

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-25:059	SUBJECT PROPERTY:	98 Curran Road, Ancaster
ZONE:	R4-612 (Residential 4)	ZONING BY-LAW:	Ancaster Zoning By-law 87-57, as Amended by By-law 11-014

APPLICANTS: Owner: Kamal and Neetu Khera
Agent: Park Eight Inc c/o Pete VandenArend

The following variances are requested:

1. A minimum Rear Yard setback of 5.5 metres shall be permitted instead of the minimum required Rear Yard setback of 7.5 metres.
2. A maximum deck area of 68.4 square metres shall be permitted instead of the maximum 40.0 square metre deck area permitted for all platforms over 1.2m in height

PURPOSE & EFFECT: To permit the construction of a new deck in the rear yard.

Notes:

1. It is noted that a roofed-over deck at the rear of a dwelling is considered to be part of the principal building and therefore subject to the 7.5m rear yard requirement as set out in the R4 zone.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, July 17, 2025
TIME:	3:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)

	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

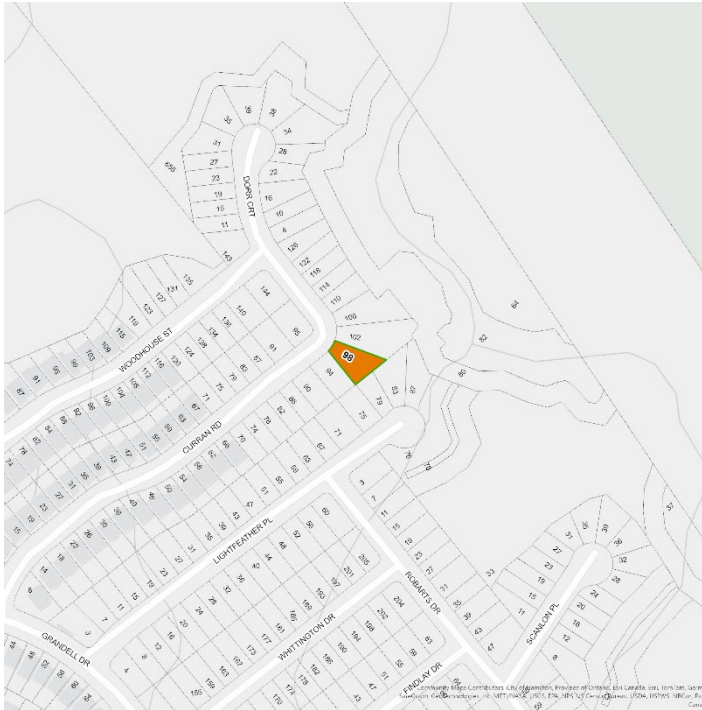
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon July 15, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon July 16, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:059, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: June 30, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submissions

Members of the public who would like to participate in a Committee of Adjustment meeting are able to provide comments in writing advance of the meeting. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. **Comments must be received by noon on the date listed on the Notice of Public Hearing.**

Comments are available the Tuesday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Oral Submissions

Members of the public are also able to provide oral comments regarding Committee of Adjustment Hearing items by participating Virtually through Webex via computer or phone or by attending the Hearing In-person. Participation Virtually requires pre-registration in advance. Please contact staff for instructions if you wish to make a presentation containing visual materials.

1. Virtual Oral Submissions

Interested members of the public, agents, and owners **must register by noon on the day listed on the Notice of Public Hearing** to participate Virtually.

To register to participate Virtually by Webex either via computer or phone, please contact Committee of Adjustment staff by email cofa@hamilton.ca. The following information is required to register: Committee of Adjustment file number, hearing date, name and mailing address of each person wishing to speak, if participation will be by phone or video, and if applicable the phone number they will be using to call in.

A separate registration for each person wishing to speak is required. Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting one business day before the Hearing. Only those registered will be called upon to speak.

2. In person Oral Submissions

Interested members of the public, agents, and owners who wish to participate in person may attend Council Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive **no less than 10 minutes** before the time of the Public Hearing as noted on the Notice of Public Hearing.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca.

Please note: Webex (video) participation requires either a compatible computer or smartphone and an application (app/program) must be downloaded by the interested party in order to participate. It is the interested party's responsibility to ensure that their device is compatible and operating correctly prior to the Hearing.

DESIGN LOADS

- GROUND SNOW (Ss) / RAIN (Sr): 1.6 / 0.4 kPa
- MAXIMUM ROOF SNOW (S): 1.68 kPa
- ROOF DEAD LOAD (D): 1.0 kPa
- WIND (q50): 0.46 kPa
- FLOOR (1ST/2ND) DEAD LOAD (D): 1.0 kPa
- FLOOR (1ST/2ND) LIVE LOAD (L): 1.9 kPa

GENERAL NOTES

- UNDER NO CIRCUMSTANCES ARE THESE DRAWINGS TO BE SCALED.
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF THE ONTARIO BUILDING CODE (OBC) INCLUDING ALL THE LATEST STANDARDS REFERENCED WITHIN.
- ALL DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.
- CONTRACTOR/STEEL FABRICATOR IS REQUIRED TO FIELD MEASURE THE STRUCTURE PRIOR TO FABRICATION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. CONTRACTOR TO CHECK AND VERIFY ALL STRUCTURAL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER. FAILURE TO DO SO WILL CAUSE FORFEIT TO ANY CLAIM.

LUMBER NOTES

- ALL SAWN LUMBER TO BE S.P.F. No. 2 GRADE or BETTER AND CONFORM TO CSA-D141.
- ALL LUMBER EXPOSED TO THE EXTERIOR IS TO BE PRESSURE TREATED U.O.N.
- TRUSS DESIGN TO BE IN ACCORDANCE WITH PART 4 OF THE O.B.C. PROVIDE HOLD DOWN CLIPS AT ALL TRUSSES, WHICH ARE TO BE DESIGNED BY THE ROOF TRUSS ENGINEERS.
- ROOF SHEATHING TO BE 12 mm (1/2") PLYWOOD (MINIMUM) T&G, NAILED W/ 10D NAILS AT 6" C/C ALONG EDGES.
- PROVIDE APPROVED BLOCKING OR BRIDGING AT 2000 mm (2'-0") O/C MAX. FOR FLOOR JOISTS.
- ALL LUMBER BEAMS ARE TO BE SUPPORTED ON LUMBER POSTS (U.N.O) WITH EQUAL NUMBER OF LAMINATIONS. WOOD IS NOT TO BEAR DIRECTLY ON CONCRETE/MASONRY. PROVIDE PRESSURE TREATED, POLY, OR SILL GASKET BETWEEN CONCRETE/MASONRY AND WOOD SILL PLATE.
- ALL JOISTS SHOULD HAVE A MINIMUM OF 40 mm (1 1/2") OF BEARING U.O.N. BY MANUFACTURER.
- ALL LUMBER BEAMS SHOULD HAVE A MINIMUM OF 75 mm (3") BEARING.

FOUNDATION NOTES

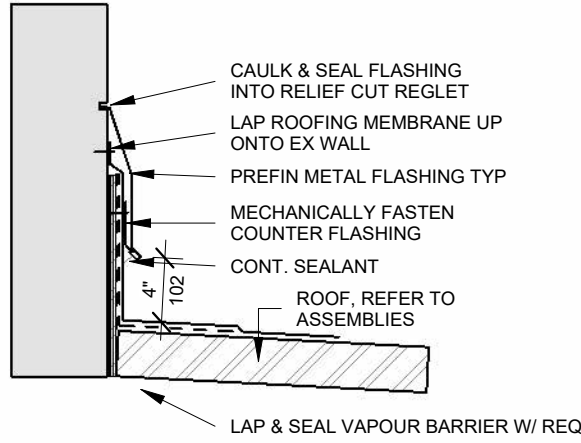
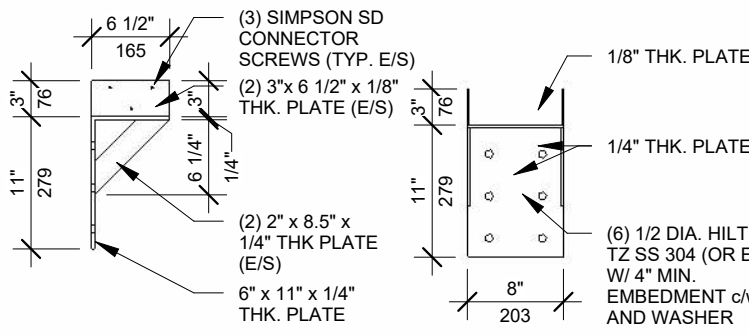
- ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 1577 P.S.F.
- PROVIDE 4'-0" MINIMUM OF FROST COVER FOR ALL EXTERIOR FOOTINGS.
- ALL REINFORCING STEEL TO BE 400W AND SHALL CONFORM TO CSA-G30.18-M92.
- ALL PIERS TO BE POURED INTEGRALLY WITH FOUNDATION WALLS.
- PROVIDE 8" DEEP DOOR BUCKS AT ALL EXTERIOR DOOR LOCATIONS.
- CONTRACTOR TO NOTIFY ENGINEER PRIOR TO THE PLACEMENT OF CONCRETE FOR:
 - VERIFICATION OF SOIL BEARING CAPACITY
 - INSPECTION OF REINFORCING

