

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-25:104	SUBJECT PROPERTY:	10 William Johnson Street, Stoney Creek
ZONE:	R1 (Low Density Residential)	ZONING BY-LAW:	Hamilton Zoning By-law 05-200, as Amended by By-law 24-051

APPLICANTS: Owner: Joseph Hruska
 Agent: Igor Lukac

The following variances are requested:

- 1.A maximum Building Height of 5.0 metres shall be permitted instead of the maximum required Building Height of 4.5 metres for all buildings accessory to the Single Detached Dwelling.
- 2.A maximum Total Lot Coverage of 8.5% shall be permitted instead of the maximum Total Lot Coverage of 7.5% for all buildings accessory to the Single Detached Dwelling.
- 3.A Side Yard Setback of 0.6 metres shall be permitted instead of the minimum required Side Yard Setback of 1.2 metres.

PURPOSE & EFFECT: To permit the construction of a new one (1) storey detached garage at the rear of the property.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, July 17, 2025
TIME:	1:45 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)

	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment
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For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

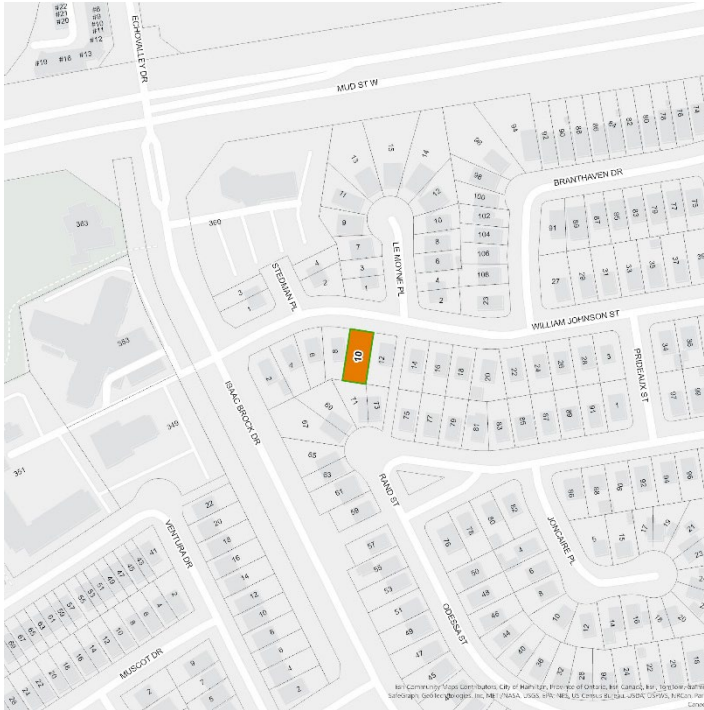
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon July 15, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon July 16, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:104, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: June 30, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

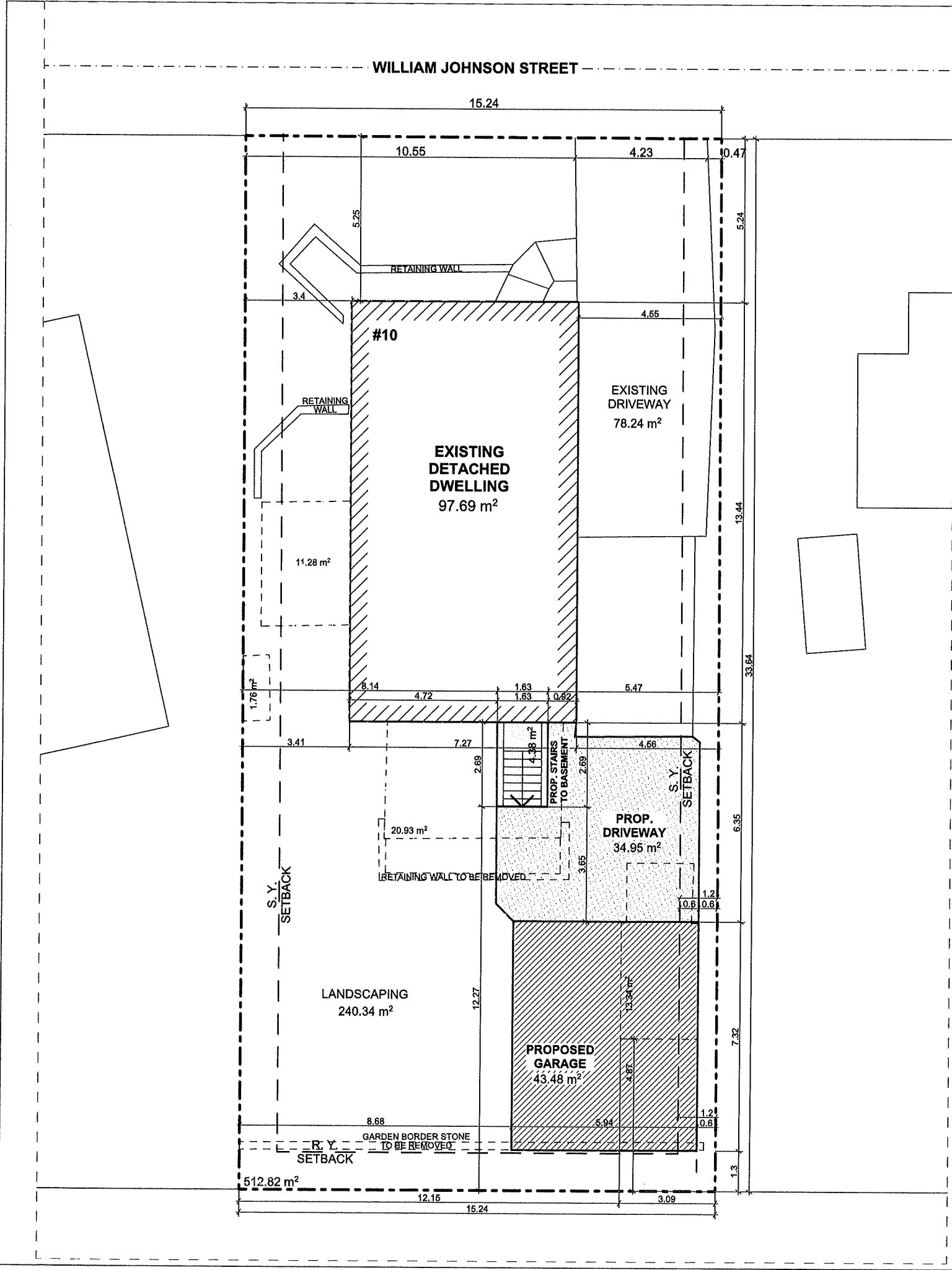
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



