

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-25:110	SUBJECT PROPERTY:	51 Lorupe Court, Ancaster
ZONE:	R4-553 (Residential 4)	ZONING BY-LAW:	Ancaster Zoning By-law 87-57, as Amended by-law 07-047

APPLICANTS: Owner: Jordan and Kimberly Stevens
Agent: Richie Khanna R&R Designs Inc

The following variances are requested:

1. A minimum Rear Yard setback of 2.8 metres shall be provided for a proposed deck instead of the minimum 6.0 metre setback required for a deck over 1.2 metres in height, and over 15.0 square metres in area.

PURPOSE & EFFECT: To permit the construction of a new rear yard deck.

Notes:

1. It is noted that a deck is defined as follows in Ancaster Zoning By-law 87-57;
“Means a platform or series of platforms, accessory to a dwelling unit, exceeding a height of 60 cm measured from the lowest point of grade at the platform perimeter to the floor of the platform. Decks may be free-standing or attached to a dwelling and are intended for use as an outdoor living area. Decks may be roofed over with a trellis or trellis-like structure only, screened-in and enclosed by a hand rail not exceeding a height of 122 cm above the platform floor, otherwise a deck shall not be enclosed. Any and all stairs, as measured to the exterior parameters of the framing structure, shall be considered to constitute part of the deck with respect to all relevant setbacks and lot coverage regulations. Any decking less than 60 cm in height shall not be considered to be a deck for the purpose of this by-law, but rather, shall be considered as landscaping material only.

A-25:110

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, July 17, 2025
TIME:	3:05 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

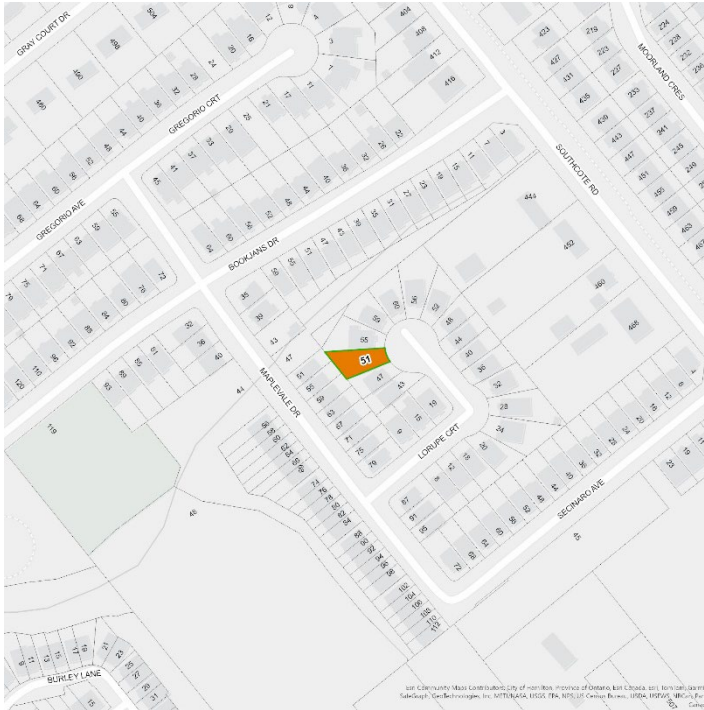
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon July 15, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon July 16, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:110, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: June 30, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

