

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

<b>APPLICATION NO.:</b>	<b>A-25:111</b>	<b>SUBJECT PROPERTY:</b>	63 Brentwood Drive, Hamilton
<b>ZONE:</b>	R1 (Low Density Residential)	<b>ZONING BY-LAW:</b>	Hamilton Zoning By-law 05-200, as Amended by by-law 22-197

**APPLICANTS:** Owner: Nader Alfarra

The following variances are requested:

1. A minimum setback from a rear lot line of 1.1 metres shall be provided instead of the minimum setback from a rear lot line of 1.2 metres.
2. A minimum setback from a side lot line of 0.6 metres shall be provided instead of the minimum setback from a side lot line of 1.2 metres
3. A maximum combined lot coverage of 53.2 square metres for all accessory buildings shall be provided instead of the maximum combined lot coverage of all accessory buildings shall not exceed 45 square metres or 7.5% of the lot area, whichever is the lesser.

**PURPOSE & EFFECT:** To facilitate the construction of an addition to an existing accessory building located at the rear of the property.

**Notes:**

- i. Eaves may project more than 0.6 metres into the required yard, or to a maximum of half the distance of the required yard, whichever is the lesser.
- ii. Applicant shall ensure a minimum of 30% landscaped area is maintained.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

DATE:	Thursday, July 17, 2025
TIME:	1:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

## PUBLIC INPUT

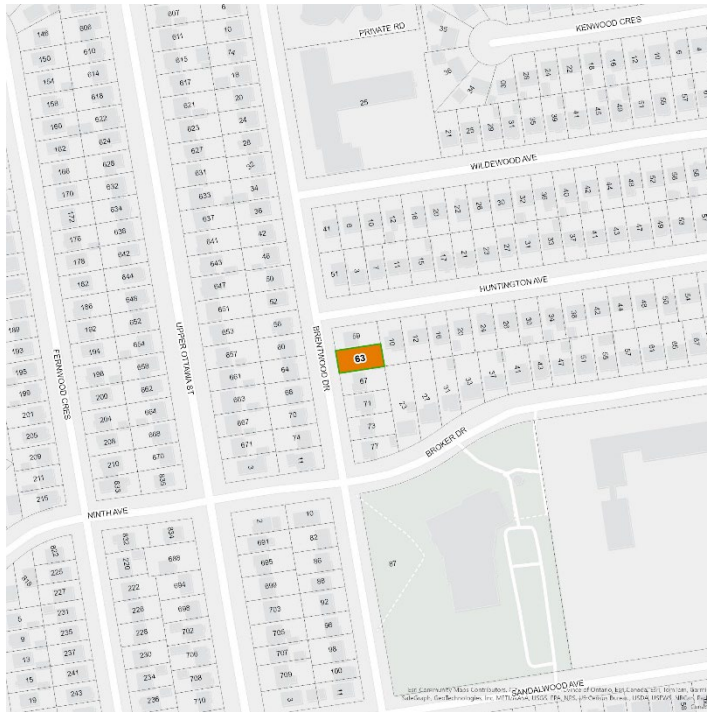
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon July 15, 2025

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon July 16, 2025

## FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:111, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



**Subject Lands**

DATED: June 30, 2025

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Justin Leung,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## COMMITTEE OF ADJUSTMENT

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## PARTICIPATION PROCEDURES

### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

#### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

#### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

# 63 BRENTWOOD DR. - GARAGE ADDITION

63 BRENTWOOD DR., HAMILTON, ONTARIO

## GENERAL NOTES

Regulation 960.2.1 (1) of the Ontario Building Code (OBC) shall apply to this project.

Regulation 960.2.1 (2) of the Ontario Building Code (OBC) shall apply to this project.

Regulation 960.2.1 (3) of the Ontario Building Code (OBC) shall apply to this project.

Regulation 960.2.1 (4) of the Ontario Building Code (OBC) shall apply to this project.

