

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-25:134	SUBJECT PROPERTY:	61 Clapham Road, Hamilton
ZONE:	RT-30-H/S-1738 (Street - Townhouse)	ZONING BY-LAW:	Former Hamilton Zoning By-law 6593

APPLICANTS: Owner: LaCaban Developments Inc. Tayo Omosehin
Agent: Ross Defina

The following variances are requested:

1. A minimum side yard width of 1.5 metres shall be permitted for a Street Townhouse Dwelling not exceeding two (2) storeys in height, instead of the minimum required side yard width of 2.0 metres.
2. An unenclosed porch shall be permitted within a side yard instead of the requirement that an unenclosed porch shall only be permitted within a front or rear Yard.
3. A minimum driveway dimension of 2.8 metres by 5.5 metres for a Secondary Dwelling Unit shall be permitted instead of the minimum required 2.8 metres by 5.8 metres.
4. A minimum parking and loading space dimension of 3.0 metres by 5.5 metres for a Secondary Dwelling Unit shall be permitted instead of the minimum required 3.0 metres by 5.8 metres.
5. Every access driveway where a townhouse dwelling is adjacent to a residential district that does not permit such use shall be located not less than 1.9 metres from the common boundary between the district in which the townhouse dwelling is located and the district that does not permit such use, instead of the required 3.0 metres.

PURPOSE & EFFECT: To permit the construction of five (5) Street Townhouse Dwellings each containing a Secondary Dwelling Unit.

Notes:

- i. Please be advised variance No. 3 and 4 have been written as requested.
- ii. Please be advised insufficient information was provided to determine zoning conformity with Section 18A (7b) – garage floor height above grade. Additional variances may be required if conformity cannot be achieved.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 14, 2025
TIME:	12:20 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

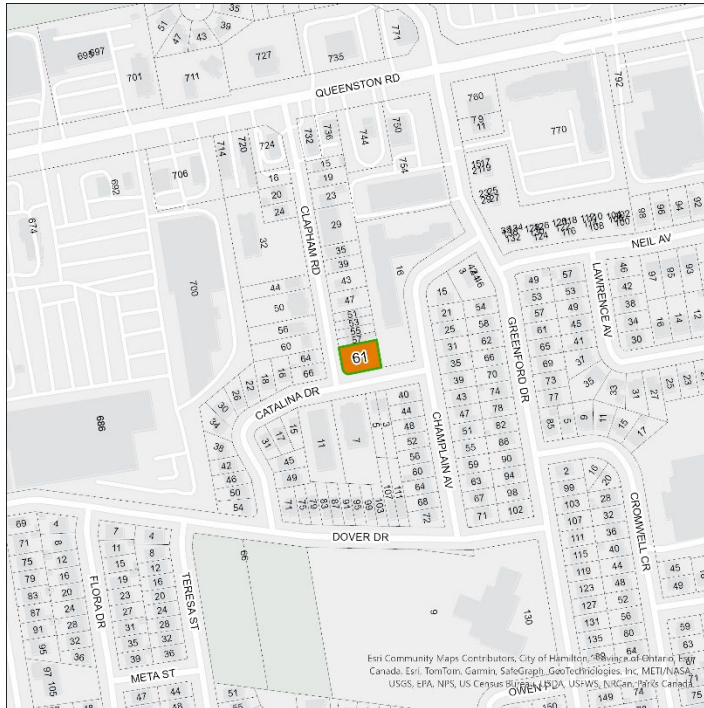
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 12, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 13, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:134, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: July 28, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by 12:00 p.m. (noon) on the date listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

All written comments received will be made available to the Committee and the public by the Tuesday prior to the Hearing.

Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the date listed on the Notice of Public Hearing. To register, email cofa@hamilton.ca with the following information:

- Committee of Adjustment file number
- Hearing date
- Name and mailing address of each person wishing to speak
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca no later than 12:00 p.m. (noon) on the business day prior to the Hearing. The submission must be one document in PDF format only.

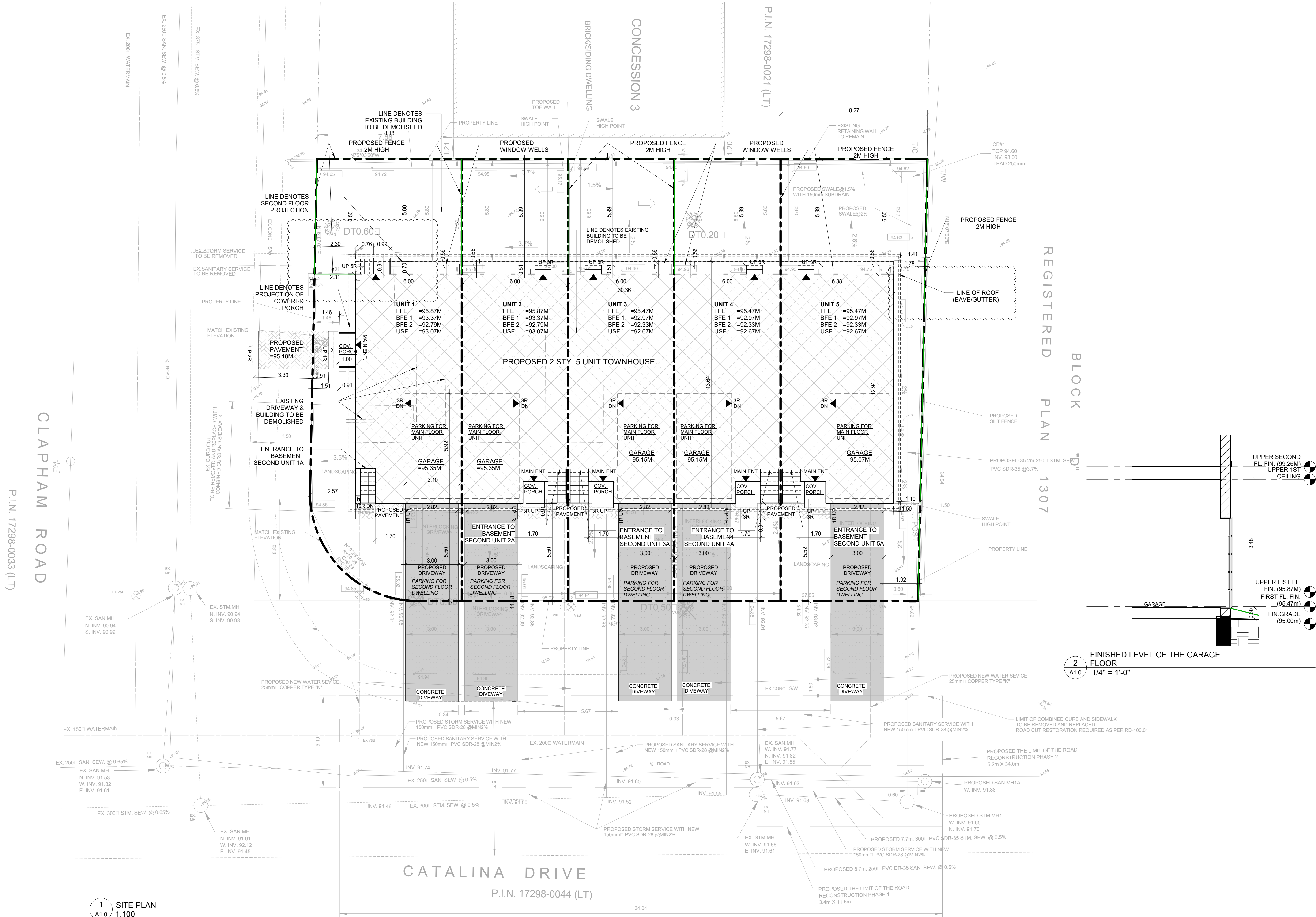
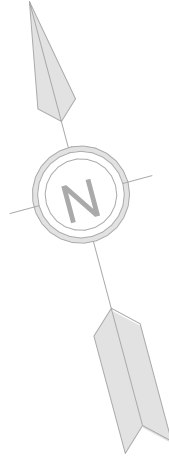
In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca by 12:00 p.m. (noon) on the business day prior to the Hearing in PDF format as a single document. Handouts are permitted only if the same content can be displayed on the presentation screen.

Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.



1 SITE PLAN
A1.0 1:100

PROJECT ARCHITECTS:

ARCHISYSTEM INC.

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465

279 Main Street North
Brampton, ON L6X 1N4
Tel: 905-858-2565 Cell: 647-295-2565
www.thearchisystem.com
email: archisystem@gmail.com

NOTES:

THE DRAWINGS SHALL NOT BE SCALED.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUM AND LEVELS PRIOR TO COMMENCING THE WORK. FAILURE TO THAT THE CONTRACTOR WILL BE LIABLE TO RECTIFY WITHOUT EXTRA COST.

ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THIS DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

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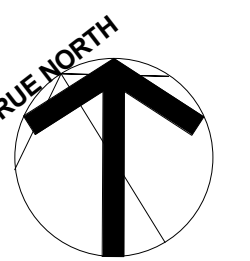
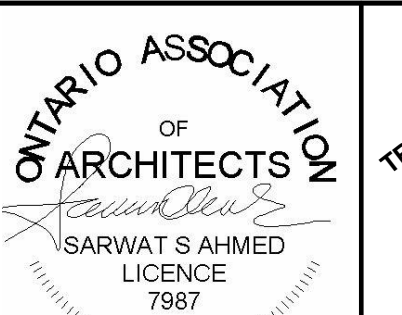
ALLWORKS TO BE DONE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO PREVAILING ONTARIO BUILDING CODE.

OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No. Issued For: Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

SITE PLAN

JOB #

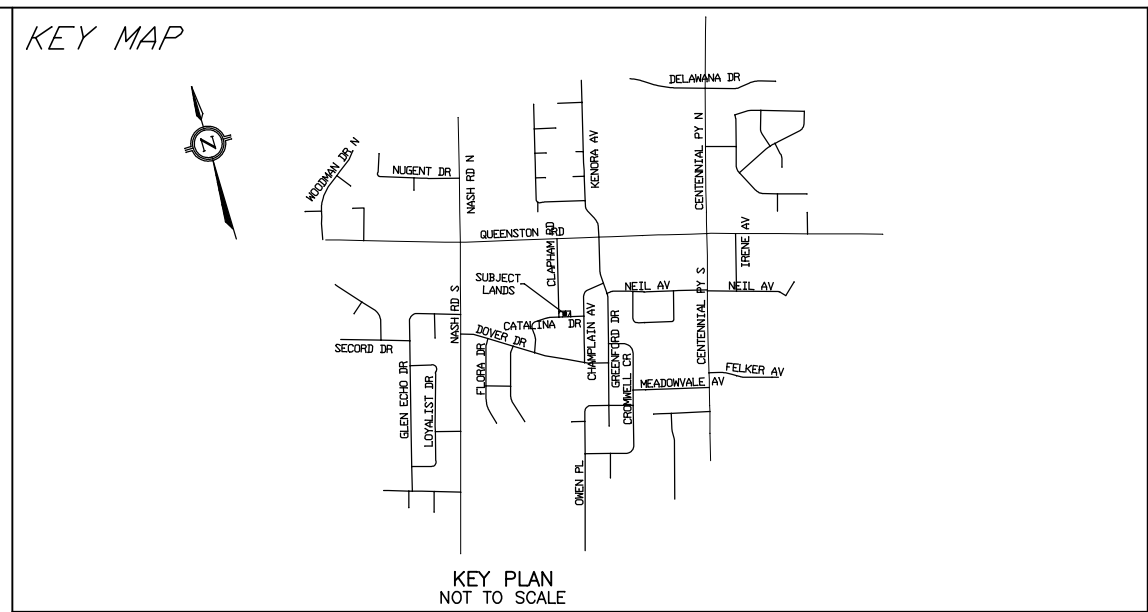
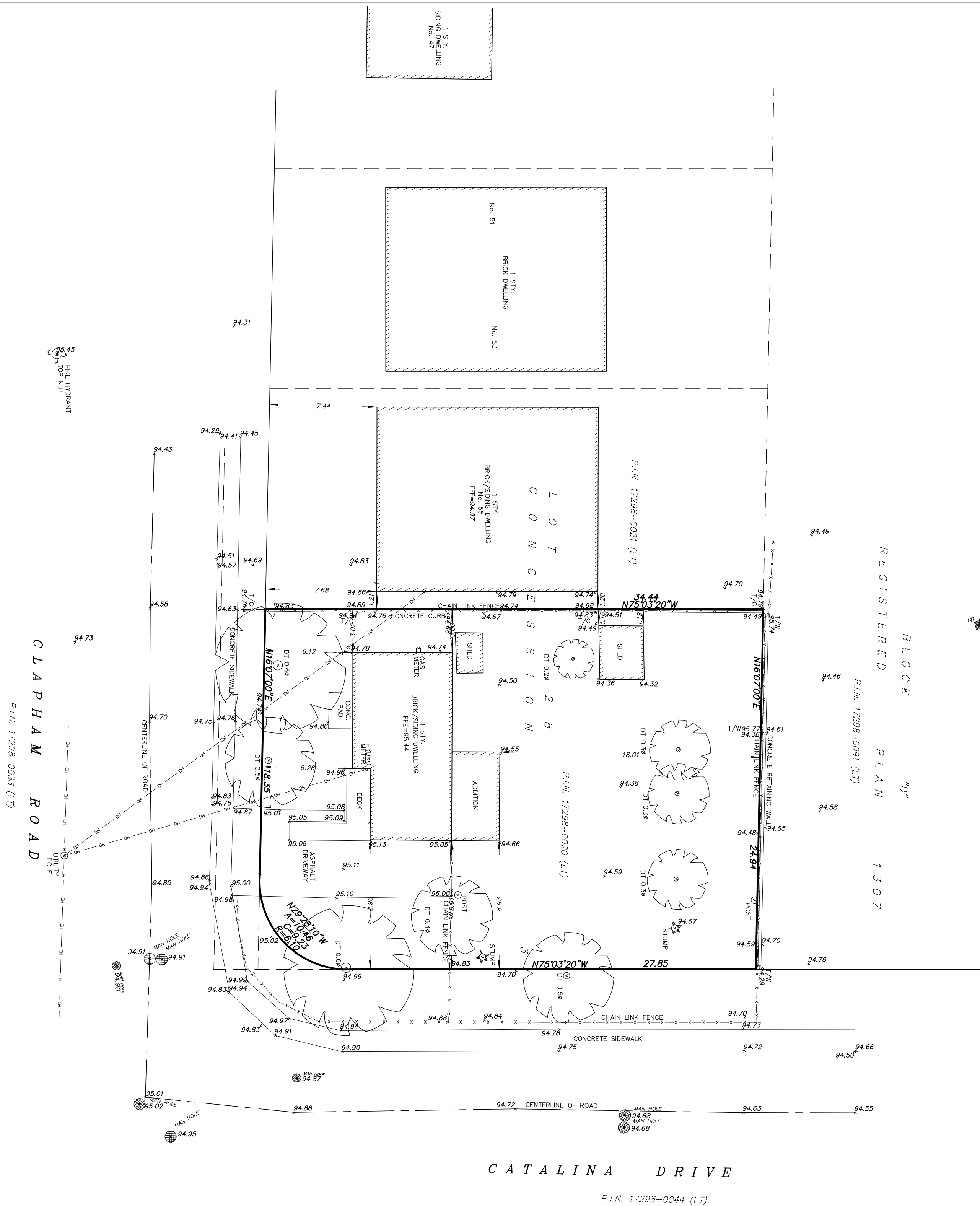
2023019

SCALE:

As indicated

SHEET NO.:

A1.0



ADDRESS: **61 CLAPHAM ROAD**

SITE PLAN OF PART OF
LOT 28
CONCESSION 3
IN THE
CITY OF HAMILTON

SCALE & NOTES

SCALE: 1:200

0 5 10 20 Metres

EDWARD J. GRENKIE
ONTARIO LAND SURVEYOR
© COPYRIGHT 2015

- LEGEND**
- OH — OH — OH — DENOTES OVERHEAD WIRES
 - (92.00) DENOTES PROPOSED ELEVATION
 - (92.00) SW DENOTES PROPOSED SWALE ELEVATION
 - 92.00 DENOTES EXISTING ELEVATION
 - > DENOTES DRAINAGE
 - > DENOTES UTILITY POLE
 - DT DENOTES DECIDUOUS TREE
 - CT DENOTES CONIFEROUS TREE
 - N—E—S—W DENOTES NORTH—EAST—SOUTH—WEST
 - ⊗ DENOTES TREE TO BE REMOVED
 - DENOTES SUBJECT LANDS BOUNDARY
 - DENOTES DEED LINE
 - DENOTES LOT LINE
 - DENOTES LIMIT OF STREET
 - X—X—X— DENOTES FENCE LINE

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF CLAPHAM ROAD AS SHOWN ON PLAN 62R-4690 HAVING A BEARING OF N16°07'00"E.

BENCH MARK NOTE

ELEVATIONS ARE REFERRED TO THE CITY OF HAMILTON BENCHMARK No. 0011963U3501 HAVING A ELEVATION OF 91.674 METRES.

NOTE

BEFORE DIGGING, ALL UNDERGROUND SERVICE SHOULD BE LOCATED ON SITE BY THE RESPECTIVE AGENCIES.
TREE PROTECTION AS REQUIRED
THE SURVEY WAS COMPLETED JUNE 29, 2015.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

DATE: 6, JULY 2015

EDWARD J. GRENKIE
ONTARIO LAND SURVEYOR

<div></div> <div>Barich Grenkie Surveying Ltd. 11 - 428 MILLEN ROAD - STONEY CREEK, ON (905) 662-6767</div>	DWN BY: SD
	CHK BY: EG
	JOB No. 15-1935



PROPOSED TOWNHOUSE DEVELOPMENT AT 61 CLAPHAM RD, HAMILTON, ON L8G 2H9

OWNER:

LA CABAN
DEVELOPMENTS INC.

PROJECT ARCHITECTS:

ARCHISYSTEM INC.

CONSULTING ARCHITECTS

CERTIFICATE OF PRACTICE # 5465

279 Main Street North
Brampton, ON L6X 1N4
Tel: 905-858-2565 Cell: 647-295-2565
www.thearchisystem.com
email: archisystem@gmail.com

SITE SERVICE & GRADING:

**LAND & BUILDING
EXPERTS**

570 ALDEN ROAD
UNIT 6, MARKHAM
ONTARIO, L3R 8N5
(647) 340-8649
building.experts@yahoo.com

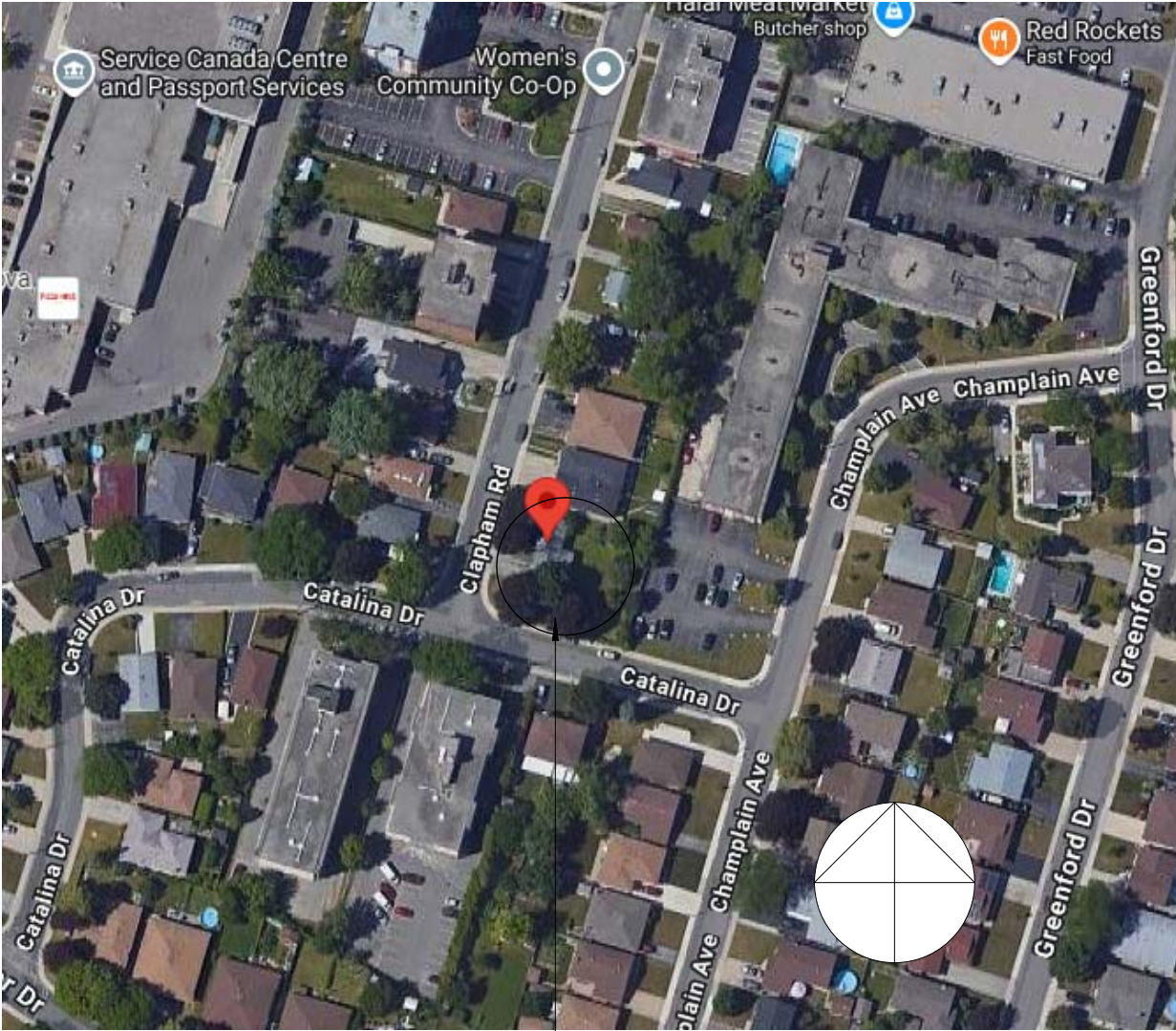
MECHANICAL:

GTADESIGNS

2985 DREW ROAD
SUITE 202,
MISSISSAUGA, ONT.
L4T 0A4 TEL: 905-671-9800
EMAIL: DAVE@GTADESIGNS.CA
WEB: WWW.GTADESIGNS.CA

TRUSS:

UNITED TRUSS
3325 THOMAS STREET
INNISFIL ON L9S 3W4
PHONE: (705) 436-3425
www.unitedlumber.ca

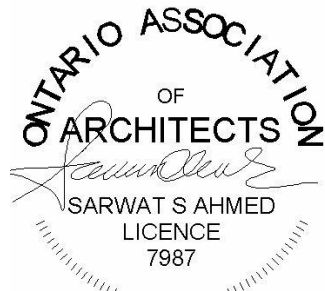


LOCATION MAP
NTS

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

SITE DATA	M/SM
ZONING	RT-30-H/S-1738
PLAN NO:	-
LOT NO:	-
LOT AREA	850.70 SM (9156.80 SQ.FT)
EXISTING TO BE DEMOLISHED	PROPOSED
EXISTING LOT COVERAGE EX. DWELLING = 108.03 SQ.M. [1162.85 SF.] EX. LOT COV. = 108.03 SQ.M. [1162.85 SF.] = 12.70%	PROPOSED LOT COVERAGE PROPOSED DWELLING FOOT PRINT (INCL. GARAGES & COVERD AREAS) = 414.82 SQ.M. [4465.09 SF.] PROPOSED COV. PORCHES = 9.08 SQ.M. [97.83 SF.] PROPOSED GARAGES = 93.13 SQ.M. [1002.52 SF.] OTHER BALCONY, 2ND FL. OVERHANGS = 20.05 SQ.M [215.85 SF.] PROPOSED TOTAL LOT COVERAGE = 416.1 SQ.M. [4,478.8 SF.] = 48.9%
EX. GROSS FLOOR AREA EX. FIRST FL. AREA = 103.37 SQ.M. [1112.63 SF.] EX. GFA. = 103.37 SQ.M. [1112.63 SF.]	GROSS FLOOR AREA PROPOSED FIRST FL. AREA = 291.6 SQ.M. [3,138.7 SF] (EXCL. PORCHES & GARAGES) PROPOSED SECOND FL. AREA = 413.1 SQ.M. [4,446.6 SF.] (EXCL. STAIRCASE) TOTAL GFA. PROPOSED = 704.7 SQ.M. [7585.3 SF.] PROPOSED BASEMENT FINISHED AREA = 432.55 SQ.M. [4655.86 SF.] PROPOSED WALK-UP STAIRCASE AREA = 29.01 SQ.M. [311.98 SF.] PROPOSED BASEMENT TOTAL AREA = 550.47 SQ.M. [5925.26 SF.]

