



Hamilton

**COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

<b>APPLICATION NO.:</b>	A-25:112	<b>SUBJECT PROPERTY:</b>	214 Yahara Place, Ancaster
<b>ZONE:</b>	Low Density Residential - Large Lot (R2) Zone	<b>ZONING BY-LAW:</b>	Hamilton Zoning By-law 05-200, as Amended

**APPLICANTS:** Owner: Tim and Amy McCrea

The following variances are requested:

1. A maximum building height of 6.4 metres shall be provided instead of the maximum permitted building height of 4.5 metres.
2. A maximum combined lot coverage of 98.6 square metres for all accessory buildings shall be provided instead of the maximum permitted combined lot coverage of 45 square metres for all accessory buildings.

**PURPOSE & EFFECT:** To permit the construction of an accessory building.

**Notes:**

- i. The applicant shall ensure that a minimum of 40% of the overall lot area is provided as Landscaped Area, as required by Section 15.3.2.1 i) of the Zoning By-law.
- ii. The applicant shall ensure that the proposed building height has been calculated in accordance with Building Height and Grade as defined within the Zoning By-law.
- iii. The applicant shall ensure any future driveway area to access the proposed accessory building complies with the requirements of the Zoning By-law as outlined in Section 5 “Parking” and any applicable landscaping requirements.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, July 17, 2025</b>
<b>TIME:</b>	<b>3:10 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

**PUBLIC INPUT**

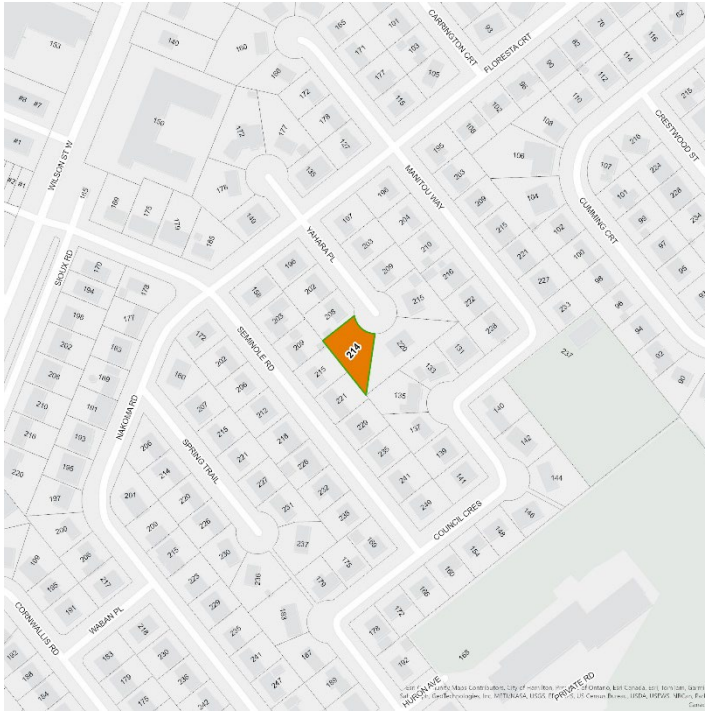
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon July 15, 2025

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon July 16, 2025

**FURTHER NOTIFICATION**

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:112, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: June 30, 2025

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Justin Leung,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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### PARTICIPATION PROCEDURES

#### Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)

#### Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

##### 1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email [cofa@hamilton.ca](mailto:cofa@hamilton.ca). The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