ZONE R1 - LOW DENSITY RESIDENTIAL – ACCESSORY BUILDINGS				
	EXISTING	PROPOSED	REQUIRED	COMPLIANT
LOT AREA	512.82 m ²	NO CHANGES	/	N/A
LOT FRONTAGE	15.24 m		/	
LOT DEPTH	33.64 m		/	
LOT COVERAGE ALL STRUCTURES	124.07 m ² 24.19 %	141.17 m ² 27.53 %	/	
LOT COVERAGE - ACCESSORY BLDG.	26.38 m ² 5.14 %	43.48 m ² 8.48%	MAX. 45m ² OR 7.5% OF LOT AREA (max. 38.46m ²)	NO
REAR YARD SETBACK	4.87 m	1.3 m	MIN. 1.2m	YES
INTERIOR SETBACK EAST	0.6 m	0.6 m	MIN. 1.2m	NO
SIDE YARD EAVES ENCROACHMENT	/	0.3 m	MAX. half the distance of the required yard	
INTERIOR SETBACK WEST	12.15 m	8.69 m	MIN. 1.2m	YES
BUILDING HEIGHT	2.5m	5m	MAX. 4.5m	NO
PARKING SPACE SIZE	/	W 2.8m x L 5.8m	MIN. PARKING SPACE W 2.8m x L 5.8m	YES
LANDSCAPE AREA	257.89 m ² 50.28 %	240.34 m ² 48.45 %	/	N/A
CITY OF STONEY CREEK ZONING BY-LAW 3692-92				

LEGEND

- EXISTING DWELLING
- EXISTING ACCESSORY BUILDING TO BE REMOVED
- EXISTING LOT LINE
- SETBACKS
- PROPOSED ACCESSORY BUILDING
- PROPOSED BASEMENT WALKOUT STAIRS
- PROPOSED DRIVEWAY



PROJECT NUMBER	25-404
DRAFTER / DATE	EL/ 5/22/2025
REV 1	
REV 2	
REV 3	
REV 4	

DESIGN FIRM



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Oakville, Ontario, Canada
+1.905.399.3671
www.kingswoodengineers.com

CLIENT

Joe Hruska

PROJECT

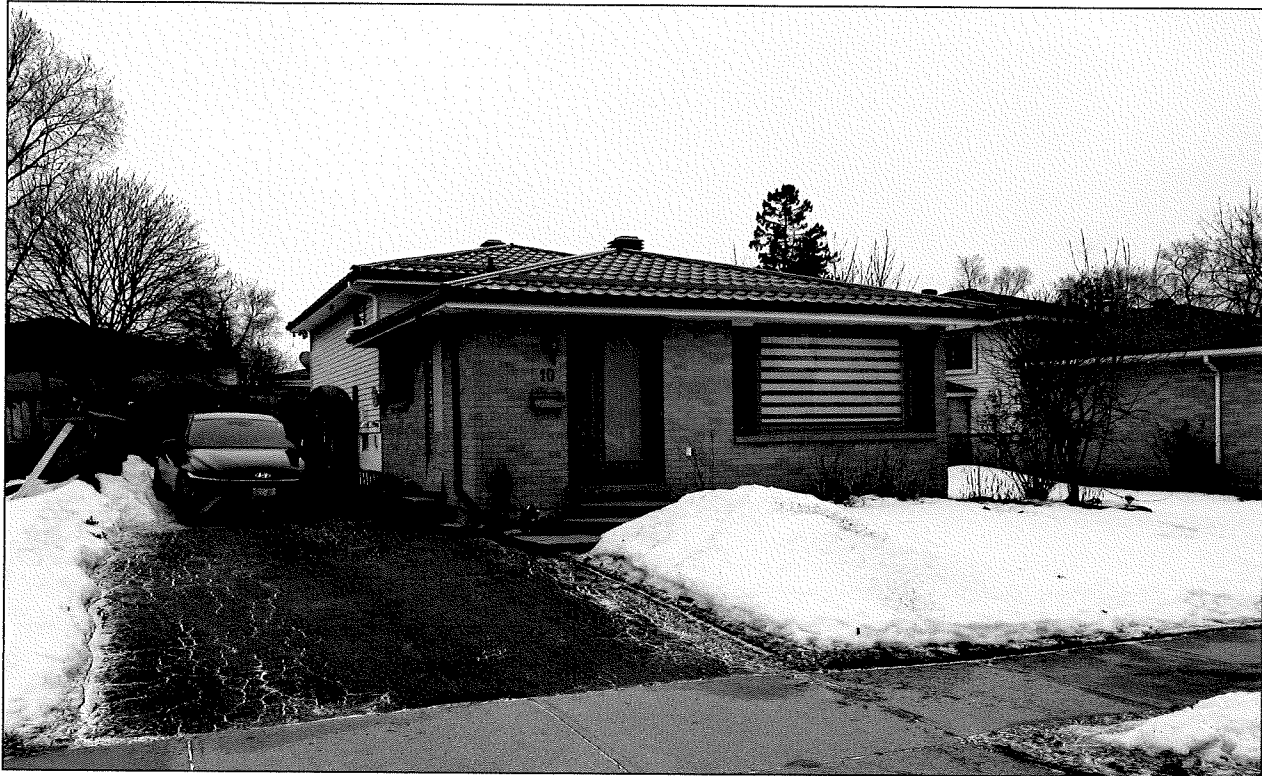
**PROPOSED
ACCESSORY BUILDING-
GARAGE AND
BASEMENT WALKOUT
STAIRS**

10 William Johnson St,
Stoney Creek, Hamilton,
ON L8J 1B2, Canada

TITLE

SITE PLAN

DATE	5/22/2025
PAPER SIZE	TABLOID
SCALE	SHEET
1:150	A1.01



ARCHITECTURAL DRAWING INDEX			
DRAWING NO.	DRAWING DRESCRIPTION	REVISIONS	REMARKS
A0.01	COVER SHEET		
A1.01	SITE PLAN		
A1.02	EXISTING DWELLING LAYOUT - BASEMENT		
A1.03	EXISTING DWELLING LAYOUT - MAIN FLOOR - NO CHANGES		
A1.04	EXISTING DWELLING LAYOUT- ROOF TOP - NO CHANGES		
A1.05	PROPOSED GARAGE LAYOUT		
A2.01	ELEVATIONS		
A2.02	ELEVATIONS - SIDE YARD		
A2.03	ELEVATIONS - SIDE YARD		