Name of Practice:
ARCHISYSTEM INC.
CERTIFICATE OF PRACTICE #5465



Name of Project:
PROPOSED 2 STY TOWNHOUSE DEVELOPMENT
AT 61 CLAPHAM RD, HAMILTON, ON L8G 2H9

ONTARIO BUILDING CODE MATRIX - PART 3 OR 9				OBC References						
		<input type="checkbox"/> PART 11	<input type="checkbox"/> PART 3	<input checked="" type="checkbox"/> PART 9						
Project Description: DEMOLISH 1STY EXISTING BUILDING, PROPOSE 2 STY TOWNHOUSE DEVELOPMENT AT 61 CLAPHAM RD, HAMILTON, ON L8G 2H9		<input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE		2.1.1 9.10.1.3						
MAJOR OCCUPANCY(S) - GROUP C			3.1.2.1.(1)	9.10.2						
BUILDING AREA (m²)	EXISTING <u>108.03 SQ.M.</u>	NEW <u>414.82 SQ.M.</u>	TOTAL <u>414.82 SQ.M.</u>	1.4.1.2[A]	1.13.2					
GROSS AREA (m²)	EXISTING <u>103.37 SQ.M.</u>	NEW <u>673.64 SQ.M.</u>	TOTAL <u>673.64 SQ.M.</u>	1.4.1.2[A]	1.13.2					
NUMBER OF STOREYS	ABOVE GRADE <u>2</u>	BELOW GRADE <u>1</u>			2.1.1.3					
NUMBER OF STREETS / FIRE FIGHTER ACCESS	<u>2</u>			3.2.2.10 & 3.2.5.5	9.10.2					
BUILDING CLASSIFICATION: C - 3.2.2.47				3.2.2.20-83	9.10.4					
SPRINKLER SYSTEM PROPOSED	<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED		3.2.2.20-83 3.2.1.5 3.2.217	9.10.8 9.1.8.2						
STANDPIPE REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <3000 m2		3.2.9.1	N/A						
FIRE ALARM REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.4..1(h)	9.10.7.2						
WATER SERVICE / SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.5.7	N/A						
HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6							
CONSTRUCTION RESTRICTIONS	<input checked="" type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE PERMITTED <input type="checkbox"/> BOTH		3.2.2.57	9.10.6						
ACTUAL CONSTRUCTION	<input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH									
MEZZANINE(S) AREA (m²)	<u>0</u>		3.2.1.1.(3)-(8)	9.10.4.1						
OCCUPANT LOAD BASED ON	<input type="checkbox"/> m² / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING		3.1.17.	9.9.1.3						
OCCUPANCY	BASEMENT: FIRST FLOOR: SECOND FLOOR:	5 BEDROOM 0 BEDROOM 15 BEDROOM = 10 PERSONS = 0 PERSONS = 30 PERSONS	TOTAL OCCUPANT LOAD = 40 PERSONS							
BARRIER-FREE DESIGN	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN) <u>NOT REQUIRED</u>		3.8.	9.5.2						
HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.1.2 & 3.3.1.19	9.10.1.3.(4)						
REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) FLOOR <u>45</u> MINUTES ROOF <u>0</u> HOURS MEZZANINE <u>0</u> HOURS		LISTED DESIGN NO. OR DESCRIPTION (SG-2) - 	3.2.2.47	9.10.8 9.10.9					
SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS										
	Area of EBF (m²)	L.D. * (m)	L/H or H/L	Permitted Max % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design of Description	Comb. Const.	Comb. Const. Non-Cladding	Non-Comb. Constr.
NORTH	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Y	N/A	N/A
SOUTH	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Y	N/A	N/A
EAST	89.54	1.5	1.98	8	2.01	N/A	9.10.15.4	Y	N/A	N/A
WEST	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Y	N/A	N/A
* FROM CENTRE LINE OF PROPERTY										
PLUMBING FIXTURE REQUIREMENTS								OBC References		
								PART 3	PART 9	
Male/Female Count @ <u>50</u> % <u>50</u> % except noted otherwise						OCCUPANT LOAD	OBC TABLE NO:	FIXTURES REQUIRED	FIXTURES PROVIDED	
OTHER (Describe)										

PROPOSED LOT COVERAGE FOR EACH UNIT		
UNIT #	LOT AREA	LOT COVERAGE
1	201.9 SQ.M. [2172.9 SF.]	88.8 SQ.M. = 44.0%
2	149.6 SQ.M. [1610.6 SF.]	81.8 SQ.M. = 54.7%
3	149.6 SQ.M. [1610.6 SF.]	81.8 SQ.M. = 54.7%
4	149.6 SQ.M. [1610.6 SF.]	81.8 SQ.M. = 54.7%
5	200.0 SQ.M. [2152.8 SF.]	81.8 SQ.M. = 40.9%
TOTAL	850.80 SQ.M. [9157.4 SF.]	416.1 SQ.M. = 48.9%

FRONT YARD LANDSCAPED AREA TO HARDSCAPE AREA		
UNIT #	FRONT YARD AREA	FRONT LANDSCAPE AREA
1	39.39 SQ.M. [424 SF.]	22.91 SQ.M. [246.60 SF.] = 58.16 %
2	32.98 SQ.M. [355 SF.]	16.50 SQ.M. [177.60 SF.] = 50.03%
3	32.98 SQ.M. [355 SF.]	16.50 SQ.M. [177.60 SF.] = 50.03%
4	32.98 SQ.M. [355 SF.]	16.50 SQ.M. [177.60 SF.] = 50.03%
5	43.00 SQ.M. [462.9 SF.]	26.52 SQ.M. [285.46 SF.] = 61.67%

PROPOSED GROSS FLOOR AREA					
UNIT #	1ST FLOOR AREA	2ND FLOOR AREA	TOTAL GFA. FOR EACH UNIT	GARAGE AREA + PORCH AREA	CONSTRUCTION AREA
1	59.2 SQ.M.	81.7 SQ.M.	140.9 SQ.M. [1516.6 SF.]	25.37 SQ.M.	217.0 SQ.M. [2335.6 SF.]
2	57.2 SQ.M.	81.7 SQ.M.	138.9 SQ.M. [1494.8 SF.]	20.41 SQ.M.	208.0 SQ.M. [2238.5 SF.]
3	57.2 SQ.M.	81.7 SQ.M.	138.9 SQ.M. [1494.8 SF.]	20.41 SQ.M.	208.0 SQ.M. [2238.5 SF.]
4	57.2 SQ.M.	81.7 SQ.M.	138.9 SQ.M. [1494.8 SF.]	20.41 SQ.M.	208.0 SQ.M. [2238.5 SF.]
5	60.7 SQ.M.	86.4 SQ.M.	147.2 SQ.M. [1584.1 SF.]	19.96 SQ.M.	219.9 SQ.M. [2367.5 SF.]
TOTAL	291.6 SQ.M.	413.1 SQ.M.	704.7 SQ.M. [7585.1 SF.]	106.56 SQ.M.	1060.8 SQ.M. [11418.4 SF.]
PROPOSED GROSS FLOOR AREA - SECOND DWELLING UNIT					
SECOND DWELLING UNIT #	BASEMENT FINISHED AREA	WALK-UP STAIRCASE AREA	BASEMENT TOTAL AREA W/ FOUNDATION WALLS (CONSTRUCTION AREA)		
1A	50.71 SQ.M. [545.84 SF.]	5.49 SQ.M. [59.06 SF.]	79.10 SQ.M. [851.47 SF.]		
2A	48.68 SQ.M. [523.98 SF.]	5.88 SQ.M. [63.23 SF.]	77.19 SQ.M. [830.84 SF.]		
3A	48.68 SQ.M. [523.98 SF.]	5.88 SQ.M. [63.23 SF.]	77.19 SQ.M. [830.84 SF.]		
4A	48.68 SQ.M. [523.98 SF.]	5.88 SQ.M. [63.23 SF.]	77.19 SQ.M. [830.84 SF.]		
5A	52.82 SQ.M. [568.55 SF.]	5.88 SQ.M. [63.23 SF.]	81.60 SQ.M. [878.33 SF.]		
TOTAL	249.57 SQ.M. [2,686.33 SF.]	29.01 SQ.M. [311.98 SF.]	550.47 SQ.M. [5925.26 SF.]		

PROJECT ARCHITECTS:

ARCHISYSTEM INC.

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465

279 Main Street North
Brampton, ON L6X 1N4
Tel: 905-858-2565 Cell: 647-295-2565
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ALLWORKS TO BE DONE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO PREVAILING ONTARIO BUILDING CODE.

OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

TOWNHOUSE
DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

OBC MATRIX & SITE
DATA

JOB #

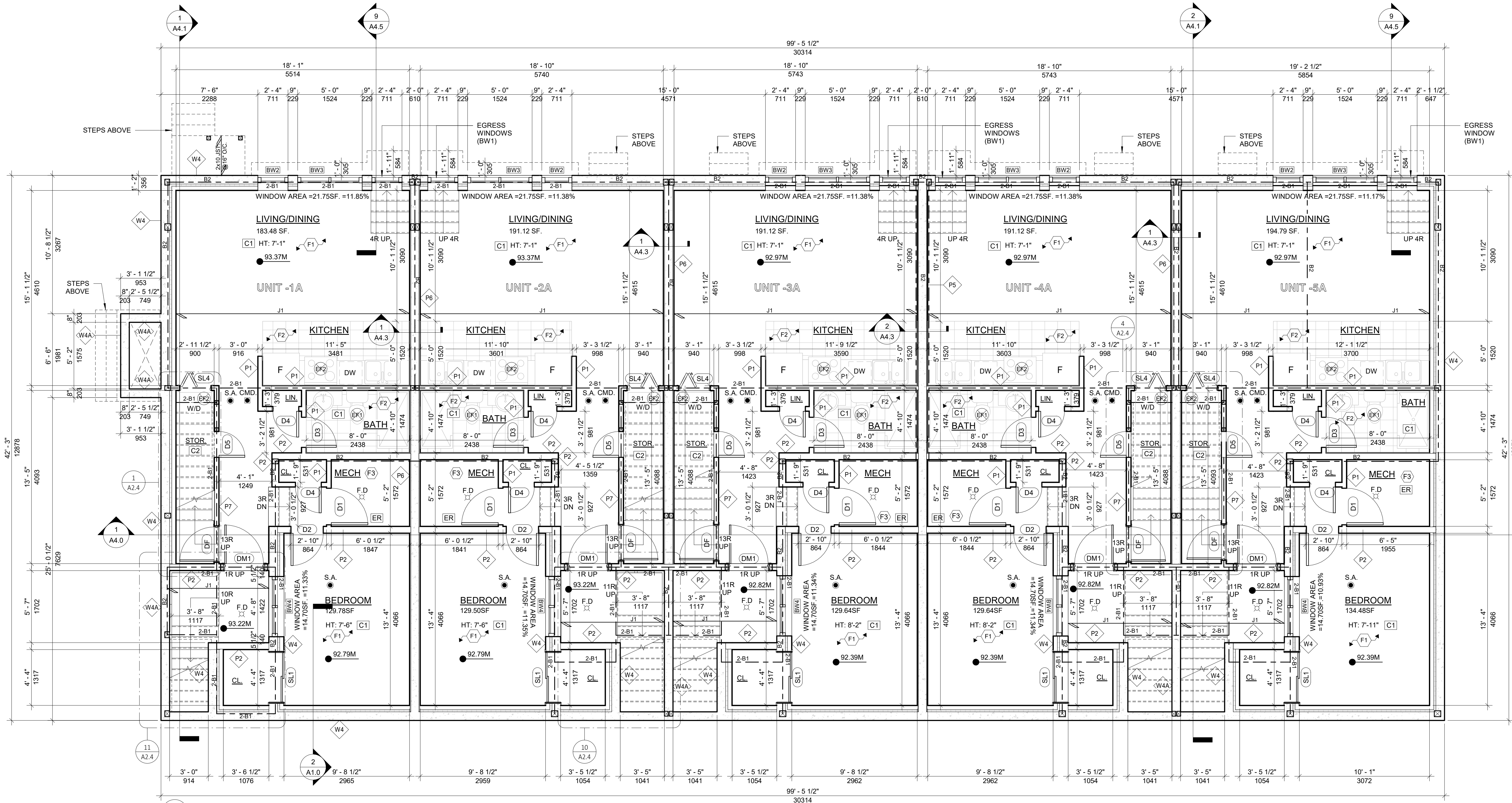
2023019

SCALE:

As indicated

SHEET NO.:

A1.1



1 BASEMENT PLAN
1/4" = 1'-0"

NOTE:
1. DUCT TYPE SMOKE DETECTOR W/ AUTO-SHUT OFF GAS VALVE IN MECH. AREAS(SEE A5.1).
2. SEE FOUNDATION PLAN FOR THE T/O BASEMENT SLAB LEVELS.

EXTERIOR WALL TYPES

- W1** 10 1/2" STONE CLADDING EXTERIOR WALL -WITH INSULATION
3" EXTERIOR CULTURED STONE CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8' PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W1A** 10 1/2" STONE/BRICK CLADDING EXTERIOR WALL -WITH OUT INSULATION
- W2** 10 1/2" BRICK CLADDING EXTERIOR WALL -WITH INSULATION
3" EXTERIOR CULTURED BRICK CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8' PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W2A** 7 1/2" THIN STONE/BRICK CLADDING EXTERIOR WALL -WITH INSULATION
1" EXTERIOR CULTURED STONE/BRICK VENEER FINISH ON 1/2" SCRATCH COAT, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
1/2" PLYWOOD ON EXTERIOR WALL STUDS 2X6 K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8' PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W3** 8 1/8" STUCCO FINISH EXTERIOR WALL -WITH INSULATION
1/8" STUCCO OVER 2" RIGID INSULATION DRAINAGE LAYER
1/2" R-5 XP INSULSHEATHING EXTERIOR SHEATHING
2"x6" WD. STUDS @ 16" O/C TOP/BOTTOM PLATES
R-24 BATT INSULATION 6MIL POLY AVB.
1/2" GWB TAPPED & PLASTERED, PROVIDE MOISTURE -RESISTANT GWB ON ALL WATER-BOURNE AREAS
- W4** 1-2" POUR CONC. REINFORCED WALL - WITH INSULATION
8" (200) REINFORCED POURED CONCRETE WALLS.
2" CONTINUOUS 2LBS SPRAY FOAM INSULATION, 2X4 WD. STUD WALL OVER 2X4 PTT SILL PLATE, SINGLE BOTTOM AND TOP PLATES @ 16" O/C. C/W R-12 BATT INSULATION, COMBINED R24., 6 MIL POLY VAPOUR BARRIER, MIN. 1/2" DRYWALL FINISH.

- W4A** 8" POUR CONC. REINFORCED WALL O/S TROWEL
APPLIED WATERPROOFING LAYER, PROTECTION BOARD W/ GRAVEL REFILLING, INTERIOR SMOOTH SURFACE W/ CEMENT MORTAR PARGING WHERE REQUIRED.
- W5** 8" MASONRY WALL
STUCCO FINISH ON 190mm CONCRETE BLOCK WALL OR MATCH THE EXTERIOR WALL FINISH (STONE/BRICK)
- W6** POWDER COATED BLACK METAL CNC CUT SCREENS
3WX10H EACH, CONNECTORS, FASTENERS AND INSTALLATION AS PER MANUFACTURER

NOTE: FOR FOUNDATION WALLS TO BE AS PER STRUCTURAL DRWS.

INTERIOR WALL TYPES

- P1** 4 1/2" INTERNAL PARTITION WALL
1/2" G.W.B/S 2X4 WD. STUDS @16" O/C TAPED, PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B/S WATER BOURNE AREAS E.G BATHS & KITCHEN
- P2** 6 1/2" INTERIOR WALL -WITH INSULATION
1/2" GWB, SPRAY-FOAM INSULATION R24, GAS PROOF WALL CONSTRUCTION @GARAGE
- P3** 10 1/2" INTERIOR LOAD BEARING WALL
1/2" TYPE 'X' GWB, ON 2'X4 WD. STUDS @16" O/C TAPED, PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B/S WATER BOURNE AREAS E.G BATHS & KITCHEN
- P4** 9" 45 MIN FIRE-RATED (W13b - STC 57) PARTY WALL
1/2" TYPE 'X' GWB, ON 2'X4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1" AIR SPACE, 2-2X4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1/2" TYPE 'X' GWB.
- P5** 10" 3 HR FIRE-RATED (B4c - STC 50) CMU
5/8" (15.9mm) TYPE 'X' GWB., 1/2" RESILIENT METAL CHANNEL ON 190mm CONCRETE BLOCK, 1/2" RESILIENT METAL CHANNEL, 5/8" (15.9mm) TYPE 'X' GWB.
- P6** 10" 1.5 HR FIRE-RATED (B1b - STC 50) CMU
1/2" GWB. TAPED & PLASTERED ON BOTH SIDES, 3/4"x2" WD. STRAPPING @24" O/C. ON 190mm CONCRETE BLOCK
- P7** 4 1/2" 1 HR FIRE-RATED PARTITION WALL (Wbh - OBC.2012 SB3 - STC.50)
1/2" REGULAR G.W.B/S TAPED & PLASTERED, RESILIENT CHANNEL AT 24" O/C, 3 1/2" BATT INSULATION FRICTION FIT B/W STUDS @ 24" O/C 1/8 PLATES, PROVIDE MOISTURE RESISTANT 1/2" G.W.B FOR ALL WATER BOURNE AREAS

FLOORING TYPES

- F1** WOOD FLOORING
3/4" ENG. WD. FLOOR TO MATCH EXISTING WD. FLOORING COLOUR (T.B.D.) W/T & G. JOINTS OVER 1/8" THICK STYROFOAM UNDERLAY OVER 6MIL A.V.B. OVER FLOOR JOIST OR CONC. SLAB
- F2** PORCELAIN TILES FLOORING
12"x12"x3/4" PORCELAIN TILE FLOORING (COLOUR T.B.D.) W/ MIN 1/2" THICK CEMENT MORTAR MIN. 1/8" WIDE MATCHING GROUTED JOINTS OVER FLOOR JOIST OR CONC. SLAB
- F3** UNFINISHED CONC. FLOORING
4" POURED CONCRETE SLAB, REINFORCED (SEE STRUCT.) MIN. 1/2" SCREED BOARD AROUND PERIMETER, MIN. R-10 (RSI-1.76) RIGID FOAM INSULATION UNDER ENTIRE SLAB, COMPACTED COARSE AND GRANULAR STONE INFILL, SOIL GAS RADON CONTROL AS PER O.B.C 9.1.1.7 AND 9.1.3.4.
- F1A** 45 MINUTES FIRE-RATED WOOD FLOORING - F17d (S1 STC)
- F2A** 45 MINUTES FIRE-RATED PORCELAIN TILES FLOORING - F17d (S1 STC)
- F3A** INSULATED UNFINISHED CONC. FLOORING
5" CONC. SLAB (SEE STRUCT.), INSTALL R31 RIGID INSULATION MECHANICALLY FASTENED TO CONC. SLAB B/W 2"x6" WD. STUDS 6MIL POLY AVB. NEW 1/2" WATER RESISTANT GWB CEILING ON PLASTERED, TAPED PROVIDE SMOOTH PLASTER

CEILING TYPES

- C1** 1/2" GWB SMOOTH PLASTERED CEILING ON PLASTERED, TAPED PROVIDE SMOOTH PLASTER
- C2** DOUBLE 15.9MM TYPE X GYPSUM WALL BOARD UNDERSIDE OF STAIRCASE
- ER** EXPOSED RAFTER

ROOF TYPES

- R1** PROPOSED SLOPED ROOF CONST.
ASPHALT SHINGLES TO MATCH EXISTING #15 BUILDING PAPER, 5/8" EXT. PLYWOOD SHEATHING OVER WD. JOISTS (SEE FLOOR PLANS), R60 INSULATION, 1/2" GWB TAPED & PLASTERED
- R2** PROPOSED FLAT ROOF
2" PEA GRAVEL OVER EPDM RUBBERIZED ROOFING ADHERED 3/4" EXTERIOR SHEATHING MIN. SLOPED 2% OVER STRAIGHT ROOF JOISTS FILLED W/ MIN. @ 2LB/SQ.FT. B/W THE ROOF JOISTS 5/8" THICK GWB CEILING TAPED, SMOOTHED PLASTERED, SANDED AND PAINTED

PROJECT ARCHITECTS:

ARCHISYSTEM INC.