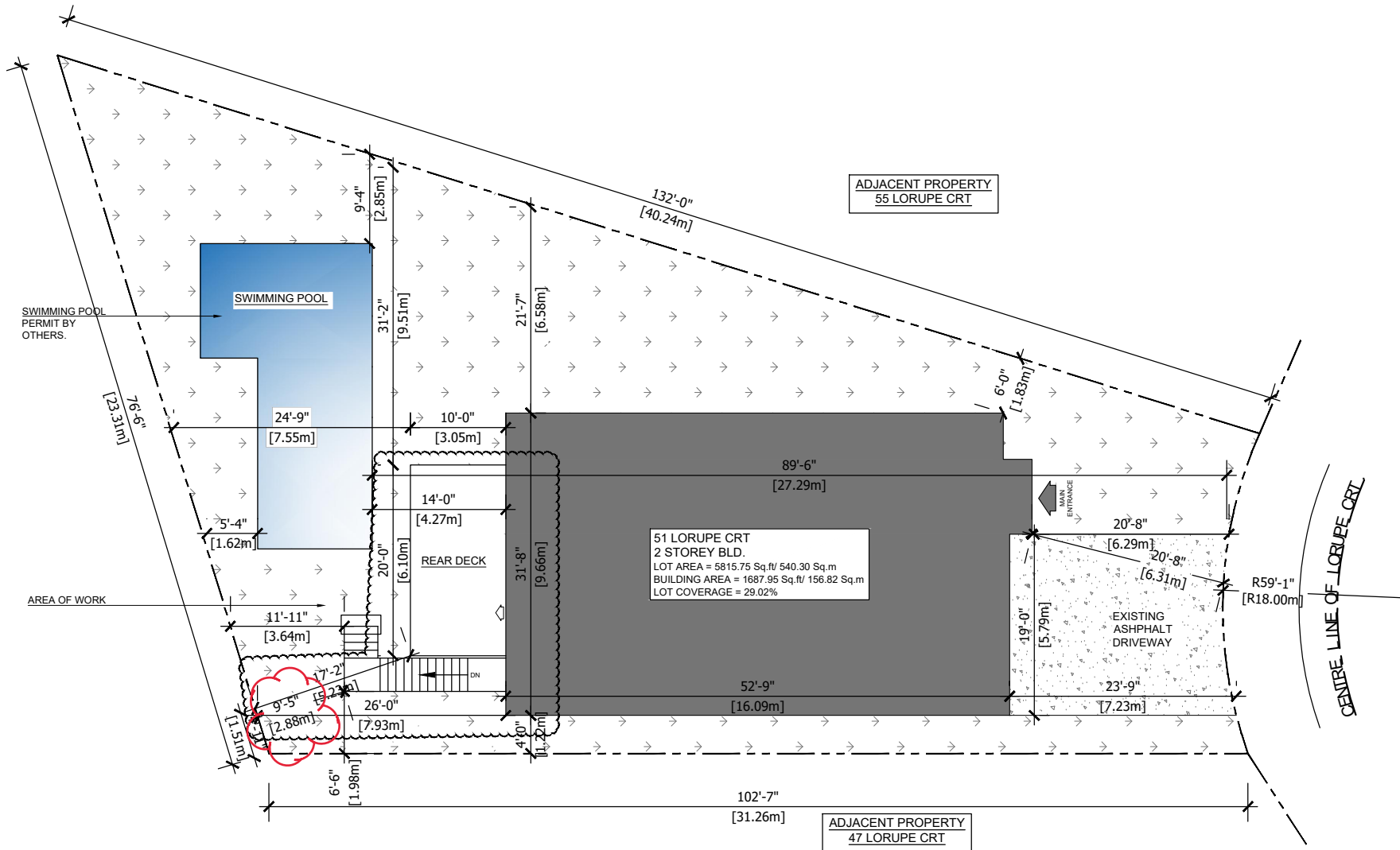
A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.



1 SITE PLAN
Scale: 1/16"=1'-0"

SITE STATISTICS	
SITE LOT	5815.75 SQ.FT (540.3 m ²) (EXISTING)
FRONTAGE	R59' 1" (R18.0 m) (EXISTING)
DEPTH	102'-7" (MIN. 31.26 m) (EXISTING)
ZONING CODE	R4-553, RESIDENTIAL-4
PARKING #	# 3

BUILDING SETBACKS	
FRONT	20'-8" (6.29 m) (EXISTING)
REAR	26'-0" (7.93 m) (EXISTING)
NORTH SIDE	6'-0" (1.83 m) (EXISTING)
SOUTH SIDE	4'-0" (1.22m) (EXISTING)
BUILDING STATISTICS	
HEIGHT	(EXISTING)
WIDTH	31'-8" (9.66m) (EXISTING)
DEPTH	52'-9" (16.09m) (EXISTING)
# OF STOREYS	2 + BASEMENT

SITE PLAN LEGENDS	
	PROPERTY LINE
	MAIN ENTRANCE
	SECOND EXIT
NAME	AREA NAME
	ASPHALT
	LANDSCAPE AREA

SITE PLAN NOTES	
1.	BASED ON HAMILTON SITE MAPS AND MEASUREMENTS ON SITE DESIGNER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF HAMILTON MAPS. THIS SITE SHALL NOT BE USED FOR ANY OTHER PURPOSES. NO WORK TO ENCROACH ONTO ADJOINING PROPERTIES.
2.	THERE IS NO EXISTING BUILDING EXTERIOR ALTERATIONS/ REPAIRING WORK. ONLY PROPOSING 2 STOREY REAR DECK. THE EXISTING BUILDING FOOTPRINT AND EXTERIOR ELEVATION TO REMAIN AS IS.

ARCHITECT/ENGINEER

R&R DESIGNS
92 Stapleton Ave.
Hamilton, ON L8H 3N6
Tel: 905.547-8668
Richie Khanna
richie@r-rdesigns.net
WWW.r-rdesigns.net

- NOTES:
- CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - DO NOT SCALE DRAWINGS.
 - THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED , ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.

REVISIONS		
NO.	DESCRIPTION	DATE
1	FOR REVIEW	24-06-25

NORTH	FILE #.	2025-RR02
	DRAWN BY:	B.P.
	REVIEWED BY:	R.K.
	DATE:	FEB 2025

PROJECT NAME:
EXTERIOR REAR DECK PERMIT

ADDRESS:
51 LORUPE COURT,
HAMILTON, ON.