STRUCTURAL STEEL NOTES

- STRUCTURAL STEEL DESIGN MUST CONFORM TO CSA S16.
- STRUCTURAL STEEL W SECTIONS AND COLUMNS SHALL CONFORM TO ASTM A992 U.O.N.
- STRUCTURAL STEEL CHANNELS, HSS, & ANGLES MUST CONFORM TO CSA G40.21, GRADE 350W U.O.N.
- ALL STRUCTURAL STEEL PLATE SHALL CONFORM TO CSA G40.21, GRADE 300W, CLASS C U.O.N.
- BOLTED CONNECTIONS SHALL BE MADE OF ASTM A3125 GRADE A325 U.O.N.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A307 U.O.N.
- ALL WELDING TO CONFORM TO C.W.B. APPROVED PROCEDURES. ALL WELDING TO BE CARRIED OUT BY WELDERS CERTIFIED BY THE C.W.B., EMPLOYED BY A FIRM CERTIFIED IN DIVISION 1 or 2.
- ALL STRUCTURAL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH CSA G164 U.O.N.
- TOUCH UP ALL FIELD WELDS BY APPLYING MIN. OF 2 COATS OF ZINC RICH PAINT.
- ALL STRUCTURAL STEEL SHALL RECEIVE A MINIMUM OF ONE COAT OF SHOP PRIMER.
- DO NOT SPLICE OR CUT OPENING IN STRUCTURAL STEEL WITHOUT THE ENGINEER'S APPROVAL.

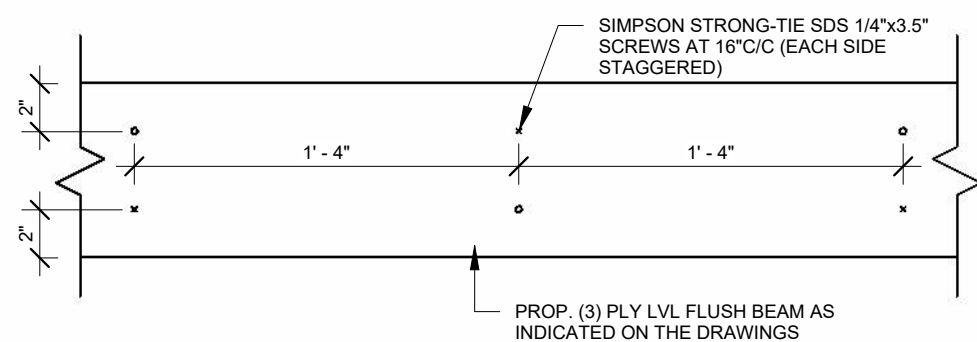
STRUCTURAL SCHEDULE

- BEAMS:
- B1 3-PLY 2.0E LVL 1 3/4" x 11 7/8". PROVIDE 2 ROWS OF SDS SCREWS 1/4"x3.5" LG. @ 12" O.C (FULLY PROTECT LVL FROM UV AND WATER)
- B2 4-PLY P.T. 2X12 B.U. WOOD BEAM
- B3 3-PLY P.T. 2X12 B.U. WOOD BEAM
- LEDGER BOARD / JOISTS:
- J1 2X12 P.T. FLOOR JOISTS @ 16" O/C c/w 5/4" DECK BOARDS AND SOLID BLOCKING @ 48" O/C
- R1 2X8 RAFTERS c/w 1/2" SPF PLYWOOD AND 3/4" T&G WOOD SOFFIT
- C1 2X6 CL. JOISTS @ 16" O/C c/w 5/4" T&G WOOD SOFFIT W/ REQ'D
- WOOD BUILT UP POSTS / COLUMNS:
- COL.1 8"x8" D.FIR. WOOD POST FASTEN. TO BEAM (TOP) AND CONC. FOUNDATION (BOT.)
- PAD FOOTINGS:
- FTG.1 HELICAL PIER ~ 36 KN CAPACITY - CMC 13102-R PILES
- FTG.2 8X8 FOUNDATION BRACKET, 8000 LBS CAPACITY - SEE DETAIL
- FTG.3 HELICAL PIER ~ 18 KN CAPACITY - CMC 13102-R PILES

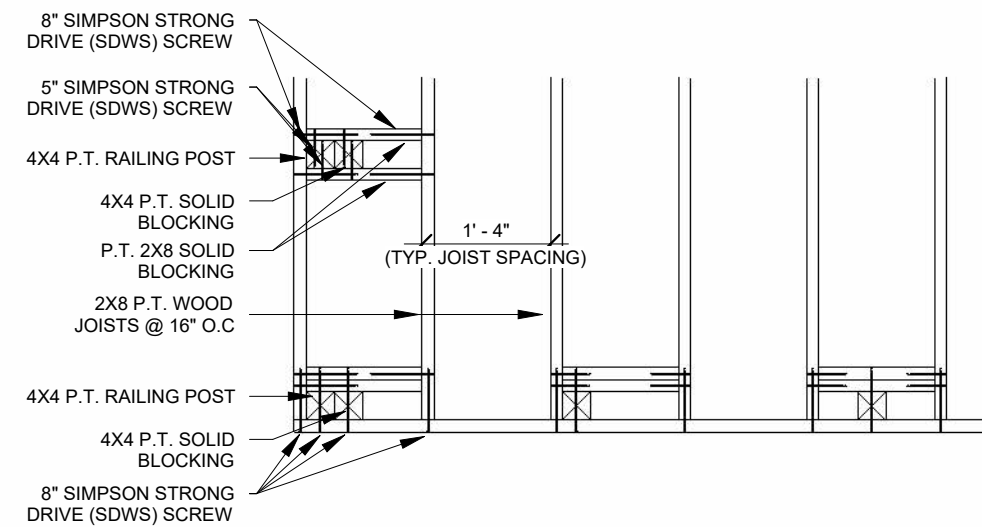


2 8x8 FDN BRACKET
3/4" = 1'-0"