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465

279 Main Street North
Brampton, ON L6X 1N4
Tel: 905-858-2565 Cell: 647-295-2565
www.thearchisystem.com
email: archisystem@gmail.com

NOTES:

THE DRAWINGS SHALL NOT BE SCALED.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUM AND LEVELS PRIOR TO COMMENCING THE WORK. FAILURE TO THAT THE CONTRACTOR WILL BE LIABLE TO RECTIFY WITHOUT EXTRA COST.

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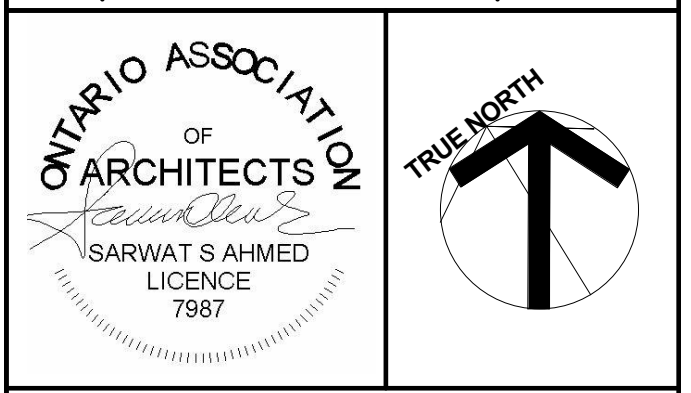
ALLWORKS TO BE DONE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO PREVAILING ONTARIO BUILDING CODE.

OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON, ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

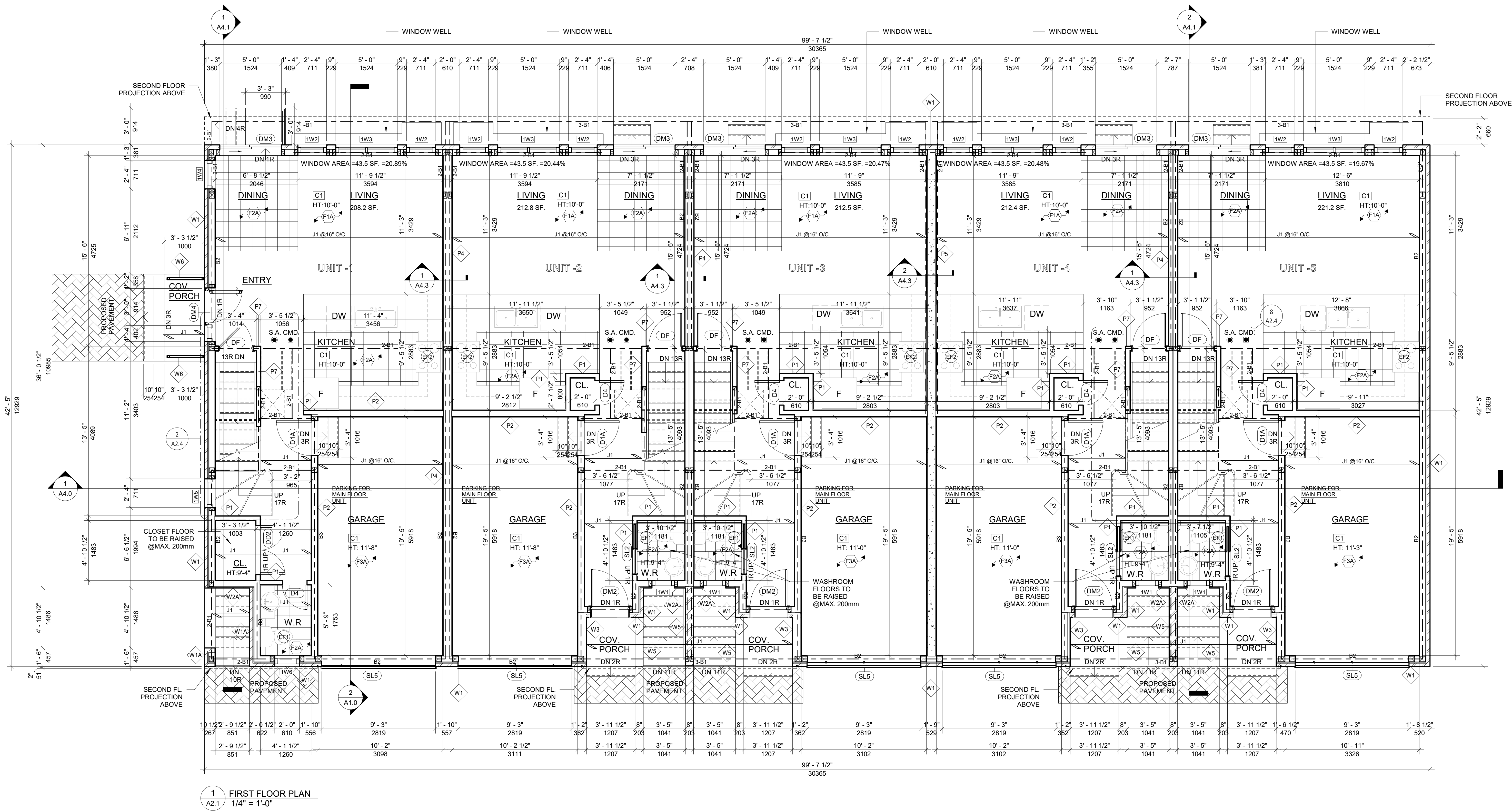
SHEET TITLE: BASEMENT PLAN

JOB # 2023019

SCALE: As indicated

SHEET NO.:

A2.0



1 FIRST FLOOR PLAN
A2.1 1/4" = 1'-0"

EXTERIOR WALL TYPES

- W1** 10 1/2" STONE CLADDING EXTERIOR WALL
-WITH INSULATION
3" EXTERIOR CULTURED STONE CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W1A** 10 1/2" STONE/BRICK CLADDING EXTERIOR WALL
-WITH OUT INSULATION
- W2** 10 1/2" BRICK CLADDING EXTERIOR WALL
-WITH INSULATION
3" EXTERIOR CULTURED BRICK CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH

- W2A** 7 1/2" THIN STONE/BRICK CLADDING EXTERIOR WALL
-WITH INSULATION
1" EXTERIOR CULTURED STONE/ BRICK VENEER FINISH ON 1/2" SCRATCH COAT, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
1/2" PLYWOOD ON EXTERIOR WALL STUDS 2X6 K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W3** 8 1/8" STUCCO FINISH EXTERIOR WALL
-WITH INSULATION
1/8" STUCCO OVER 2" RIGID INSULATION DRAINAGE LAYER
1/2" R-5 XP INSULSHEATHING EXTERIOR SHEATHING
2"x6" WD. STUDS @ 16" O/C TOP/BOTTOM PLATES
R-24 (RSI-4.23) BATT INSULATION
1/2" GWB TAPPED & PLASTERED. PROVIDE MOISTURE RESISTANT G.W.B ON ALL WATER-BOURNE AREAS
- W4** 12" POUR CONC. REINFORCED WALL - WITH INSULATION
8" (200) REINFORCED POURED CONCRETE WALLS.
2" CONTINUOUS 2LBS SPRAY FOAM INSULATION, 2X4 WD. STUD WALL OVER 2X4 PT SILL PLATE, SINGLE BOTTOM AND TOP PLATES @ 16" O/C. C/W R-12 BATT INSULATION. COMBINED R24, 6 MIL POLY VAPOUR BARRIER, MIN. 1/2" DRYWALL FINISH.

- W4A** 8" POUR CONC. REINFORCED WALL
8" POUR CONC. REINFORCED WALL O/S TROWEL APPLIED WATERPROOFING LAYER, PROTECTION BOARD W/ GRAVEL REFILLING, INTERIOR SMOOTH SURFACE W/ CEMENT MORTAR PARING WHERE REQUIRED.
- W5** 8" MASONRY WALL
STUCCO FINISH ON 190mm CONCRETE BLOCK WALL OR MATCH THE EXTERIOR WALL FINISH (STONE/BRICK)
- W6** POWDER COATED BLACK METAL CNC CUT SCREENS
3"WX10"H EACH, CONNECTORS, FASTENERS AND INSTALLATION AS PER MANUFACTURER
- NOTE:** FOR FOUNDATION WALLS TO BE AS PER STRUCTURAL DRWS.
- INTERIOR WALL TYPES**
- P1** 4 1/2" INTERNAL PARTITION WALL
1/2" G.W.B B/S 2X4 WD. STUDS @16" O/C TAPED, PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B I/S WATER BOURNE AREAS E.G BATHS & KITCHEN
- P2** 6 1/2" INTERIOR WALL - WITH INSULATION
1/2" G.W.B, SPRAY-FOAM INSULATION R24, GAS PROOF WALL CONSTRUCTION @GARAGE

INTERIOR WALL TYPES

- P3** 10 1/2" INTERIOR LOAD BEARING WALL
1/2" G.W.B. B/S 2X10 WD. STUDS @16" O/C TAPED, PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B I/S WATER BOURNE AREAS E.G BATHS & KITCHEN
- P4** 9" 45 MIN FIRE-RATED (W13b - STC 57) PARTY WALL
1/2" TYPE 'X' G.W.B. ON 2-2X4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1" AIR SPACE, 2-2X4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1/2" TYPE 'X' G.W.B.
- P5** 10" 3 HR FIRE-RATED (B4c - STC 50) CMU
5/8" (15.9mm) TYPE 'X' G.W.B., 1/2" RESILIENT METAL CHANNEL ON 190mm CONCRETE BLOCK, 1/2" RESILIENT METAL CHANNEL, 5/8" (15.9mm) TYPE 'X' G.W.B.
- P6** 10" 1.5 HR FIRE-RATED (B1b - STC 50) CMU
1/2" G.W.B. TAPED & PLASTERED ON BOTH SIDES, 3/4"x2" WD. STRAPPING @24" O/C. ON 190mm CONCRETE BLOCK
- P7** 4 1/2" 1 HR FIRE-RATED PARTITION WALL (W6b - OBC 2012 B33 - STC 50)
1/2" G.W.B, SPRAY-FOAM INSULATION R24, GAS PROOF WALL CONSTRUCTION @GARAGE

FLOORING TYPES

- F1** WOOD FLOORING
3/4" ENG. WD. FLOOR TO MATCH EXISTING WD. FLOORING COLOUR (T.B.D.) W/IT & G JOINTS OVER 1/8" THICK STYROFOAM UNDERLAY OVER 6MIL A.V.B. OVER FLOOR JOIST OR CONC. SLAB
- F2** PORCELAIN TILES FLOORING
12"x12"x3/4" PORCELAIN TILE FLOORING (COLOUR T.B.D.) W/ MIN 1/2" THICK CEMENT MORTAR MIN. 1/8" WIDE MATCHING GROUTED JOINTS OVER FLOOR JOIST OR CONC. SLAB
- F3** UNFINISHED CONC. FLOORING
4" POURED CONCRETE SLAB, REINFORCED (SEE STRUCT.) MIN. 1/2" SCREED BOARD AROUND PERIMETER, MIN. R-10 (RSI-1.76) RIGID FOAM INSULATION UNDER ENTIRE SLAB, COMPACTED COARSE AND GRANULAR STONE INFILL, SOIL GAS/RADON CONTROL AS PER O.B.C 9.1.1.7 AND 9.13.4.
- F1A** 45 MINUTES FIRE-RATED WOOD FLOORING
- F17d (S1 STC)
- F2A** 45 MINUTES FIRE-RATED PORCELAIN TILES FLOORING
- F17d (S1 STC)
- F3A** INSULATED UNFINISHED CONC. FLOORING
5" CONC. SLAB (SEE STRUCT.), INSTALL R31 RIGID INSULATION MECHANICALLY FASTENED TO CONC. SLAB B/W 2"x6" WD. STUDS 6MIL POLY ABV. NEW 1/2" WATER RESISTANT G.W.B CEILING ON PLASTERED, TAPED PROVIDE SMOOTH PLASTER

CEILING TYPES

- C1** 1/2" G.W.B SMOOTH PLASTERED CEILING ON PLASTERED, TAPED PROVIDE SMOOTH PLASTER
- C2** DOUBLE 15.9MM TYPE X GYPSUM WALL BOARD UNDERSIDE OF STAIRCASE
- ER** EXPOSED RAFTER
- ROOF TYPES**
- R1** PROPOSED SLOPED ROOF CONST.
ASPHALT SHINGLES TO MATCH EXISTING #15 BUILDING PAPER, 5/8" EXT. PLYWOOD SHEATHING OVER WD. JOISTS (SEE FLOOR PLANS), R60 INSULATION, 1/2" G.W.B TAPED & PLASTERED
- R2** PROPOSED FLAT ROOF
2" PEA GRAVEL OVER EPDM RUBBERIZED ROOFING ADHERED 3/4" EXTERIOR SHEATHING MIN. SLOPED 2% OVER STRAIGHT ROOF JOISTS FILLED W/ MIN. @ 2LBS/SQ.FT. B/W THE ROOF JOISTS 5/8" THICK G.W.B. CEILING TAPED, SMOOTHED PLASTERED, SANDED AND PAINTED

PROJECT ARCHITECTS:

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CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465

279 Main Street North
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ALLWORKS TO BE DONE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO PREVAILING ONTARIO BUILDING CODE.

OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

FIRST FLOOR PLAN

JOB #

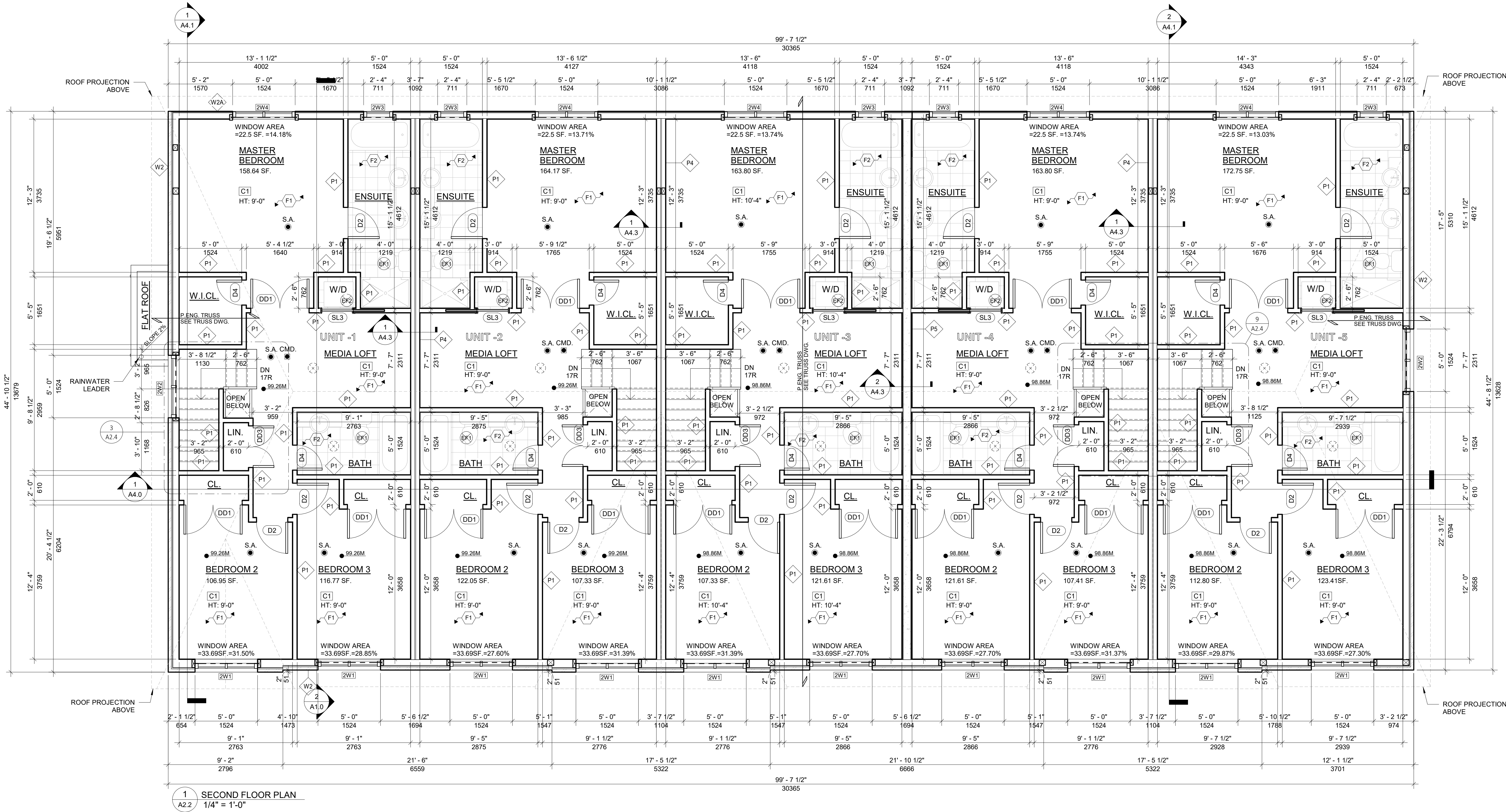
2023019

SCALE:

As indicated

SHEET NO.:

A2.1



1 SECOND FLOOR PLAN
A2.2 1/4" = 1'-0"

EXTERIOR WALL TYPES

- W1** 10 1/2" STONE CLADDING EXTERIOR WALL -WITH INSULATION
3" EXTERIOR CULTURED STONE CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8' PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W1A** 10 1/2" STONE/BRICK CLADDING EXTERIOR WALL -WITH OUT INSULATION
- W2** 10 1/2" BRICK CLADDING EXTERIOR WALL -WITH INSULATION
3" EXTERIOR CULTURED BRICK CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8' PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH

- W2A** 7 1/2" THIN STONE/BRICK CLADDING EXTERIOR WALL -WITH INSULATION
1" EXTERIOR CULTURED STONE/BRICK VENEER FINISH ON 1/2" SCRATCH COAT, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
1/2" PLYWOOD ON EXTERIOR WALL STUDS 2X6 K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8' PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W3** 8 1/8" STUCCO FINISH EXTERIOR WALL -WITH INSULATION
1/8" STUCCO OVER 2" RIGID INSULATION DRAINAGE LAYER
1/2" R-5 XP INSULSHEATHING EXTERIOR SHEATHING
2"x6" WD. STUDS @ 16" O/C TOP/BOTTOM PLATES
R-24 BATT INSULATION 6MIL POLY AVB.
1/2" GWB TAPPED & PLASTERED, PROVIDE MOISTURE -RESISTANT G.W.B ON ALL WATER-BOURNE AREAS
- W4** 1-2" POUR CONC. REINFORCED WALL - WITH INSULATION
8" (200) REINFORCED POURED CONCRETE WALLS.
2" CONTINUOUS 2LBS SPRAY FOAM INSULATION, 2x4 WD. STUD WALL OVER 2X4 PTT SILL PLATE, SINGLE BOTTOM AND TOP PLATES @ 16" O/C - C/W R-12 BATT INSULATION, COMBINED R24-, 6 MIL POLY VAPOUR BARRIER, MIN. 1/2" DRYWALL FINISH.

- W4A** 8" POUR CONC. REINFORCED WALL
8" POUR CONC. REINFORCED WALL O/S TROWEL APPLIED WATERPROOFING LAYER, PROTECTION BOARD W/ GRAVEL REFILLING, INTERIOR SMOOTH SURFACE W/ CEMENT MORTAR PARGING WHERE REQUIRED.
- W5** 8" MASONRY WALL
STUCCO FINISH ON 190mm CONCRETE BLOCK WALL OR MATCH THE EXTERIOR WALL FINISH (STONE/BRICK)
- W6** POWDER COATED BLACK METAL CNC CUT SCREENS
3Wx10H EACH, CONNECTORS, FASTENERS AND INSTALLATION AS PER MANUFACTURER
- NOTE: FOR FOUNDATION WALLS TO BE AS PER STRUCTURAL DRWS.
- #### INTERIOR WALL TYPES
- P1** 4 1/2" INTERNAL PARTITION WALL
1/2" G.W.B B/S 2x4 WD. STUDS @16" O/C TAPED, PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B I/S WATER BOURNE AREAS E.G BATHS & KITCHEN
- P2** 6 1/2" INTERIOR WALL - WITH INSULATION
1/2" G.W.B, SPRAY-FOAM INSULATION R24, GAS PROOF WALL CONSTRUCTION @GARAGE

INTERIOR WALL TYPES

- P3** 10 1/2" INTERIOR LOAD BEARING WALL
1/2" G.W.B B/S 2x10 WD. STUDS @16" O/C TAPED, PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B I/S WATER BOURNE AREAS E.G BATHS & KITCHEN
- P4** 9" 45 MIN FIRE-RATED (W13b - STC 57) PARTY WALL
1/2" TYPE 'X' G.W.B. ON 2-2x4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1" AIR SPACE, 2-2x4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1/2" TYPE 'X' G.W.B.
- P5** 10" 3 HR FIRE-RATED (B4c - STC 50) CMU
1/2" G.W.B. ON 2-2x4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1/2" TYPE 'X' G.W.B.
- P6** 10" 1.5 HR FIRE-RATED (B1b - STC 50) CMU
1/2" G.W.B. TAPED & PLASTERED ON BOTH SIDES, 3/4"x2" WD. STRAPPING @24" O/C. ON 190mm CONCRETE BLOCK
- P7** 4 1/2" 1 HR FIRE-RATED PARTITION WALL (W8b - OBC.2012 SB3 - STC.50)
1/2" REGULAR G.W.B B/S TAPED & PLASTERED, RESILIENT CHANNEL AT 24" O/C, 3 1/2" BATT INSULATION FRICTION FIT B/W STUDS @ 24" O/C I/B PLATES, PROVIDE MOISTURE RESISTANT 1/2" G.W.B FOR ALL WATER BOURNE AREAS

FLOORING TYPES

- F1** WOOD FLOORING
3/4" ENG. WD. FLOOR TO MATCH EXISTING WD. FLOORING COLOUR (T.B.D.) W/T & G. JOINTS OVER 1/8" THICK STYROFOAM UNDERLAY OVER 6MIL A.V.B. OVER FLOOR JOIST OR CONC. SLAB
- F2** PORCELAIN TILES FLOORING
12"x12"x3/4" PORCELAIN TILE FLOORING (COLOUR T.B.D.) W/ MIN 1/2" THICK CEMENT MORTAR MIN. 1/8" WIDE MATCHING GROUTED JOINTS OVER FLOOR JOIST OR CONC. SLAB
- F3** UNFINISHED CONC. FLOORING
4" POURED CONCRETE SLAB, REINFORCED (SEE STRUCT.) MIN. 1/2" SCREED BOARD AROUND PERIMETER, MIN. R-10 (RSI-1.76) RIGID FOAM INSULATION UNDER ENTIRE SLAB, COMPACTED COARSE AND GRANULAR STONE INFILL, SOIL GAS/RADON CONTROL AS PER O.B.C 9.1.1.7 AND 9.13.4.
- F1A** 45 MINUTES FIRE-RATED WOOD FLOORING - F17d (S1 STC)
- F2A** 45 MINUTES FIRE-RATED PORCELAIN TILES FLOORING - F17d (S1 STC)
- F3A** INSULATED UNFINISHED CONC. FLOORING
5" CONC. SLAB (SEE STRUCT.), INSTALL R31 RIGID INSULATION MECHANICALLY FASTENED TO CONC. SLAB B/W 2"x6" WD. STUDS 6MIL POLY AVB. NEW 1/2" WATER RESISTANT G.W.B CEILING ON PLASTERED, TAPED PROVIDE SMOOTH PLASTER

CEILING TYPES

- C1** 1/2" G.W.B SMOOTH PLASTERED CEILING ON PLASTERED, TAPED PROVIDE SMOOTH PLASTER
- C2** DOUBLE 15.9MM TYPE X GYPSUM WALL BOARD UNDERSIDE OF STAIRCASE
- ER** EXPOSED RAFTER
- #### ROOF TYPES
- R1** PROPOSED SLOPED ROOF CONST.
ASPHALT SHINGLES TO MATCH EXISTING #15 BUILDING PAPER, 5/8" EXT. PLYWOOD SHEATHING OVER WD. JOISTS (SEE FLOOR PLANS), R60 INSULATION, 1/2" G.W.B TAPED & PLASTERED
- R2** PROPOSED FLAT ROOF
2" PEA GRAVEL OVER EPDM RUBBERIZED ROOFING ADHERED 3/4" EXTERIOR SHEATHING MIN. SLOPED 2% OVER STRAIGHT ROOF JOISTS FILLED W/ MIN. @ 2LB/SQ.FT. B/W THE ROOF JOISTS 5/8" THICK G.W.B CEILING TAPED, SMOOTHED PLASTERED, SANDED AND PAINTED

PROJECT ARCHITECTS:

ARCHISYSTEM INC.