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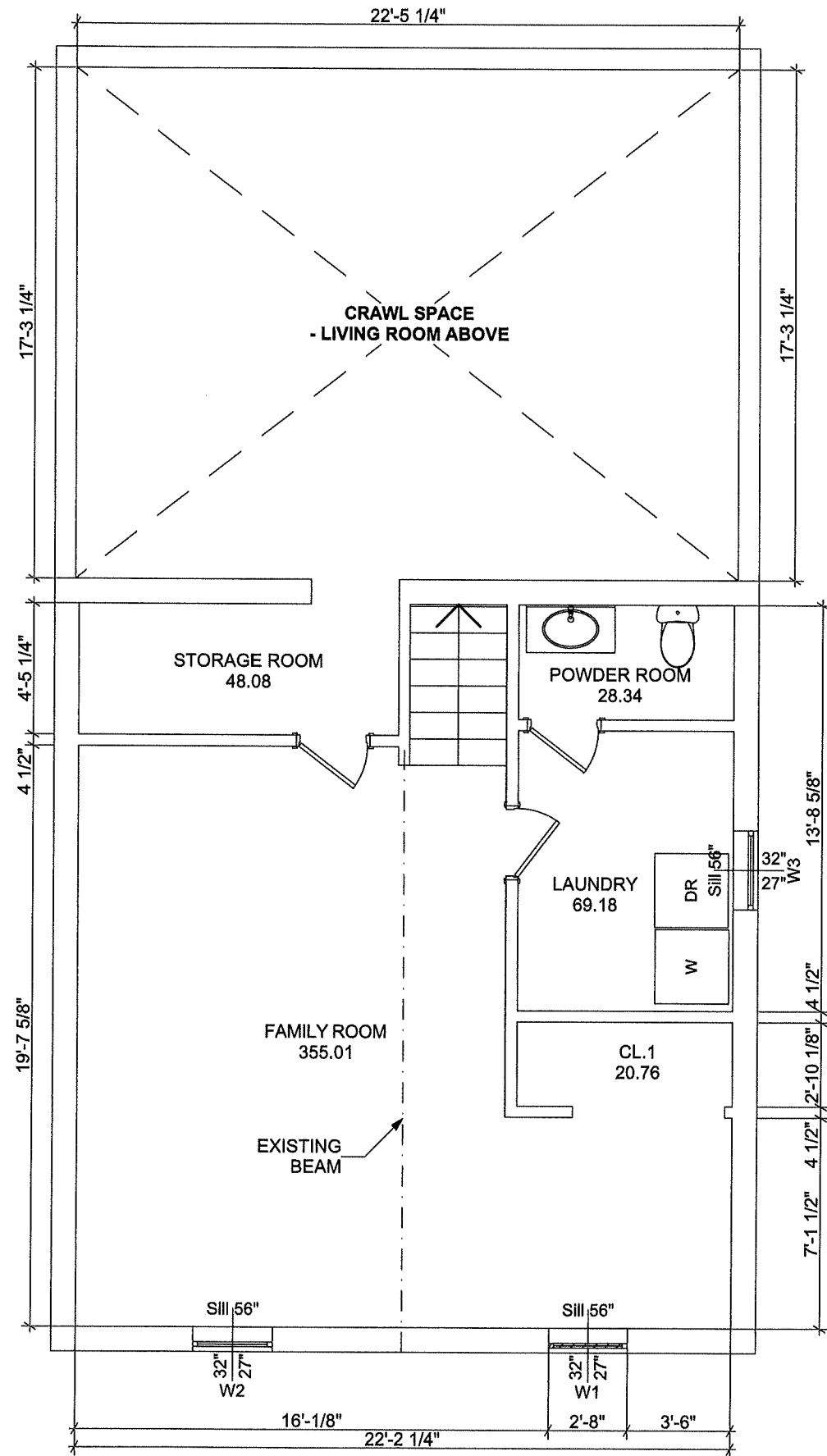
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TITLE

COVER SHEET

DATE	5/22/2025
PAPER SIZE	TABLOID
SCALE	SHEET A0.01



EXISTING ROOM AREAS		
FLOOR	NAME	AREA
BASEMENT		
	CL.1	20.76
	FAMILY ROOM	355.01
	LAUNDRY	69.18
	POWDER ROOM	28.34
	STORAGE ROOM	48.08
		521.37 ft²
		1,438.79 ft²

PROJECT NUMBER	25-404
DRAFTER / DATE	EL/ 5/22/2025
REV 1	
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REV 3	
REV 4	

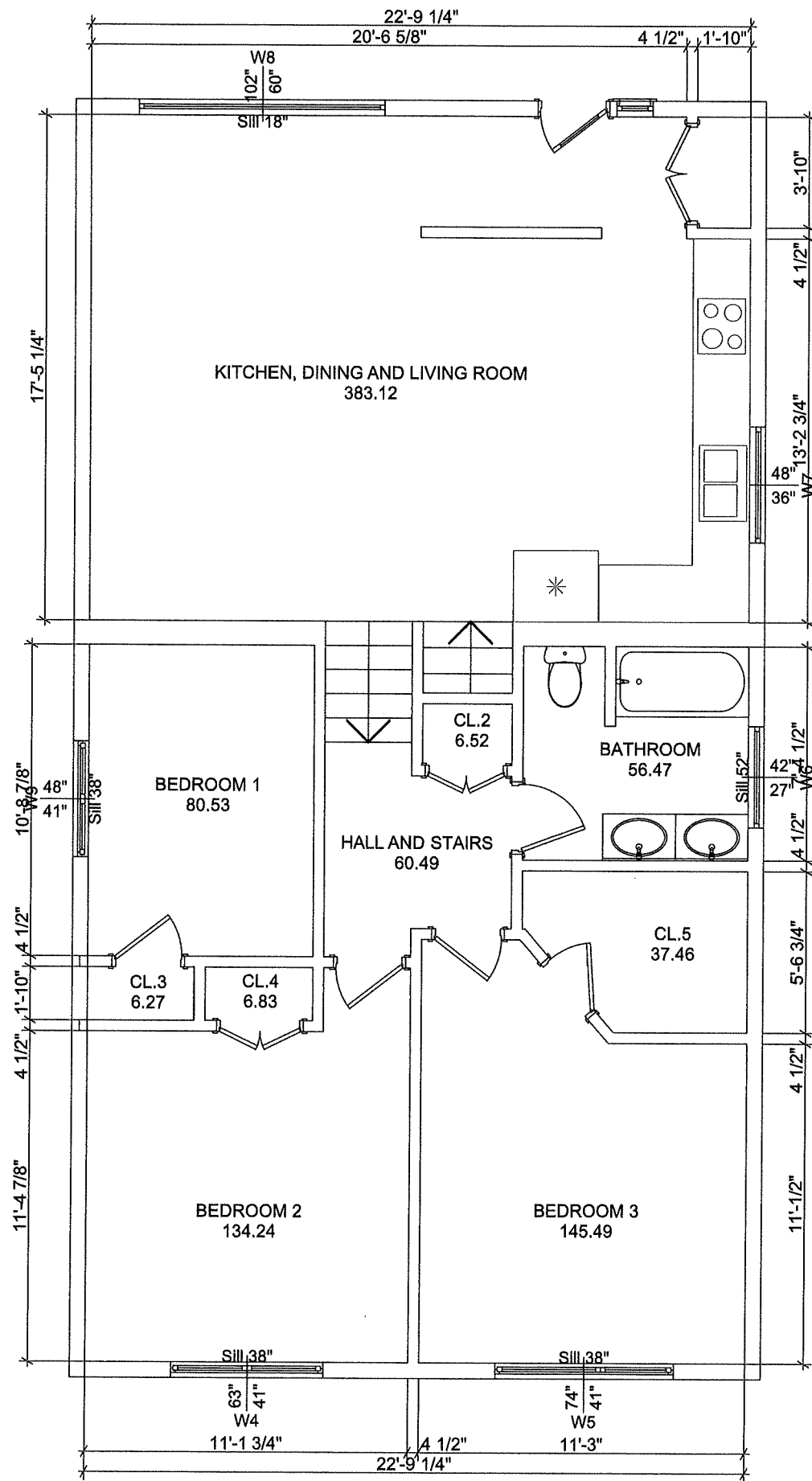
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PROJECT
PROPOSED ACCESSORY BUILDING- GARAGE AND BASEMENT WALKOUT STAIRS
10 William Johnson St, Stoney Creek, Hamilton, ON L8J 1B2, Canada

