAMILTON, ON
 L8K 3H8

DRAWING: MAIN FLOOR PLAN

DRAWING NO: A1.02B



DESIGNED BY:
 KRISTJAN FORTUNE DESIGNS
 905-510-5425
 info@kristjanfortunedesigns.com



DESIGNER: KRISTJAN FORTUNE
 FIRM: KRISTJAN FORTUNE DESIGNS
 FIRM BCIN: 121448

10/12/24
 DATE

[Signature]
 SIGNATURE OF DESIGNER

These drawings are the property of
 KRISTJAN FORTUNE DESIGNS
 and/or its clients only.

Contractors will check & verify
 all dimensions & site conditions
 prior to proceeding with work

DRAWING DATE	NO.
10/12/2024	01

SCALE: 1:100

PROJECT #: 24-682-C

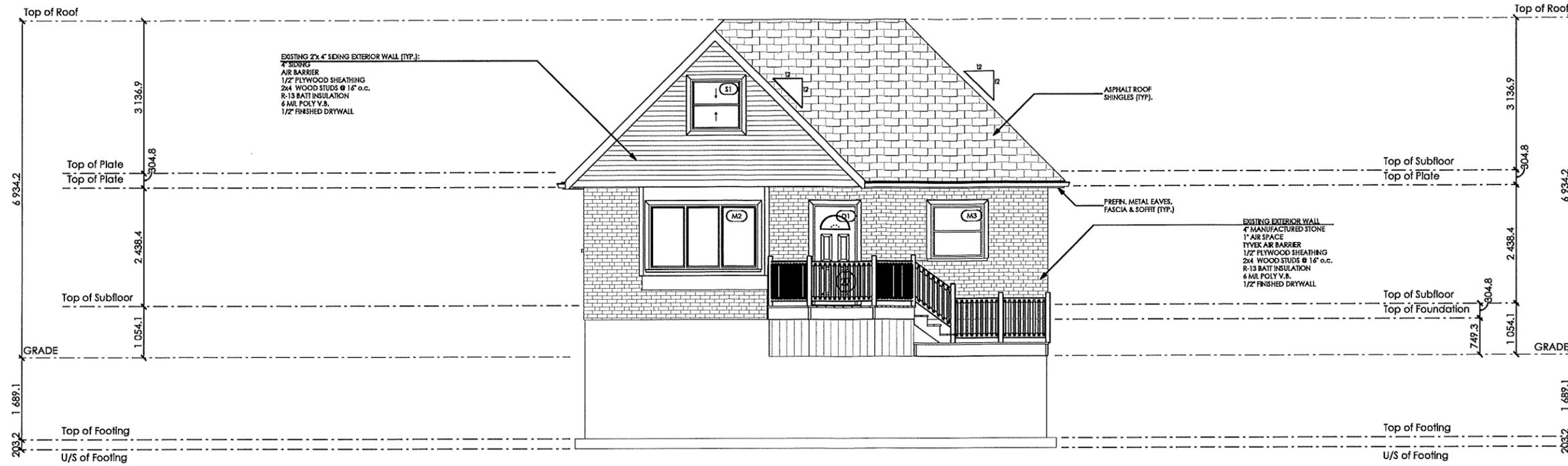
PROJECT: 682 COCHRANE RD
 HAMILTON, ON
 L8K 3H8