##### 2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

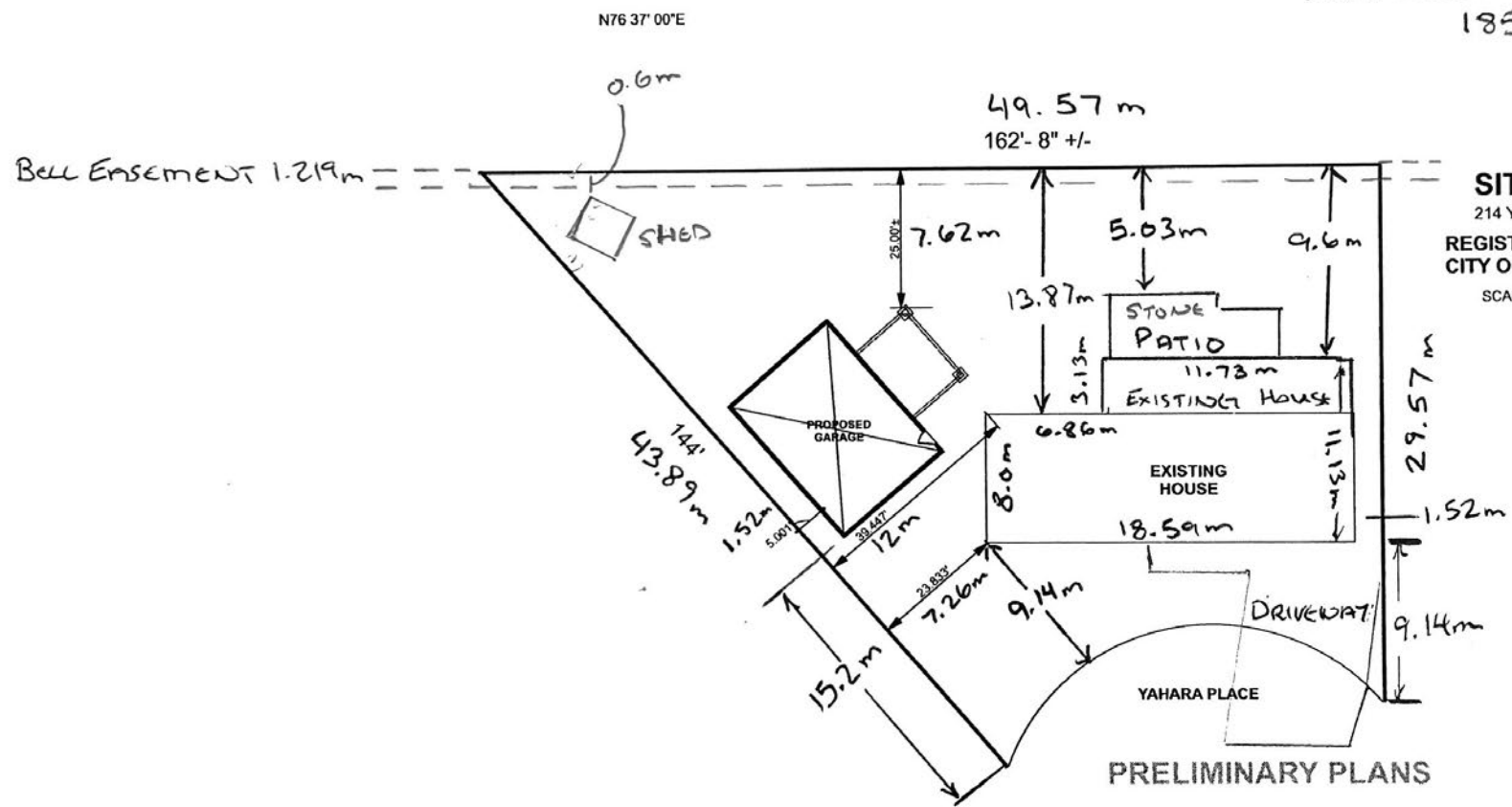
We hope this is of assistance and if you need clarification or have any questions, please email [cofa@hamilton.ca](mailto:cofa@hamilton.ca).

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

**NOTES**  
 THESE DRAWINGS, SPECIFICATIONS, AND SPECIFICATIONS MUST BE  
 CHECKED AND VERIFIED BY THE BUILDING CONTRACTOR FOR  
 DISCREPANCIES AND REPORT TO THE DESIGNER BEFORE  
 COMMENCING ANY FURTHER WORK. THE DESIGNER ASSUMES NO  
 RESPONSIBILITY OR LIABILITY FOR ERRORS OR OMISSIONS NOT  
 REPORTED BY THE BUILDING CONTRACTOR OR HIS SUBTRACTOR.  
 THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE BUILDING  
 CONTRACTOR OR HIS SUBTRACTOR FOR THEIR FAILURE TO CARRY OUT  
 THE WORK ACCORDING TO THESE PLANS, SPECIFICATIONS AND  
 RELATED DOCUMENTS. CONSTRUCTION MUST COMPLY WITH THE  
 LATEST STANDARDS OF THE O.B.C. C.B.C. AND THE LOCAL  
 MUNICIPAL REGULATIONS.  
 SUPPLIERS AND SUB CONTRACTORS TO VERIFY DIMENSIONS  
 AND THE GENERAL PLANS, REPORT ANY DISCREPANCIES TO THE  
 DESIGNER BEFORE PROCEEDING. THE DESIGNER ASSUMES  
 NO RESPONSIBILITY FOR ERRORS NOT REPORTED.