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OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

SECOND FLOOR PLAN

JOB #

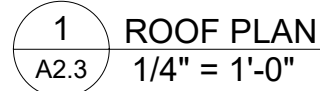
2023019

SCALE:

As indicated

SHEET NO.:

A2.2



W1

10 1/2" STONE CLADDING EXTERIOR WALL
- WITH INSULATION

3" EXTERIOR CULTURED STONE CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.

- EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @ 16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES

- EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ. R-24 (RS4+23) BATT INSULATION

- APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH

W1A

10 1/2" STONE/BRICK CLADDING EXTERIOR WALL
- WITH OUT INSULATION

W2

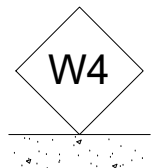
10 1/2" BRICK CLADDING EXTERIOR WALL
- WITH INSULATION

3" EXTERIOR CULTURED BRICK CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.

- EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @ 16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES

- EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ. R-24 (RS4+23) BATT INSULATION

- APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH



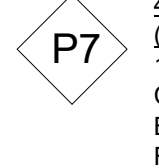
8 1/8" STUCCO FINISH EXTERIOR WALL
 -WITH INSULATION
 -1/8" STUCCO OVER 2" RIGID INSULATION DRAINAGE LAYER
 -1/2" R-5 XP INSULSHEATHING EXTERIOR SHEATHING
 -2"x6" WD. STUDS @ 16" O/C TOP/BOTTOM PLATES
 -R24 BATT INSULATION 6MIL POLY AVB.
 -1/2" GWB TAPPED & PLASTERED. PROVIDE MOISTURE
 -RESISTANT GWB ON ALL WATER-BOURNE AREAS

NOTE: FOR F
INTERIC

POWDER COATED BLACK METAL CNC CUT SCREENS
3'WX10'H EACH. CONNECTORS, FASTENERS AND
INSTALLATION AS PER MANUFACTURER

P2 6 1/2" INTERIOR WALL - WITH INSULATION
1/2" GWB. SPRAY-FOAM INSULATION R24,
GAS PROOF WALL CONSTRUCTION
@GARAGE

P3	<p><u>10 1/2" INTERIOR LOAD BEARING WALL</u> 1/2" G.W.B. B/S 2x10 W/D. STUDS @ 16" O/C TAPE PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B. I/S WATER BOURNE AREAS E.G BATHS & KITCHEN</p>
P4	<p><u>9' 45 MIN FIRE-RATED (W13b - SCT 57) PARTY WALL</u> 1/2" TYPE "X" G.W.B. ON 2-2x4 W/D. STUDS @ 16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1" AIR SPACE, 2-2x4 W/D. STUDS @ 16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1/2" TYPE "X" G.W.B.</p>
P5	<p><u>3" 3 HR FIRE-RATED (B4c - SCT 50) CMU.</u> 5/8" [15.9mm] TYPE "X" G.W.B., 1/2" RESILIENT METAL CHANNEL ON 190mm CONCRETE BLOCK, 1/2" RESILIENT METAL CHANNEL, 5/8" [15.9mm] TYPE "X" G.W.B.</p>
P6	<p><u>10' 1.5 HR FIRE-RATED (B1b - SCT 50) CMU.</u> 1/2" G.W.B. TAPED & PLASTERED ON BOTH SIDES. 3/4"x3/4" W/D. STRAPPING @ 24" O/C. ON 190mm CONCRETE BLOCK</p>
P7	<p><u>4 1/2" 1 HR FIRE-RATED PARTITION WALL</u> (Wbh - OCG 2012 SB3 - SCT 50) 1/2" REGULAR G.W.B B/S TAPED & PLASTERED, RESILIENT CHANNEL AT 24" O/C. 3 1/2" BATT INSULATION. F.P. B/W STUDS @ 24" O/C T/B PLATES. PROVIDE MOISTURE RESISTANT 1/2" G.W.B FOR ALL WATER BOURNE AREAS</p>



F1 WOOD FLOORING
3/4" ENG. WD. FLOOR TO MATCH EXISTING WD. FLOORING
COLOUR (T.B.D.) W/IT & G JOINTS OVER 1/8" THICK
STYROFOAM UNDERLAY OVER 6MIL A.V.B. OVER FLOOR
JOIST OR CONC. SLAB

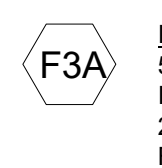
F2 PORCELAIN TILES FLOORING
12"x12"x3/4" PORCELAIN TILE FLOORING (COLOUR T.B.D.) W/
MIN 1/2" THICK CEMENT MORTAR MIN. 1/8" WIDE MATCHING
GROUTED JOINTS OVER FLOOR JOIST OR CONC. SLAB

F3 UNFINISHED CONC. FLOORING
4" POURED CONCRETE SLAB, REINFORCED (SEE STRUCT.)
MIN. 1/2" SCREED BOARD UNDER PERIMETER, MIN. R-10
(RS-1.78) RIGID FOAM INSULATION UNDER ENTIRE SLAB
COMPACTED COARSE AND GRANULAR STONE INFILL. SOIL
GASIRADON CONTROL AS PER O.C.B.C 9.1.1.7 AND 9.13.4.

F1A 45 MINUTES FIRE-RATED WOOD FLOORING
- F17a (61 STC)

F2A 45 MINUTES FIRE-RATED PORCELAIN TILES FLOORING
- F17a (61 STC)

F3A INSULATED UNFINISHED CONC. FLOORING
5" CONC. SLAB (SEE STRUCT.), INSTALL R31 RIGID
INSULATION MECHANICALLY FASTENED TO CONC. SLAB B/W
2"x6" WD. STUDS 6MIL POLY A.B. NEW 1/2" WATER
RESISTANT GWB CEILING ON PLASTERED, TAPED PROVIDE
SMOOTH PLASTER



R2 PROPOSED FLAT ROOF
2" PEA GRAVEL OVER EPDM RUBBERIZED
ROOFING ADHERED 3/4" EXTERIOR SHEATHING
MIN. SLOPED 2% OVER STRAIGHT ROOF JOISTS
FILLED W/ MIN. @ 2LB/SQ.FT. B/W THE ROOF
JOISTS 5/8" THICK GWB. CEILING TAPED,
SMOOTHED PLASTERED, SANDED AND PAINTED

SHEET NO.

A2.3

**STAIRCASE PLAN -1 @UPPER
BASEMENT LVL. 93.37M**

1
A2.4
1/2" = 1'-0"

**STAIRCASE PLAN -1 @UPPER
FIRST FL. 95.87M**

2
A2.4
1/2" = 1'-0"

**STAIRCASE PLAN -1 @UPPER
SECOND FL. LVL. 99.26M**

3
A2.4
1/2" = 1'-0"

**WALK-UP STAIRCASE PLAN -2
@BASEMENT LVL. 93.22M**

11
A2.4
1/2" = 1'-0"

**WALK-UP STAIRCASE PLAN -1
@BASEMENT LVL. 93.22M**

10
A2.4
1/2" = 1'-0"

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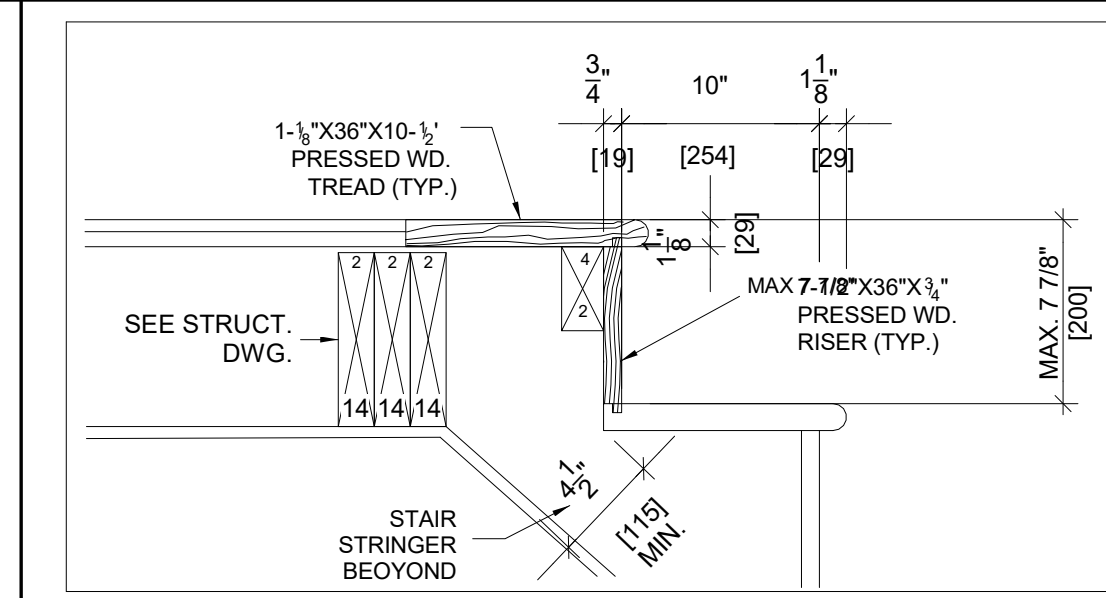
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STRUCTURAL ENGINEERS:

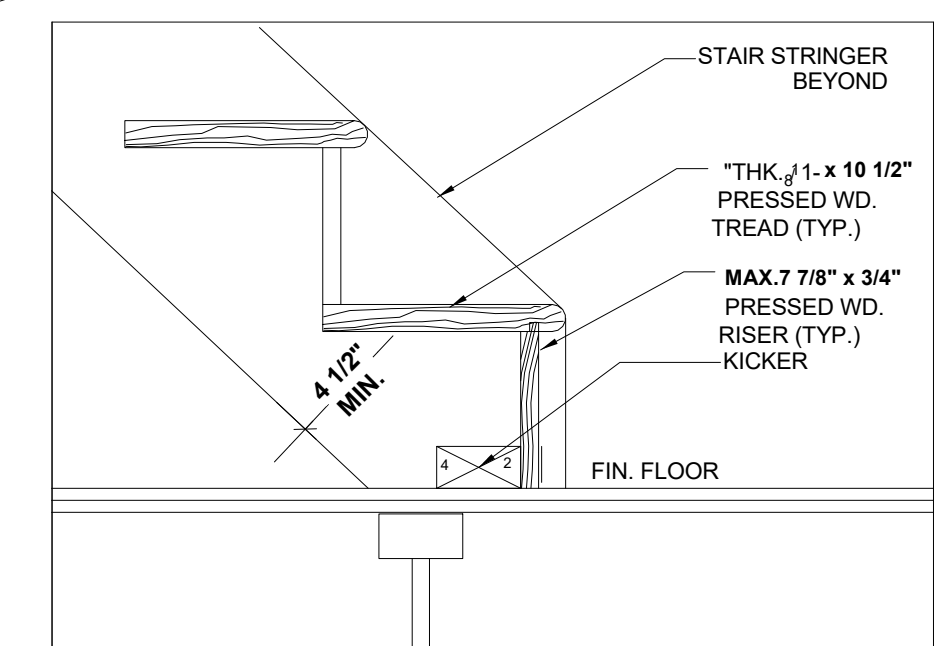
STAIRCASE PLAN -2 @BASEMENT
 LVL. 92.97M
 1/2" = 1'-0"

STAIRCASE PLAN -2 @FIRST FL.
 LVL. 95.47M
 1/2" = 1'-0"

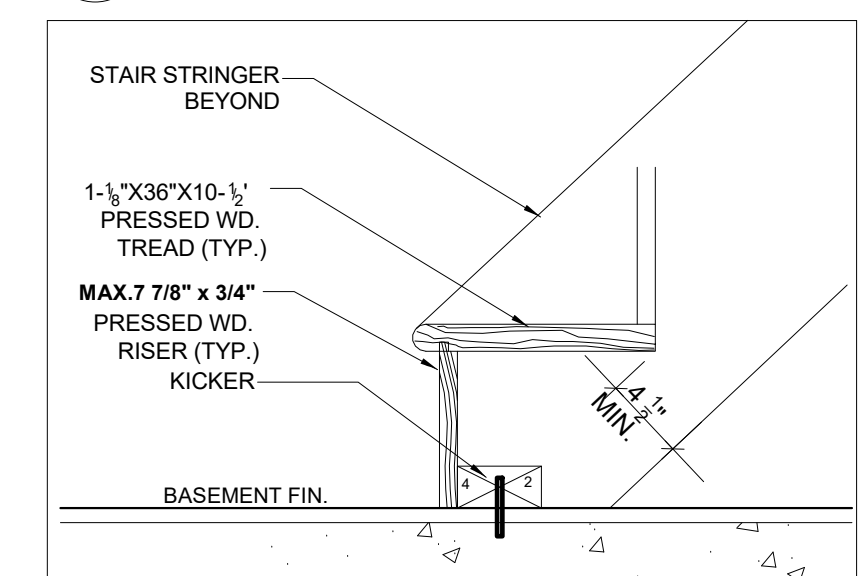
STAIRCASE PLAN -2 @SECOND FL.
 LVL. 98.86M
 1/2" = 1'-0"



5 STEP DETAIL @TOP
A2.4 NTS



6 STEP DETAIL @ FLOOR JOIST
A2.4 NTS



7 STEP DETAIL @ BASEMENT
A2.4 NTS

	BUILDING PERMIT	10-10-2024
No.:	Issued For:	Date:

The image shows a professional seal for Sarwat S Ahmed, an Architect. The seal is divided into two main sections. The left section contains the text "ONTARIO ASSOCIATION OF ARCHITECTS" in a circular arrangement around the top. Below this, there is a signature of Sarwat S Ahmed. Underneath the signature, it reads "SARWAT S AHMED" and "LICENCE 7987". The right section of the seal features a circular emblem containing a compass rose and a north arrow pointing upwards, labeled "TRUE NORTH".

PROJECT:

**TOWNHOUSE
DEVELOPMENT**

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE: STAIRCASE PLANS

JOB #	2023019
-------	---------

SCALE:	As indicated
--------	--------------

SHEET NO.: 101

A2.4

MATERIAL LEGEND	
#	DESCRIPTION
01	ASPHALT SHINGLE COLOUR T.B.D.
02	STONE CLADDING COLOUR T.B.D.
03	BRICK CLADDING COLOUR T.B.D.
04	STUCCO FINISH COLOUR T.B.D.
05	VINYL FRAMED GLAZED WINDOW
06	TRIM T.B.D. EAVETROUGH COLOUR T.B.D.
07	3'6"[1070mm]HIGH ALUMINIUM GUARDRAIL
08	PRECASE CONCRETE
09	STUCCO BELLY BAND COLOUR T.B.D.



1 SOUTH (FRONT) ELEVATION
A3.0 1/4" = 1'-0"

PROJECT ARCHITECTS:

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OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

TOWNHOUSE
DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

SOUTH ELEVATION

JOB #

2023019

SCALE:

1/4" = 1'-0"

SHEET NO.:

A3.0

MATERIAL LEGEND	
#	DESCRIPTION
01	ASPHALT SHINGLE COLOUR T.B.D.
02	STONE CLADDING COLOUR T.B.D.
03	BRICK CLADDING COLOUR T.B.D.
04	STUCCO FINISH COLOUR T.B.D.
05	VINYL FRAMED GLAZED WINDOW
06	TRIM T.B.D. EAVETROUGH COLOUR T.B.D.
07	3'6" [1070mm] HIGH ALUMINIUM GUARDRAIL
08	PRECASE CONCRETE
09	STUCCO BELLY BAND COLOUR T.B.D.

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STRUCTURAL ENGINEERS:

BUILDING PERMIT

10-10-2024

No.: Issued For:

Date:



PROJECT:

TOWNHOUSE
DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

NORTH ELEVATION

JOB #

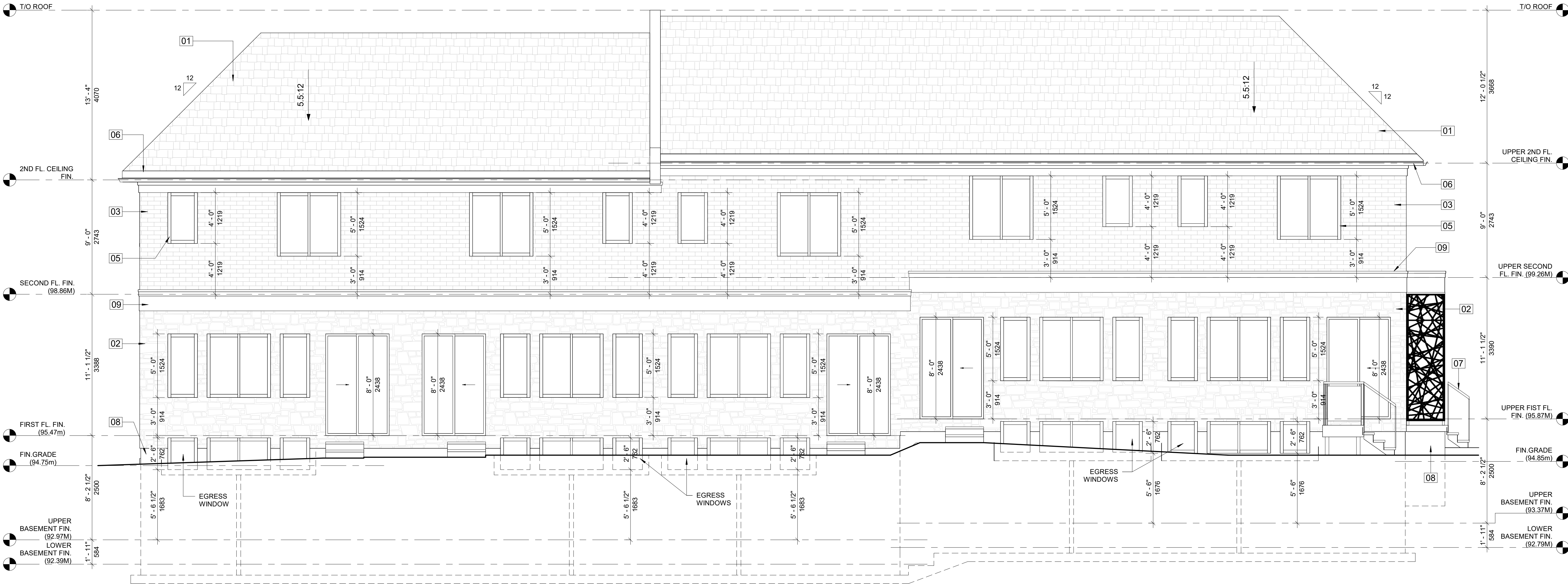
2023019

SCALE:

1/4" = 1'-0"

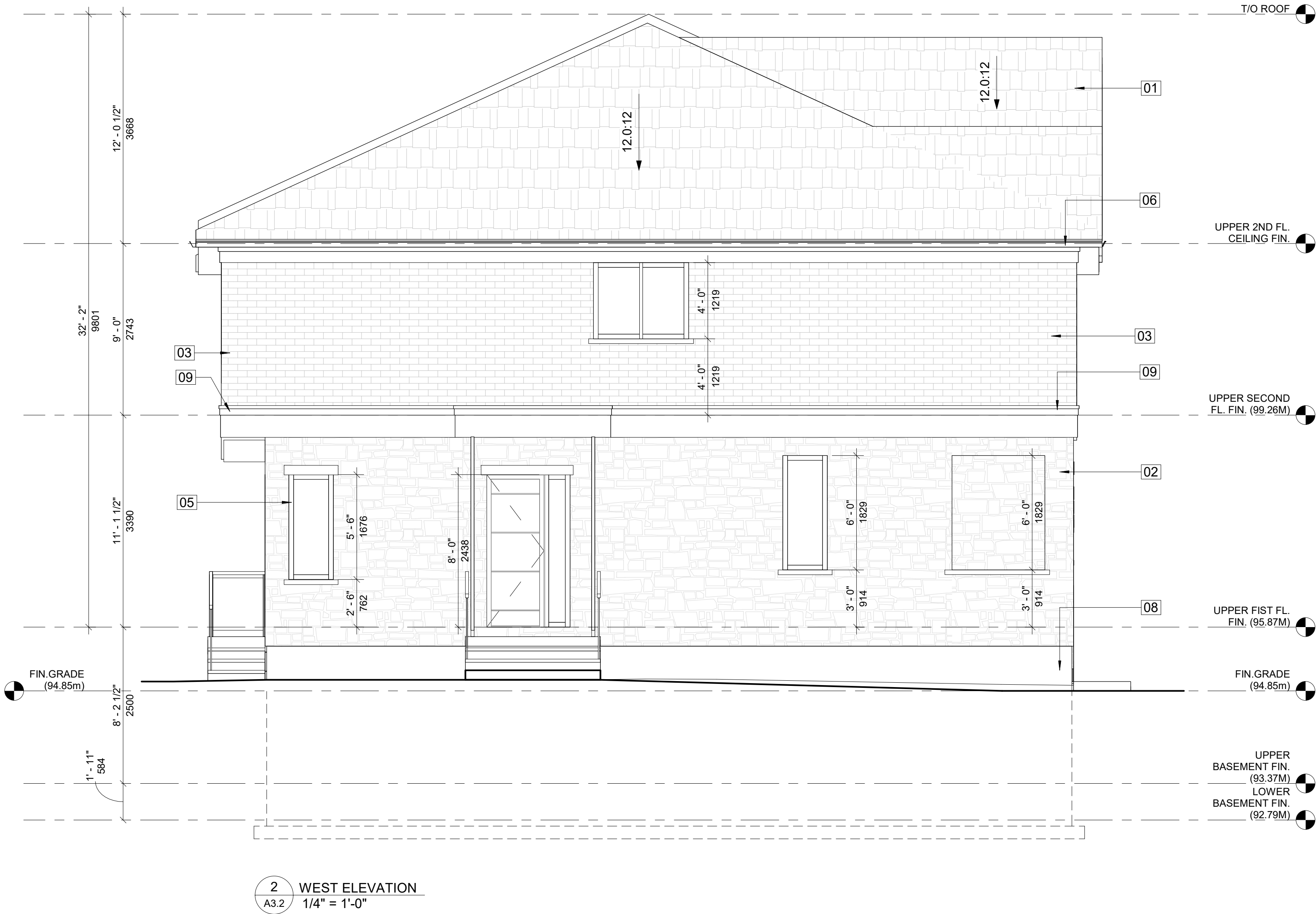
SHEET NO.:

A3.1



1 NORTH (REAR) ELEVATION
1/4" = 1'-0"

MATERIAL LEGEND	
#	DESCRIPTION
01	ASPHALT SHINGLE COLOUR T.B.D.
02	STONE CLADDING COLOUR T.B.D.
03	BRICK CLADDING COLOUR T.B.D.
04	STUCCO FINISH COLOUR T.B.D.
05	VINYL FRAMED GLAZED WINDOW
06	TRIM T.B.D. EAVETRHOUGH COLOUR T.B.D.
07	3'6"[1070mm]HIGH ALUMINIUM GUARDRAIL
08	PRECASE CONCRETE
09	STUCCO BELLY BAND COLOUR T.B.D.