DRAWING: SECOND FLOOR PLAN

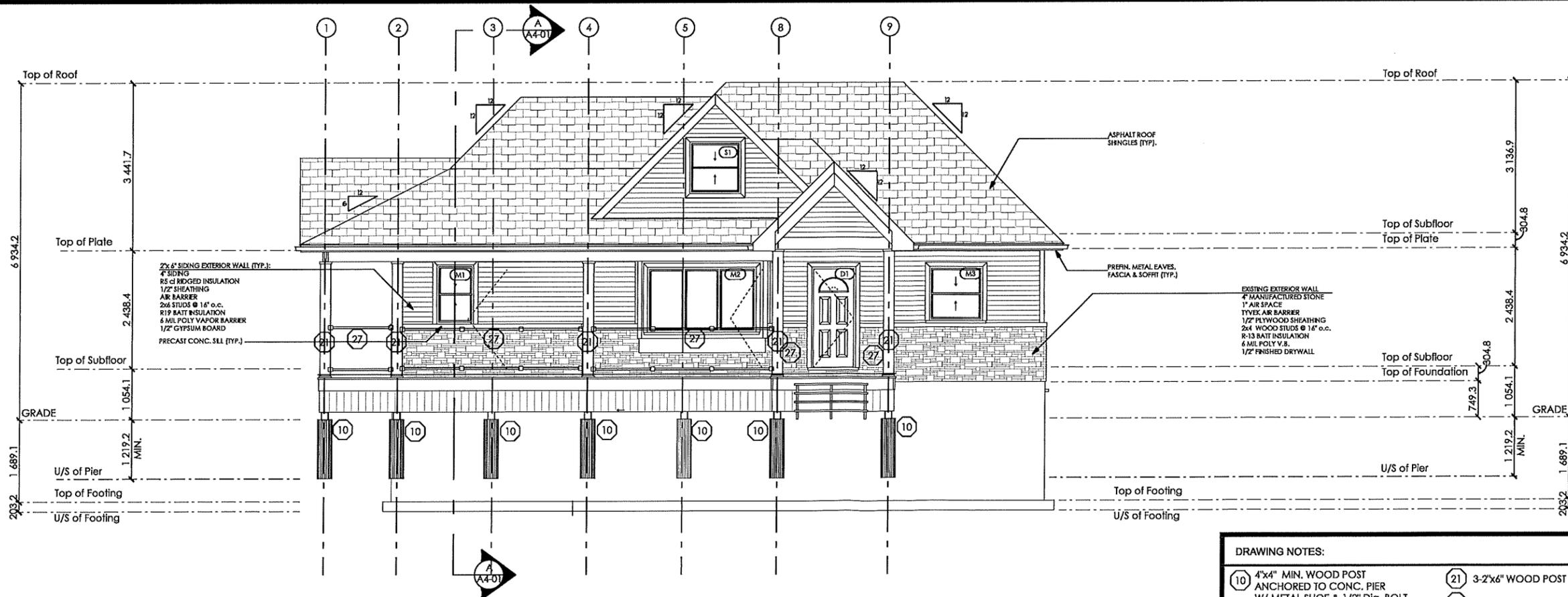
DRAWING NO:

A1.03

OPENING SCHEDULE		
ID	SIZE	LINTEL
S1	3'-6" x 3'-6"	EXISTING
S2	3'-6" x 4'-0"	EXISTING



EXISTING FRONT ELEVATION
1:100



PROPOSED FRONT ELEVATION
1:100

- DRAWING NOTES:**
- (10) 4"x4" MIN. WOOD POST ANCHORED TO CONC. PIER W/ METAL SHOE & 1/2" Dia. BOLT SHOE ANCHORED MIN. 4" INTO 12" CONC. PIER MIN. 4'-0" BELOW GRADE
 - (21) 3-2"x6" WOOD POST
 - (25) 3-PLY-2"x12" SPF.
 - (27) 3'-6" GUARD RAIL



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FIRM: KRISTJAN FORTUNE DESIGNS
FIRM BCIN: 121448

10/12/24
DATE SIGNATURE OF DESIGNER

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DRAWING DATE	NO.
10/05/2022	01