DO NOT SCALE DRAWING

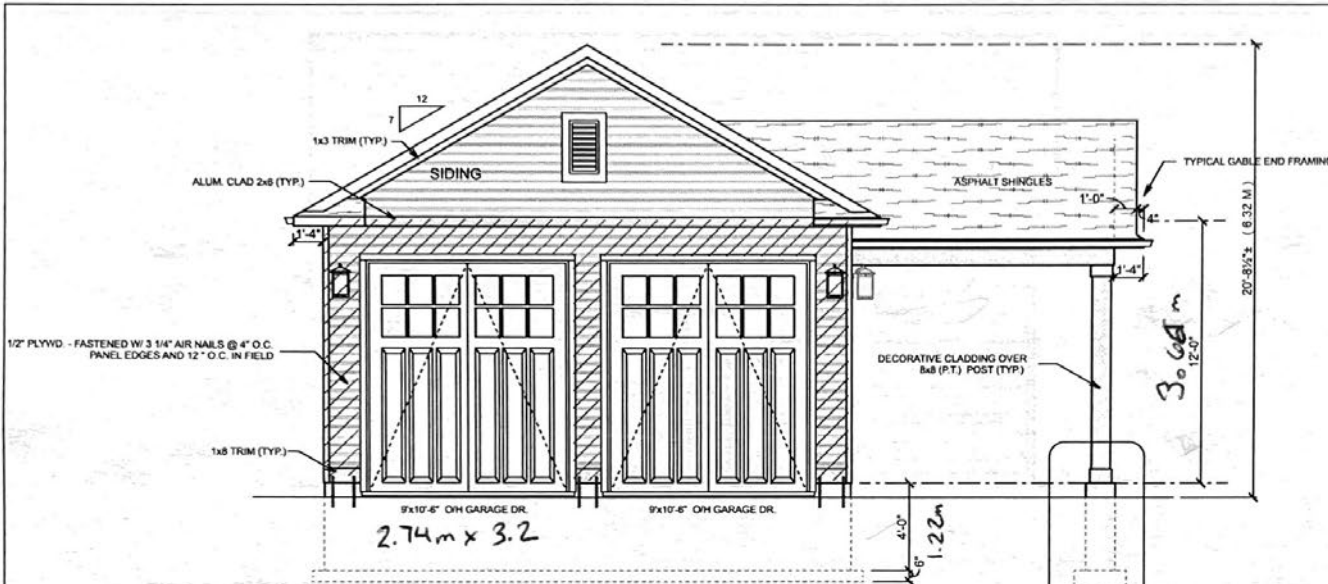
EXISTING FOOTPRINT  
 185.43 Sq m



**SITE PLAN**  
 214 YAHARA OLCÉ  
 REGISTERED PLAN 506 ?  
 CITY OF HAMILTON  
 SCALE 1" = 20'-0"

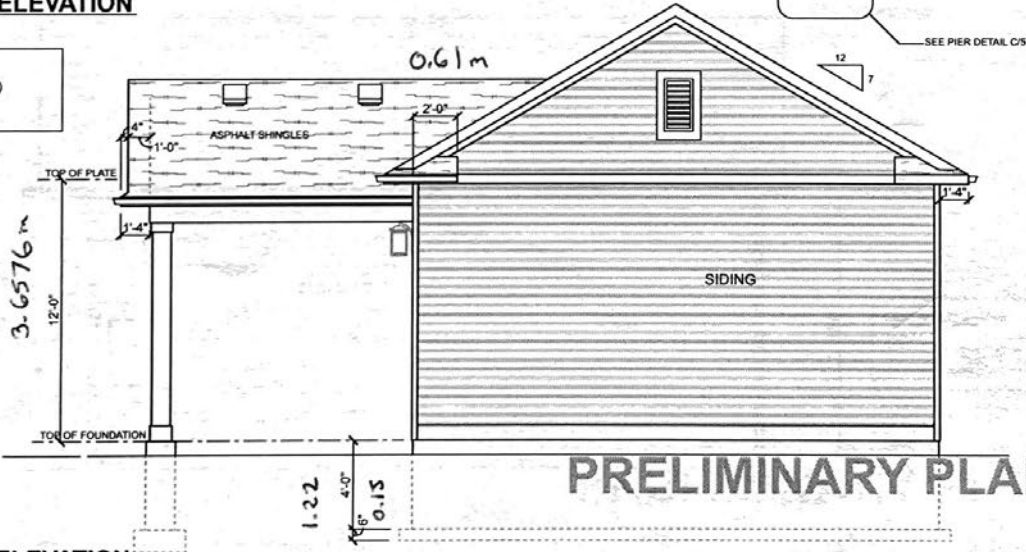
<b>PHILIP H. RÜHLMAN</b> ARCHITECTURAL DESIGN 82 Poplar St. - 519-223-7042 Anc. Ontario email: phil@philruehlman.com			
<b>DECLARATION OF DESIGNER</b> I, PHILIP RÜHLMAN, DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK OF THIS PLAN (AND ANY PRELIMINARY AND RELATED DOCUMENTS).			
INDIVIDUAL REG. NO. 7185 / FEBRUARY 2012			
DRAWING TITLE <b>SITE PLAN</b>	DATE May 30, 2023	SCALE 1" = 20'	PROJECT NO. 214 YAHARA PLACE Anc. Ont.
PROJECT NAME 214 YAHARA PLACE Anc. Ont.	DESIGNER PHILIP RÜHLMAN	PROJECT NO. PHN23-016	<b>A1a</b>

