Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- · Person likely to be interested in this application

APPLICATION	A-25:111	SUBJECT	63 Brentwood Drive, Hamilton
NO.:		PROPERTY:	
ZONE:	R1 (Low Density Residential)	ZONING BY-	Hamilton Zoning By-law 05-200,
		LAW:	as Amended by by-law 22-197

APPLICANTS: Owner: Nader Alfarra

The following variances are requested:

- 1. A minimum setback from a rear lot line of 1.1 metres shall be provided instead of the minimum setback from a rear lot line of 1.2 metres.
- 2. A minimum setback from a side lot line of 0.6 metres shall be provided instead of the minimum setback from a side lot line of 1.2 metres
- 3. A maximum combined lot coverage of 53.2 square metres for all accessory buildings shall be provided instead of the maximum combined lot coverage of all accessory buildings shall not exceed 45 square metres or 7.5% of the lot area, whichever is the lesser.

PURPOSE & EFFECT: To facilitate the construction of an addition to an existing accessory building located at the rear of the property.

Notes:

- i. Eaves may project more than 0.6 metres into the required yard, or to a maximum of half the distance of the required yard, whichever is the lesser.
- ii. Applicant shall ensure a minimum of 30% landscaped area is maintained.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, July 17, 2025
TIME:	1:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at
	www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon July 15, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon July 16, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:111, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: June 30, 2025

Justin Leung, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Comments must be received by noon on the date listed on the Notice of Public Hearing.

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing to** participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

63 BRENTWOOD DR.- GARAGE ADDITION 63 BRENTWOOD DR., HAMILTON, ONTARIO

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GENERAL NOTES

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SITE STATISTICS: EX. LOT AREA:

> EX. FOOTPRINT AREA: EX. COVERAGE AREA: EX. GARAGE AREA:

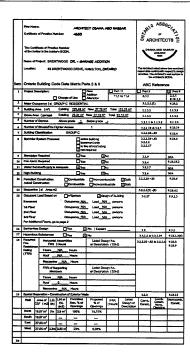
EX. LOT FRONTAGE:

PROP. ADDITION AREA: TOTAL GARAGE AREA: PROP. COVERAGE AREA:

5,051.44 sq.ft. (469.24 m²) 50.0 ft. (15.24 m) 1,350.81 sq.ft. (125.48 m²) 26.74%

272.81 sq.ft. (25.34 m²) 299.06 sq.ft. (27.78 m²) 571.87 sq.ft. (53.12 m²)

NOTE: ALL EXISTING GRADES TO REMAIN



AREA OF WORK: GARAGE ADDITION 299.06 SQ. FT. (27.78 m²)



PROPERTY LINE 50'-0" [15.24 m]