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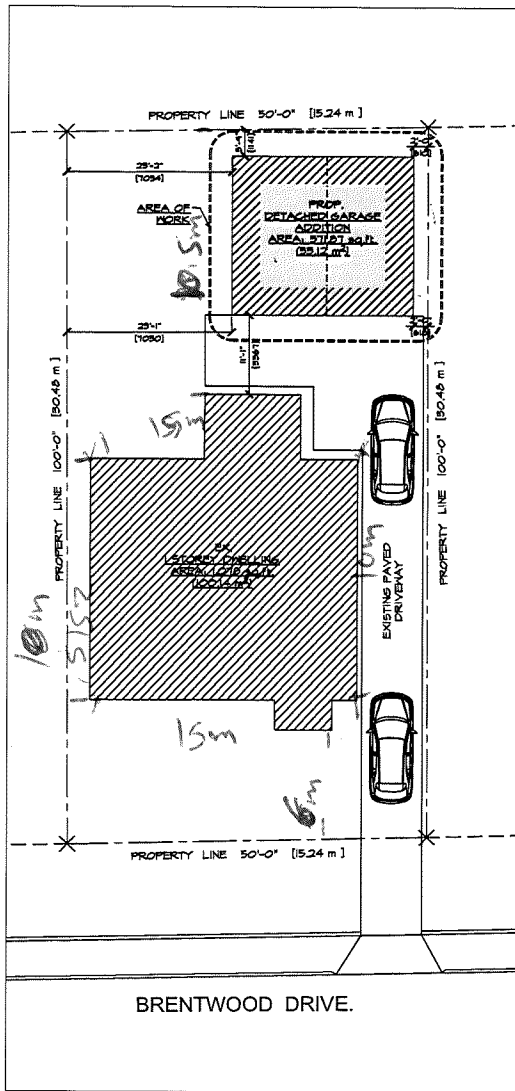
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BRENTWOOD DRIVE.

NORTH

SITE PLAN

SCALE: 1/8" = 1'-0"

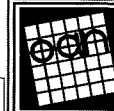
## SITE STATISTICS:

EX. LOT AREA:	5,051.44 sq.ft. (469.24 m <sup>2</sup> )
EX. LOT FRONTAGE:	50.0 ft. (15.24 m)
EX. FOOTPRINT AREA:	1,350.81 sq.ft. (125.48 m <sup>2</sup> )
EX. COVERAGE AREA:	26.74%
EX. GARAGE AREA:	272.81 sq.ft. (25.34 m <sup>2</sup> )
PROP. ADDITION AREA:	299.06 sq.ft. (27.78 m <sup>2</sup> )
TOTAL GARAGE AREA:	571.67 sq.ft. (53.12 m <sup>2</sup> )
PROP. COVERAGE AREA:	32.66%

NOTE: ALL EXISTING GRADES TO REMAIN

Item	Description	Quantity	Unit	Price	Total
1	Excavation	150	cuyd	\$12.00	\$1,800.00
2	Foundation	150	sq.ft.	\$12.00	\$1,800.00
3	Concrete	150	cu yd	\$12.00	\$1,800.00
4	Rebar	150	lb	\$12.00	\$1,800.00
5	Formwork	150	sq.ft.	\$12.00	\$1,800.00
6	Backfill	150	cuyd	\$12.00	\$1,800.00
7	Gravel	150	cuyd	\$12.00	\$1,800.00
8	Asphalt	150	sq.yd	\$12.00	\$1,800.00
9	Paint	150	gal	\$12.00	\$1,800.00
10	Roofing	150	sq.ft.	\$12.00	\$1,800.00
11	Insulation	150	sq.ft.	\$12.00	\$1,800.00
12	Windows	150	sq.ft.	\$12.00	\$1,800.00
13	Doors	150	sq.ft.	\$12.00	\$1,800.00
14	Plumbing	150	sq.ft.	\$12.00	\$1,800.00
15	Electrical	150	sq.ft.	\$12.00	\$1,800.00
16	HVAC	150	sq.ft.	\$12.00	\$1,800.00
17	Landscaping	150	sq.ft.	\$12.00	\$1,800.00
18	Permit	150	sq.ft.	\$12.00	\$1,800.00
19	Design	150	sq.ft.	\$12.00	\$1,800.00
20	Construction	150	sq.ft.	\$12.00	\$1,800.00

AREA OF WORK:  
GARAGE ADDITION  
299.06 SQ. FT. (27.78 m<sup>2</sup>)



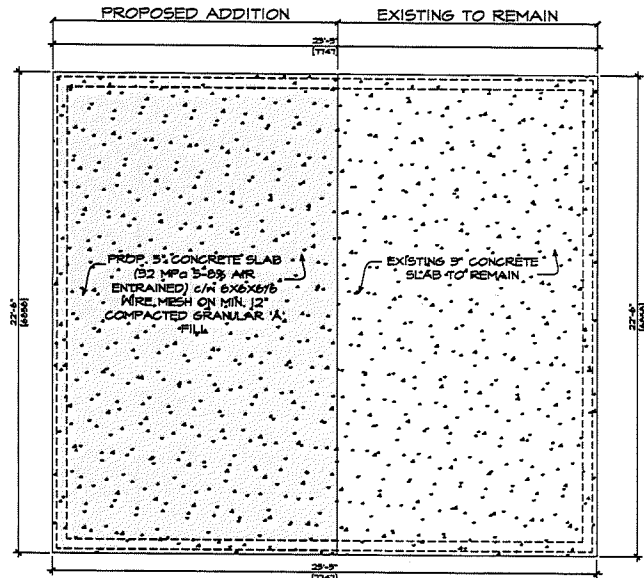
CAN ARCHITECT INC.  
22 BELLEVILLE AVE. SUITE 201  
MAY 7, 2020  
22 BELLEVILLE AVE. SUITE 201  
MAY 7, 2020