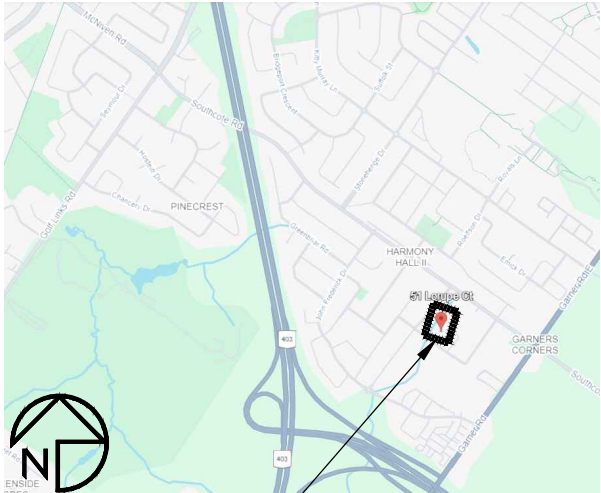
SHEET NAME
SITE PLAN

SHEET NO. **SP.01**

EXTERIOR REAR DECK PERMIT
51 LORUPE COURT, HAMILTON, ON L9G 0C8

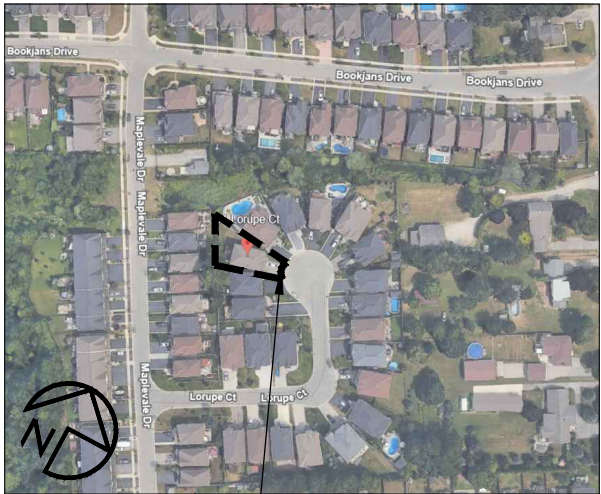
- ORDER TO COMPLY (14-100715-00 EN)
- LEGALIZE EXTERIOR REAR WOOD DECK.