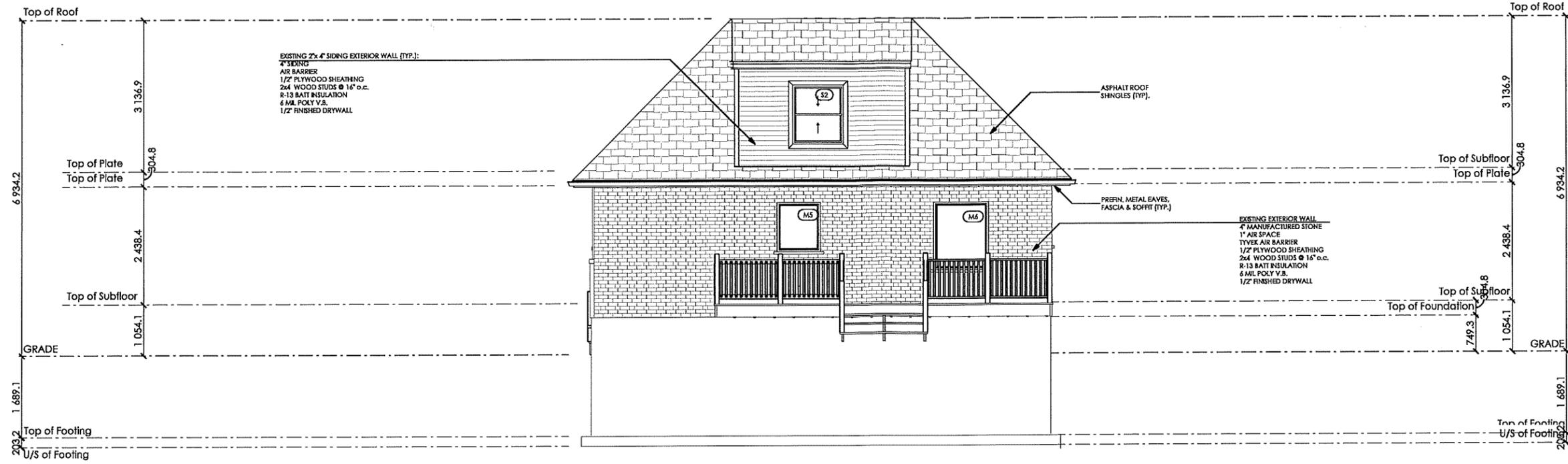
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PROJECT #: 24-682-C

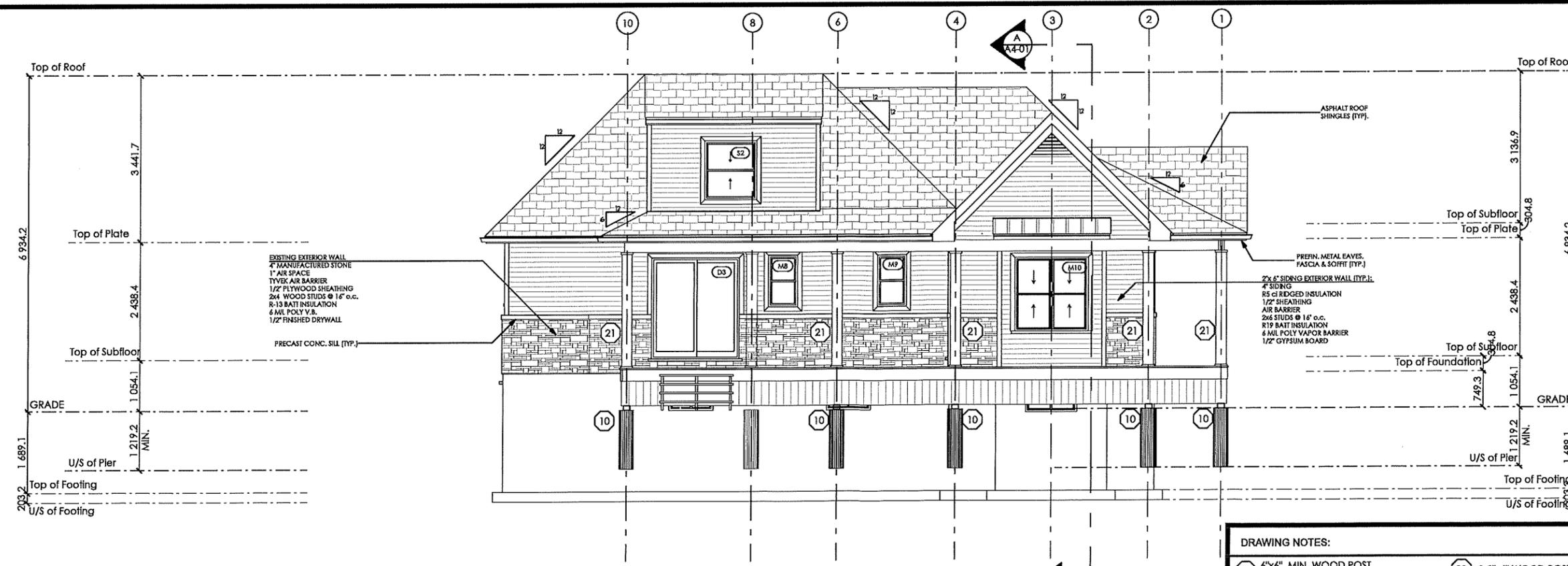
PROJECT: 682 COCHRANE RD
HAMILTON, ON
L8K 3H8