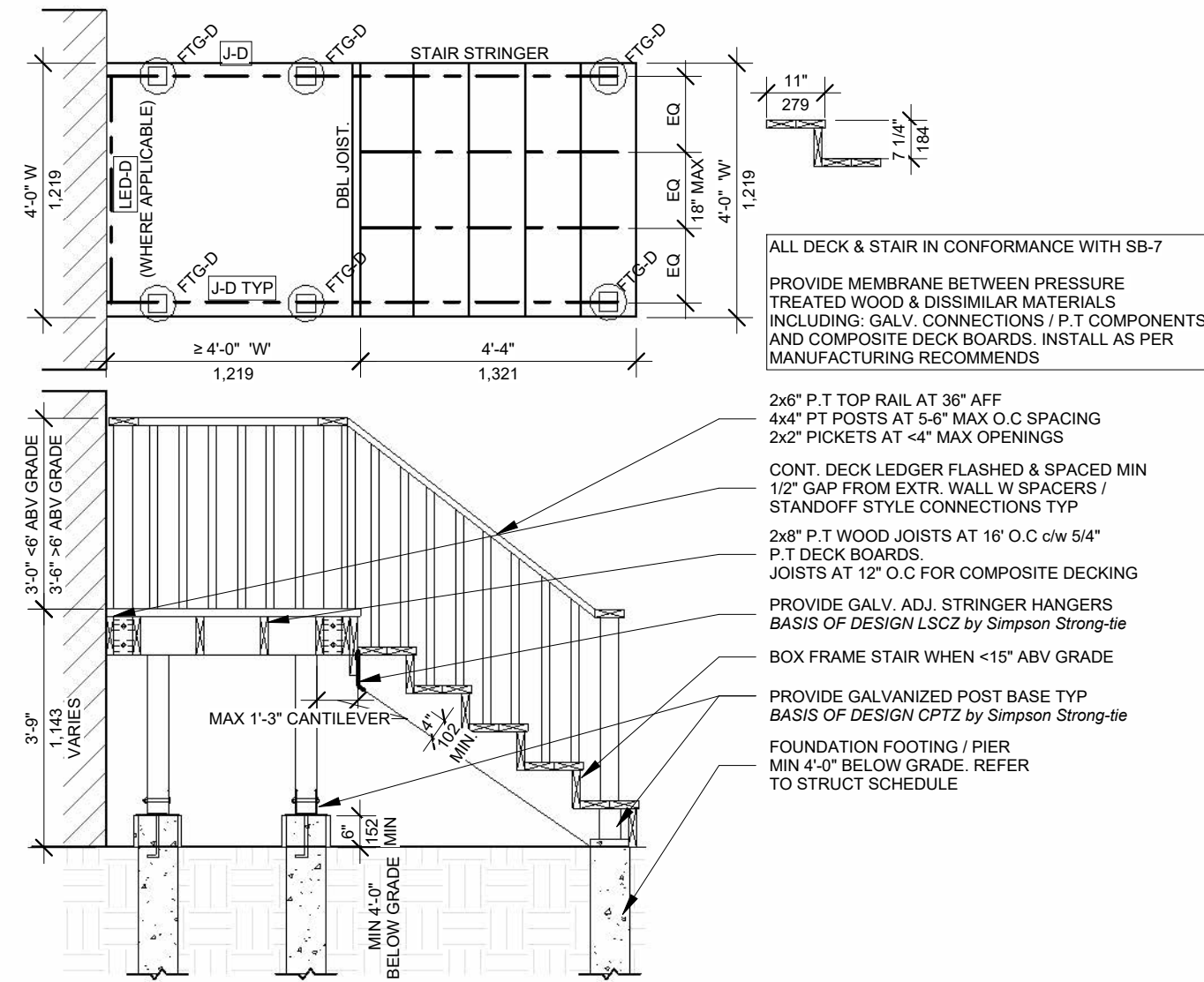
4 ROOF DETAIL WALL FLASHING
1" = 1'-0"



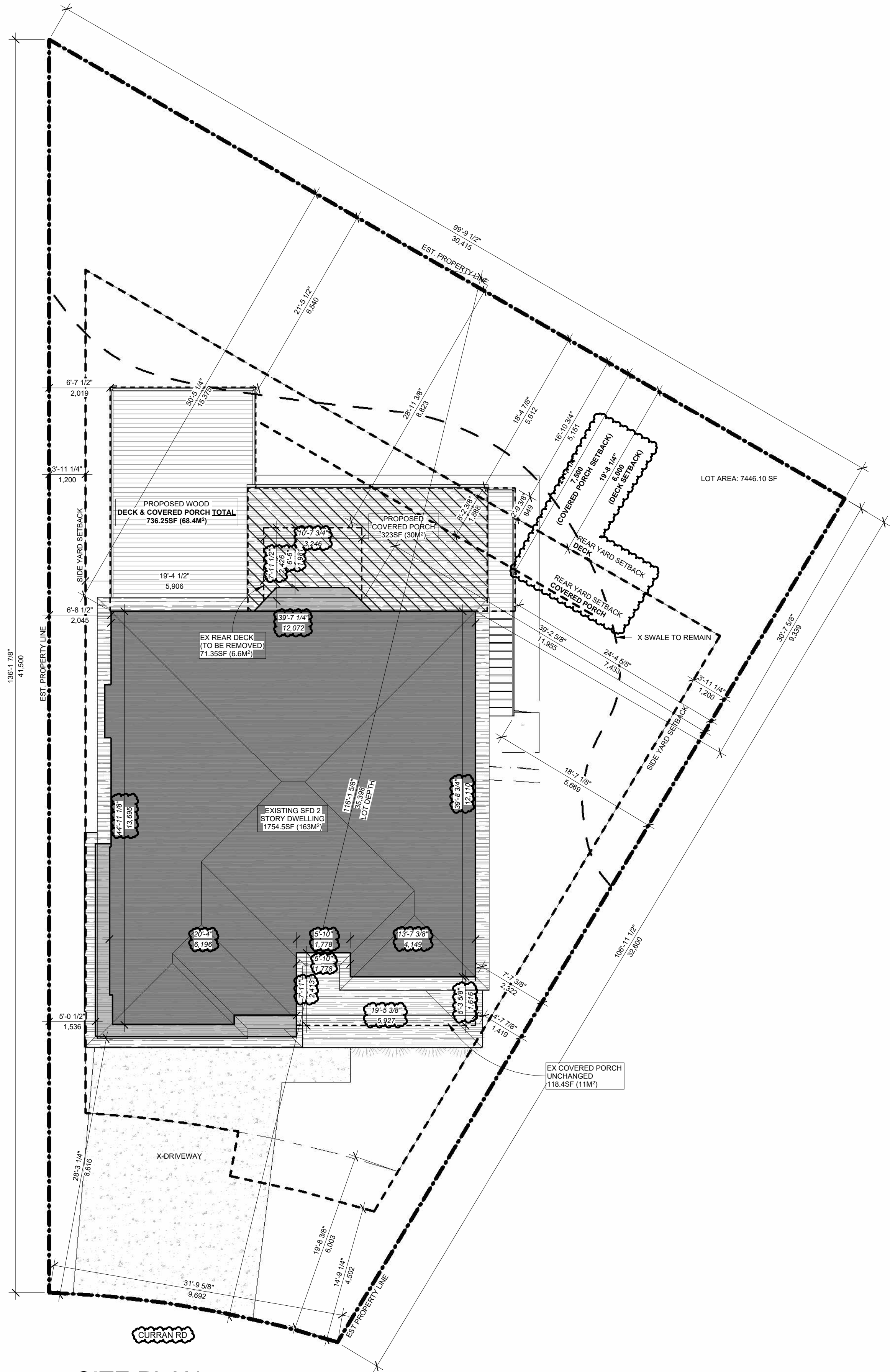
3 LVL CON. 3-PLY
1 1/2" = 1'-0"



6 DECK POST CON. DETAIL
1/2" = 1'-0"



7 DECK - STAIR AND LANDING
3/8" = 1'-0"



5 SITE PLAN
1/8" = 1'-0"

SITE PLAN LEGEND

[Symbol]	EX DRIVEWAY / HARDSCAPING
[Symbol]	EX BUILDING
[Symbol]	PROPOSED UNENCLOSED
[Symbol]	COVERED PORCH OR DECK

SITE STATISTICS

ZONING DESIGNATION = R4-612 RESIDENTIAL				
LOT AREA	RESULTED	PROVIDED		
LOT AREA	400m ²	691.7m ²	UNCHANGED	✓ ≥58%
LOT FRONTAGE	9.69m	9.69m	UNCHANGED	✓
FRONT YARD SETBACK	4.8m	4.8m	UNCHANGED	✓
SIDE YARD SETBACKS	1.2m	1.24m	1.42m	✓
REAR YARD SETBACK	6m	4.8m	PROPOSED	✓
MAX LOT COVERAGE	35%	See lot coverage summary	✓	✓ ≤35%
DECK AREA (REAR)	40m ²	68.4m ²	PROPOSED	✓ ≥52.4%
DECK HEIGHT (REAR)	10.5m	Above Grade	3.3m	PROPOSED

[*] Denotes existing condition

LOT COVERAGE SUMMARY:

LOT AREA	691.7m ²	EX UNCHANGED AREA	163 m ²	23.5%
EX BUILDING AREA	163 m ²	% COVERAGE		
EX FRONT PORCH	11m ²	%	1.1%	
EX REAR DECK	6.6m ²	%	0.9%	
PROPOSED REAR DECK	68.4m ²	%	9.9%	
TOTAL LOT COVERAGE PROPOSED DWELLING + PORCHES & DECKS	34.35%	✓	435%MAX	

PROP DECK STAIR & LANDING AREAS:

11m ²	EX FRONT PORCH TO REMAIN
-6.6m ²	EX REAR DECK (TO BE REMOVED)
30m ²	PROPOSED COVERED REAR DECK
38.4m ²	PROPOSED UNCOVERED REAR DECK
68.4m ²	TOTAL PROPOSED REAR DECK

SITE STATISTICS
1/8" = 1'-0"

PARK EIGHT

ENG//ARCH

PROP. REAR DECK & PORCH

88 CURRIAN ROAD, ANCASTER

Project No. 21096

Revisions
1 2025/06/05

Notes

Project North

Scale As indicated

NOTES & SITE STATISTICS

A0.0

Sheet No.