SCOPE OF WORK



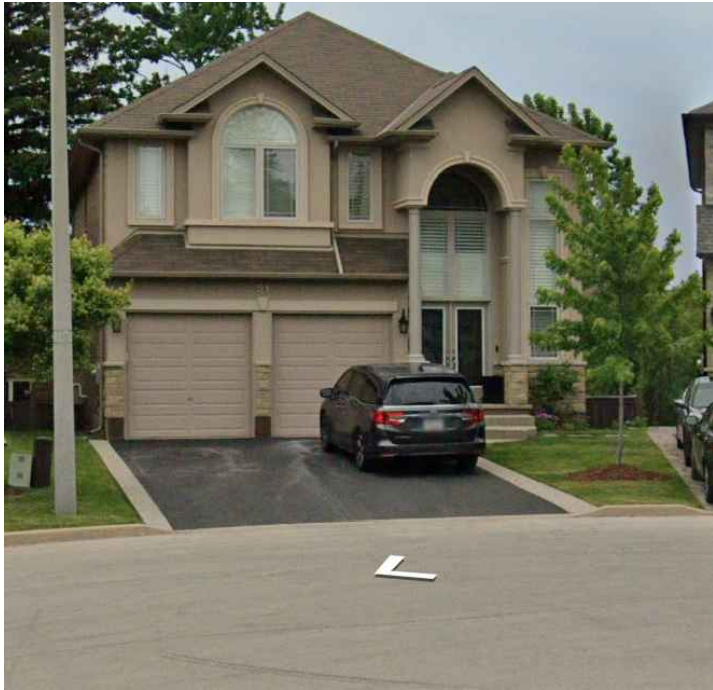
AREA OF WORK

KEY MAP

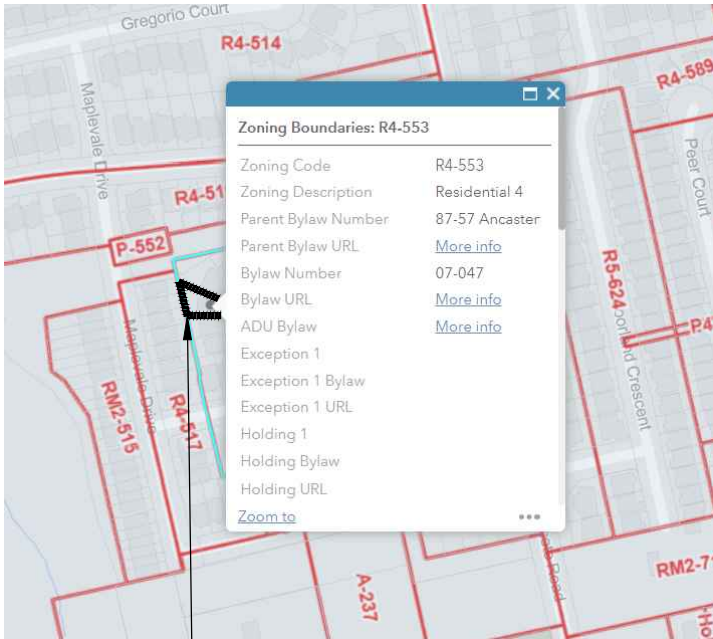


AREA OF WORK

SITE IMAGE



EXISTING BUILDING IMAGE



AREA OF WORK

ZONING DETAIL

TITLE/SITE		REVISIONS			
		A	B	C	D
		10/03/25			
ARCHITECTURAL/STRUCTURAL					
A0.01	COVER PAGE	•			
A0.02	GENERAL STRUCTURAL NOTES	•			
SP0.1	SITE PLAN	•			
A1.01	DECK LAYOUT PLAN	•			
A1.02	DECK FOUNDATION PLAN	•			
A1.03	DECK FRAMING PLAN & DETAILS	•			
A1.04	DECK SECTION & STAIR DETAILS	•			

SHEET INDEX

ARCHITECT/ENGINEER



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richie@r-rdesigns.net
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REVISIONS		
NO.	DESCRIPTION	DATE
△	FOR REVIEW	10-03-25
△		
△		
△		
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NORTH	FILE #.	2025-RR02
	DRAWN BY:	B.P.
	REVIEWED BY:	R.K.
	DATE:	FEB_2025

PROJECT NAME:

EXTERIOR REAR DECK PERMIT

ADDRESS:

51 LORUPE COURT,
HAMILTON, ON.

SHEET NAME

COVER PAGE

SHEET NO.

A0.01

GENERAL STRUCTURAL NOTES:

1. ONTARIO BUILDING CODE, LATEST EDITION, SHALL BE THE BASIS FOR CONSTRUCTION AND DESIGN WORK ON THIS PROJECT.
2. THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL CONDITIONS AND MEASUREMENTS AT THE SITE.
3. OCCUPATIONAL HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION PROJECTS IN ONTARIO, LATEST EDITION, SHALL GOVERN DESIGN AND CONSTRUCTION WORK ON THIS PROJECT.
4. CONTRACTOR SHALL CONTACT THE CONSULTANT FOR AN INSPECTION OF STEEL REINFORCEMENT PRIOR TO POURING THE CONCRETE.
5. COMPACTION OF GRANULAR MATERIAL SHALL BE TESTED BY PERSONNEL OF A GEOTECHNICAL COMPANY AND THE RESULTS SENT TO THE CONSULTANT.

FOUNDATIONS:

1. GRANULAR 'A' FILL MATERIAL FOR SLABS AND UNDISTURBED SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUSTAINING A MINIMUM ALLOWABLE BEARING CAPACITY OF 2,000 PSF.
2. PROVIDE 10" MINIMUM COMPACTED TOP LAYER OF GRANULAR "A" MATERIAL UNDER THE SLAB AREA.
3. IF SLAB OR FOUNDATION ARE PLACED ON BACKFILLED MATERIAL; COMPACT THE MATERIAL TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY IN 8" THICK LAYERS (MAX).
4. ALL STRIP FOOTINGS SHALL BE A MINIMUM OF 16" WIDE AND 8" DEEP WITH TWO 15M LONGITUDINAL BARS. THE UNDERSIDE OF FOOTING SHALL BE A MINIMUM OF 4' BELOW GRADE (IN SOUTHERN ONTARIO).

CONCRETE:

1. CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF CSA-CAN-A23.1 AND A23.3., LATEST EDITION. {OBC 9.3.1.4.)
2. CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH AFTER 28 DAYS OF 4650 psi (32MPa)
3. REINFORCEMENT STEEL SHALL BE DEFORMED BARS CONFORMING TO CSA-G30.1 2, HAVING A MINIMUM YIELD STRENGTH OF 58psi (400MPa).
4. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE 1.5" U.N.O. WHEN EXPOSED TO WEATHER THE MINIMUM COVER IS 2". WHEN EXPOSED TO SOIL, THE MINIMUM COVER IS 3".
5. CONTRACTOR TO PROVIDE THE NECESSARY MEANS TO SUPPORT AND KEEP STEEL REINFORCEMENT IN HE INDICATED POSITIONS DURING WORKING OPERATIONS AND PLACING CONCRETE
6. CONCRETE SLABS TO HAVE A STEEL TROWEL FINISH, U.N.O.
7. CONCRETE SLAB SEALER SHALL BE "SIKAFLOOR S3" OR EQUIVALENT.