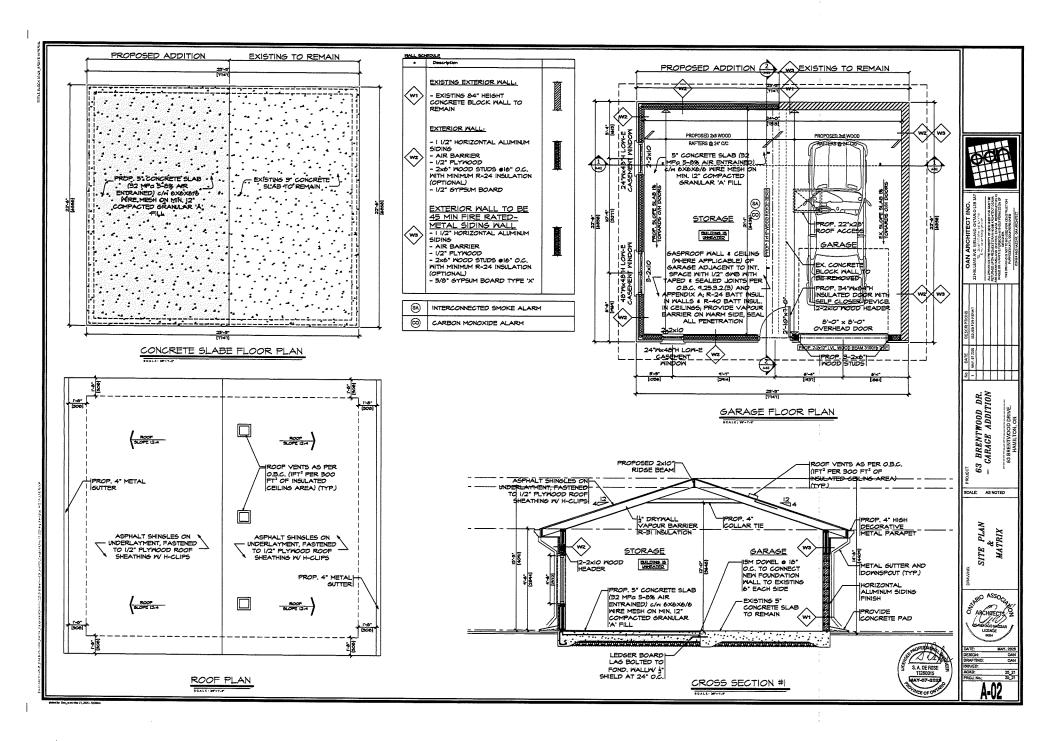


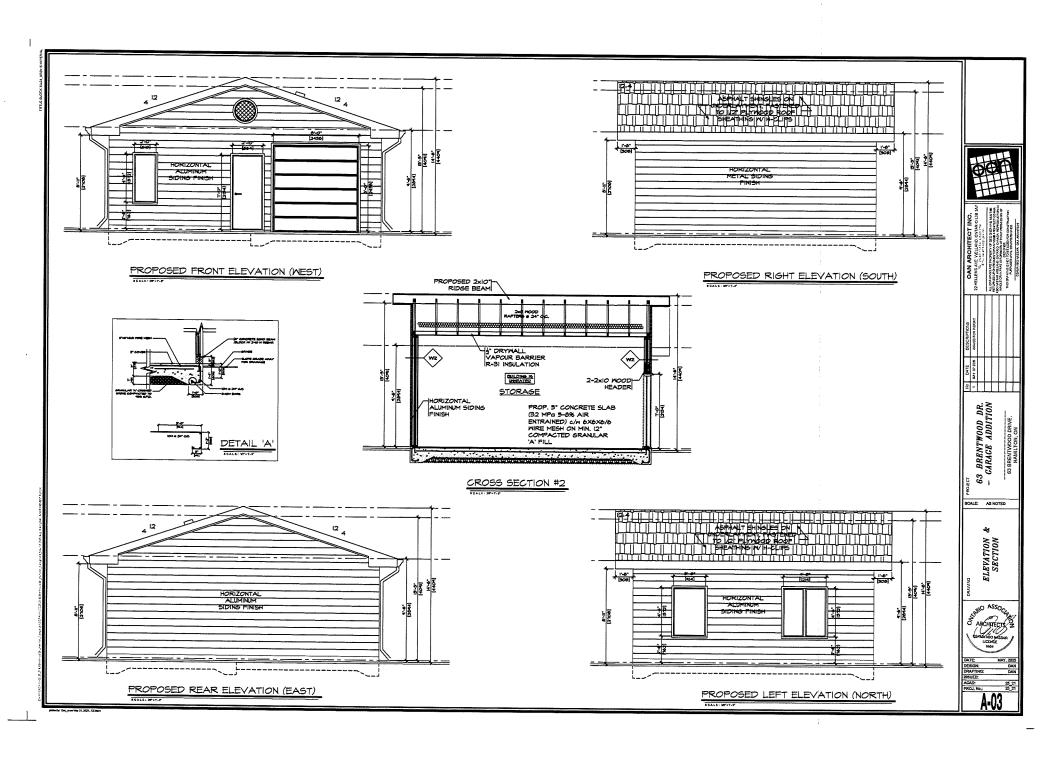
BRENTWOOD DR. CARACE ADDITION 63

SCALE: AS NOTED

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Committee of Adjustment City Hall, 5th Floor, 71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221 Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE PLANNING ACT

1. APPLICANT INFORMATION

	NAME	THE SECRETARY SECURITY SECURIT			
Registered Owners(s)	NADER ALFARRA	2			
Applicant(s)				E-mail:	
Agent or Solicitor				Phone: E-mail:	
1.2 Primary contact		☐ Applica	nt	☑ Owner □ Agent/Solicitor	
1.3 Sign should be s	ent to	☑ Applica	nt	☐ Owner ☐ AgentSolicitor	
1.4 Request for digit	al copy of sign	☑Yes*	□ No		,
If YES, provide e	email address where si	gn is to be se	ent		
1.5 All corresponder	ice may be sent by em	ail	☑ Yes*	□ No	
(if applicable). O		submitted wi	Il result in the	AND the Applicant/Agent voiding of this service.	
1.6 Payment type		☐ In perso		Credit over phone*	
			"iviust pi	rovide number above	