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OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

**TOWNHOUSE
DEVELOPMENT**

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

WEST ELEVATION

JOB #

2023019

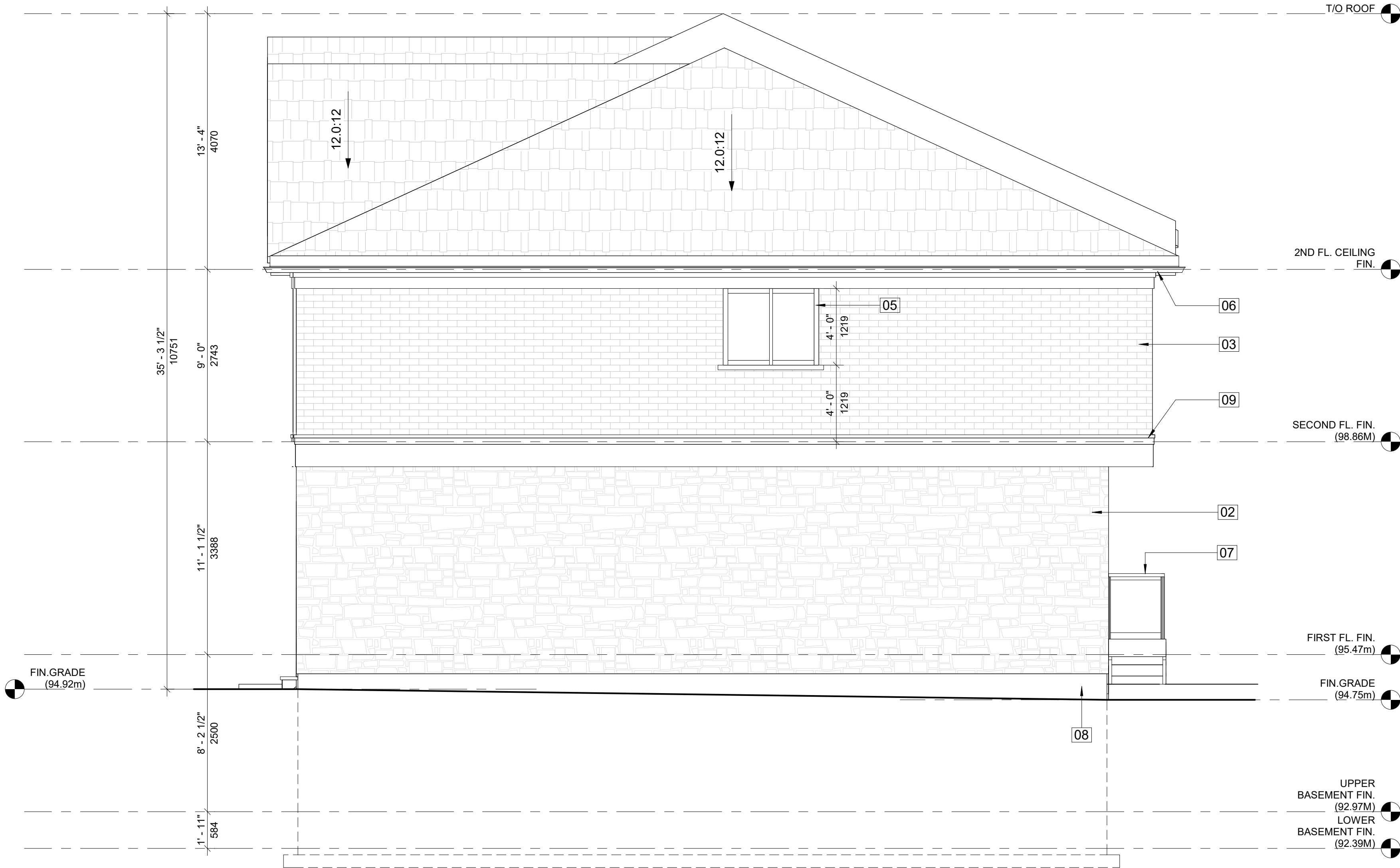
SCALE:

1/4" = 1'-0"

SHEET NO.:

A3.2

MATERIAL LEGEND	
#	DESCRIPTION
01	ASPHALT SHINGLE COLOUR T.B.D.
02	STONE CLADDING COLOUR T.B.D.
03	BRICK CLADDING COLOUR T.B.D.
04	STUCCO FINISH COLOUR T.B.D.
05	VINYL FRAMED GLAZED WINDOW
06	TRIM T.B.D. EAVETRHOUGH COLOUR T.B.D.
07	3'6"[*1070mm]HIGH ALUMINIUM GUARDRAIL
08	PRECASE CONCRETE
09	STUCCO BELLY BAND COLOUR T.B.D.



1 EAST ELEVATION
A3.3 1/4" = 1'-0"

CALCULATION OF UNPROTECTED OPENINGS OBC 2012 (9.10.15.4)

TOTAL EXPOSED WALL AREA = 89.54 SQ.M.
UNPROTECTED OPENING AREA = 1.80 SQ.M. = 2.01%
LIMITING DISTANCE = 1.5 M
%AGE ALLOWED @ 1.5M<100SQM = 7.16SQ.M. = 8%
L/H = 1.98

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NOT BE CARRIED OUT WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

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THEARCHITECT AND SHALL NOT BE
REPRODUCED WITHOUT THE ARCHITECT'S
PERMISSION.

ALLWORKS TO BE DONE ACCORDING TO BEST
COMMON PRACTICE AND CONFORM TO
PREVAILING ONTARIO BUILDING CODE.

OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

TOWNHOUSE
DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

EAST ELEVATION

JOB #

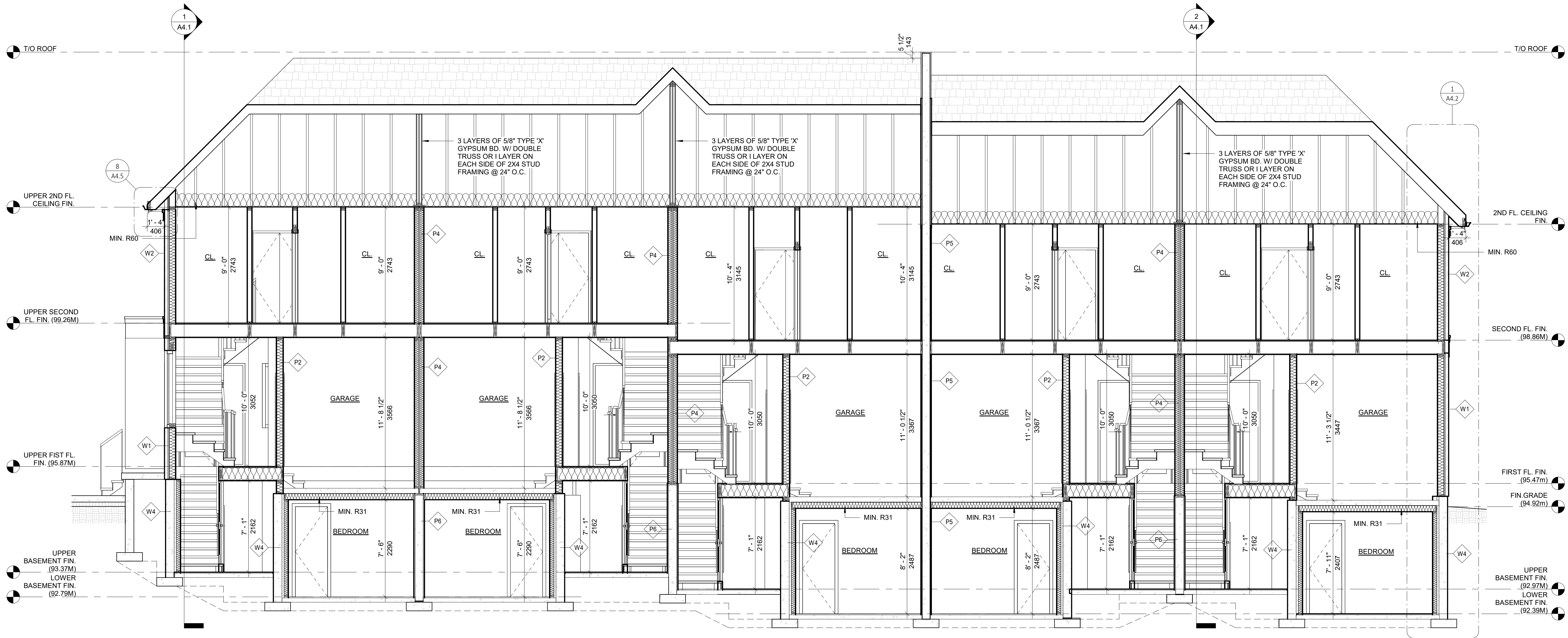
2023019

SCALE:

As indicated

SHEET NO.:

A3.3



1
A4.0 BUILDING SECTION - 1
1/4" = 1'-0"

EXTERIOR WALL TYPES

- W1** 10 1/2" STONE CLADDING EXTERIOR WALL
-WITH INSULATION
3" EXTERIOR CULTURED STONE CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W1A** 10 1/2" STONE/BRICK CLADDING EXTERIOR WALL
-WITH OUT INSULATION
- W2** 10 1/2" BRICK CLADDING EXTERIOR WALL
-WITH INSULATION
3" EXTERIOR CULTURED BRICK CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH

- W2A** 7 1/2" THIN STONE/BRICK CLADDING EXTERIOR WALL
-WITH INSULATION
1" EXTERIOR CULTURED STONE/BRICK VENEER FINISH ON 1/2" SCRATCH COAT, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
1/2" PLYWOOD ON EXTERIOR WALL STUDS 2X6 K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W3** 8 1/8" STUCCO FINISH EXTERIOR WALL
-WITH INSULATION
1/8" STUCCO OVER 2" RIGID INSULATION DRAINAGE LAYER
1/2" R-5 XP INSULSHEATHING EXTERIOR SHEATHING
2"x6" WD. STUDS @ 16" O/C TOP/BOTTOM PLATES
R-24 BATT INSULATION 6MIL POLY AVB.
1/2" GWB TAPPED & PLASTERED, PROVIDE MOISTURE -RESISTANT GWB ON ALL WATER-BOURNE AREAS
- W4** 1-2" POUR CONC. REINFORCED WALL - WITH INSULATION
8" (200) REINFORCED POURED CONCRETE WALLS.
2" CONTINUOUS 2LBS SPRAY FOAM INSULATION, 2x4 WD. STUD WALL OVER 2x4 PJT SILL PLATE, SINGLE BOTTOM AND TOP PLATES @ 16" O/C - C/W R-12 BATT INSULATION, COMBINED R24-, 6 MIL POLY VAPOUR BARRIER, MIN. 1/2" DRYWALL FINISH.

- W4A** 8" POUR CONC. REINFORCED WALL
8" POUR CONC. REINFORCED WALL O/S TROWEL APPLIED WATERPROOFING LAYER, PROTECTION BOARD W/ GRAVEL REFILLING, INTERIOR SMOOTH SURFACE W/ CEMENT MORTAR PARGING WHERE REQUIRED.
- W5** 8" MASONRY WALL
STUCCO FINISH ON 190mm CONCRETE BLOCK WALL OR MATCH THE EXTERIOR WALL FINISH (STONE/BRICK)
- W6** POWDER COATED BLACK METAL CNC CUT SCREENS
3WX10"H EACH, CONNECTORS, FASTENERS AND INSTALLATION AS PER MANUFACTURER
- NOTE: FOR FOUNDATION WALLS TO BE AS PER STRUCTURAL DRWS.
- #### INTERIOR WALL TYPES
- P1** 4 1/2" INTERNAL PARTITION WALL
1/2" G.W.B B/S 2x4 WD. STUDS @16" O/C TAPED, PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B I/S WATER BOURNE AREAS E.G BATHS & KITCHEN
- P2** 6 1/2" INTERIOR WALL - WITH INSULATION
1/2" GWB, SPRAY-FOAM INSULATION R24, GAS PROOF WALL CONSTRUCTION @GARAGE

INTERIOR WALL TYPES

- P3** 10 1/2" INTERIOR LOAD BEARING WALL
1/2" G.W.B. B/S 2x10 WD. STUDS @16" O/C TAPED, PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B I/S WATER BOURNE AREAS E.G BATHS & KITCHEN
- P4** 9" 45 MIN FIRE-RATED (W13b - STC 57) PARTY WALL
1/2" TYPE 'X' G.W.B. ON 2-2x4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1" AIR SPACE, 2-2x4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1/2" TYPE 'X' G.W.B.
- P5** 10" 3 HR FIRE-RATED (B4c - STC 50) CMU
1/2" TYPE 'X' G.W.B. ON 2-2x4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1/2" TYPE 'X' G.W.B.
- P6** 10" 1.5 HR FIRE-RATED (B1b - STC 50) CMU
1/2" G.W.B. TAPED & PLASTERED ON BOTH SIDES, 3/4"x2" WD. STRAPPING @24" O/C. ON 190mm CONCRETE BLOCK
- P7** 4 1/2" 1 HR FIRE-RATED PARTITION WALL
(W8h - OBC.2012 SB3 - STC.50)
1/2" REGULAR G.W.B B/S TAPED & PLASTERED, RESILIENT CHANNEL AT 24" O/C, 3 1/2" BATT INSULATION FRICTION FIT B/W STUDS @ 24" O/C I/B PLATES, PROVIDE MOISTURE RESISTANT 1/2" G.W.B FOR ALL WATER BOURNE AREAS

FLOORING TYPES

- F1** WOOD FLOORING
3/4" ENG. WD. FLOOR TO MATCH EXISTING WD. FLOORING COLOUR (T.B.D.) W/T & G JOINTS OVER 1/8" THICK STYROFOAM UNDERLAY OVER 6MIL A.V.B. OVER FLOOR JOIST OR CONC. SLAB
- F2** PORCELAIN TILES FLOORING
12"x12"x3/4" PORCELAIN TILE FLOORING (COLOUR T.B.D.) W/ MIN 1/2" THICK CEMENT MORTAR MIN. 1/8" WIDE MATCHING GROUTED JOINTS OVER FLOOR JOIST OR CONC. SLAB
- F3** UNFINISHED CONC. FLOORING
4" POURED CONCRETE SLAB, REINFORCED (SEE STRUCT.) MIN. 1/2" SCREED BOARD AROUND PERIMETER, MIN. R-10 (RSI-1.76) RIGID FOAM INSULATION UNDER ENTIRE SLAB, COMPACTED COARSE AND GRANULAR STONE INFILL, SOIL GAS/RADON CONTROL AS PER O.B.C 9.1.1.7 AND 9.13.4.
- F1A** 45 MINUTES FIRE-RATED WOOD FLOORING
-F17d (61 STC)
- F2A** 45 MINUTES FIRE-RATED PORCELAIN TILES FLOORING
-F17d (61 STC)
- F3A** INSULATED UNFINISHED CONC. FLOORING
5" CONC. SLAB (SEE STRUCT.), INSTALL R31 RIGID INSULATION MECHANICALLY FASTENED TO CONC. SLAB B/W 2"x6" WD. STUDS 6MIL POLY AVB. NEW 1/2" WATER RESISTANT GWB CEILING ON PLASTERED, TAPED PROVIDE SMOOTH PLASTER

CEILING TYPES

- C1** 1/2" G.W.B SMOOTH PLASTERED CEILING ON PLASTERED, TAPED PROVIDE SMOOTH PLASTER
- C2** DOUBLE 15.9MM TYPE X GYPSUM WALL BOARD UNDERSIDE OF STAIRCASE
- ER** EXPOSED RAFTER
- #### ROOF TYPES
- R1** PROPOSED SLOPED ROOF CONST.
ASPHALT SHINGLES TO MATCH EXISTING #15 BUILDING PAPER, 5/8" EXT. PLYWOOD SHEATHING OVER WD. JOISTS (SEE FLOOR PLANS), R60 INSULATION, 1/2" G.W.B TAPED & PLASTERED
- R2** PROPOSED FLAT ROOF
2" PEA GRAVEL OVER EPDM RUBBERIZED ROOFING ADHERED 3/4" EXTERIOR SHEATHING MIN. SLOPED 2% OVER STRAIGHT ROOF JOISTS FILLED W/ MIN. @ 2LB/SQ.FT. B/W THE ROOF JOISTS 5/8" THICK G.W.B. CEILING TAPED, SMOOTHED PLASTERED, SANDED AND PAINTED

PROJECT ARCHITECTS:

ARCHISYSTEM INC.