ANCHOR RODS:

1. ALL ANCHOR RODS SHALL BE G40.21M 50W WITH MINIMUM TENSILE STRENGTH - 65KSI (450MPa).
2. ALL ANCHOR RODS OR DOWELS TO EXISTING CONCRETE SHALL BE HILTI HIT HY200 MAX ADHESIVE ANCHORS UNLESS NOTED OTHERWISE. STRENGTH OF MATERIAL AND INSTALLATION METHOD SHALL CONFORM TO MANUFACTURER'S SPECIFICATION.
3. ALL ADHESIVE ANCHOR RODS SHALL BE HILTI HAS-E THREADED ROD OR EQUIVALENT THREADED ROD TO BE APPROVED BY CONSULTANT.
4. ALL ANCHOR RODS SHALL BE COMPLETE WITH HEAVY HEXAGON NUTS PLUS PLATE WASHER. ANCHOR PLATES SHALL CONFORM TO CSA G40.21M - 44W.
5. WELDING TO SECURE ANCHOR PLATE TO ANCHOR ROD(S) SHALL CONFORM TO CSA W47.1, W48.1 AND W59 USING LOW HYDROGEN ELECTRODES AND SHALL BE UNDERTAKEN ONLY BY WELDERS HOLDING CERTIFICATION FOR THE PROCESS, POSITION AND CLASS OF ELECTRODES INVOLVED.
6. ANCHOR ROD PROJECTIONS AND ANCHOR ROD THREADS SHALL BE SUFFICIENT TO SECURE BOTTOM PLATE OF WALL OR COLUMN BASE PLATE
7. ANCHOR ROD PLACEMENT TOLERANCES PER CSA A23.1 CLAUSE 6.7, UNLESS OTHERWISE NOTED ON CONTRACT DRAWINGS.

WOOD:

1. ENGINEERING DESIGN IN WOOD SHALL COMPLY WITH CAN/CSA-086-01, INCLUDINGSUPPLEMENT CAN/CSA-086S1-05.
2. ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO.1.
3. MAX. MOISTURE CONTENT SHALL BE 19% AT TIME OF INSTALLATION.
4. JOISTS TO HAVE MIN. 38MM BEARING.
5. FASTENERS SHOULD PENETRATE MIN. 50% OF THE LAST MEMBER OR NOT LESS THAN 89MM LONG, WHICH EVER IS GREATER.
6. NAILS ARE TO CONFORM TO CSA B111/P.9-88.
7. SCREWS MUST CONFORM TO ANSI/ASME N18.6-1-1981 FOR WOOD SCREWS (INCH SERIES)
8. 5/8" DIA. BY 10" LONG WITH 6" EMBEDMENT BOTTOM SILL GALVANIZED ANCHORS WITH NUTS AND WASHERS AT MAX. 6' ON CENTER AND AT CORNERS AND WALL ENDS.

STRUCTURAL STEEL:

1. STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE CAN/CSA STANDARD S16-09 "LIMIT STATES DESIGN OF STEEL STRUCTURES".
2. STEEL SHALL CONFORM TO CAN/CSA STANDARD G40.20 - "GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL" AND TO CAN/CSA STANDARD G40.21 - "STRUCTURAL QUALITY STEELS" TO THE FOLLOWING GRADES:
 - HOT ROLLED SHAPES - 44W (300MPA), EXCEPT TO WIDE FLANGE SHAPES WHICH WILL CONFORM TO G20.21M - 50W (350MPA)
 - PLATES NOT GREATER THAN 1 ½" (38MM) THICKNESS - 50W (350MPA)
 - COLD FORMED STEEL - ASTM A 653/A 653M GRADE 50W (350MPA)
 - HSS (CLASS H) - 50W (350MPA) IF 6" (152MM) OR GREATER
 - HSS (CLASS C) - 50W (350MPA) IF LESS THAN 6" (152MM)
 - ANCHOR BOLTS - 50W (350MPA)
3. ALL METAL-ARC WELDING SHALL BE IN ACCORDANCE WITH CSA STANDARD W59 LATEST REVISION "WELDED STEEL CONSTRUCTION (METAL - ARC WELDING)" & SHALL BE UNDERTAKEN ONLY BY WELDERS HOLDING A VALID CERTIFICATION (QUALIFIED TO CSA W47.1) FOR THE PROCESS POSITION AND CLASS OF ELECTRODES INVOLVED.
4. ALL ELECTRODES SHALL BE LOW HYDROGEN E70XX CONFORMING TO CSA W48.
5. ALL WELDS SHALL BE CONTINUOUS UNLESS NOTED OTHERWISE.
6. MINIMUM SIZE OF FILLET WELDS TO BE 1/4" (6MM) OR AS REQUIRED BY MATERIAL THICKNESS OR PARTS JOINED, UNLESS NOTED OTHERWISE.
7. ALL BOLTED FASTENERS SHALL BE ASTM A325 STRUCTURAL BOLTS COMPLETE WITH HARDENED WASHERS AND HEAVY HEX NUTS UNLESS NOTED OTHERWISE.
8. HSS ENDS SHALL BE CLOSED WITH 3/16" (5MM) THICK CAP PLATE UNLESS NOTED OTHERWISE. PLATE TO BE SEAL WELDED TO HSS.