PRELIMINARY PLANS



**FRONT ELEVATION**

HDU8-SDS2.5  
HOLDOWN (SIMPSON)  
SEE A/6



**REAR ELEVATION**

**PRELIMINARY PLANS**

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 ROOF TRUSS DESIGNS AND LAYOUT TO BE SUBMITTED TO THIS DESIGNER FOR APPROVAL BEFORE MANUFACTURING.

**SYMBOL SCHEDULE**

- ⊗ E.F. EXHAUST FAN
- ⊙ PL. POT LIGHT
- ⊙ S.A. SMOKE ALARM & CD INTERCONNECTED CW VISUAL DISPLAY
- PL. POINT LOAD FROM ABOVE

**PHILIP H. RUHLMAN**  
 ARCHITECTURAL DESIGN  
 82 Piper St. 519-223-7042  
 Ayr, Ontario  
 email - phil@ruhlmandesign.com

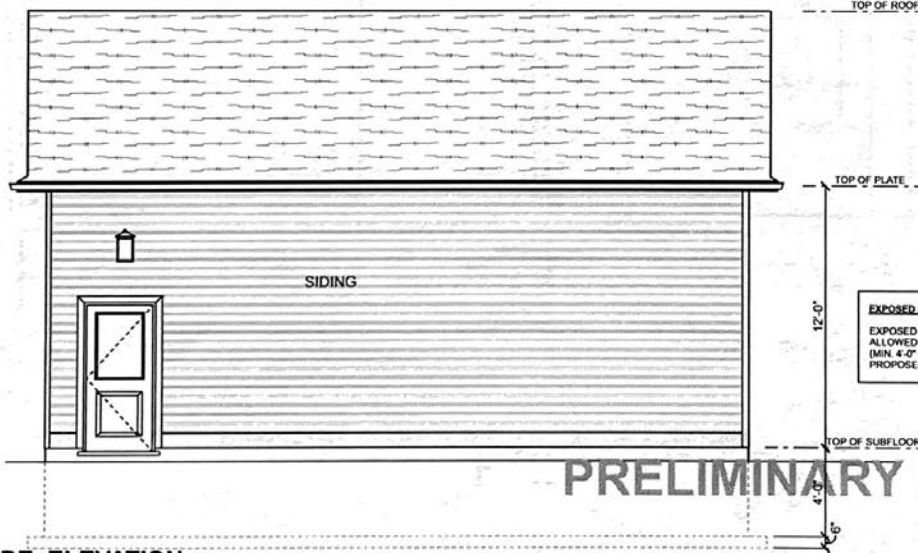
**DECLARATION OF DESIGNER**  
 I PHILIP RUHLMAN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK OF THIS PLAN. I AM QUALIFIED, AND I AM REGISTERED.

INDIVIDUAL BCIN: 21095 FIRM BCIN: 31613

DRAWING TITLE			
ELEVATIONS			
DATE	SCALE	AREA	PROJECT NO.
May 8, 2025	3/16"=1'-0"	768 Sq. Ft.	PHR25-876
PROJECT NAME	TIM MCCREA	DRAWING #	
	214 Yahara Place		
	Ancaster, Ont.		<b>A1</b>



**RIGHT SIDE ELEVATION**



**LEFT SIDE ELEVATION**

**EXPOSED BUILDING FACE**  
 EXPOSED BUILDING FACE = 400 SQ. FT.  
 ALLOWED UNPROTECTED OPENINGS  
 (MIN. 4'-0" SIDE YARD- 7% MAX.) = 28 SQ. FT.  
 PROPOSED UNPROTECTED OPENINGS = 21 SQ. FT.