TITLE	
EXISTING DWELLING LAYOUT - BASEMENT	
DATE	5/22/2025
PAPER SIZE	TABLOID
SCALE	SHEET
A1.02	



EXISTING ROOM AREAS		
FLOOR	NAME	AREA
MAIN FLOOR		
	BATHROOM	56.47
	BEDROOM 1	80.53
	BEDROOM 2	134.24
	BEDROOM 3	145.49
	CL.2	6.52
	CL.3	6.27
	CL.4	6.83
	CL.5	37.46
	HALL AND STAIRS	60.49
	KITCHEN, DINING AND LIVING ROOM	383.12
		917.42 ft²
		1,438.79 ft²

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REV 3	
REV 4	

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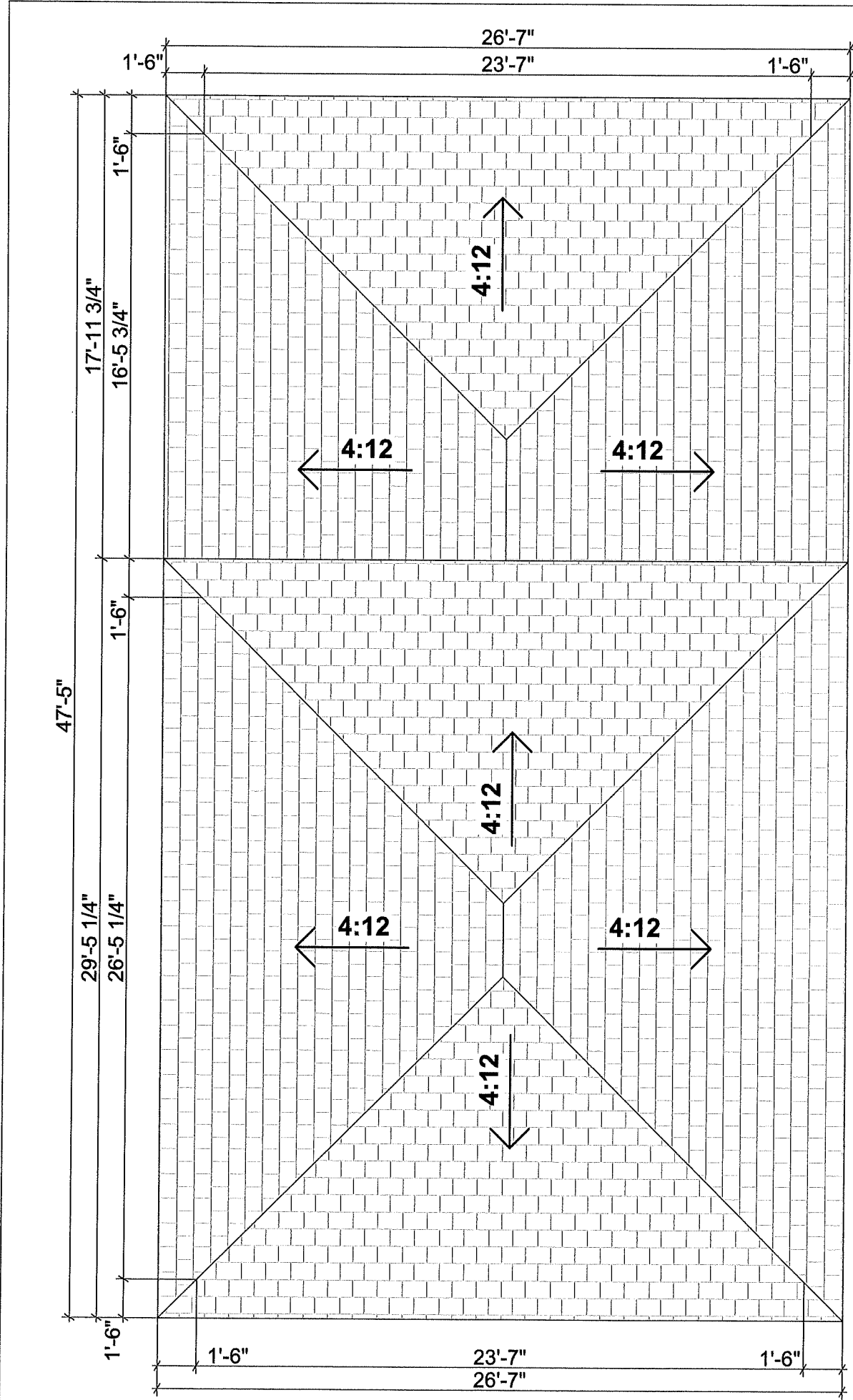
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BASEMENT WALKOUT
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10 William Johnson St,
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TITLE

**EXISTING DWELLING
LAYOUT - MAIN
FLOOR - NO
CHANGES**

DATE	5/22/2025
PAPER SIZE	TABLOID
SCALE	SHEET A1.03



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PROPOSED ACCESSORY BUILDING- GARAGE AND BASEMENT WALKOUT STAIRS
10 William Johnson St, Stoney Creek, Hamilton, ON L8J 1B2, Canada