©2021

SITE AND GRADING PLAN
OF
LOT 24
PLAN 62M-1239
IN THE
CITY OF HAMILTON
SCALE: 1:200 metres



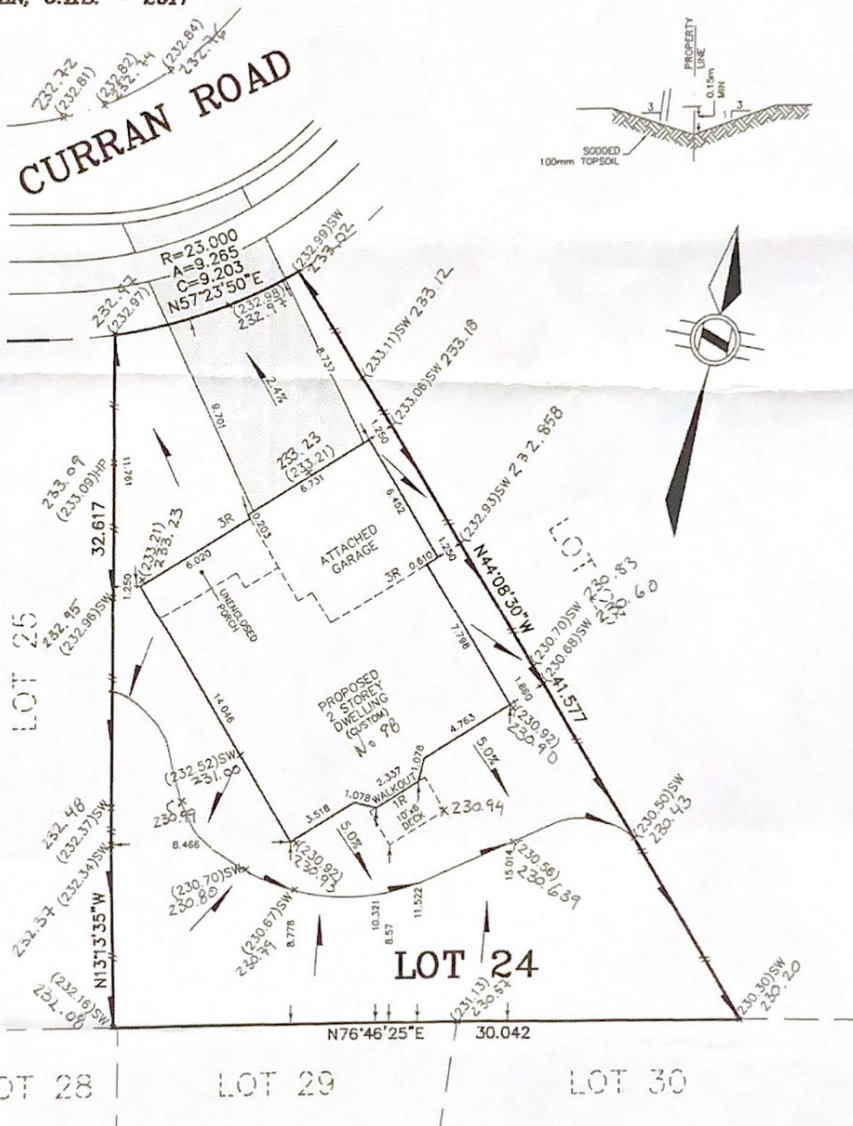
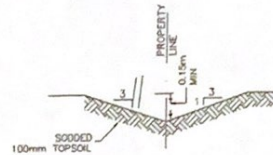
S.D. McLAREN, O.L.S. - 2017

BENCH MARK:

CITY OF HAMILTON BENCHMARK No. 21-06 (No. 75-U-072)
UNION SCHOOL No. 3 (1927), AT NORTHEAST CORNER OF
HWY. 53 AND UPPER PARADISE ROAD; TABLET IN WEST SIDE
OF CONCRETE FOUNDATION, JUST NORTH OF FIRE ESCAPE,
0.65m. SOUTH OF CHIMNEY, 0.85cm. BELOW BRICK.

ELEVATION= 230.666 METRES

SWALE DETAIL



NOTES:

BUILDER TO VERIFY ELEVATION OF SERVICE
CONNECTIONS PRIOR TO BASEMENT EXCAVATION
TO CONFIRM THAT SUFFICIENT FALL IS PROVIDED
FOR GRAVITY SERVICES.

U/S FOOTINGS TO BE MINIMUM OF 1.2m BELOW
FINISHED GRADE.

ALL DWELLINGS TO BE EQUIPPED WITH SUMP
PUMPS.

PROPOSED HOUSE ELEVATIONS:

GARAGE FLOOR = 233.21
TOP OF FOUNDATION = 233.61
FIRST FLOOR = 233.91
BASEMENT FLOOR = 231.12
U/S OF FOOTING = 230.89

TRENCH FOOTINGS FOR FROST COVERAGE

LOT AREA = 674.5m²
LOT COVERAGE = 26.4%

LEGEND:

000.00 DENOTES EXISTING ELEVATION
(000.00) * PROPOSED ELEVATION
- - - DIRECTION OF FLOW
- - - PROPOSED SWALE
R RISER
* REVISED DIMENSION

APRIL 28, 2017
DATE

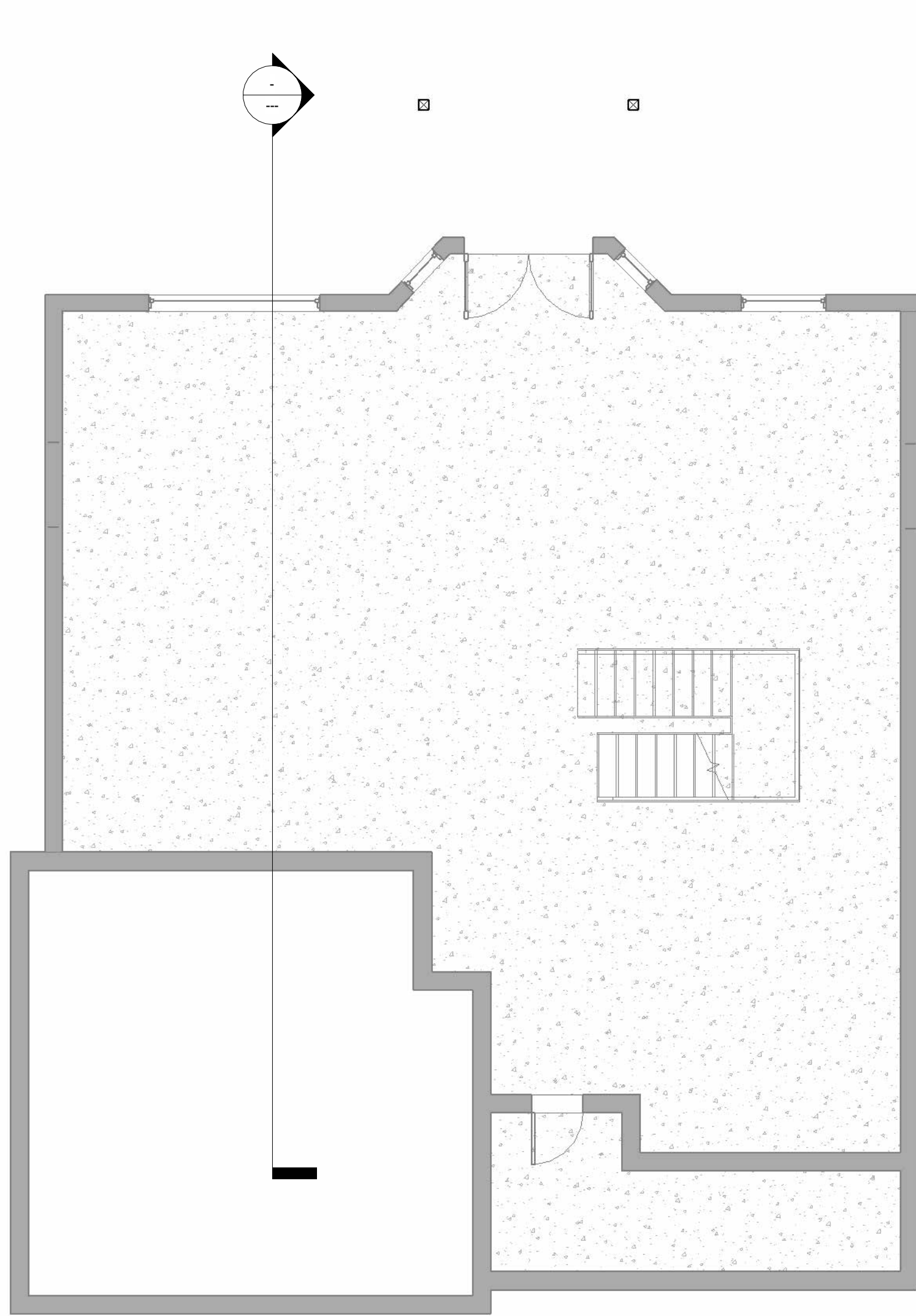
S.D. McLaren, O.L.S.
S.D. McLAREN, O.L.S.