ARCHITECT/ENGINEER




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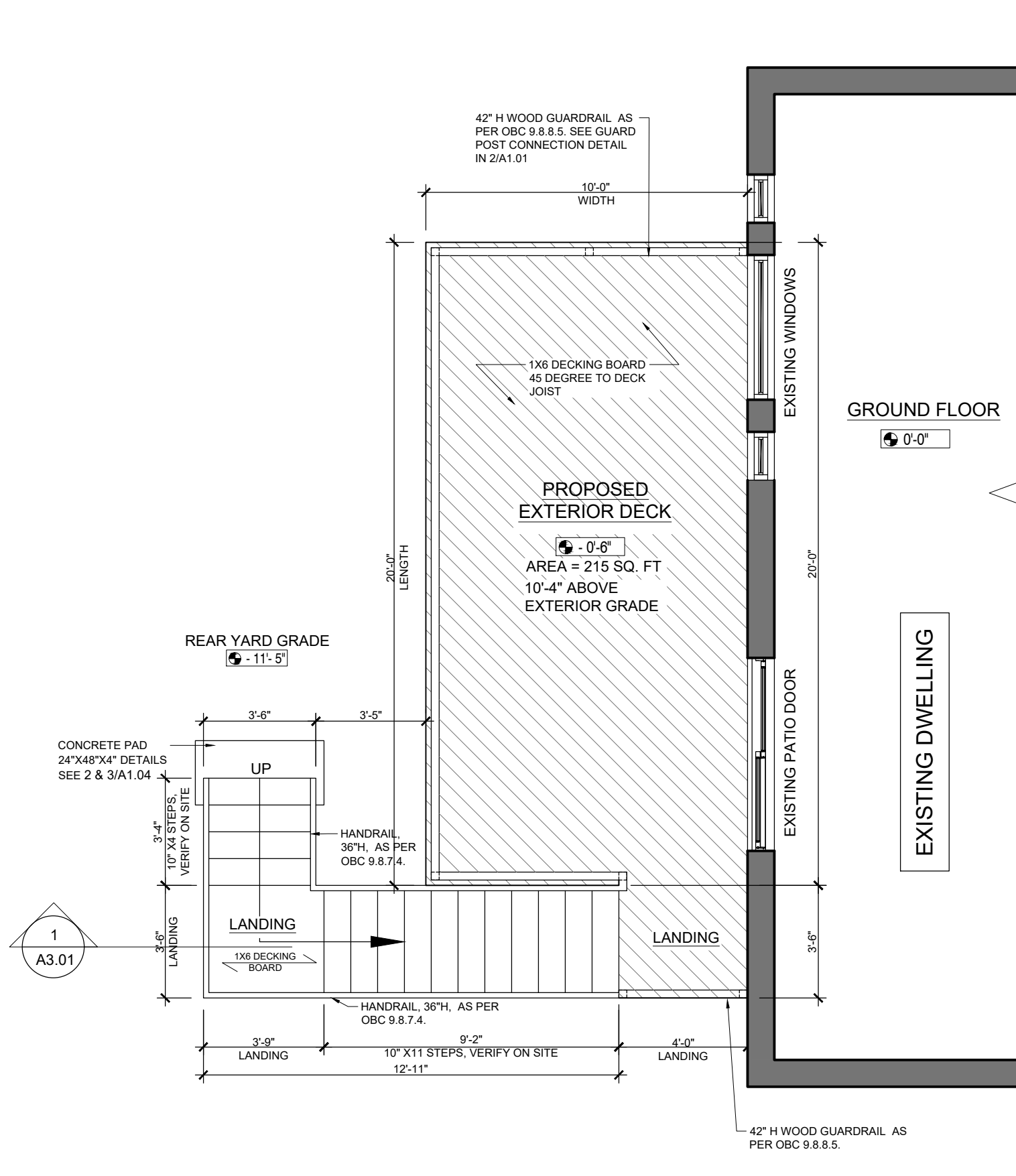
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<ul style="list-style-type: none">• CONTRACTOR SHALL CHECK DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.• DO NOT SCALE DRAWINGS.• THE DESIGN AND DRAWINGS WERE DEVELOPED FOR A SPECIFIC PURPOSE AND MAY NOT BE ALTERED , ISSUED, OR REPRODUCED FOR ANY OTHER PURPOSE.		