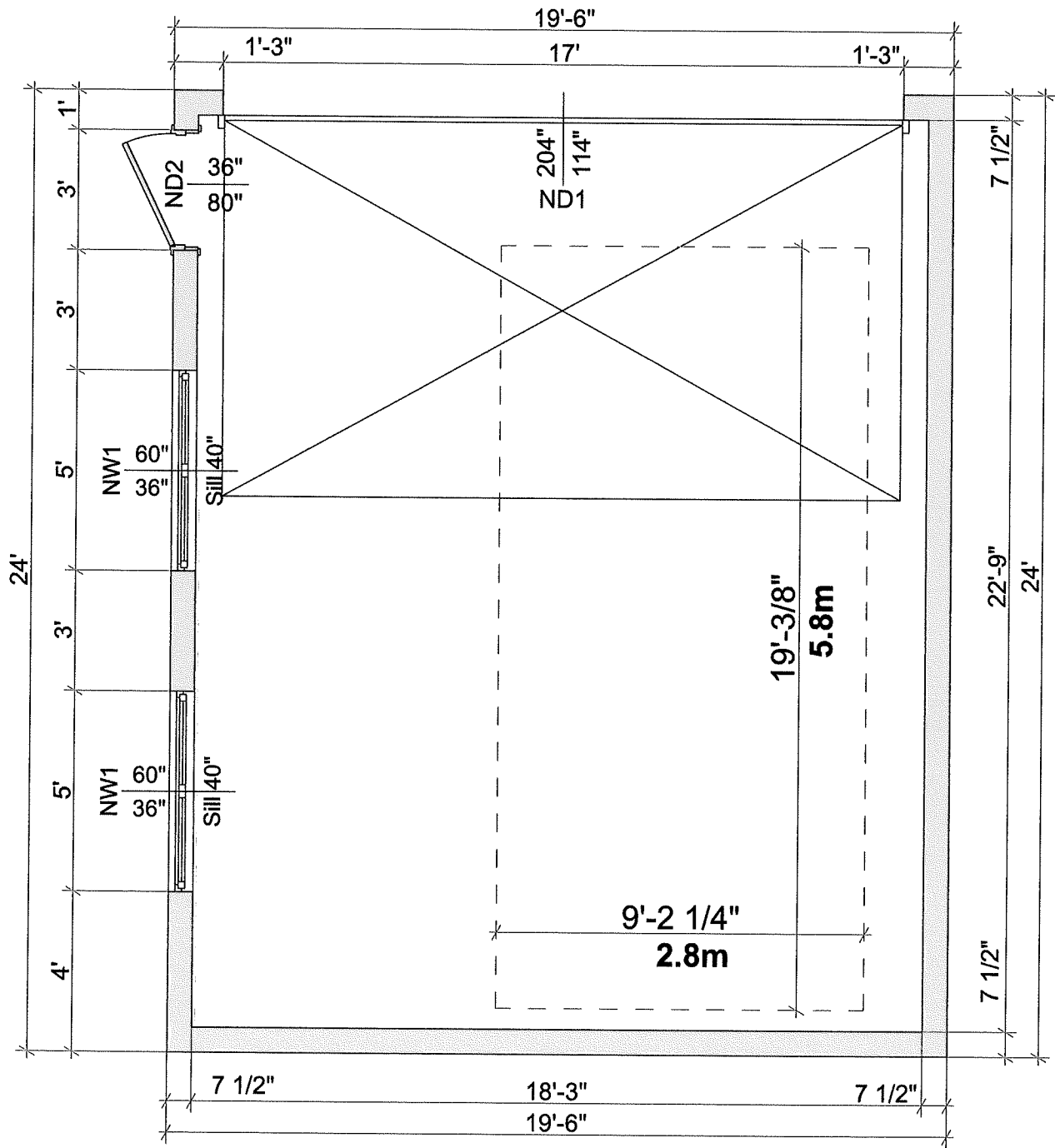
TITLE
EXISTING DWELLING LAYOUT- ROOF TOP - NO CHANGES

DATE	5/22/2025
PAPER SIZE	TABLOID
SCALE	SHEET A1.04

PROPOSED MAIN FLOOR - GARAGE

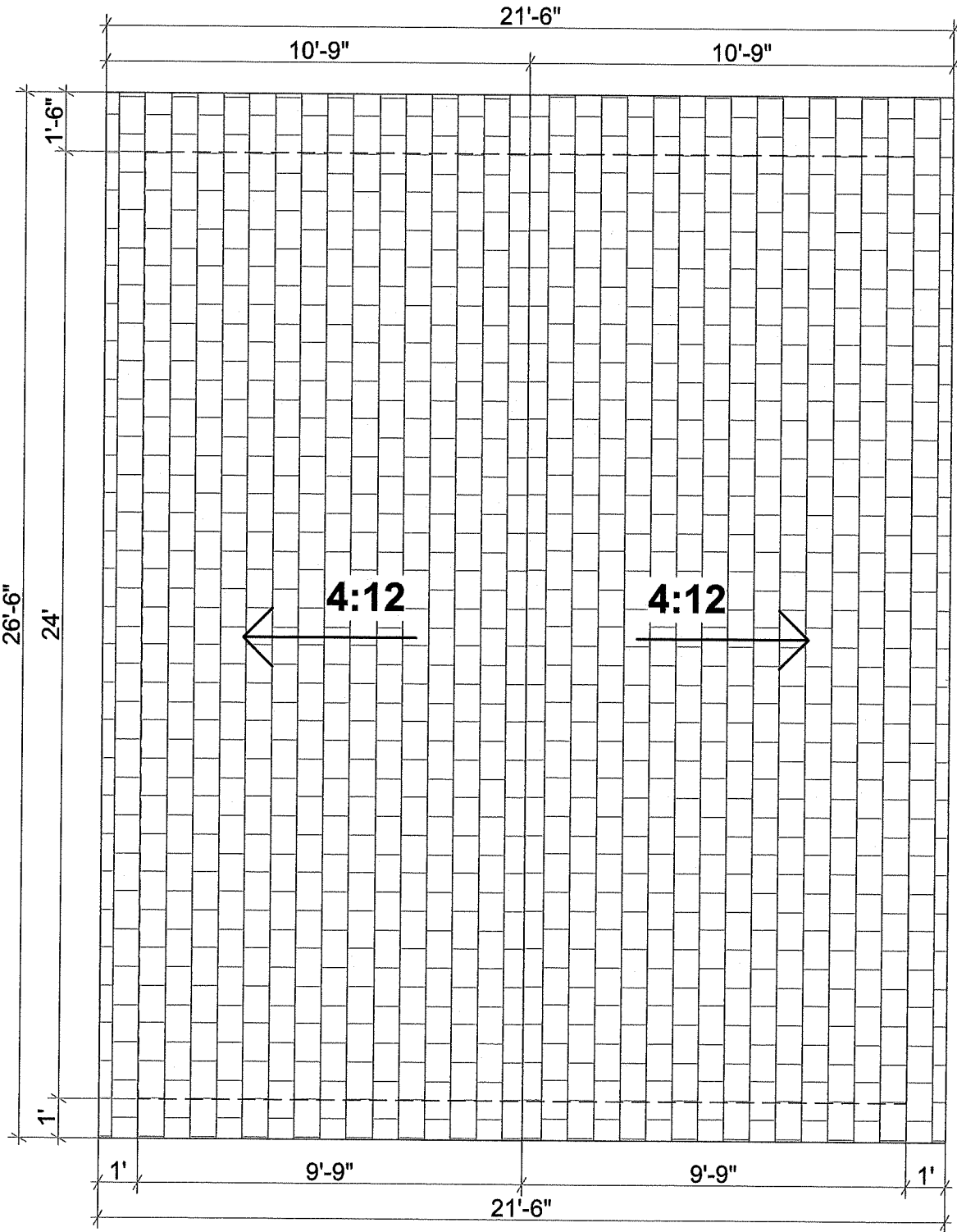
1/4" = 1'-0"

GARAGE LOT COVERAGE
467.97
GARAGE INTERIOR
408.35



PROPOSED ROOF - GARAGE

1/4" = 1'-0"



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GARAGE AND
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TITLE