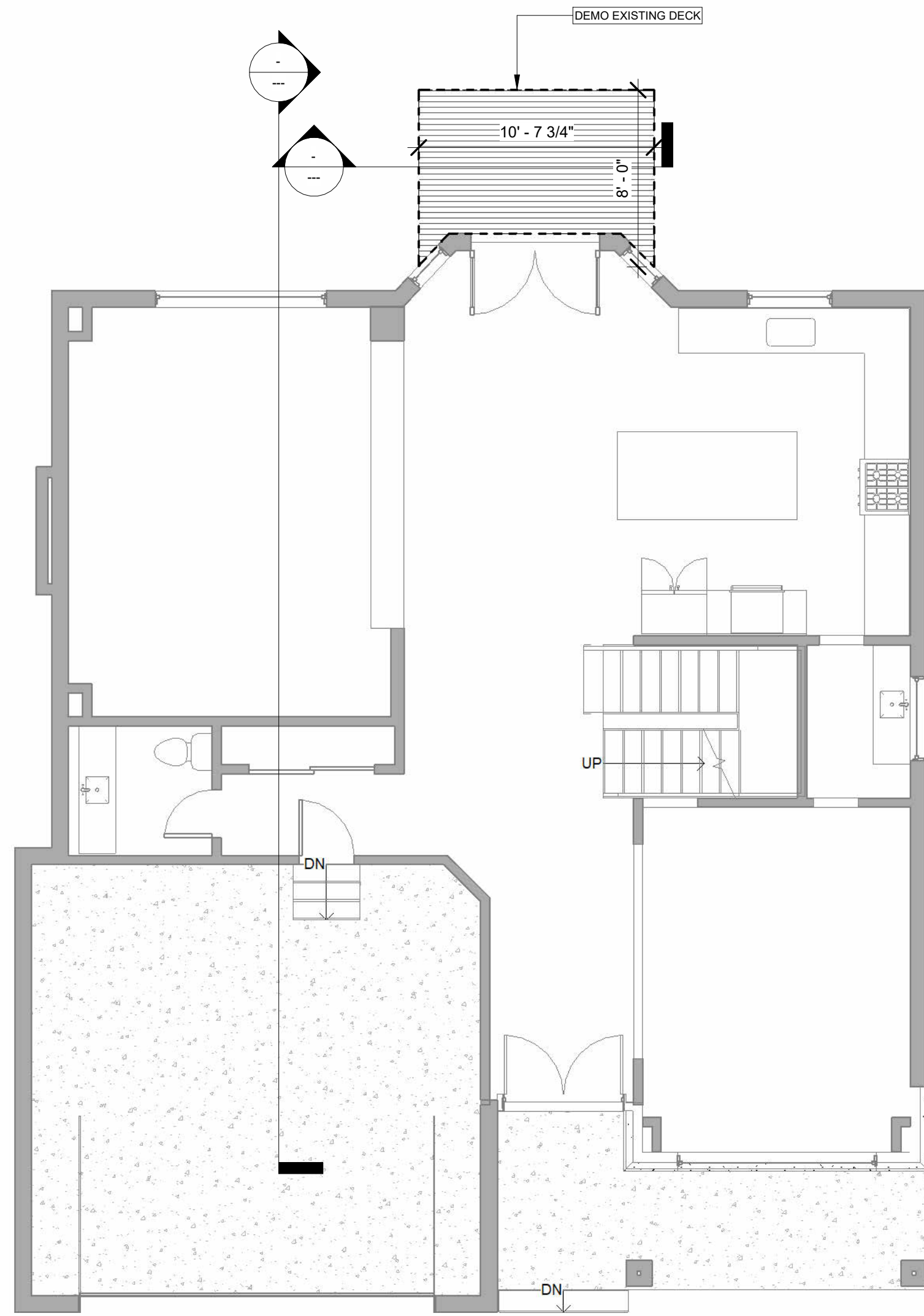
A.T. McLaren Limited
LEGAL AND ENGINEERING SURVEYS

69 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L8N 2B9
PHONE (905) 527-8559 FAX (905) 527-0032

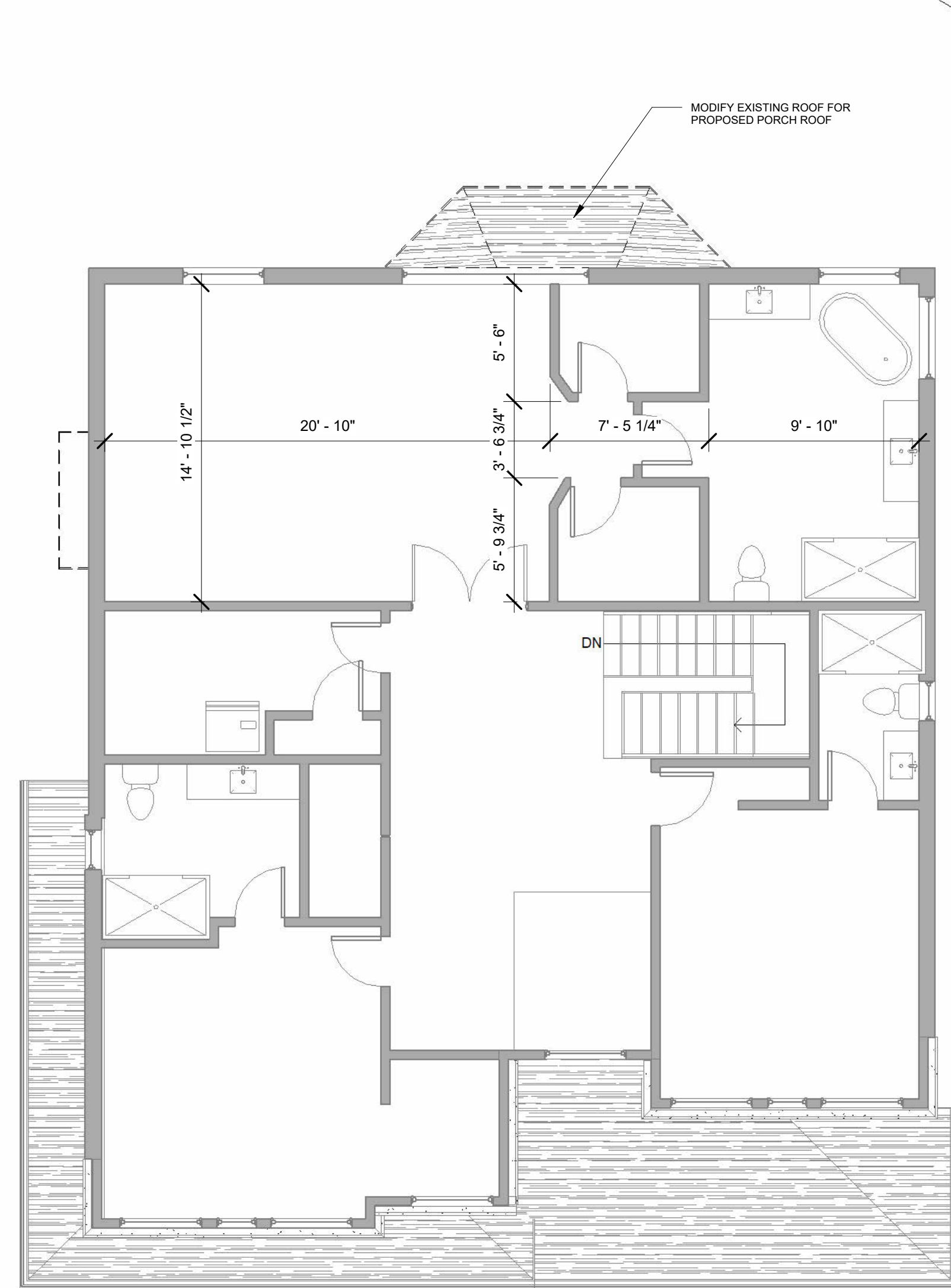
Drawn PS Checked KB/SJM Scale 1:200 Dwg.No. 35235-2450