**PRELIMINARY PLANS**

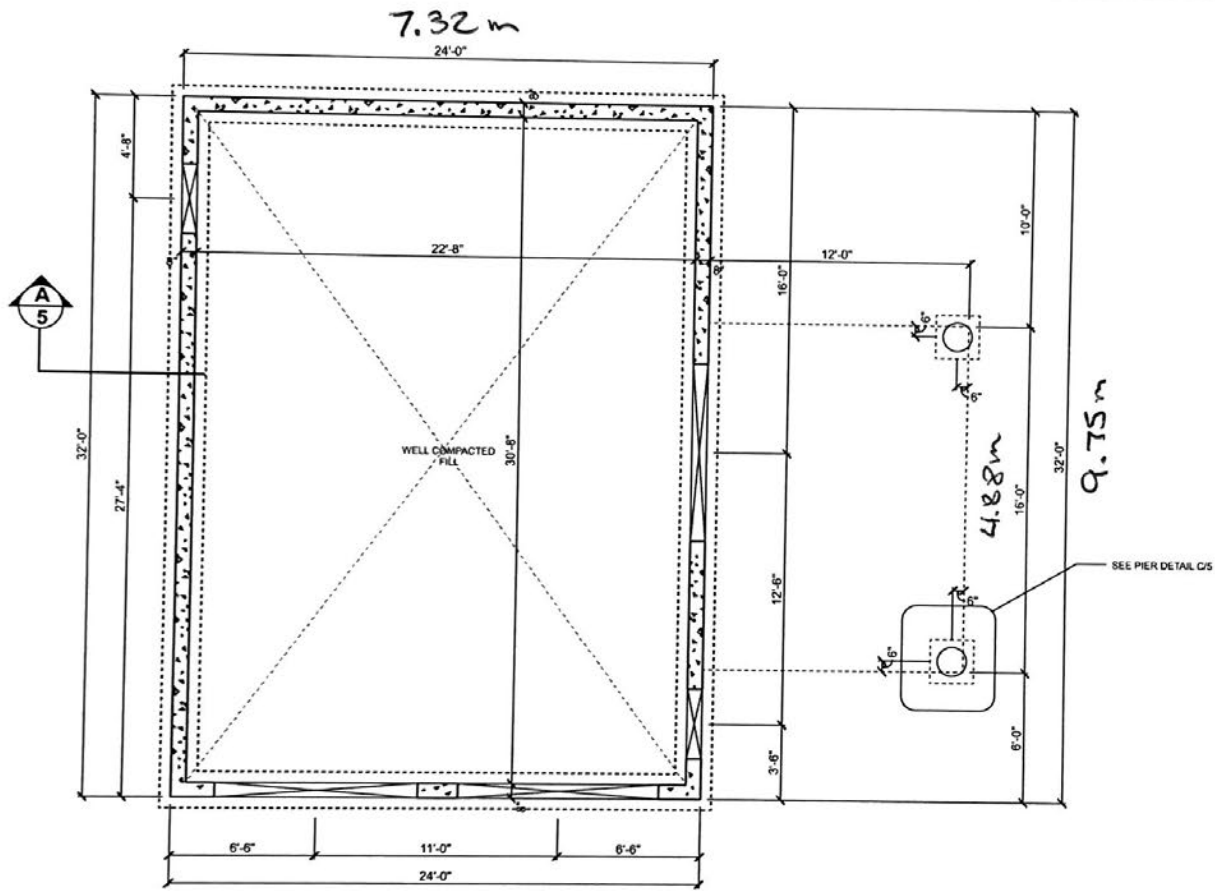
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**SYMBOL SCHEDULE**

⊙	E.F.	EXHAUST FAN
○	P.L.	POT LIGHT
⊙	S.A.	SMOKE ALARM & CO INTERCONNECTED CW VISUAL DISPLAY
■	P.L.	POINT LOAD FROM ABOVE

<b>PHILIP H. RUHLMAN</b>			
ARCHITECTURAL DESIGN 82 Piper St. 519-223-7042 Ayr, Ontario email - phil@ruhlmansdesign.com			
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<b>DRAWING TITLE ELEVATIONS</b>			
DATE May 8, 2025	SCALE 3/16"=1'-0"	AREA 768 Sq. Ft.	PROJECT NO. PHR25-076
PROJECT NAME TIM McCREA 214 Yahara Place Ancaster, Ont.			DRAWING # <b>A4</b>



**FOUNDATION PLAN**

**PRELIMINARY PLANS**

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- ⊙ SA. SMOKE ALARM & CO INTERCONNECTED CW VISUAL DISPLAY
- PL. POINT LOAD FROM ABOVE

**PHILIP H. RUHLMAN**  
 ARCHITECTURAL DESIGN  
 82 Piper St. 519-223-7042  
 Ayr, Ontario  
 email - phil@ruhmandesign.com