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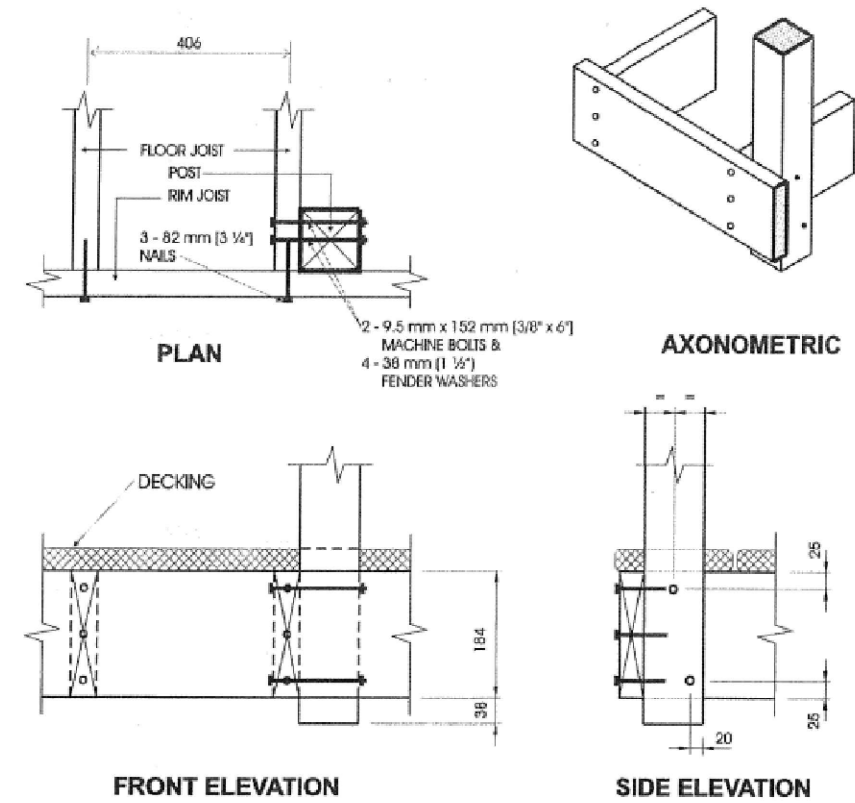
NORTH	FILE #.	2025-RR02
	DRAWN BY:	B.P.
	REVIEWED BY:	R.K.
	DATE:	FEB_2025

PROJECT NAME:
EXTERIOR REAR DECK PERMIT
ADDRESS:
51 LORUPE COURT, HAMILTON, ON.

SHEET NAME	
GENERAL STRUCTURAL NOTES	
SHEET NO.	A0.02



1 DECK LAYOUT PLAN
Scale: 1/4"=1'-0"



2 GUARD POST DETAIL
Scale: NTS

ARCHITECT/ENGINEER

R. TAUNTON
100112355
11 MARCH 2025
PROVINCE OF ONTARIO

R&R DESIGNS

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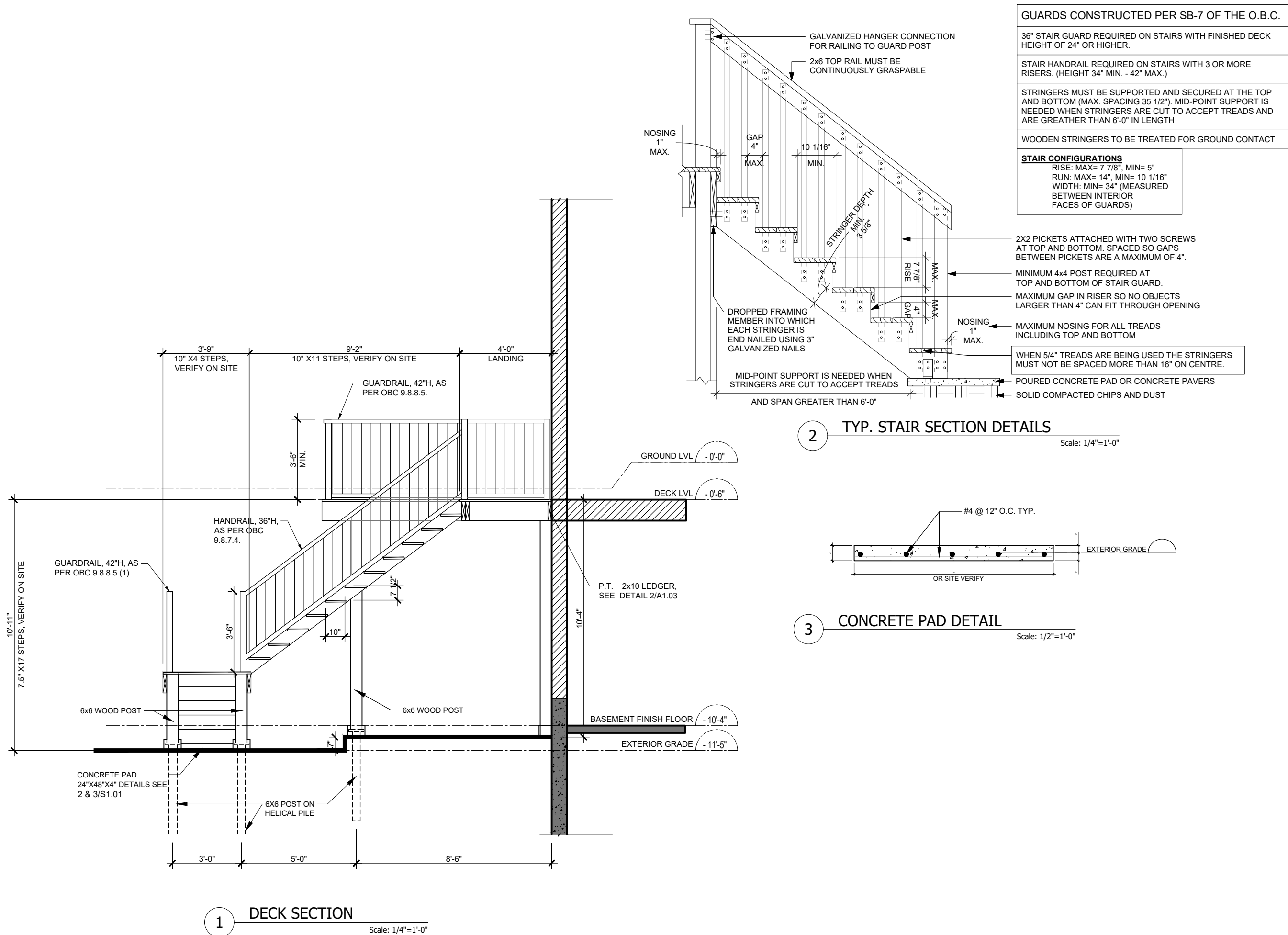
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PROJECT NAME:
EXTERIOR REAR DECK PERMIT