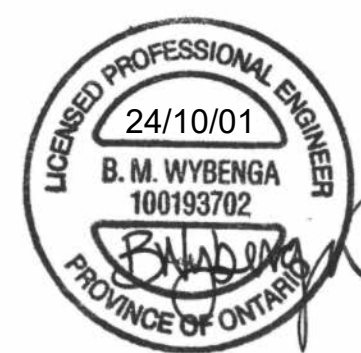
1 DEMO - FDN PLAN
3/16" = 1'-0"



2 DEMO - GROUND FLOOR
3/16" = 1'-0"



3 DEMO - SECOND FLOOR
3/16" = 1'-0"

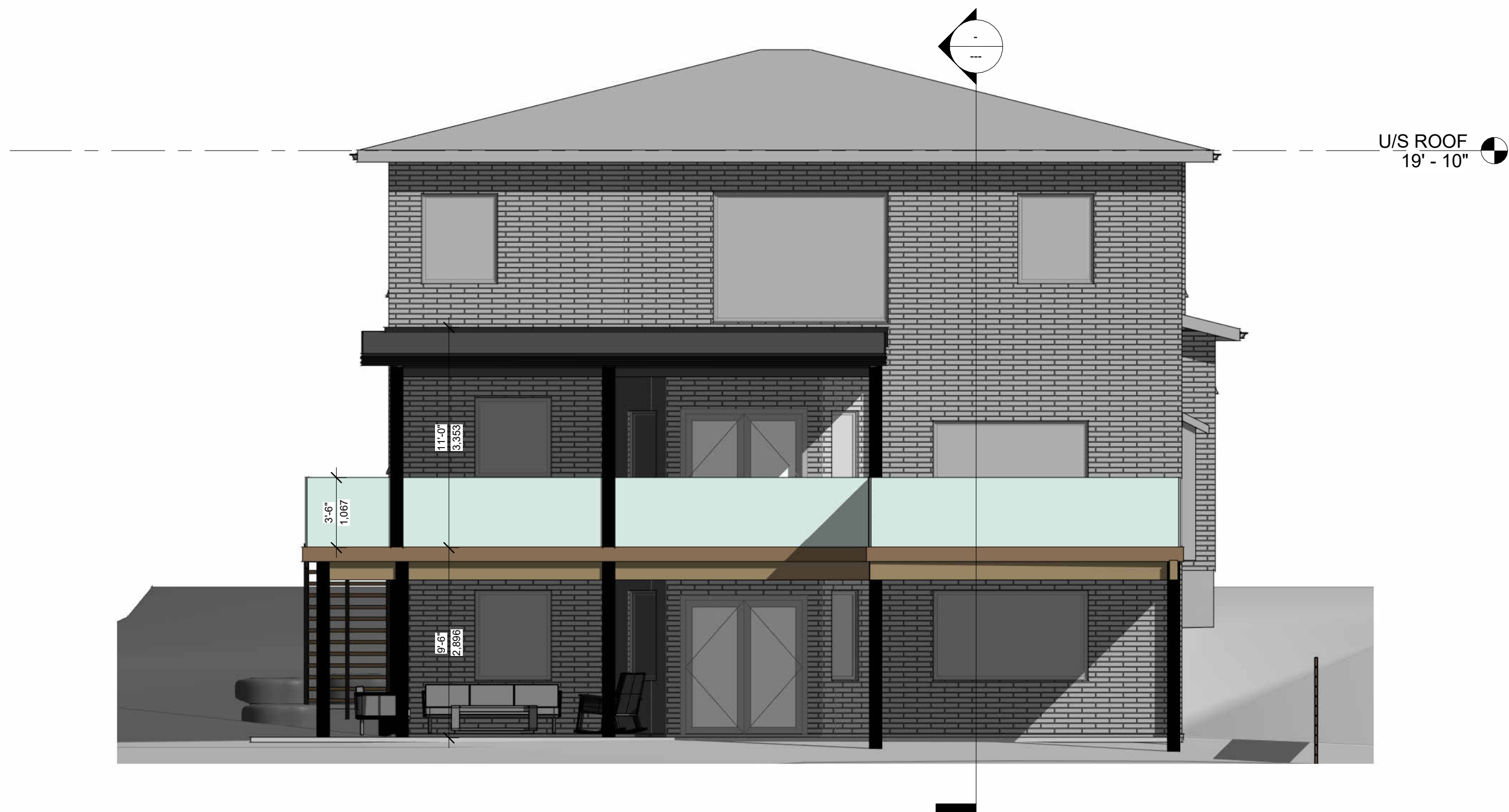