DRAWING: EXISTING & PROPOSED FRONT ELEVATIONS

DRAWING NO:
A2.01



EXISTING REAR ELEVATION
1:100



PROPOSED REAR ELEVATION
1:100

- DRAWING NOTES:**
- (10) 6"x6" MIN. WOOD POST ANCHORED TO CONC. PIER W/ METAL SHOE & 1/2" Dia. BOLT SHOE ANCHORED MIN. 4" INTO 12" CONC. PIER MIN. 4'-0" BELOW GRADE
 - (21) 3-2"x6" WOOD POST
 - (25) 3-PLY-2"x12" SPF.
 - (27) 3'-6" GUARD RAIL



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10/12/24
DATE SIGNATURE OF DESIGNER

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10/05/2022	01

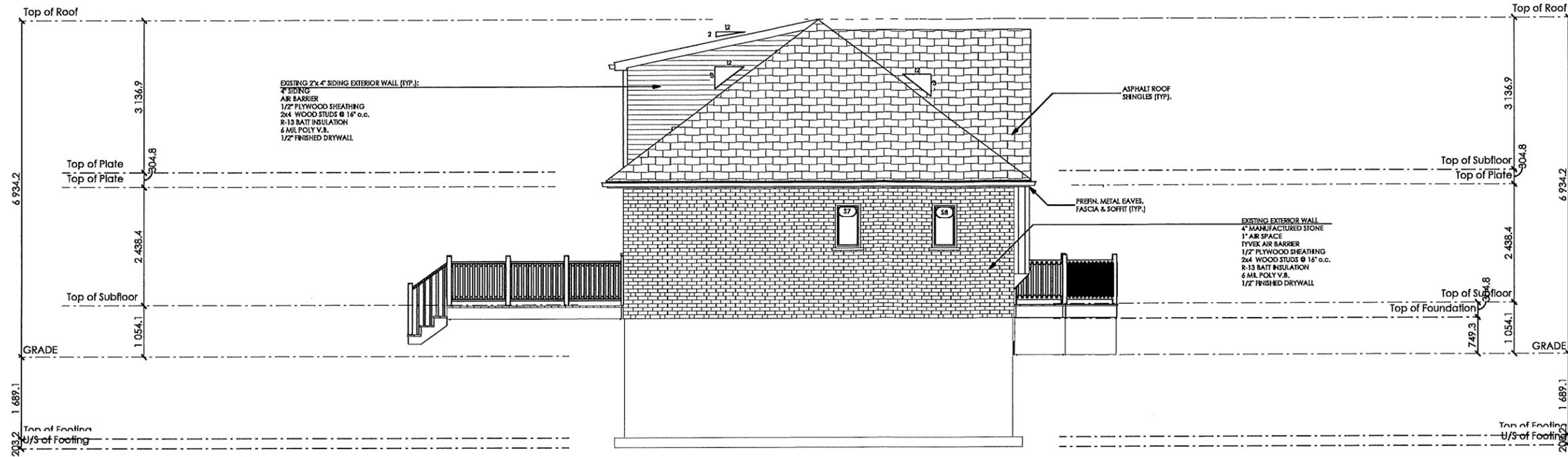
SCALE: 1:100

PROJECT #: 24-682-C

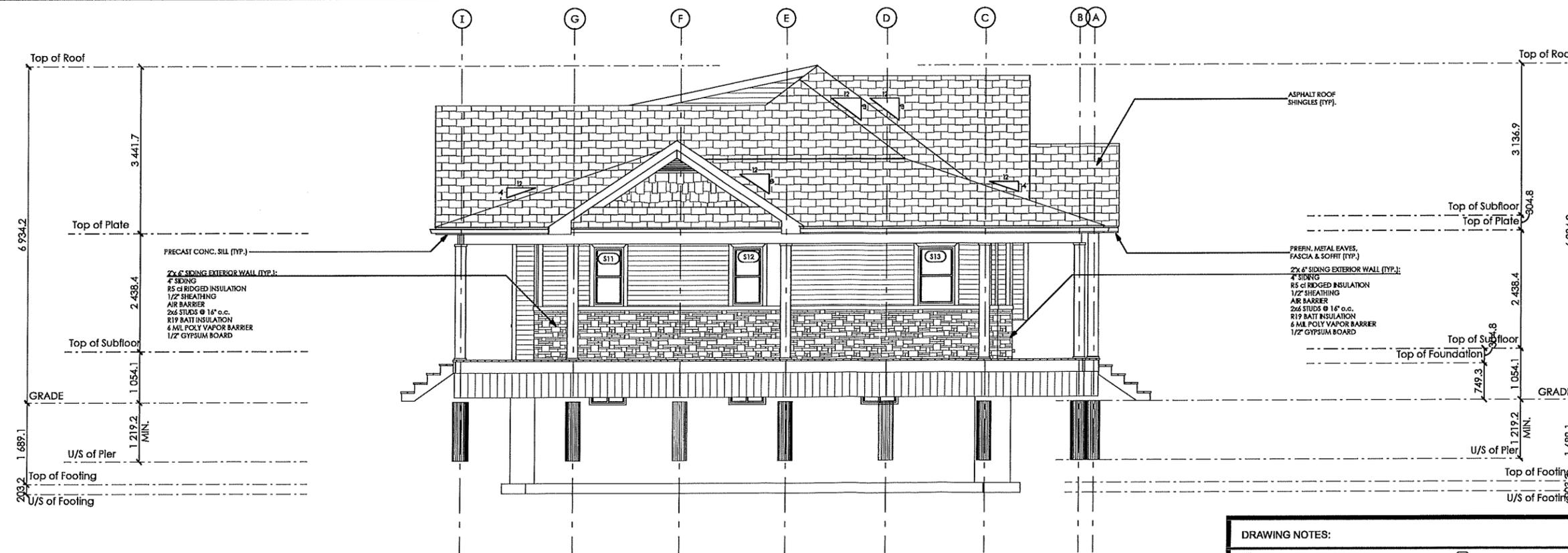
PROJECT: 682 COCHRANE RD
HAMILTON, ON
L8K 3H8

DRAWING: EXISTING & PROPOSED REAR ELEVATIONS

DRAWING NO:
A2.02



EXISTING LEFT ELEVATION
1:100



PROPOSED LEFT ELEVATION
1:100

DRAWING NOTES:

(10) 4"x4" MIN. WOOD POST ANCHORED TO CONC. PIER W/ METAL SHOE & 1/2" Dia. BOLT SHOE ANCHORED MIN. 4" INTO 12" CONC. PIER MIN. 4'-0" BELOW GRADE	(21) 3-2"x6" WOOD POST
(25) 3-PLY-2"x12" SPF.	(27) 3'-6" GUARD RAIL



DESIGNED BY:
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DESIGNER: KRISTJAN FORTUNE
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FIRM BCIN: 121448

10/12/24
DATE SIGNATURE OF DESIGNER

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DRAWING DATE	NO.
10/05/2022	01