ADDRESS:
51 LORUPE COURT,
HAMILTON, ON.

SHEET NAME
DECK LAYOUT
PLAN

SHEET NO. A1.01



ARCHITECT/ENGINEER



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PROJECT NAME:
EXTERIOR REAR DECK PERMIT

ADDRESS:
51 LORUPE COURT,
HAMILTON, ON.

SHEET NAME DECK SECTION & STAIR DETAILS	
SHEET NO.	A1.04



R&R DESIGNS

PURPOSE OF THE APPLICATION

TO: City Of Hamilton,
Committee of Adjustment

Minor Variance Application

Project Address: 51 LORUPE CRT, HAMILTON (Proposed new Deck and Stair)

Hello,

Please see the following list of nature and extent of relief applied and the reason for the Minor Variance Application for 51 Lorupe Court.

3.1 Nature and extent of relief applied for:

We are requesting a variance of 5.23 meters for the setback, instead of the required 6.0 meters, from the existing built deck to the property line and Stairs. This results in a shortfall of 0.77 meters from the required setback.

3.2 Reason why the provisions of the by law cannot be complied:

Reason for not being able to comply with the by-law.

Compliance with the By-law is not feasible in this case because the deck has already been constructed without prior knowledge of the permit requirements. To meet the required rear setback, the entire structure would need to be modified, including the removal and repositioning of the existing helical pile foundation system. This would involve significant structural alterations, added costs, and potential risks to the integrity of the existing construction, which the owner is not prepared to undertake.

Thank you.



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	Jordan Stevens Kimberly Stevens
Applicant(s)	Richie Khanna R&R Designs Inc.
Agent or Solicitor	Richie Khanna R&R Designs Inc.

1.2 Primary contact

☒ Applicant

☐ Owner

☐ Agent/Solicitor

1.3 Sign should be sent to

☒ Applicant

☐ Owner

☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

☐ In person

☒ Credit over phone*

☐ Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	51 Lorupe Court		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot	6	Concession	
Registered Plan Number	62M-1136	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Please see attached -Purpose of the Application letter (Attached at the end of Document)

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Please see attached -Purpose of the Application letter (Attached at the end of Document)

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
R-18.00m	Min. 31.26m	540.3 Sq.m.	Approx. 9.0m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
EXISTING SINGLE DWELLING	6.29m	7.93m	1.22m, 1.83m	2011

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
PROPOSED NEW DECK	23.32m	5.23m	1.98m, 9.51m	2013

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
EXISTING SINGLE DWELLING	156.8 Sq. m.	313.6 Sq. m.	2	Approx 6.4 m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
PROPOSED NEW DECK	--	18.8 Sq. m.	1	3.35m

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- _____

4.6 Type of sewage disposal proposed: (check appropriate box)

☒ publicly owned and operated sanitary sewage

☐ system privately owned and operated individual

☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

☐ provincial highway

☐ right of way

☐ municipal road, seasonally maintained

☐ other public road

☒ municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Residential – Single detached dwelling with an accessory structure (Deck & Pool) in rear yard.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Residential – Single detached dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

AUGUST 2011 - AS PER OWNER'S PURCHASE DOCUMENTS

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

AUGUST 2011 - AS PER OWNER'S PURCHASE DOCUMENTS

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): N/A

Rural Settlement Area: N/A

Urban Hamilton Official Plan designation (if applicable) Neighborhoods - Schedule E1

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R4-553 (87-57 ANCASTER)

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

☐ Yes

☒ No

If yes, please provide the file number: R4-553 (87-57 ANCASTER)

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
 - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
 - ☐ Hydrogeological Assessment
 - ☐ Septic Assessment
 - ☐ Archeological Assessment
 - ☐ Noise Study
 - ☐ Parking Study
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