1 FRONT
3/16" = 1'-0"



2 SIDE
3/16" = 1'-0"

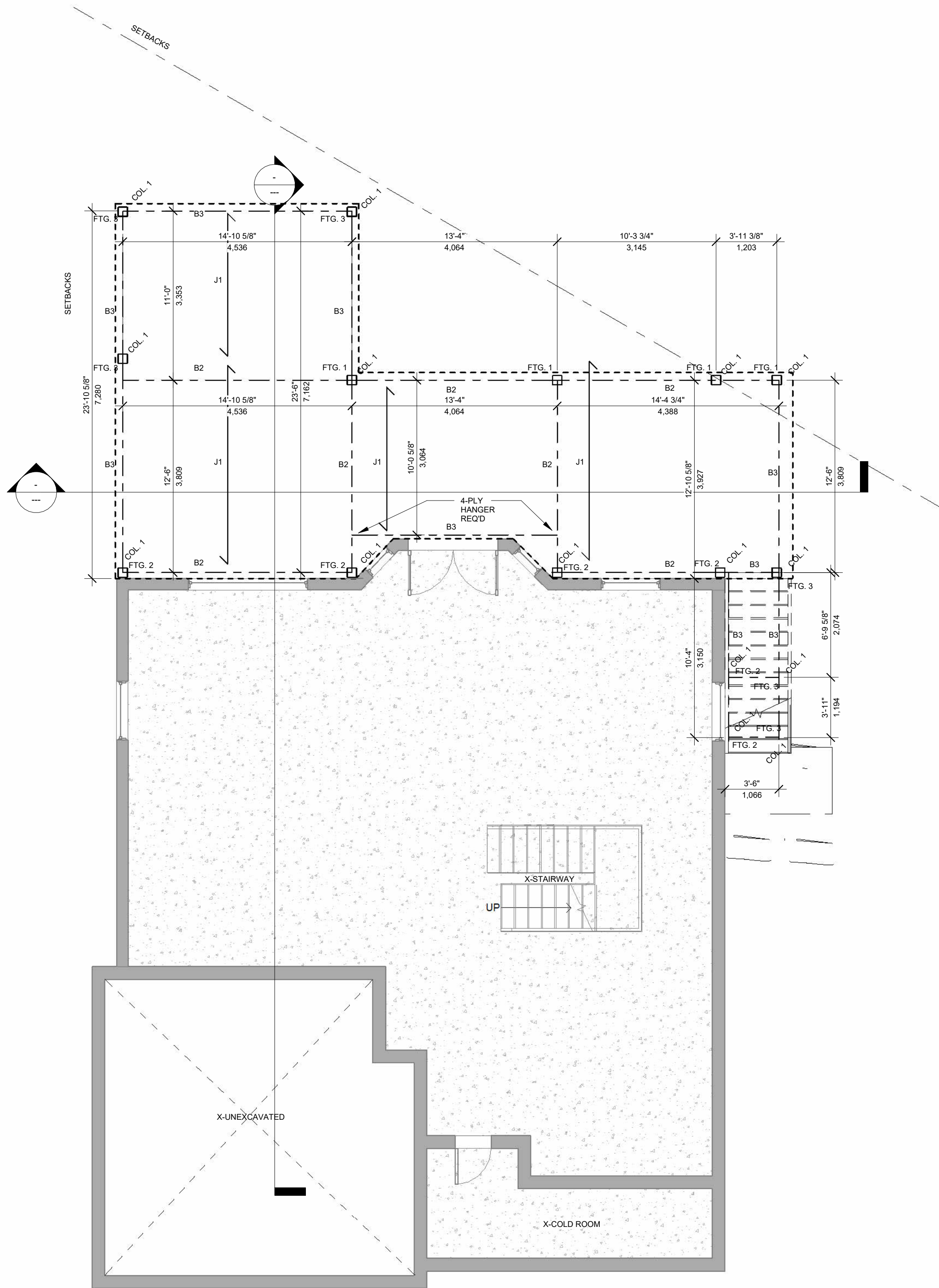


3 REAR
3/16" = 1'-0"



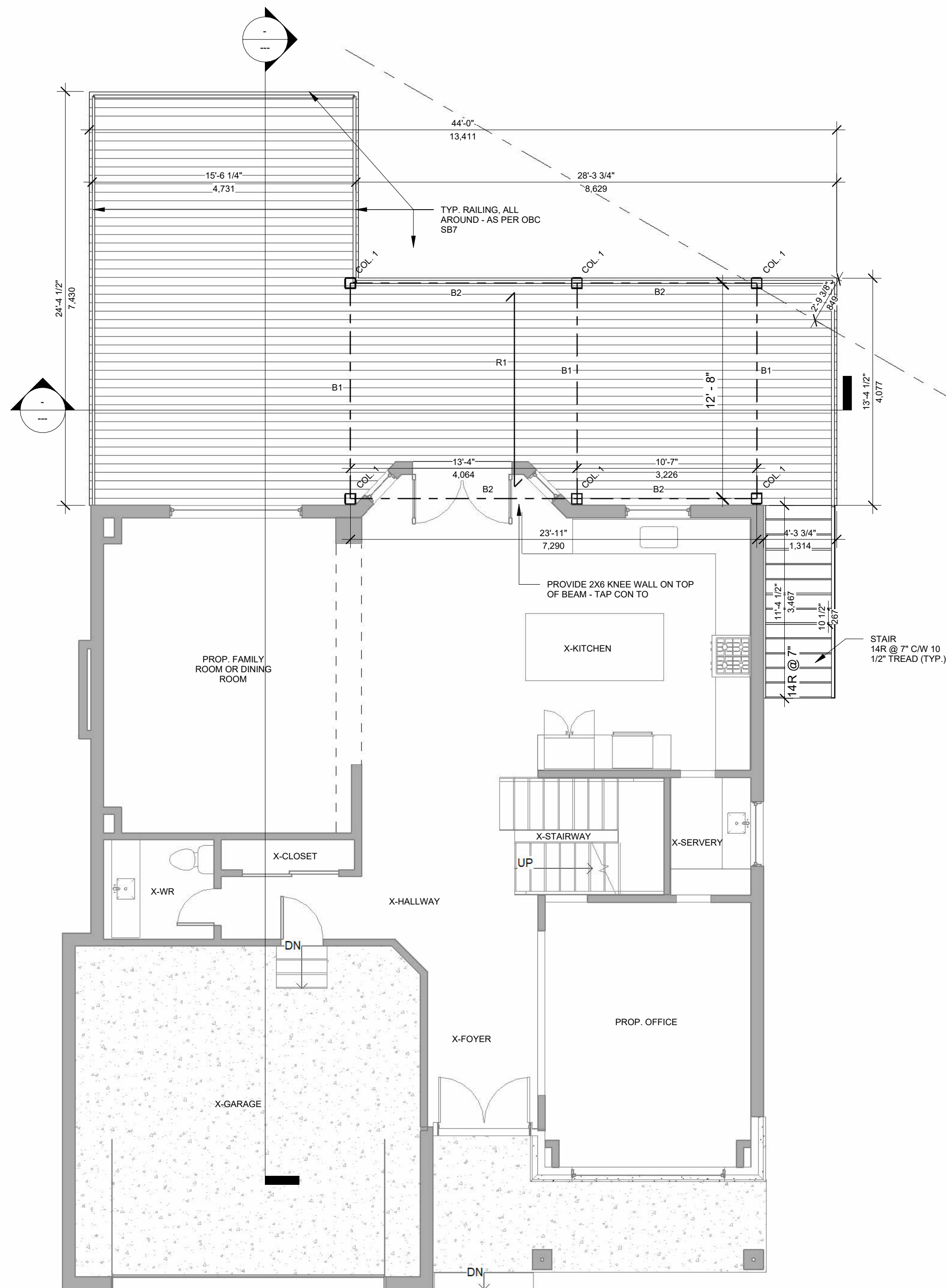
4 SIDE GAR.
3/16" = 1'-0"