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465

279 Main Street North
Brampton, ON L6X 1N4
Tel: 905-858-2565 Cell: 647-295-2565
www.thearchisystem.com
email: archisystem@gmail.com

NOTES:

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OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

BUILDING SECTION

JOB #

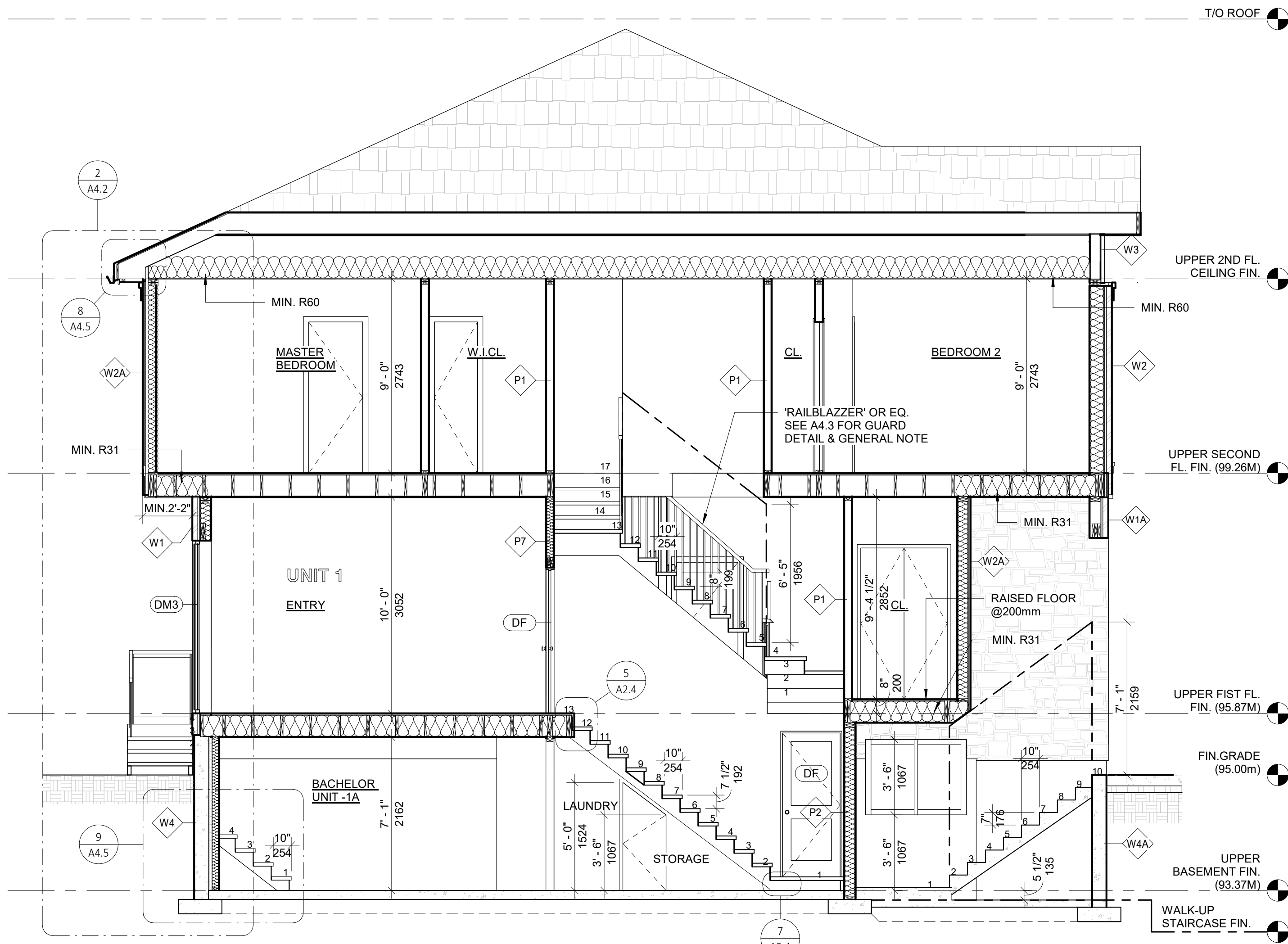
2023019

SCALE:

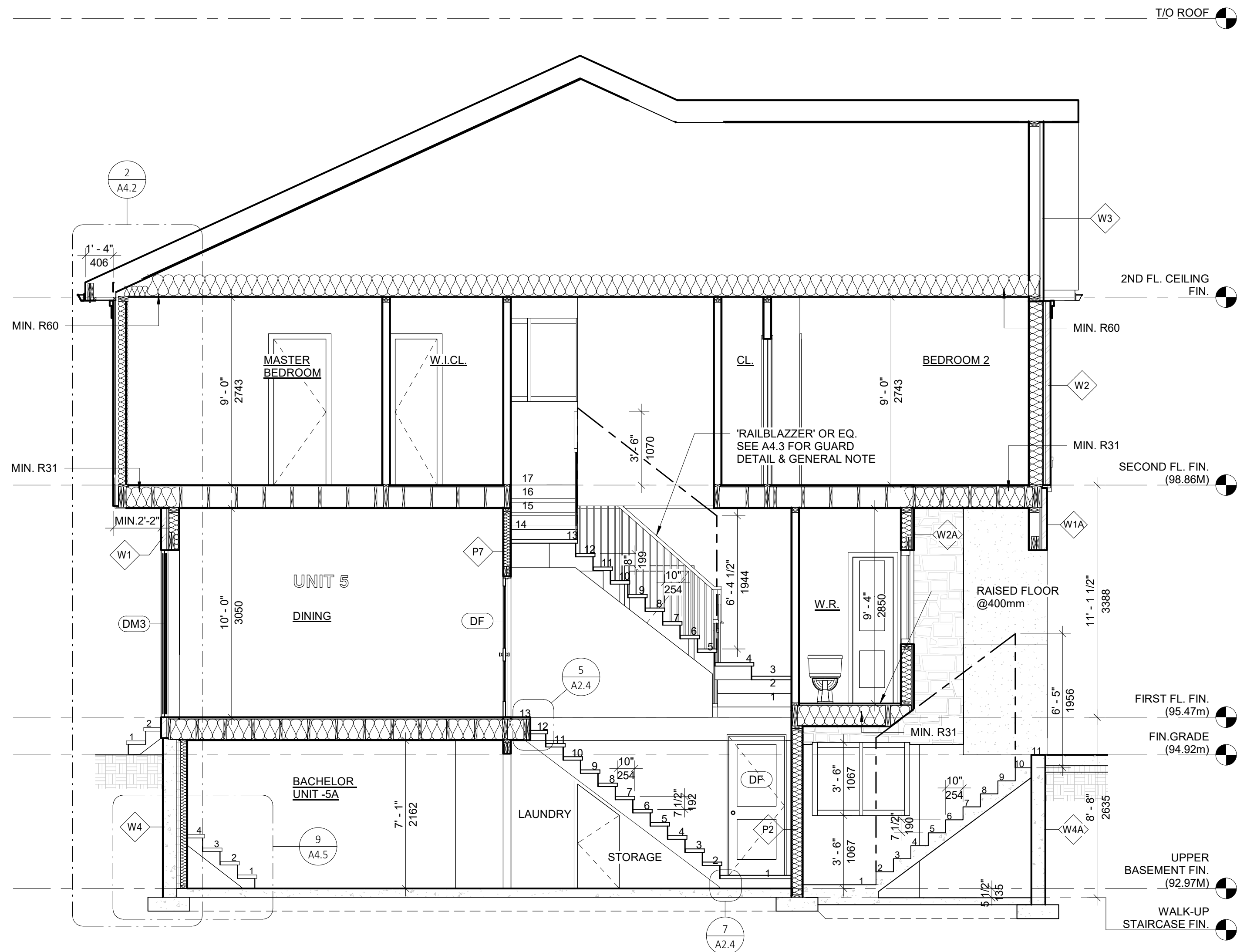
As indicated

SHEET NO.:

A4.0



1 BUILDING SECTION -2
1/4" = 1'-0"



2 BUILDING SECTION -3
1/4" = 1'-0"

EXTERIOR WALL TYPES

- W1** 10 1/2" STONE CLADDING EXTERIOR WALL -WITH INSULATION
3" EXTERIOR CULTURED STONE CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
EXTERIOR WALL STUDS 2x6 (38X140) K.D. SPRUCE @16" (406)
O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8' PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W1A** 10 1/2" STONE/BRICK CLADDING EXTERIOR WALL -WITH OUT INSULATION
- W2** 10 1/2" BRICK CLADDING EXTERIOR WALL -WITH INSULATION
3" EXTERIOR CULTURED BRICK CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
EXTERIOR WALL STUDS 2x6 (38X140) K.D. SPRUCE @16" (406)
O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8' PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH

- W2A** 7 1/2" THIN STONE/BRICK CLADDING EXTERIOR WALL -WITH INSULATION
1" EXTERIOR CULTURED STONE/BRICK VENEER FINISH ON 1/2" SCRATCH COAT, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
1/2" PLYWOOD ON EXTERIOR WALL STUDS 2x6 K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
EXTERIOR WALL SHEATHING 1/2"x4"x8' PLYWOOD OR EQ.
R-24 (RSI-4.23) BATT INSULATION
APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH
- W3** 8 1/8" STUCCO FINISH EXTERIOR WALL -WITH INSULATION
1/8" STUCCO OVER 2" RIGID INSULATION DRAINAGE LAYER
1/2" R-5 XP INSULSHEATHING EXTERIOR SHEATHING
2"x6" WD. STUDS @ 16" O/C TOP/BOTTOM PLATES
R-24 BATT INSULATION 6MIL POLY AVB.
1/2" GWB TAPPED & PLASTERED, PROVIDE MOISTURE -RESISTANT GWB ON ALL WATER-BOURNE AREAS
- W4** 1-2" POUR CONC. REINFORCED WALL - WITH INSULATION
8" (200) REINFORCED POURED CONCRETE WALLS.
2" CONTINUOUS 2LBS SPRAY FOAM INSULATION, 2x4 WD. STUD WALL OVER 2x4 PTT SILL PLATE, SINGLE BOTTOM AND TOP PLATES @ 16" O/C - C/W R-12 BATT INSULATION, COMBINED R24-, 6 MIL POLY VAPOUR BARRIER, MIN. 1/2" DRYWALL FINISH.

- W4A** 8" POUR CONC. REINFORCED WALL
8" POUR CONC. REINFORCED WALL O/S TROWEL APPLIED WATERPROOFING LAYER, PROTECTION BOARD W/ GRAVEL REFILLING, INTERIOR SMOOTH SURFACE W/ CEMENT MORTAR PARGING WHERE REQUIRED.
- W5** 8" MASONRY WALL
STUCCO FINISH ON 190mm CONCRETE BLOCK WALL OR MATCH THE EXTERIOR WALL FINISH (STONE/BRICK)
- W6** POWDER COATED BLACK METAL CNC CUT SCREENS
3Wx10H EACH, CONNECTORS, FASTENERS AND INSTALLATION AS PER MANUFACTURER
- NOTE: FOR FOUNDATION WALLS TO BE AS PER STRUCTURAL DRWS.
- #### INTERIOR WALL TYPES
- P1** 4 1/2" INTERNAL PARTITION WALL
1/2" G.W.B B/S 2x4 WD. STUDS @16" O/C TAPED, PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B I/S WATER BOURNE AREAS E.G BATHS & KITCHEN
- P2** 6 1/2" INTERIOR WALL -WITH INSULATION
1/2" GWB, SPRAY-FOAM INSULATION R24, GAS PROOF WALL CONSTRUCTION @GARAGE

INTERIOR WALL TYPES

- P3** 10 1/2" INTERIOR LOAD BEARING WALL
1/2" G.W.B. B/S 2x10 WD. STUDS @16" O/C TAPED, PLASTERED, SANDED AND PAINTED. PROVIDE MOISTURE RESISTANT G.W.B I/S WATER BOURNE AREAS E.G BATHS & KITCHEN
- P4** 9" 45 MIN FIRE-RATED (W13b - STC 57) PARTY WALL
1/2" TYPE 'X' G.W.B. ON 2-2x4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1" AIR SPACE, 2-2x4 WD. STUDS @16" O/C. FILLED W/ ROXUL SAFE & SOUND BATT INSULATION, 1/2" TYPE 'X' G.W.B.
- P5** 10" 3 HR FIRE-RATED (B4c - STC 50) CMU
1/2" G.W.B. TAPED & PLASTERED ON BOTH SIDES, 3/4"x2" WD. STRAPPING @24" O/C. ON 190mm CONCRETE BLOCK
- P6** 10" 1.5 HR FIRE-RATED (B1b - STC 50) CMU
1/2" G.W.B. TAPED & PLASTERED ON BOTH SIDES, 3/4"x2" WD. STRAPPING @24" O/C. ON 190mm CONCRETE BLOCK
- P7** 4 1/2" 1 HR FIRE-RATED PARTITION WALL (W8h - OBC.2012 SB3 - STC.50)
1/2" REGULAR G.W.B B/S TAPED & PLASTERED, RESILIENT CHANNEL AT 24" O/C, 3 1/2" BATT INSULATION FRICTION FIT B/W STUDS @ 24" O/C 1/8 PLATES, PROVIDE MOISTURE RESISTANT 1/2" G.W.B FOR ALL WATER BOURNE AREAS

FLOORING TYPES

- F1** WOOD FLOORING
3/4" ENG. WD. FLOOR TO MATCH EXISTING WD. FLOORING COLOUR (T.B.D.) W/T & G. JOINTS OVER 1/8" THICK STYROFOAM UNDERLAY OVER 6MIL A.V.B. OVER FLOOR JOIST OR CONC. SLAB
- F2** PORCELAIN TILES FLOORING
12"x12"x3/4" PORCELAIN TILE FLOORING (COLOUR T.B.D.) W/ MIN 1/2" THICK CEMENT MORTAR MIN. 1/8" WIDE MATCHING GROUTED JOINTS OVER FLOOR JOIST OR CONC. SLAB
- F3** UNFINISHED CONC. FLOORING
4" POURED CONCRETE SLAB, REINFORCED (SEE STRUCT.) MIN. 1/2" SCREED BOARD AROUND PERIMETER, MIN. R-10 (RSI-1.76) RIGID FOAM INSULATION UNDER ENTIRE SLAB, COMPACTED COARSE AND GRANULAR STONE INFILL, SOIL GAS/RADON CONTROL AS PER O.B.C 9.1.1.7 AND 9.13.4.
- F1A** 45 MINUTES FIRE-RATED WOOD FLOORING -F17d (61 STC)
- F2A** 45 MINUTES FIRE-RATED PORCELAIN TILES FLOORING -F17d (61 STC)
- F3A** INSULATED UNFINISHED CONC. FLOORING
5" CONC. SLAB (SEE STRUCT.), INSTALL R31 RIGID INSULATION MECHANICALLY FASTENED TO CONC. SLAB B/W 2"x6" WD. STUDS 6MIL POLY AVB. NEW 1/2" WATER RESISTANT GWB CEILING ON PLASTERED, TAPED PROVIDE SMOOTH PLASTER

CEILING TYPES

- C1** 1/2" GWB SMOOTH PLASTERED CEILING ON PLASTERED, TAPED PROVIDE SMOOTH PLASTER
- C2** DOUBLE 15.9MM TYPE X GYPSUM WALL BOARD UNDERSIDE OF STAIRCASE
- ER** EXPOSED RAFTER
- #### ROOF TYPES
- R1** PROPOSED SLOPED ROOF CONST.
ASPHALT SHINGLES TO MATCH EXISTING #15 BUILDING PAPER, 5/8" EXT. PLYWOOD SHEATHING OVER WD. JOISTS (SEE FLOOR PLANS), R60 INSULATION, 1/2" GWB TAPED & PLASTERED
- R2** PROPOSED FLAT ROOF
2" PEA GRAVEL OVER EPDM RUBBERIZED ROOFING ADHERED 3/4" EXTERIOR SHEATHING MIN. SLOPED 2% OVER STRAIGHT ROOF JOISTS FILLED W/ MIN. @ 2LB/SQ.FT. B/W THE ROOF JOISTS 5/8" THICK GWB. CEILING TAPED, SMOOTHED PLASTERED, SANDED AND PAINTED

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CERTIFICATE OF PRACTICE # 5465

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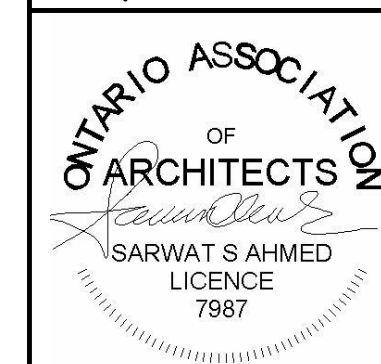
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OWNER / CLIENT:

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STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

BUILDING SECTIONS 2 & 3

JOB #

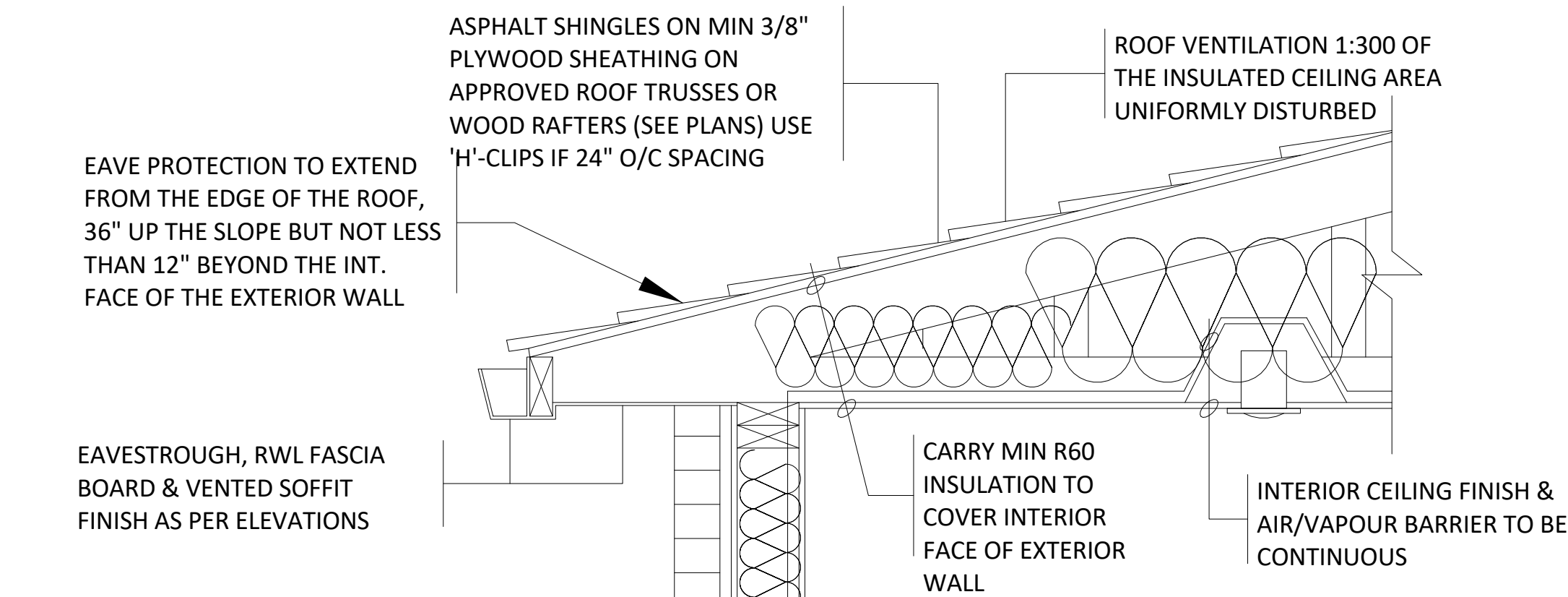
2023019

SCALE:

As indicated

SHEET NO.:

A4.1



3" EXTERIOR CULTURED BRICK CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
-EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
-EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ.
-R-24 (RSI-4.23) BATT INSULATION APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH

3" EXTERIOR CULTURED STONE CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
-EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
-EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ.
-R-24 (RSI-4.23) BATT INSULATION APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH

EXISTING WEEPER VENT
SLOPE GRADE AWAY FROM BUILDING FACE
POURED CONCRETE WALLS TO HAVE TIE HOLES FILLED W/ CEMENT MORTAR OR DAMPPROOFING

BITUMINOUS DAMPPROOFING ON MINIMUM 1/4" PARGING ON CONCRETE BLOCK FND. WALL W/ PARGING COVERED OVER POURED CONC. FOOTING

4" DIA. WEEPER TILE W/ 6" CRUSHED STONE COVER

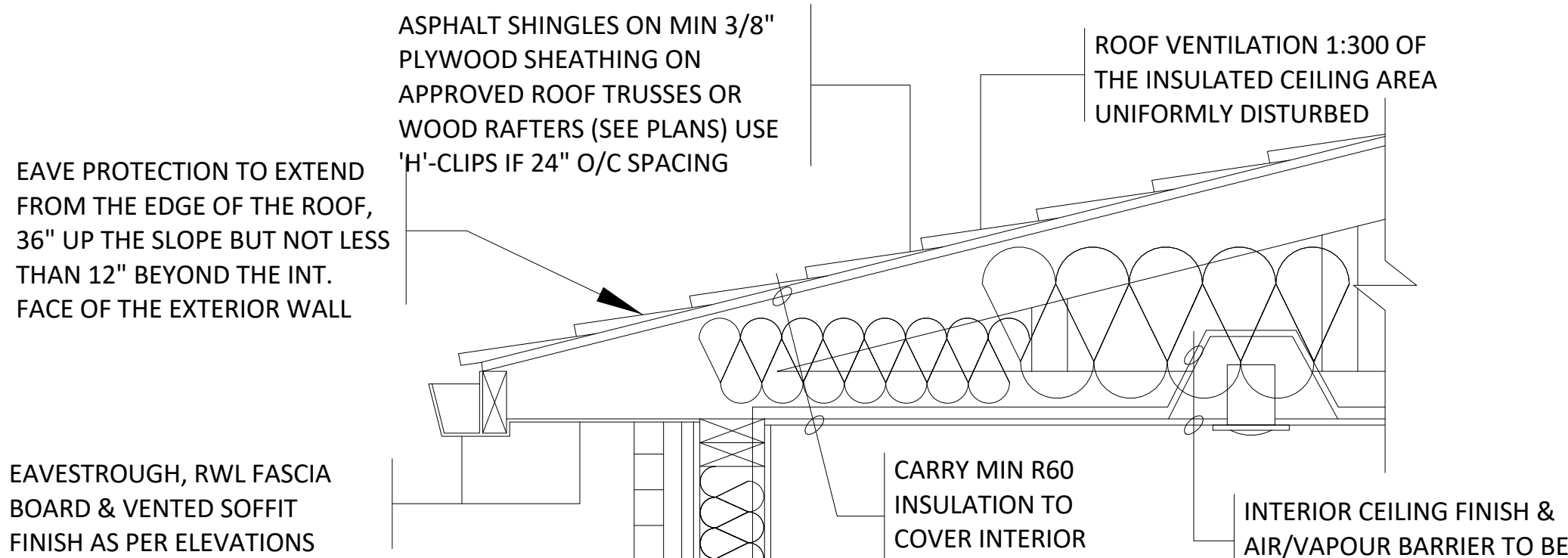
CONCRETE FOOTING. MIN 24"x8"

WOOD SILL PLATE FASTENED TO FOUNDATION WALL W/ MINIMUM 1/2" DIA ANCHOR BOLTS EMBEDDED MIN 4" IN CONC. @ 7'-10" O/C MAX & PROVIDE CAULKING OR GASKET BETWEEN PLATE & FND. WALL

POURED CONCRETE WALL 20 MPa AT 28 DAYS. POURED MIN 6" ABOVE FINISHED GRADE. SEE NOTE 2 FOR REINFORCEMENT

BASEMENT SLAB MIN 3" POURED CONCRETE SLAB 2200 PSI W/ 6 MIL POLY 3600 PSI W/O POLY 4" CRUSHED STONE WHERE REQUIRED

1 WALL SECTION -1
A4.2 1" = 1'-0"



1/2" EXTERIOR CULTURED STONE/ BRICK CLADDING FINISH ON 1/2" SCRATCH COAT, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
-1/2" PLYWOOD ON EXTERIOR WALL STUDS 2x6 K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
-EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ.
-R-24 (RSI-4.23) BATT INSULATION -APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH

STEEL ANGLE

WOOD BEAM. SEE PLAN FOR SIZING

3" EXTERIOR CULTURED STONE CLADDING FINISH, EXTERIOR APPROVED CONTINUOUS AIR BARRIER HOUSE WRAP, ALL JOINTS LAPPED & SEALED W/ APPROVED TAPE.
-EXTERIOR WALL STUDS 2X6 (38X140) K.D. SPRUCE @16" (406) O.C. W/ SINGLE BOTTOM PLATE & DOUBLE TOP PLATES
-EXTERIOR WALL SHEATHING 1/2"x4"x8" PLYWOOD OR EQ.
-R-24 (RSI-4.23) BATT INSULATION APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, MIN. 1/2" (12.7) DRYWALL FINISH

SLOPE GRADE AWAY FROM BUILDING FACE
POURED CONCRETE WALLS TO HAVE TIE HOLES FILLED W/ CEMENT MORTAR OR DAMPPROOFING

BITUMINOUS DAMPPROOFING ON MINIMUM 1/4" PARGING ON CONCRETE BLOCK FND. WALL W/ PARGING COVERED OVER POURED CONC. FOOTING

4" DIA. WEEPER TILE W/ 6" CRUSHED STONE COVER

CONCRETE FOOTING. MIN 24"x8"

WOOD SILL PLATE FASTENED TO FOUNDATION WALL W/ MINIMUM 1/2" DIA ANCHOR BOLTS EMBEDDED MIN 4" IN CONC. @ 7'-10" O/C MAX & PROVIDE CAULKING OR GASKET BETWEEN PLATE & FND. WALL

POURED CONCRETE WALL 20 MPa AT 28 DAYS. POURED MIN 6" ABOVE FINISHED GRADE. SEE NOTE 2 FOR REINFORCEMENT

BASEMENT SLAB MIN 3" POURED CONCRETE SLAB 2200 PSI W/ 6 MIL POLY 3600 PSI W/O POLY 4" CRUSHED STONE WHERE REQUIRED

2 WALL SECTION -2
A4.2 1" = 1'-0"

PROJECT ARCHITECTS:

ARCHISYSTEM INC.