**PROPOSED GARAGE
LAYOUT**

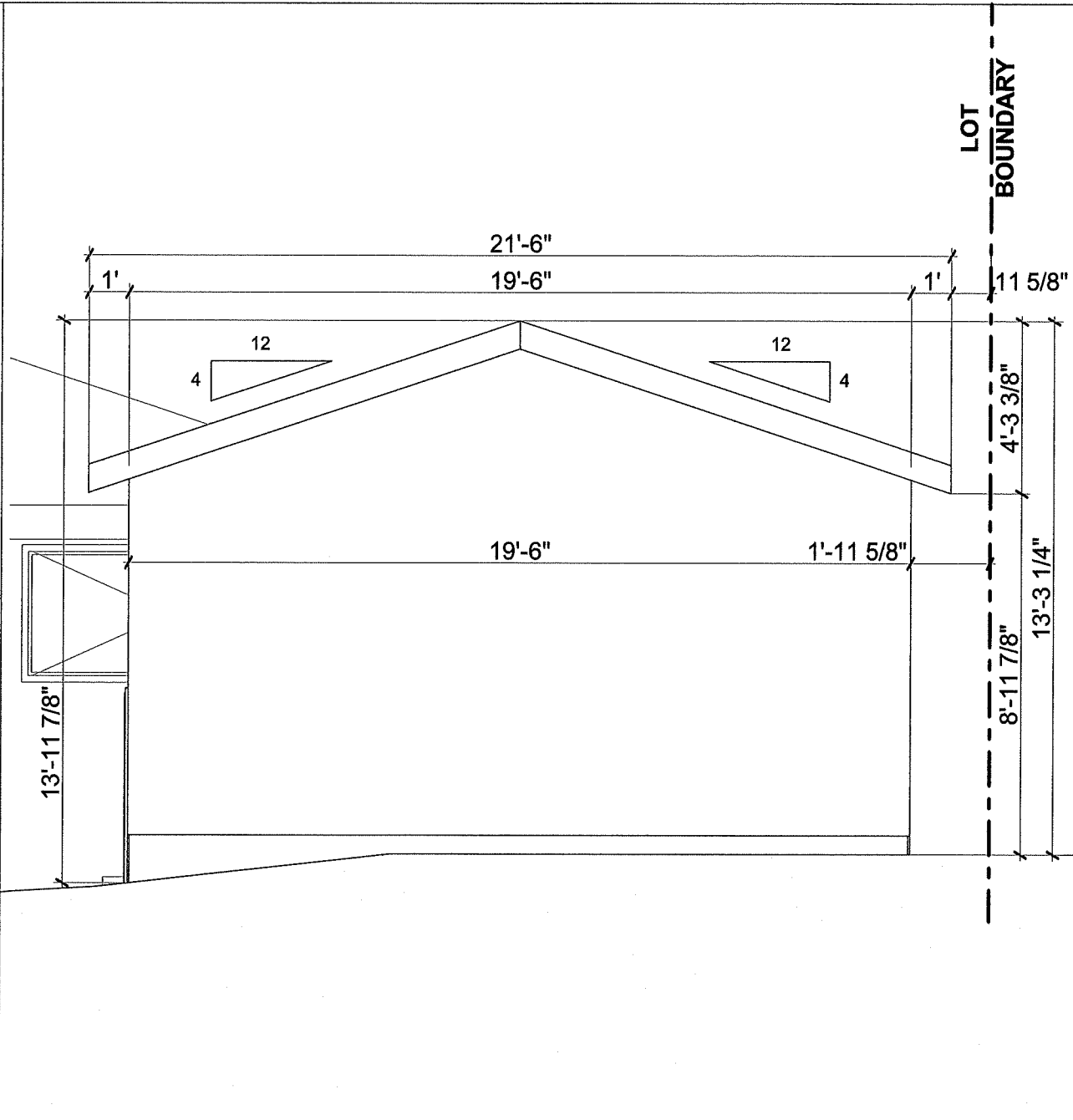
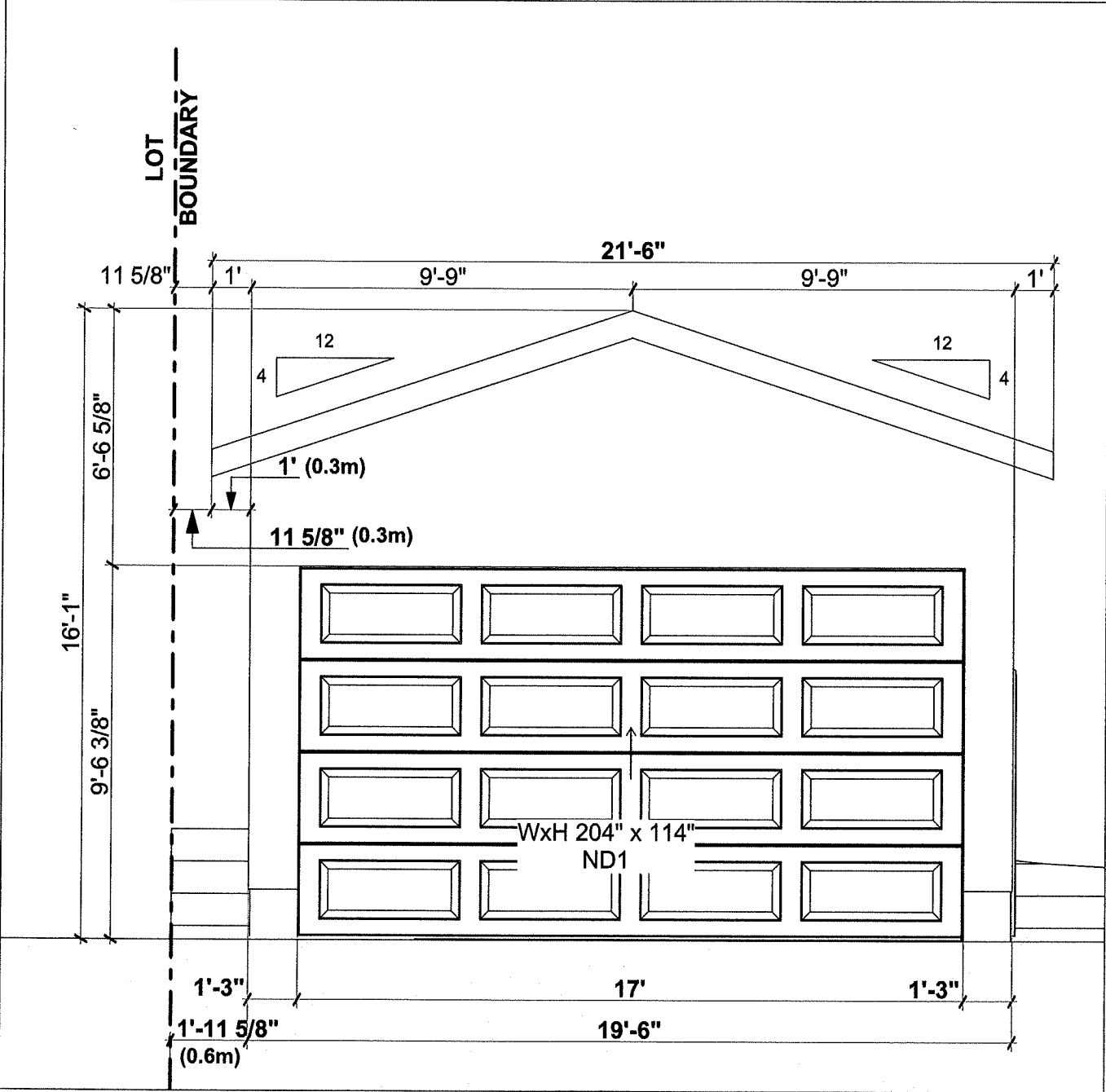
DATE	5/22/2025
PAPER SIZE	TABLOID
SCALE	SHEET
1/4" = 1'-0"	A1.05