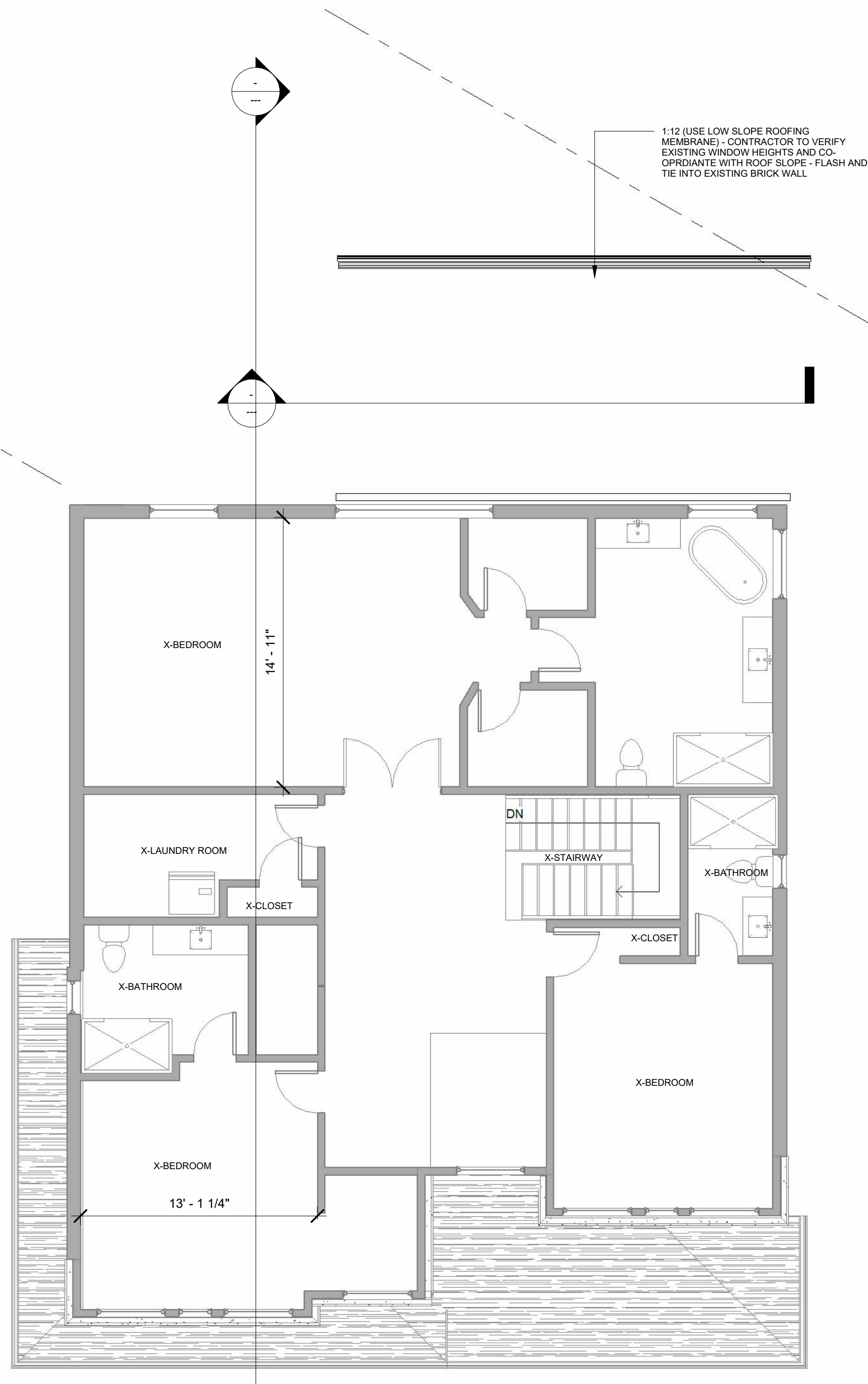
1 PROP. - FDN PLAN

3/16" = 1'-0"



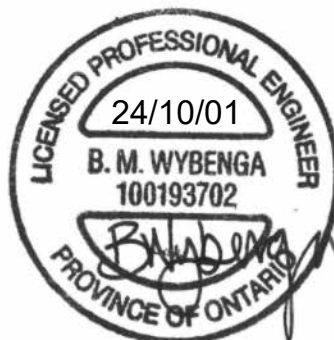
2 PROP. - GROUND FLOOR

3/16" = 1'-0"



3 PROP. - SECOND FLOOR

3/16" = 1'-0"





S. LLEWELLYN & ASSOCIATES LIMITED
CONSULTING ENGINEERS

May 21, 2025

Khera Residence
98 Curran Road
Hamilton, Ontario

Attention: Mr. Kamal and Neetu Khera

Re: 98 Curran Road, Hamilton
Stormwater Runoff Drainage

S. Llewellyn & Associates Limited (SLA) have been engaged by the Khera's to attend the residential lot located at 98 Curran Road and provide our review of the recently completed concrete pavement works within the site's backyard and provide an opinion on the changes to the stormwater drainage patterns and flows from the originally approved Site and Grading Plot Plan completed by A.T. McLaren Limited, April 28, 2017.

Based on SLA's site visit of April 25, 2025, it was observed that the backyard of 98 Curran Road had recently completed landscaping works within the property which included concrete paving to most of the backyard area save for an approximate 0.20m to 0.30m boundary along the east, west and south property boundary. Within this boundary area, the existing grades have been maintained leaving an approximately 0.15m deep channel between the concrete pavement and existing fence line. Refer to Photo No. 1 below.

It was also observed that the concrete pavement was placed and sloped to maintain the lot's general stormwater flow regime which in both the pre-paving and post paving condition drains from north to south, ultimately discharging at the property's southeast corner. This is in keeping with the Lot's and Subdivision's original design where stormwater flows are intended to flow through the subdivision's shared swale system, past 102 Curran Road's rear yard swale to the easterly natural open space area approximately 26m to the east.

During the site visit of April 25, 2025, there was no observed evidence of drainage issues with the neighbouring properties.

To maintain the stormwater runoff free flow to the ultimate natural area to the east, it is recommended that the existing channel between the edge of the concrete paving and fence lines be fitted with a 150mm diameter weeping tile and the balance of the channel be filled with a free draining granular material such as 25-75mm river stone.

Photo No. 1



I trust that this meets with your request and requirements, and should you have any further concerns or questions, please feel free to contact the undersigned.

Yours truly,
S. LLEWELLYN & ASSOCIATES LIMITED



Steven Frankovich, P.Eng.



Hamilton

Committee of Adjustment

City Hall, 5th Floor,

71 Main St. W.,

Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	Kamal & Neetu Khera	
Applicant(s)	Park Eight inc care of Pete VandenArend	
Agent or Solicitor		

1.2 All correspondence should be sent to ☐ Owner ☐ Applicant

☒ Agent/Solicitor

1.2 All correspondence should be sent to ☐ Purchaser ☐ Owner

☐ Applicant

☒ Agent/Solicitor

1.3 Sign should be sent to ☐ Purchaser ☒ Owner

☐ Applicant

☐ Agent/Solicitor

1.4 Request for digital copy of sign ☒ Yes* ☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email ☒ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	98 Curran Rd, Ancaster, ON L9K 0G6		
Assessment Roll Number			
Former Municipality	Ancaster		
Lot	24	Concession	
Registered Plan Number	62M-1239	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

N/A

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Relief from;

- Max Deck Area

- Rear yard setback for Deck

☐ Second Dwelling Unit

☒ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Considering the lot in question is 58% larger than the minimum 400m². We ask that the minimum allowable deck size reflect this incrementally larger lot size also. **Size:** Req'd ≤40m² / Proposed <68.4m² 736.25sf

Setbacks: Rear yard Deck 6m Req'd 5.15m Proposed (85.8% req'd) **Setbacks:** Rear yard Covered Porch 7.5m Req'd 5.6m Proposed (74.6% req'd)

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

N/A Ex use legal and recognized

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
9.69m	35.4m	691.7m ²	8.5m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Ex Dwelling	8.6m	9.34m	1.54m/1.42m	±2010's
Ex Rear Deck	N/A	8.82m	5.9m/11.95m	±2010's

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Ex Dwelling				UNCHANGED
Proposed deck	N/A	5.1m [5.6m covered portion]	2m/7.4m	PROPOSED

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Ex Dwelling	1,754.5sf [163m ²]	3,417sf [317m ²]	2	±30 6-1/4" [9.3m]
Ex Deck	71.35sf [6.6m ²]	N/A	N/A	9'-6" [2.89m]

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Ex Dwelling	484.4sf [45m ²]	484.4sf [45m ²]	1	17'-5" [5.3m]
Proposed Deck	736.25sf [68.4m ²]	N/A	N/A	9'-6" [2.89m]

4.4 Type of water supply: (check appropriate box)

- ☒ publicly owned and operated piped water system
☐ privately owned and operated individual well

- ☐ lake or other water body
☐ other means (specify)
-

4.5 Type of storm drainage: (check appropriate boxes)

- ☒ publicly owned and operated storm sewers
☐ swales

- ☐ ditches
☐ other means (specify)
-

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage system
☐ privately owned and operated individual septic system
☐ other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year

- ☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Single Family Dwelling Detached (unchanged) _____

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single Family Dwelling Detached (unchanged) _____

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
Aug 24, 2018 _____

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Residential _____

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Residential _____

7.4 Length of time the existing uses of the subject property have continued:
6+ years _____

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): - _____

Rural Settlement Area: - _____

Urban Hamilton Official Plan designation (if applicable) Neighborhoods _____

Please provide an explanation of how the application conforms with the Official Plan.

Proposed scope is scaled according to lot size, fits within the community context without changing the use, occupancy or original charm of the home.

7.6 What is the existing zoning of the subject land? R4-612 RESIDENTIAL _____

7.8 Has the owner previously applied for relief in respect of the subject property? (Zoning By-law Amendment or Minor Variance)

☐ Yes ☒ No

If yes, please provide the file number:

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes ☒ No

If yes, please provide the file number:

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

☐ Yes ☒ No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being “received” for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ✓ ☐ Application Fee *Will be paid w credit card upon receipt*
- ✓ ☐ Site Sketch
- ✓ ☐ Complete Application form
- ✓ ☐ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study
- ☐ _____
- ☐ _____