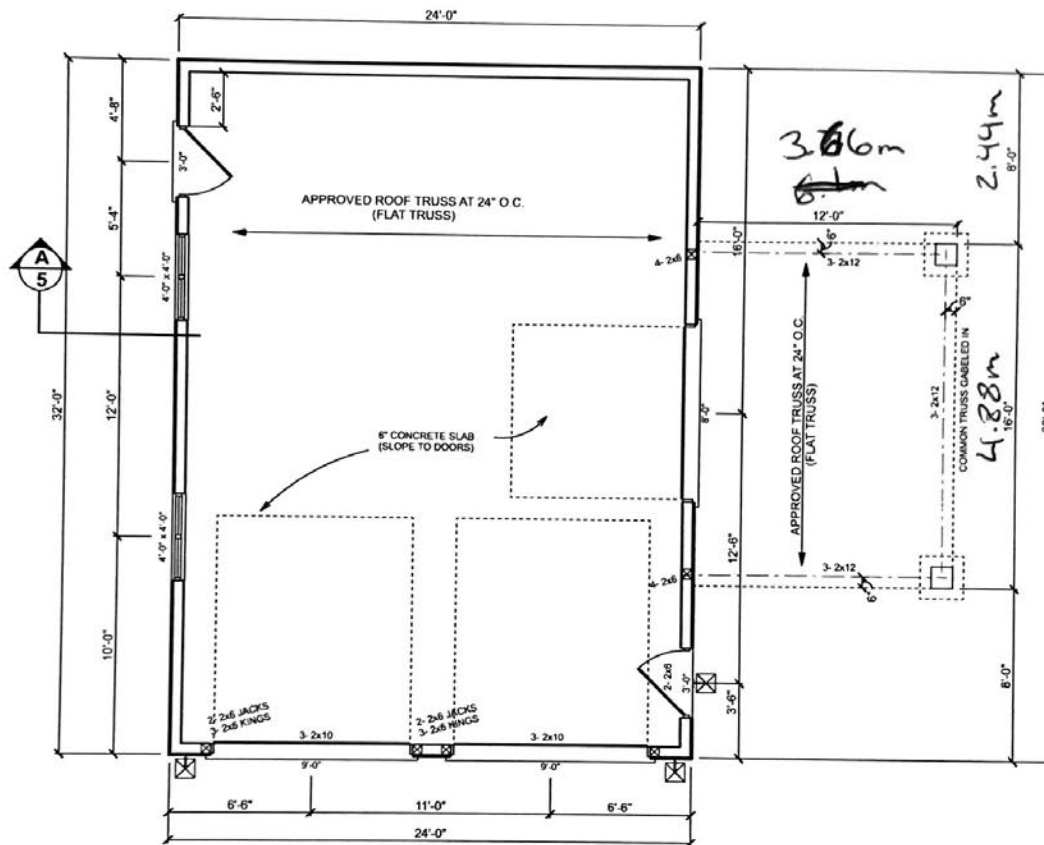
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DRAWING TITLE		FOUNDATION PLAN	
DATE	SCALE	AREA	PROJECT NO.
May 8, 2025	3/16"=1'-0"	768 Sq. Ft.	PHR25-876
PROJECT NAME	DRAWING #		
TIM McCREA 214 Yahara Place Ancaster, Ont.	A2		





MAIN FLOOR PLAN

7.32m

# PRELIMINARY PLANS

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email - phil@ruhlmandesign.com

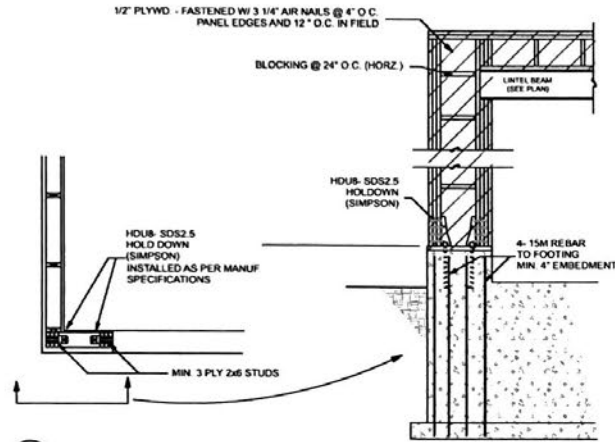
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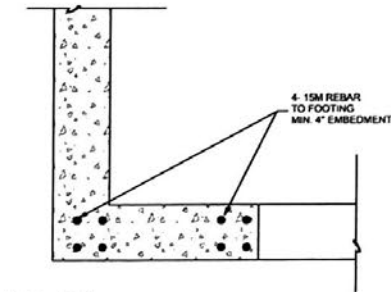
INDIVIDUAL BCIN: 21005 FIRM BCIN: 31613

DRAWING TITLE			
MAIN FLOOR PLAN			
DATE	SCALE	AREA	PROJECT NO.
May 8, 2025	3/16"=1'-0"	768 Sq. Ft.	PHR25-876
PROJECT NAME	TIM MCCREA	DRAWING #	
	21 Yahara Place		
	Ancaster, Ont.		