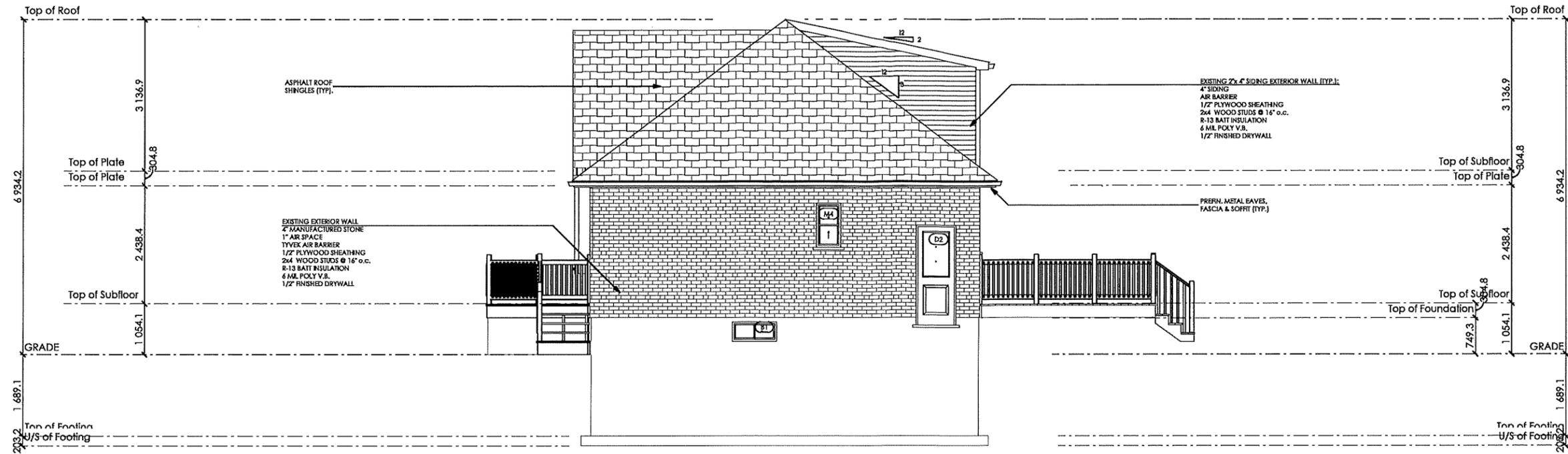
SCALE: 1:100

PROJECT #: 24-682-C

PROJECT: 682 COCHRANE RD
HAMILTON, ON
L8K 3H8

DRAWING: EXISTING & PROPOSED LEFT ELEVATIONS

DRAWING NO: **A2.03**



EXISTING RIGHT ELEVATION
1:100



PROPOSED RIGHT ELEVATION
1:100

- DRAWING NOTES:
- (10) 4"x4" MIN. WOOD POST ANCHORED TO CONC. PIER W/ METAL SHOE & 1/2" Dia. BOLT SHOE ANCHORED MIN. 4" INTO 12" CONC. PIER MIN. 4'-0" BELOW GRADE
 - (21) 3-2"x6" WOOD POST
 - (25) 3-PLY-2"x12" SPF.
 - (27) 3'-8" GUARD RAIL



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FIRM BCIN: 121448

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DATE SIGNATURE OF DESIGNER

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DRAWING DATE	NO.
10/05/2022	01

SCALE: 1:100

PROJECT #: 24-682-C

PROJECT: 682 COCHRANE RD
HAMILTON, ON
L8K 3H8

DRAWING: EXISTING & PROPOSED
RIGHT ELEVATIONS

DRAWING NO:

A2.04



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	Sam Williams Courtney Dorsey Williams	
Applicant(s)	Kristjan Fortune Kristjan Fortune Designs	
Agent or Solicitor	Kristjan Fortune Kristjan Fortune Designs	

1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes*

No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

Yes*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Credit over phone*

Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	682 Cochrane Rd		
Assessment Roll Number			
Former Municipality			
Lot	240	Concession	
Registered Plan Number	Plan 597	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for: *FLANKAGE SETBACK FOR HOUSE FROM 3.0m to 2.2m. AND FLANKAGE SETBACK FOR DECK FROM 1.5m to 1.2m.*

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

To GET THE DESIRED LOOK & SIZE OF ADDITION WE REQUIRE THIS FLANKAGE SETBACK RELIEF.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
<i>19.10 m</i>	<i>34.06</i>	<i>657.18 sqm</i>	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SDU	4 m	7.5 m	3 m	
GARAGE	1.2 m	1 m	1 m	
DECK	4 m	7.5 m	1.5 m	

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SDU	4 m	7.5	2.2 m	FALL 2025
GARAGE	1.2 m	1 m	1 m	
DECK	4 m	7.5 m	1.2 m	FALL 2025

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SDU	77.34 sqm	129.92	2	22'-9"
GARAGE	32.17 sqm	32.17 sqm	1	13'-0"

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SDU	122.47 sqm	182.49 sqm	2	22'-9"
GARAGE	32.17 sqm	32.17 sqm	1	13'-0"
DECK	64.29 sqm	64.29 sqm	1	17'-8"

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

SINGLE DETACHED DWELLING

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

SINGLE DSTACHED DWELLINGS, VACANT LAND

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands: AUGUST 2010

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE DSTACHED DWELLING

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

SINGLE DSTACHED DWELLING

7.4 Length of time the existing uses of the subject property have continued:

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): NEIGHBORHOODS

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-