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465

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Tel: 905-858-2565 Cell: 647-295-2565
www.thearchisystem.com
email: archisystem@gmail.com

NOTES:

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OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT

10-10-2024

No.:

Issued For:

Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

EXTERIOR WALL
SECTIONS

JOB #

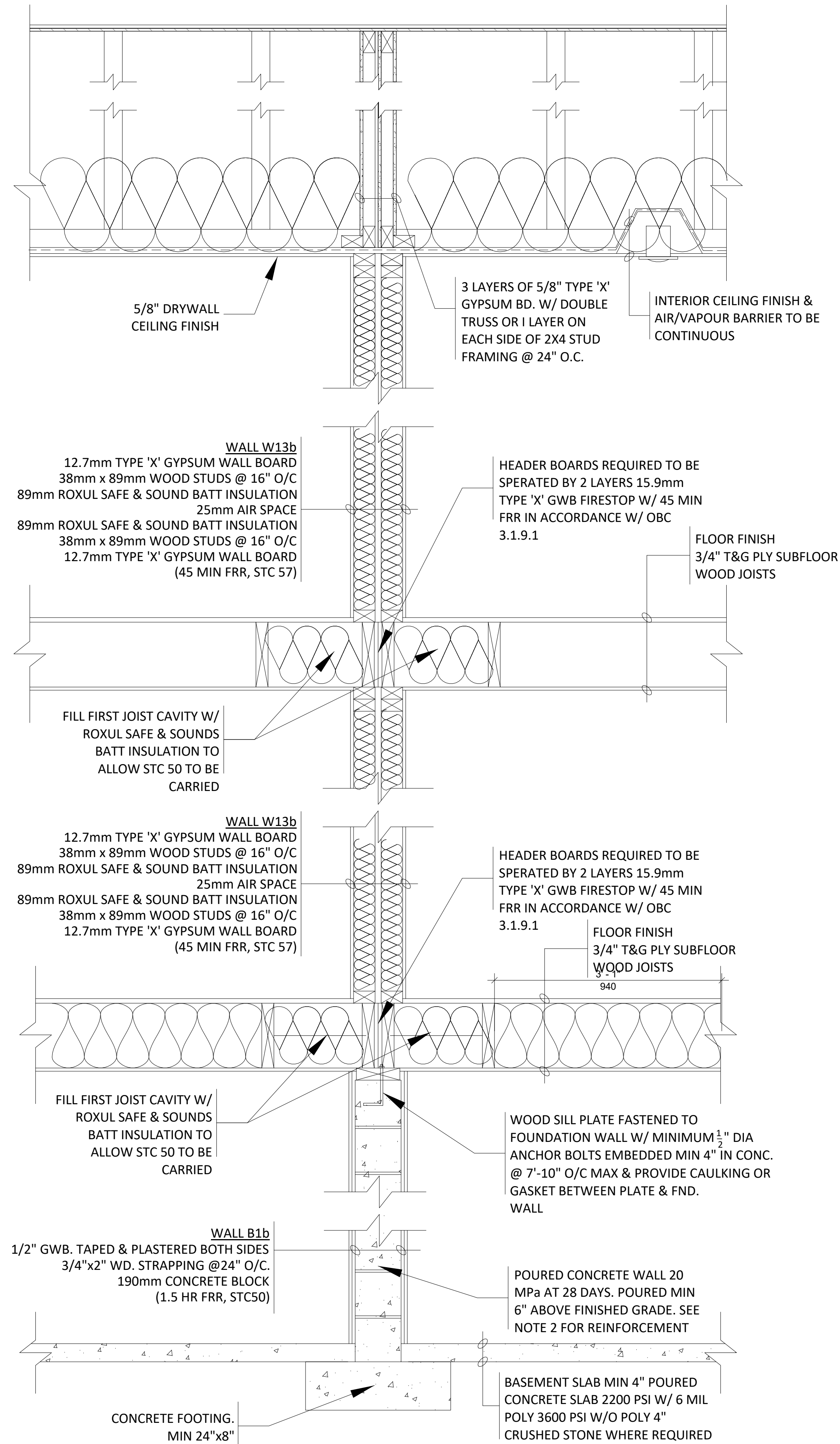
2023019

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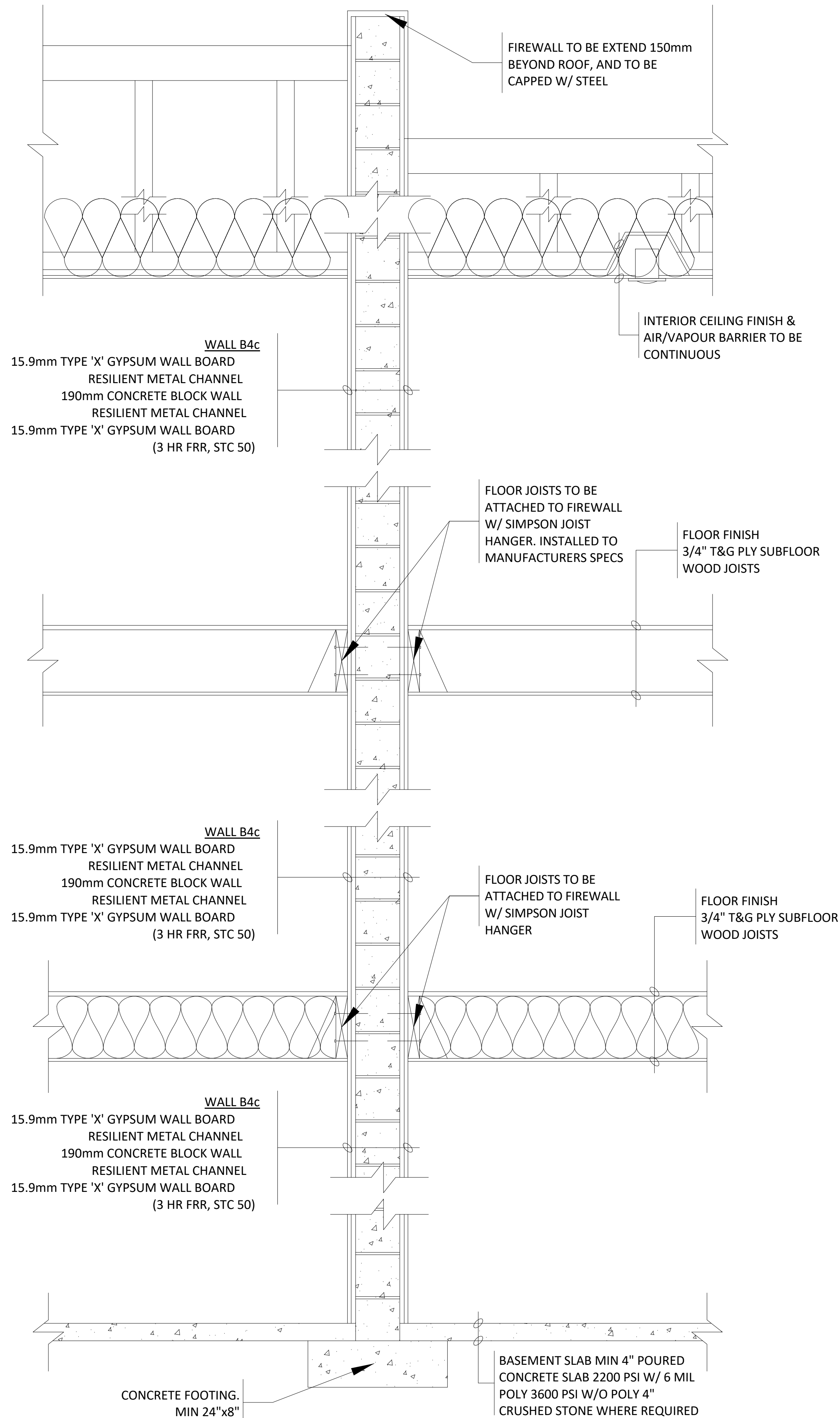
1" = 1'-0"

SHEET NO.:

A4.2



1 INTERIOR WALL SECTION -1
A4.3 1" = 1'-0"



2 INTERIOR WALL SECTION -2
A4.3 1" = 1'-0"

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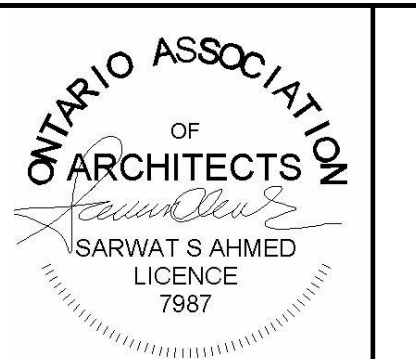
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Issued For: Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

INTERIOR WALL
SECTIONS

JOB #

2023019

SCALE:

1" = 1'-0"

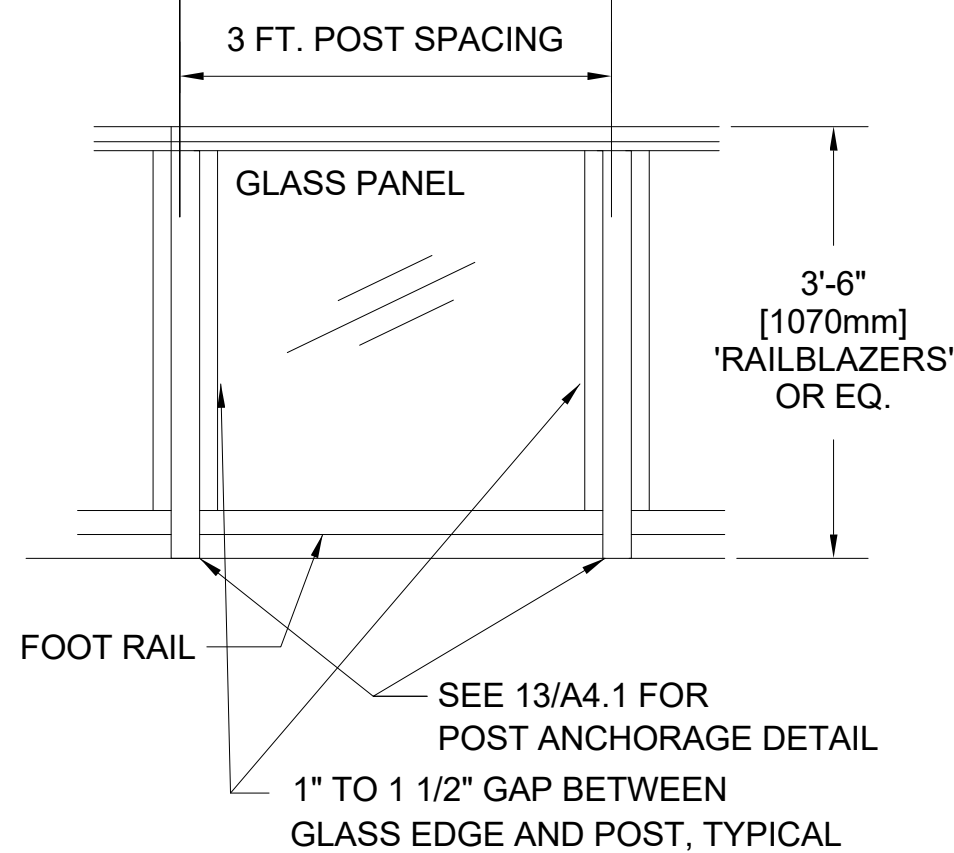
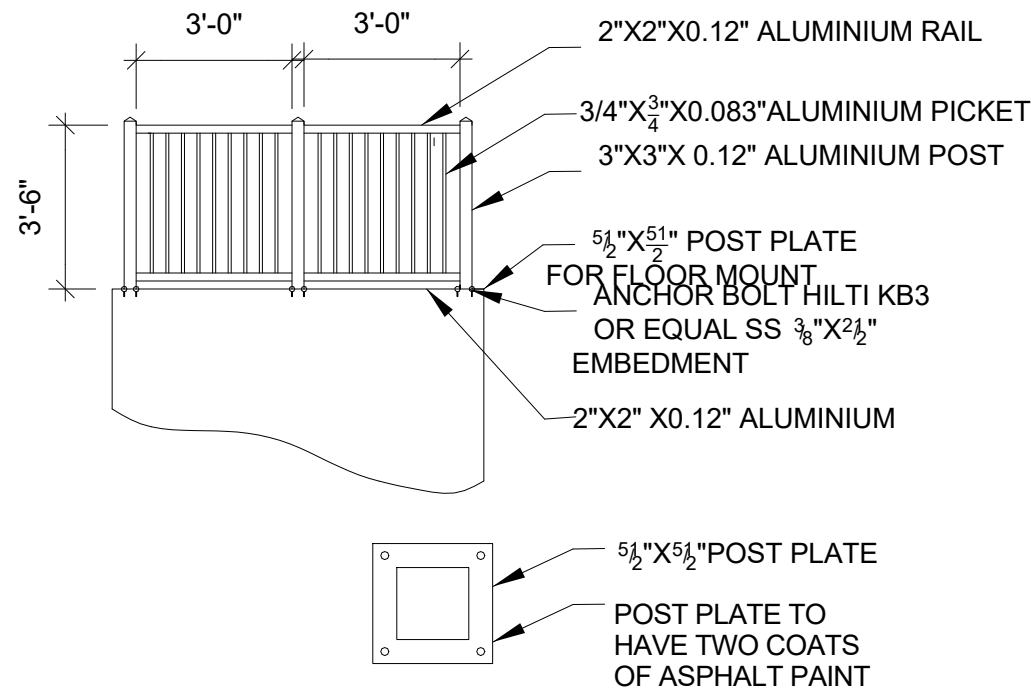
SHEET NO.:

A4.3

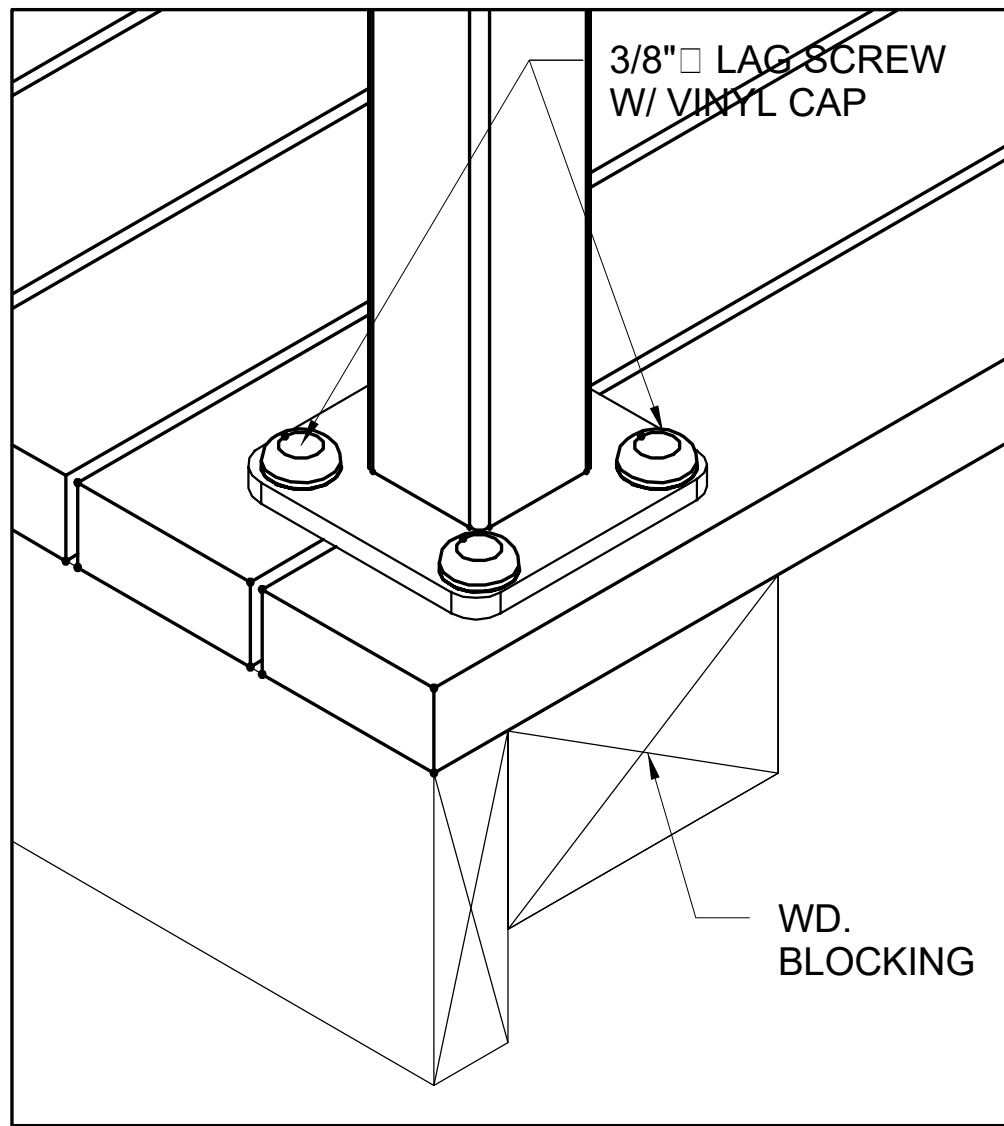
GENERAL NOTES FOR GUARD

1. A WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND REGULATIONS
2. MATERIAL SHALL BE AS FOLLOWS
- 2.1 CONCRETE 32MPa AT 2DAYS WITH 5%AIR ENTERTAINMENT REINFORCEMENT STEEL CBA 18M GRADE 400
- 2.2 REINFORCEMENT STEEL CSA G30 18M GRADE 400
- 2.3 GROUT HILTI HIT HY 200 OR EQUAL
- 2.4 BACKFILL TO BE OPS GRANULAR B1 OR SUITABLE EXCAVATED MATERIAL
3. ELECTRIC FEED FOR THE LIGHT TO E SEPARATE FROM ANY OTHER SWITCHED CIRCUIT
4. EXTERIOR DOOR SHALL CONFORM TO STANDARD AS PER OBC AND RESIST FORCE ENTRY
5. EMERGENCY WINDOW SHALL CONFIRM TO STANDARD AS PER OBC 9.9.10.1