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	Hamilton .	63 Brestwood Dr., Hounilton, N. 1878
Assessment Roll Number		
Former Municipality		
Lot		Concession
Registered Plan Number		Lot(s)
Reference Plan Number (s)		Part(s)

2.2	Are there any	easements	or restrictive	covenants	affecting	the subject	land?
-----	---------------	-----------	----------------	-----------	-----------	-------------	-------

☐ Yes ☑ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the	application form	are to be p	provided in r	netric units	(millimetres,	metres, hectares,
etc.) The max	combined	10+ CO	verage	of all	Accesory	Buildings is
not exceed	115 square	metres	and II	have s	12,6m2	

3.1 Nature and extent of relief applied for:

☐ Second Dwelling Unit

Building setback from a Rear lothing 1.2m

Thave 1.14m
Building setback from a side lot line is 1.2m

Reconstruction of Existing Dwelling

Thousand

3.2 Why it is not possible to comply with the provisions of the By-law?
The existing exterior wall was met all relevant code requirements. Rather than Demolishing add reconstructing it, we opted to retain and raise the wall to match the update design.

3.3 Is this an application 45(2) of the Planning Act.

Yes 🗹 No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.24 m	30,48	464,515 m	15.24

	all buildings and structurestance from side, rear and		r the subject lands:	
Existing:				
Type of Structur	e Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Tue House	1), Im	25 m	20m	1960
The garage	22.0	Milm	016 m	1960
Proposed:		P		
Type of Structur	e Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
The garage	22.6 m	114 m	6:6 W	
sheets if ne Existing:				
Type of Structur		Gross Floor Area	Number of Storeys	Height
the House	13,935 m	13,935 m		5, 4 m
The garage	32 m	32. m		3,2 m
Proposed:				
Type of Structure	e Ground Floor Area	Gross Floor Area	Number of Storeys	Height
The garage	52 m	52 m		4.2 m
publicly	er supply: (check appropounce suppropounce) couned and operated ir owned and operated ir	oed water system	☐ lake or other ☐ other means	-
- /	rm drainage: (check appowned and operated sto	•	☐ ditches☐ other means	(specify)

4.6	Type of sewage disposal proposed: (check appropriate box)
,	☐ publicly owned and operated sanitary sewage ☐ system privately owned and operated individual ☐ septic system other means (specify)
4.7	Type of access: (check appropriate box) ☐ provincial highway ☐ municipal road, seasonally maintained ☐ municipal road, maintained all year ☐ municipal road, maintained all year
4.8	Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
	storge and garage.
4.9	Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
7	HISTORY OF THE SUBJECT LAND
7.1	Date of acquisition of subject lands:
7.2	W^{yy} $_2$ $_2$ $_3$ Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
7.3	Single Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
7.4	Length of time the existing uses of the subject property have continued:
7.5	Single / Residential What is the existing official plan designation of the subject land?
	Rural Hamilton Official Plan designation (if applicable):
	Rural Settlement Area: Neghbau Koolf
	Urban Hamilton Official Plan designation (if applicable) Wegh bour hoods
	Please provide an explanation of how the application conforms with the Official Plan.
7.6	What is the existing zoning of the subject land?
7.8	Has the owner previously applied for relief in respect of the subject property? (Zoning By-lawAmendment or Minor Variance) ☐ Yes ☐ No
	☐ Yes

	☐Yes	□No	
If yes, please provide the	ne file number:		
ADDITIONAL INFORM	MATION		
Number of Dwelling Un	its Existing: 2	<u> </u>	
Number of Dwelling Un	its Proposed:	<u> </u>	
	please include separa	te sheet if needed):	

COMPLETE APPLICATION REQUIREMENTS 11.1 **All Applications** Application Fee Site Sketch Complete Application form Signatures Sheet Other Information Deemed Necessary Cover Letter/Planning Justification Report Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance ☐ Minimum Distance Separation Formulae (data sheet available upon request) ☐ Hydrogeological Assessment Septic Assessment Archeological Assessment Noise Study Parking Study