63 BRENTWOOD DR.  
GARAGE ADDITION  
SCALE: AS NOTED

SITE PLAN  
&  
MATRIX

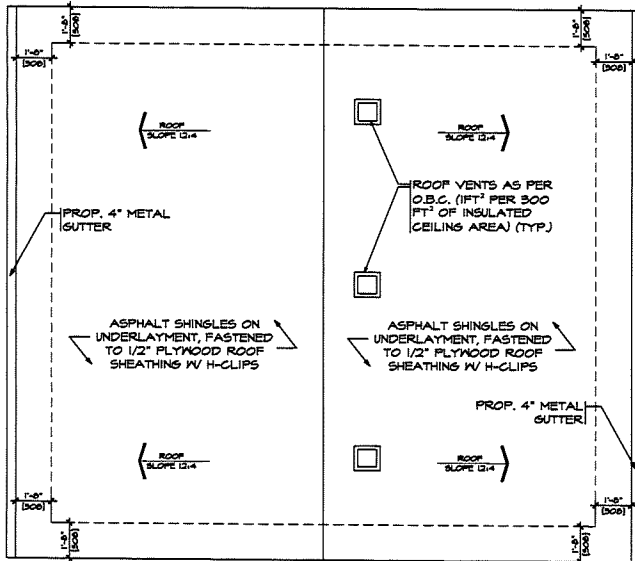
CAN ARCHITECT INC.  
ARCHITECTS  
LICENSED  
604

DATE: MAY, 2020  
DESIGN: CAN  
DRAWING: CAN  
PROJECT: 63  
ACAD: 20\_21  
PROJ. NO.: 20\_21  
A-01



CONCRETE SLAB FLOOR PLAN

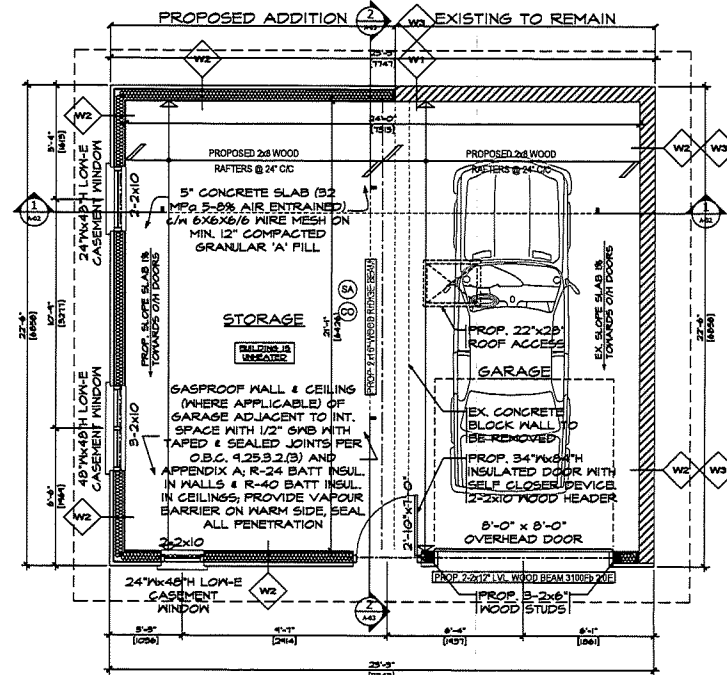
SCALE: 3/8"=1'-0"



ROOF PLAN

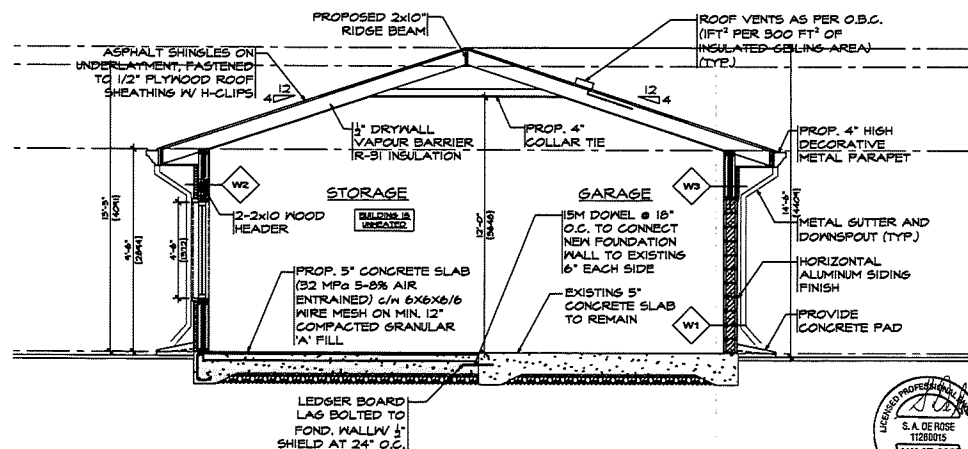
SCALE: 3/8"=1'-0"