PROPOSED GARAGE ELEVATION - NORTH

1/4" = 1'-0"

PROPOSED GARAGE ELEVATION - SOUTH

1/4" = 1'-0"



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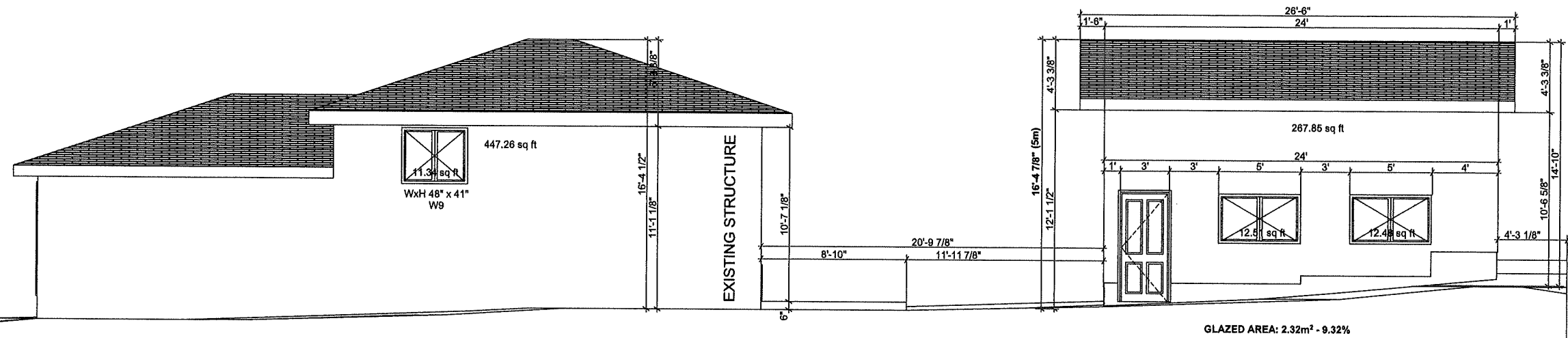
ELEVATIONS

DATE	5/22/2025
PAPER SIZE	TABLOID
SCALE	SHEET

A2.01

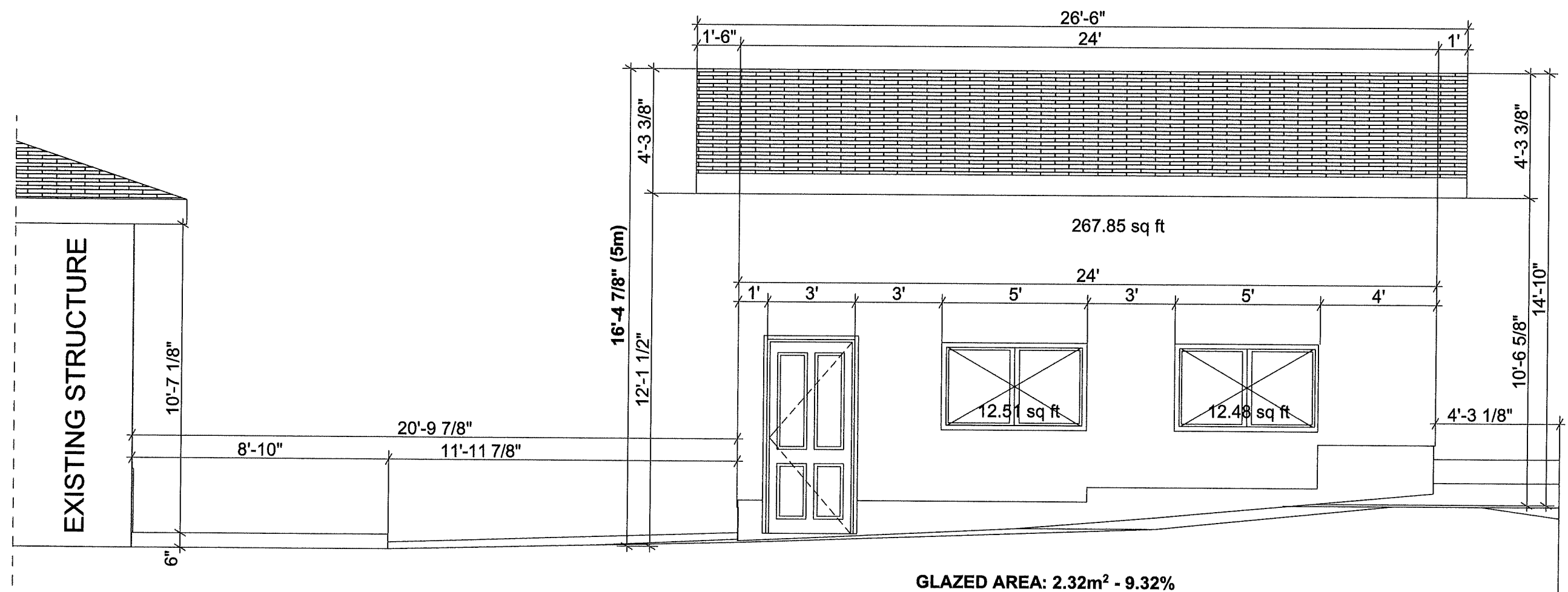
PROPOSED SIDE ELEVATION - WEST

1/8" = 1'-0"



PROPOSED GARAGE ELEVATION - WEST

1/4" = 1'-0"