**A3**



**A** HOLDOWN DETAILS (TYP. AT GARAGE DOOR)



**PLAN**

# PRELIMINARY PLANS

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**PHILIP H. RUHLMAN**

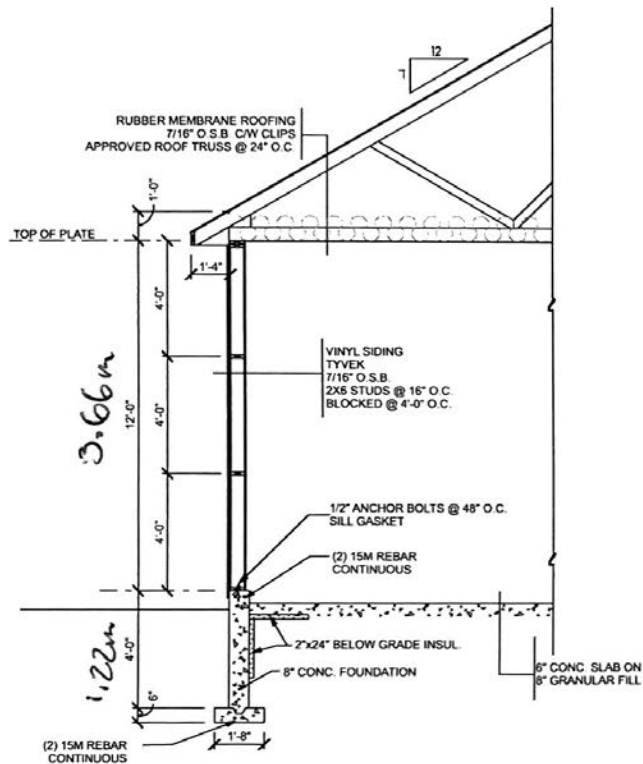
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Ayr, Ontario  
email - phil@ruhlmandesign.com

**DECLARATION OF DESIGNER**

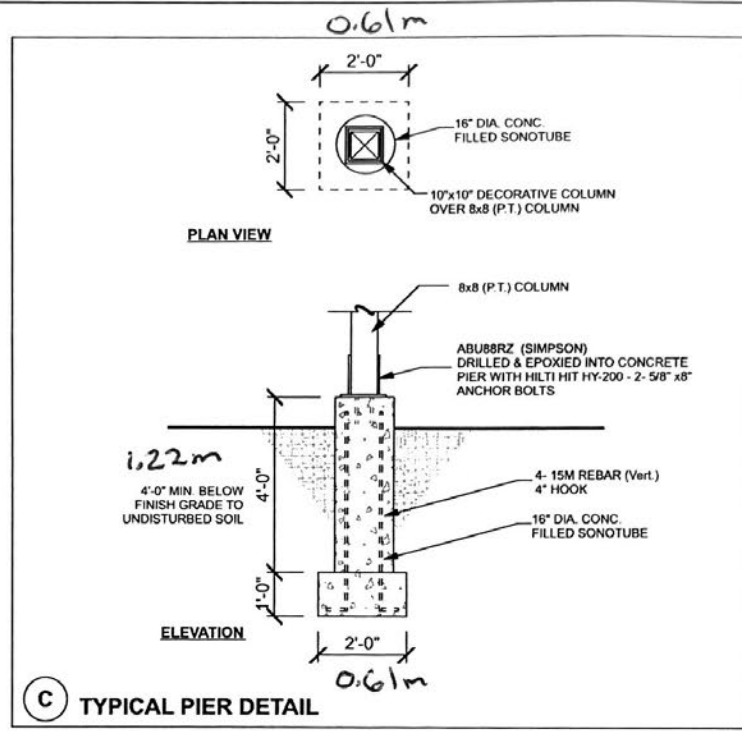
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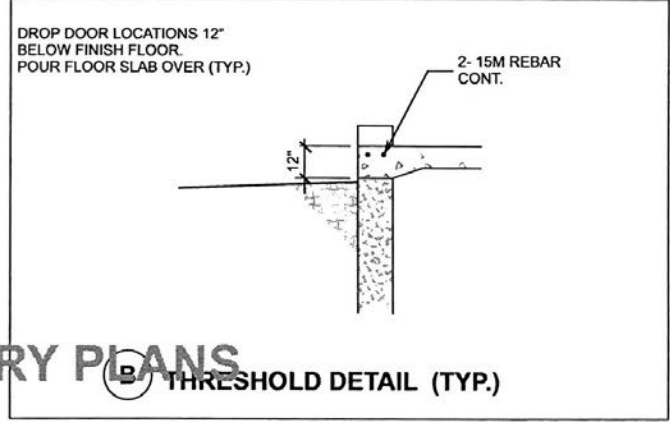
DRAWING TITLE		DETAILS	
DATE	SCALE	AREA	PROJECT NO.
May 8, 2025	3/16"=1'-0"	768 Sq. Ft.	PHR25-876
PROJECT NAME	DRAWING #		
TIM MCCREA 214 Yahara Place Ancaster, Ont.	A6		