#	Description	
W1	EXISTING EXTERIOR WALL: - EXISTING 8-4" HEIGHT CONCRETE BLOCK WALL TO REMAIN	
W2	EXTERIOR WALL: - 1 1/2" HORIZONTAL ALUMINUM SIDING - AIR BARRIER - 1/2" PLYWOOD - 2x6" WOOD STUDS @ 16" O.C. WITH MINIMUM R-24 INSULATION (OPTIONAL) - 1/2" GYPSUM BOARD	
W3	EXTERIOR WALL TO BE 45 MIN FIRE RATED-METAL SIDING WALL: - 1 1/2" HORIZONTAL ALUMINUM SIDING - AIR BARRIER - 1/2" PLYWOOD - 2x6" WOOD STUDS @ 16" O.C. WITH MINIMUM R-24 INSULATION (OPTIONAL) - 5/8" GYPSUM BOARD TYPE 'X'	
SA	INTERCONNECTED SMOKE ALARM	
CO	CARBON MONOXIDE ALARM	



GARAGE FLOOR PLAN

SCALE: 3/8"=1'-0"



CROSS SECTION #1

SCALE: 3/8"=1'-0"



CAN ARCHITECT INC.  
22 HELLER AVE. WILLOW, ONTARIO L2B 3A1  
Tel: 905-709-1174  
Fax: 905-709-1175  
ALL DRAWINGS ARE THE PROPERTY OF CAN ARCHITECT INC. AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF CAN ARCHITECT INC. THIS PERMISSION IS NOT TRANSFERABLE AND IS VALID FOR ONE YEAR ONLY.

DESIGNER/ARCHITECT  
DATE: MAY 07 2005  
SCALE: AS NOTED

PROJECT: 63 BRENTWOOD DR. GARAGE ADDITION  
SCALE: AS NOTED

SITE PLAN & MATRIX

ONARIO ASSOCIATION OF ARCHITECTS  
LICENSED PROFESSIONAL ARCHITECT  
S.A. DE ROSE  
TIBBETTS  
MAY-07-2005  
PROVINCE OF ONTARIO

DATE: MAY 2005  
DESIGN: CAN  
DRAWING: CAN  
REVISION: CAN  
ACAD: 25, 21  
PROJ. NO.: 25, 21

A-02





Hamilton

**Committee of Adjustment**  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE *PLANNING ACT*

**1. APPLICANT INFORMATION**

	NAME		
Registered Owners(s)	NADER ALFARRA		
Applicant(s)			
Agent or Solicitor			E-mail:
			Phone:
			E-mail:

1.2 Primary contact

☒ Applicant

☒ Owner

☐ Agent/Solicitor

1.3 Sign should be sent to

☒ Applicant

☐ Owner

☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes\*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes\*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

☐ In person

☐ Cheque

☒ Credit over phone\*

\*Must provide number above



## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	Hamilton - 63 Brestwood Dr, Hamilton, ON, L8T 3W2		
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

## 3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.) The max combined lot coverage of all Accessory Buildings is not exceed 45 square metres and I have 52.6m<sup>2</sup>

3.1 Nature and extent of relief applied for:

Building setback from a rear lot line 1.2m  
I have 1.14m  
Building setback from a side lot line is 1.2m  
I have 0.16m

☐ Second Dwelling Unit

☒ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The existing exterior wall was met all relevant code requirements. Rather than demolishing and reconstructing it, we opted to retain and raise the wall to match the update design.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.24 m	30.48	464.515 m	15.24

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
The House	11.1 m	25 m	20 m	1960
The garage	22.1 m	11.1 m	0.6 m	1960

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
The garage	22.6 m	11.4 m	0.6 m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
The House	13.935 m	13.935 m	1	5.4 m
The garage	32 m	32 m		3.2 m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
The garage	52 m	52 m	1	4.2 m

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- \_\_\_\_\_

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- \_\_\_\_\_

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage  
☐ system privately owned and operated individual  
☐ septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- ☐ provincial highway  
☐ municipal road, seasonally maintained  
☒ municipal road, maintained all year  
☐ right of way  
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

storage and garage.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

Nov, 2023

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

single

7.4 Length of time the existing uses of the subject property have continued:

single / Residential

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: Neighbourhoods

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

☐ Yes

☒ No

If yes, please provide the file number: \_\_\_\_\_

---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: \_\_\_\_\_

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 2

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

### 11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study

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