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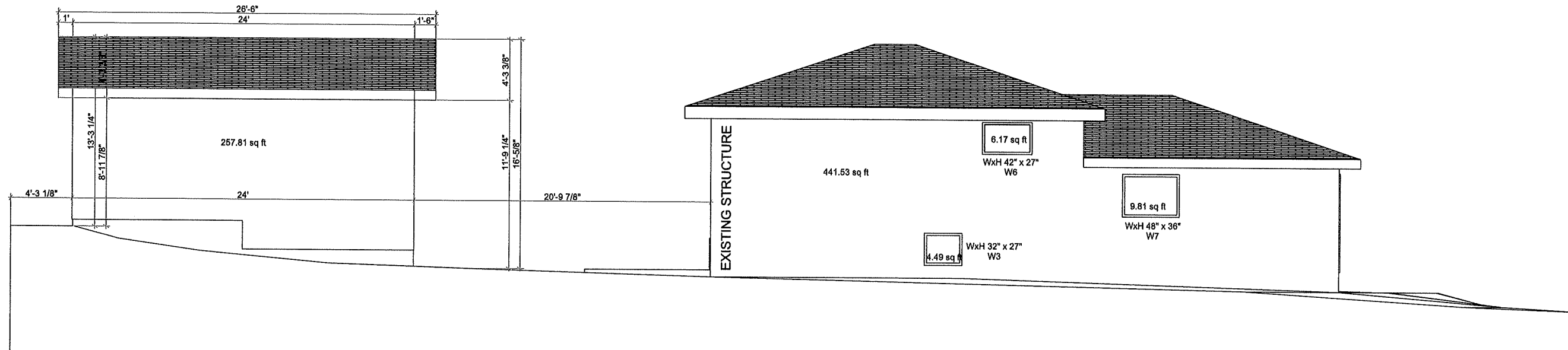
TITLE

**ELEVATIONS - SIDE
YARD**

DATE	5/22/2025
PAPER SIZE	TABLOID
SCALE	SHEET A2.02

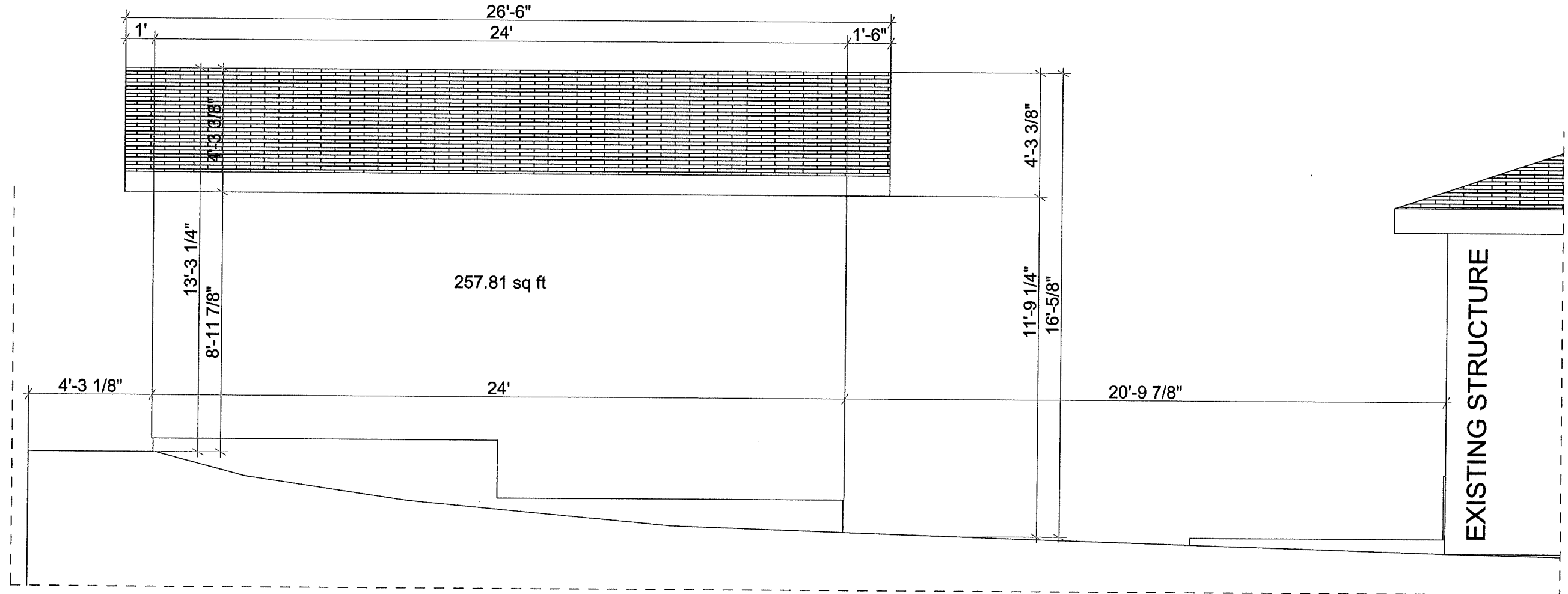
PROPOSED SIDE ELEVATION - EAST

1/8" = 1'-0"



PROPOSED GARAGE ELEVATION - EAST

1/4" = 1'-0"



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STAIRS**

10 William Johnson St,
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TITLE

**ELEVATIONS - SIDE
YARD**

DATE	5/22/2025
PAPER SIZE	TABLOID
SCALE	SHEET A2.03



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)	Joseph Hruska		
Applicant(s)	Igor Lukac		
Agent or Solicitor			
			Phone:
			E-mail:

1.2 Primary contact

☒ Applicant

☒ Owner

☐ Agent/Solicitor

1.3 Sign should be sent to

☐ Applicant

☒ Owner

☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

☐ In person

☒ Cheque

☐ Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	10 William Johnson St, Stoney Creek, ON L8J 1B2		
Assessment Roll Number	Joseph Hruska		
Former Municipality	Stoney Creek		
Lot	193	Concession	
Registered Plan Number	M-156	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☒ Yes ☐ No

If YES, describe the easement or covenant and its effect:

Easement at rear of property. Will not affect project.

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

- Side yard setback reduced from 1.2 metres (required) to 0.6 metres (proposed)
- Lot coverage increased from 38.46 m² (7.5% maximum allowed) to 45 m² (proposed)
- Maximum height increased from 4.5 metres (allowed) to 5 metres (proposed)

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Due to the nature of the owner's work, additional space is needed to store tools, equipment, and a work vehicle. The by-law limits would restrict the garage's functionality and hinder the owner's ability to carry out job-related tasks.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
15.24	33.64	512.82	8.5m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Detached dwelling	5.25m	14.96m	3.41m / 5.47m	1975

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Garage	25.03m	1.3m	8.68m / 0.6m	2025

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Detached dwelling	97.69 m2	148.48 m2	2	3.38m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Garage	43.48 m2	43.48 m2	1	5m

- 4.4 Type of water supply: (check appropriate box)

☒ publicly owned and operated piped water system
☐ privately owned and operated individual well

☐ lake or other water body
☐ other means (specify)
- 4.5 Type of storm drainage: (check appropriate boxes)

☒ publicly owned and operated storm sewers
☐ swales

☐ ditches
☐ other means (specify)
-

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway ☐ right of way
☐ municipal road, seasonally maintained ☐ other public road
☒ municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
 single detached dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
 single detached dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

November 2024.

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
 single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
 single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:
 50 years

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Residential - Low Density

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1 zone

7.8 Has the owner previously applied for relief in respect of the subject property?
 (Zoning By-law Amendment or Minor Variance)

☐ Yes ☒ No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

The proposed project involves the construction of a new detached garage. As part of the project, all existing sheds and accessory buildings on the property will be removed. The existing house will remain as the sole residential unit on the lot.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study