**A SECTION**



**C TYPICAL PIER DETAIL**



**B THRESHOLD DETAIL (TYP.)**

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ROOF FINISH OF GIGANS AND LAYOUT TO BE SUBMITTED TO THIS DESIGNER FOR APPROVAL BEFORE MANUFACTURING.

**SYMBOL SCHEDULE**

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- ⊙ PL. POT LIGHT
- ⊙ S.A. SMOKE ALARM & CO INTERCONNECTED CW VISUAL DISPLAY
- PL. POINT LOAD FROM ABOVE

**PRELIMINARY PLANS**

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<b>DRAWING TITLE</b>			
<b>SECTIONS &amp; DETAILS</b>			
DATE May 8, 2025	SCALE 1/4" = 1'-0"	AREA 768 Sq. Ft.	PROJECT NO. PHR25-876
PROJECT NAME TIM MCCREA 214 Yahara Place Ancaster, Ont.			DRAWING # <b>A5</b>



Hamilton

Committee of Adjustment  
City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221  
Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION  
UNDER SECTION 45 OF THE PLANNING ACT**

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS	
Registered Owners(s)	Tim & Amy McCrea	[REDACTED]	
Applicant(s)	Tim & Amy McCrea		
Agent or Solicitor			Phone:
			E-mail:

1.2 Primary contact

Applicant

Owner

Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner

Agent/Solicitor

1.4 Request for digital copy of sign

Yes\*

No

If YES, provide email address where sign is to be sent

[REDACTED] \_\_\_\_\_

1.5 All correspondence may be sent by email

Yes\*

No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person

Cheque

Credit over phone\*

[REDACTED] \_\_\_\_\_

\*Must provide number above

## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	214 Yahara Pl, Ancaster, On		
Assessment Roll Number	14033026400		
Former Municipality			
Lot	133	Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes  No

If YES, describe the easement or covenant and its effect:

Subject to a 1.219 m wide Bell easement on the rear property line.

## 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:  
Accessory building height requirement.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?  
Required door height for a specific vehicle.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
21.19 m	44.16 m irreg.	1048.35	2 lane

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single detached	9.14m	9.6m	1.52m	1961

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Accessory Garage	15.2m	7.62m	1.52m	2025

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single detached	185.43 sq m	185.43 sq m	1	6m
SHED	9.29 sq m		1	3m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Accessory garage	89.23 sq m	89.23 sq m	1	6.32m

- 4.4 Type of water supply: (check appropriate box)  
 publicly owned and operated piped water system  
 privately owned and operated individual well

- lake or other water body  
 other means (specify)  
 \_\_\_\_\_

- 4.5 Type of storm drainage: (check appropriate boxes)  
 publicly owned and operated storm sewers  
 swales

- ditches  
 other means (specify)  
 \_\_\_\_\_

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
Storage and vehicle security.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
Single detached

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:  
2014

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Single detached

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Single detached

7.4 Length of time the existing uses of the subject property have continued:  
RESIDENTIAL SINCE 1961

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): \_\_\_\_\_

Rural Settlement Area: \_\_\_\_\_

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

NO CHANGE

7.6 What is the existing zoning of the subject land? R2

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: \_\_\_\_\_

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7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: \_\_\_\_\_

**8. ADDITIONAL INFORMATION**

8.1 Number of Dwelling Units Existing:

8.2 Number of Dwelling Units Proposed: NA

8.3 Additional Information (please include separate sheet if needed):



## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

### 11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study

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