GUARD SPECIFICATIONS

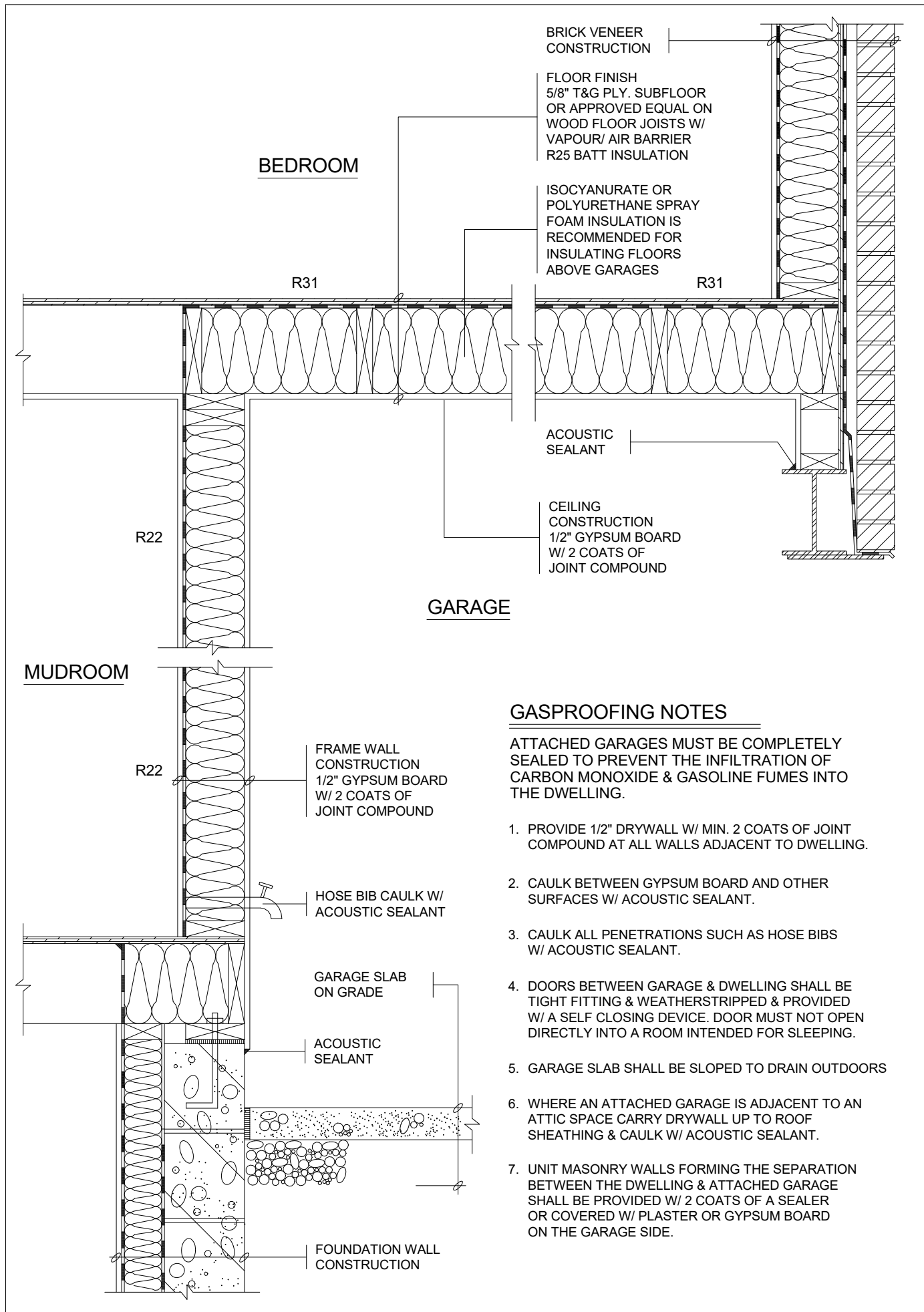


1
A4.4
GUARD RAIL DETAIL NOTE & SPEC.
NTS



POST ANCHORAGE CONNECTION 3D

4
A4.4
POST ANCHORAGE DETAIL
NTS

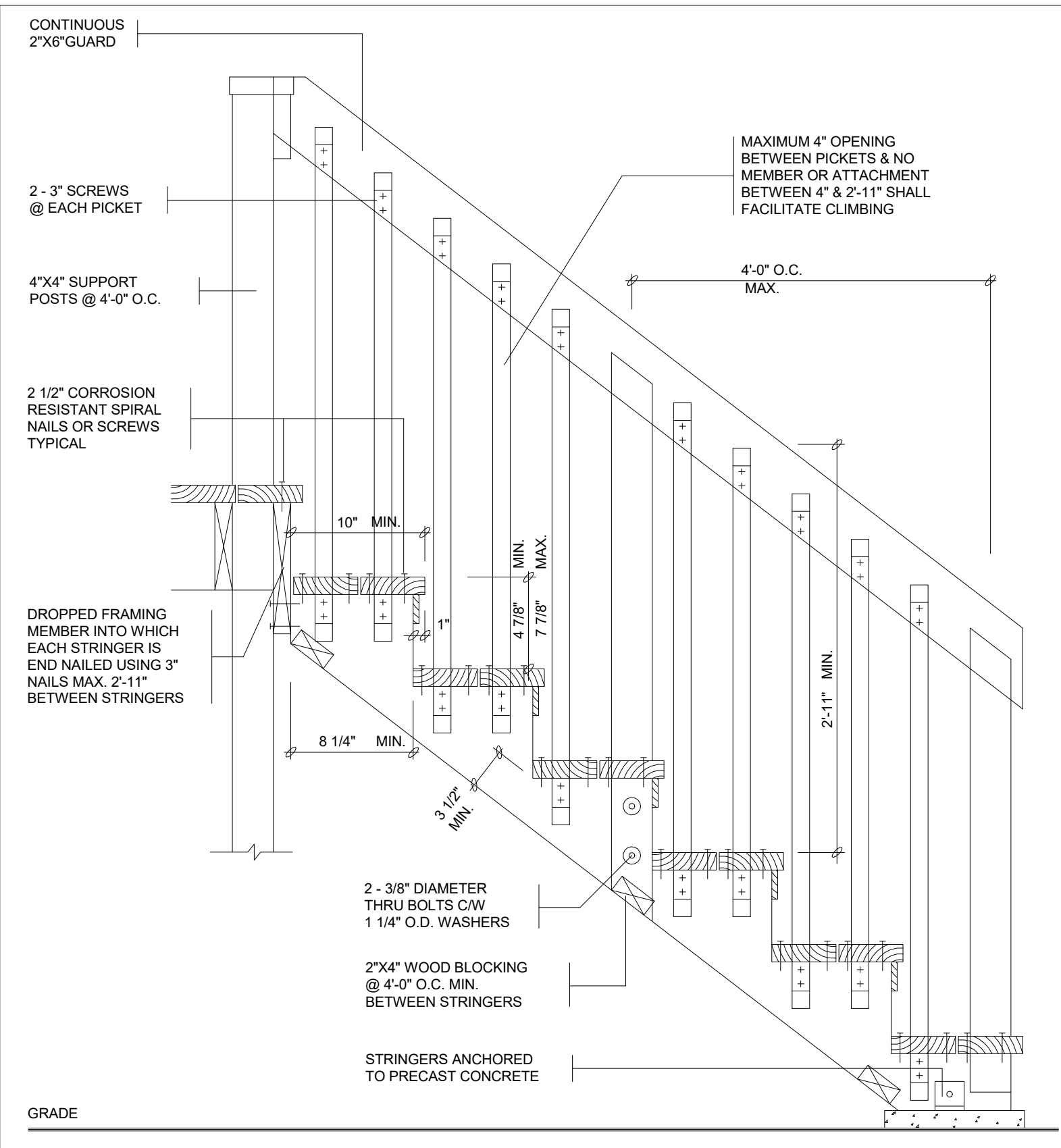


2
A4.4
GARAGE GAS PROOFING
DETAIL
NTS

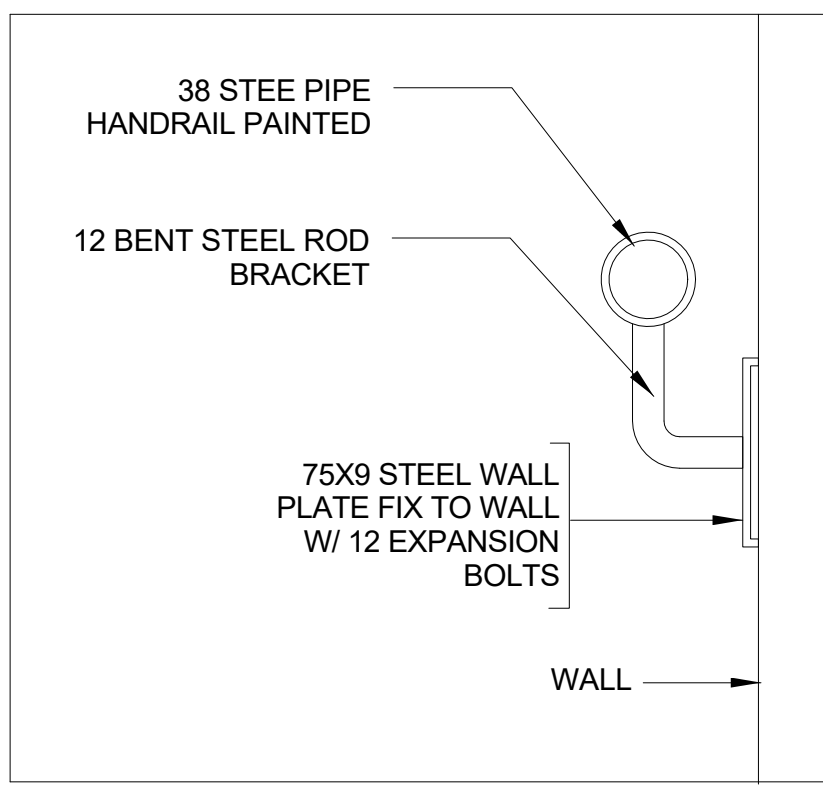
GASPROOFING NOTES

ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING.

1. PROVIDE 1/2" DRYWALL W/ MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.
2. CAULK BETWEEN GYPSUM BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT.
3. CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ ACOUSTIC SEALANT.
4. DOORS BETWEEN GARAGE & DWELLING SHALL BE TIGHT FITTING & WEATHERSTRIPPED & PROVIDED W/ A SELF CLOSING DEVICE. DOOR MUST NOT OPEN DIRECTLY INTO A ROOM INTENDED FOR SLEEPING.
5. GARAGE SLAB SHALL BE SLOPED TO DRAIN OUTDOORS
6. WHERE AN ATTACHED GARAGE IS ADJACENT TO AN ATTIC SPACE CARRY DRYWALL UP TO ROOF SHEATHING & CAULK W/ ACOUSTIC SEALANT.
7. UNIT MASONRY WALLS FORMING THE SEPARATION BETWEEN THE DWELLING & ATTACHED GARAGE SHALL BE PROVIDED W/ 2 COATS OF A SEALER OR COVERED W/ PLASTER OR GYPSUM BOARD ON THE GARAGE SIDE.



3
A4.4
TYP. WD. STAIR DETAIL
NTS



5
A4.4
HANDRAIL DETAIL
NTS

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PROJECT:

TOWNHOUSE
DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

DETAILS

JOB #

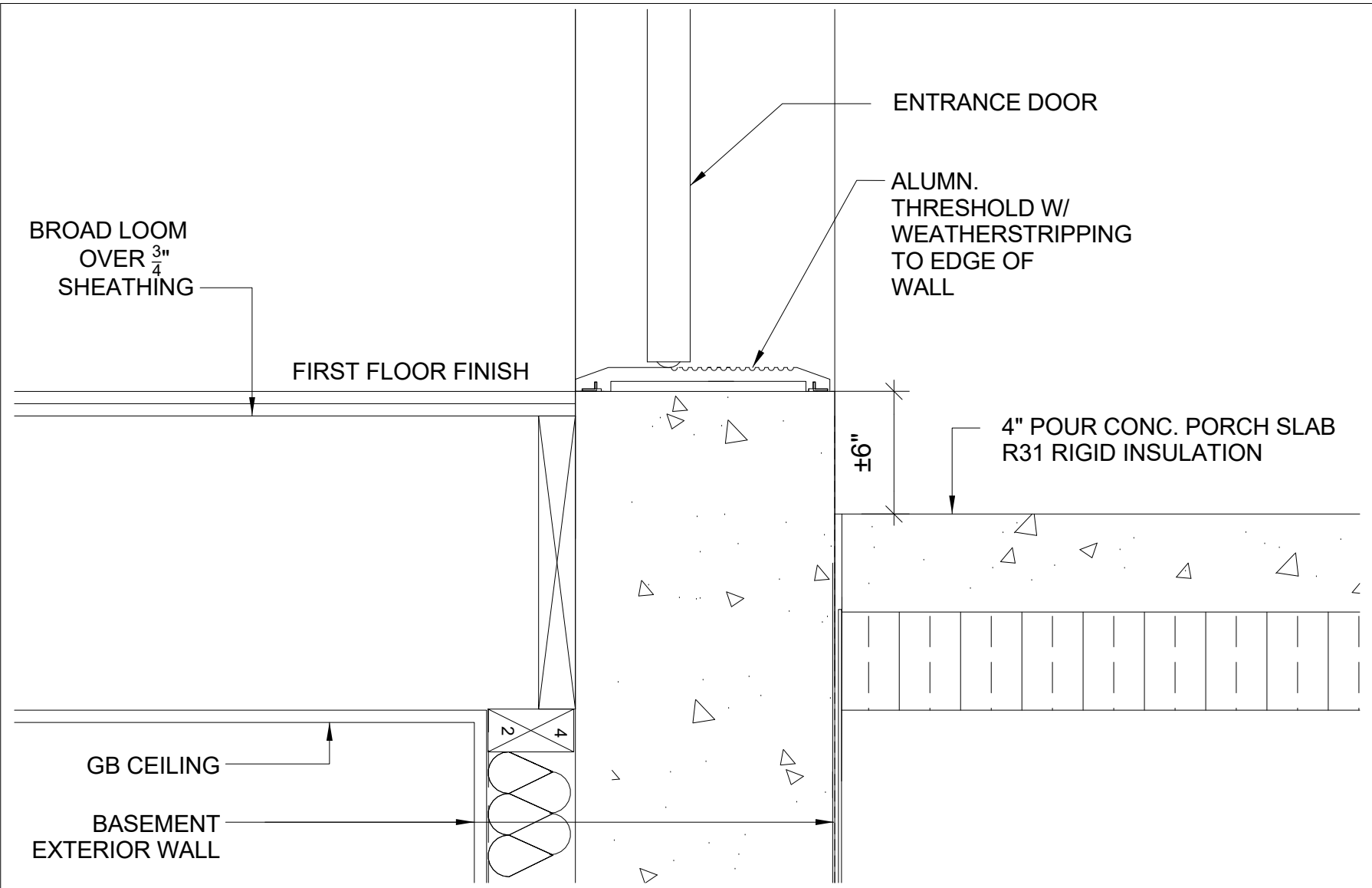
2023019

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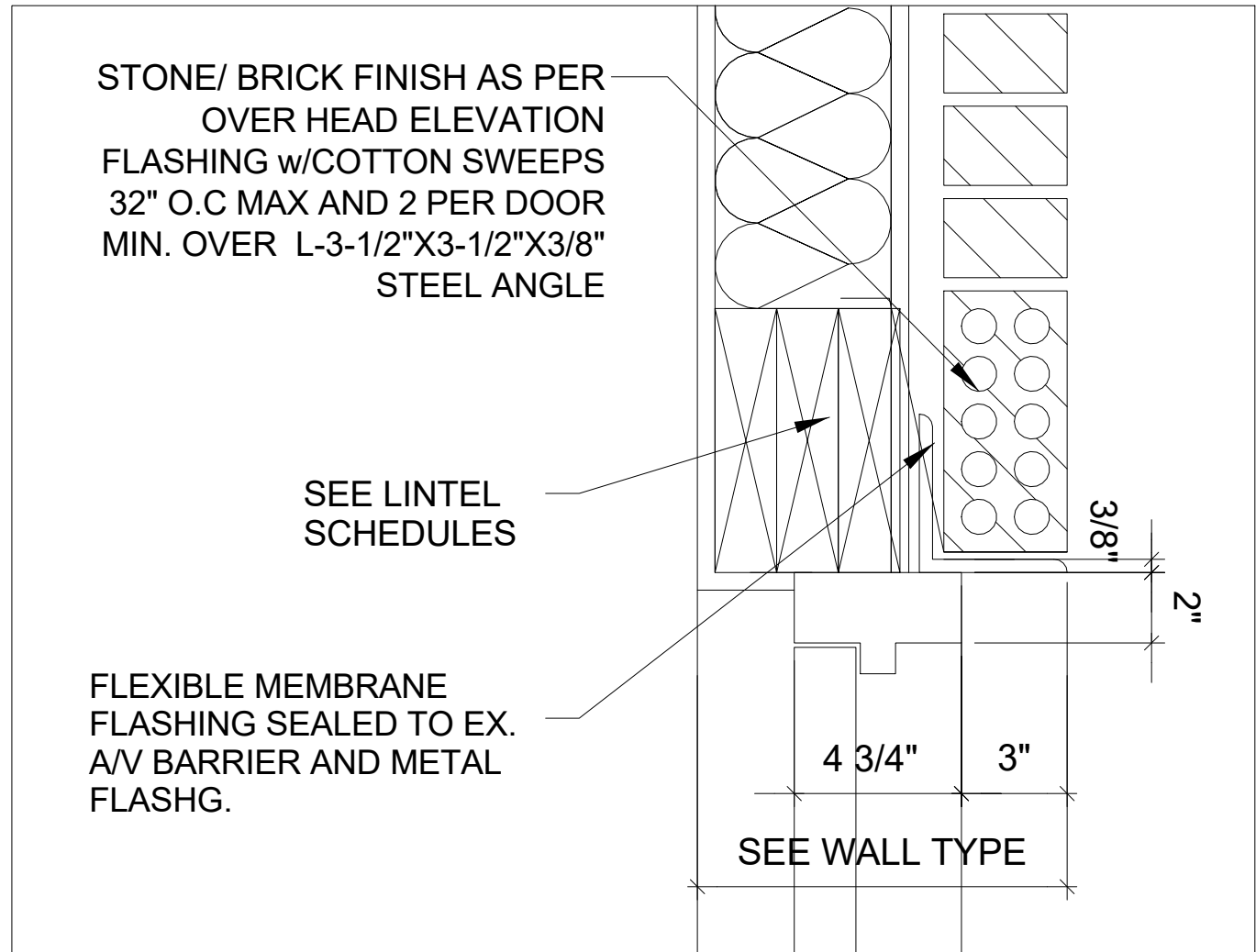
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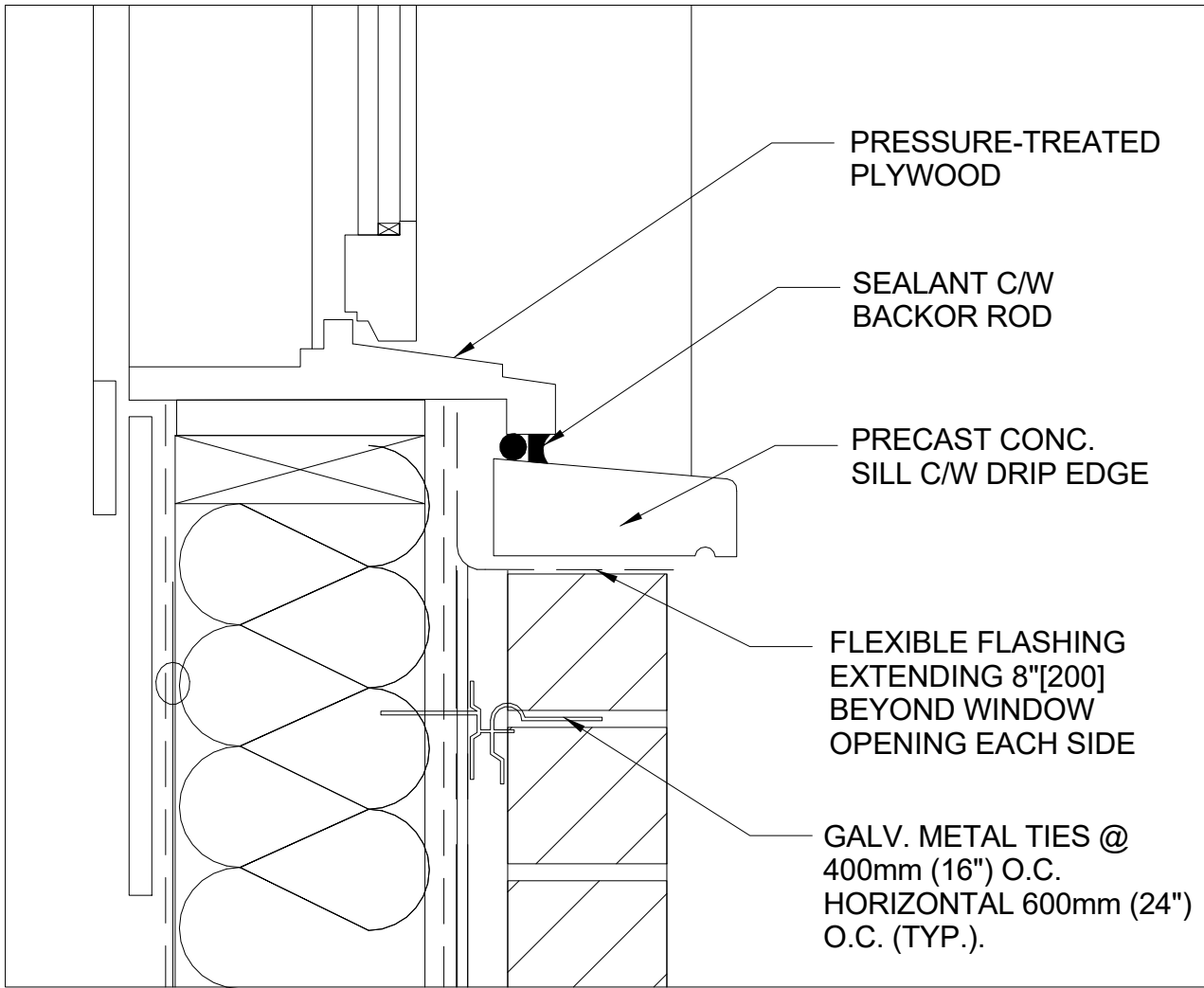
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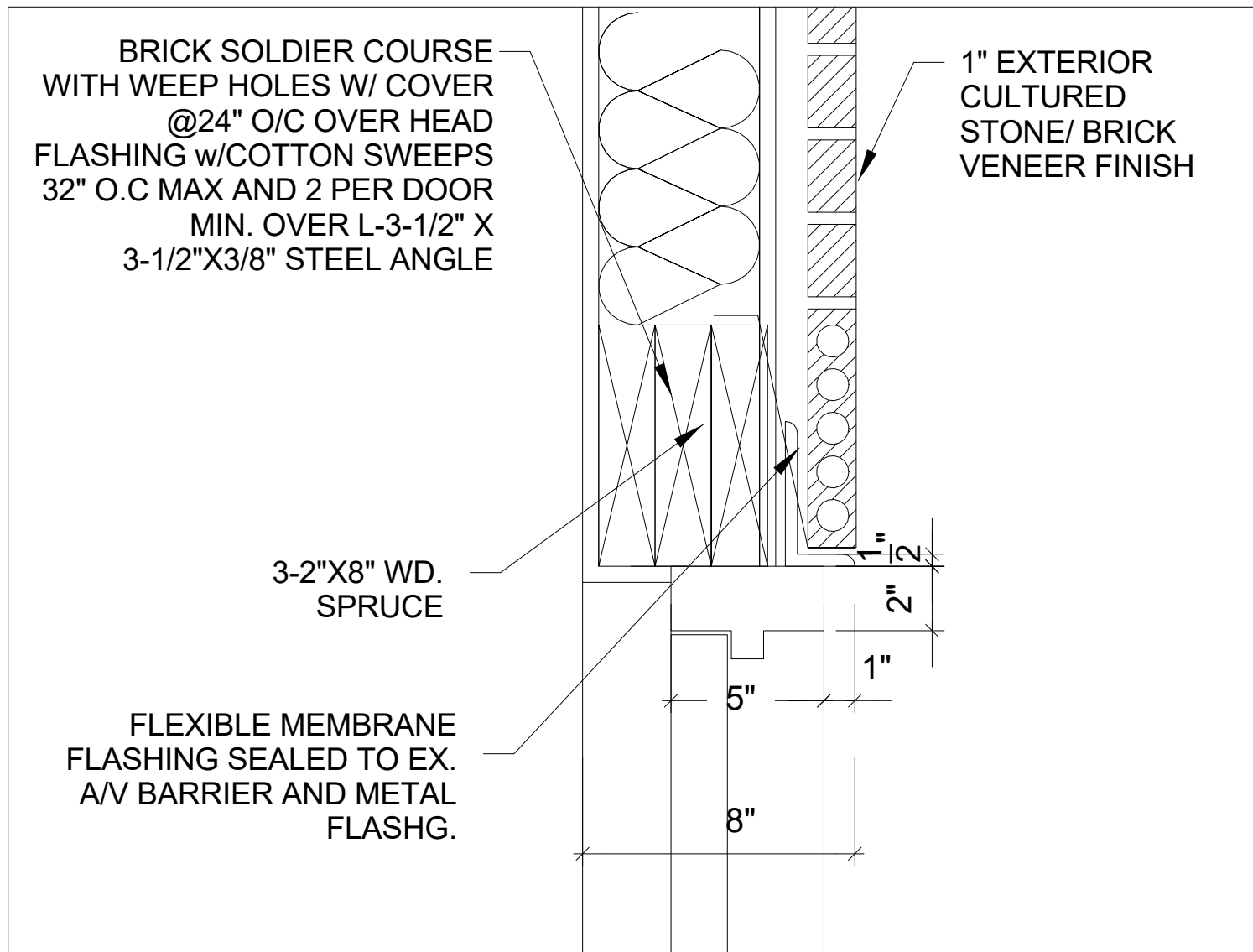
1
A4.5
MAIN ENTRANCE PORCH
DETAIL
NTS



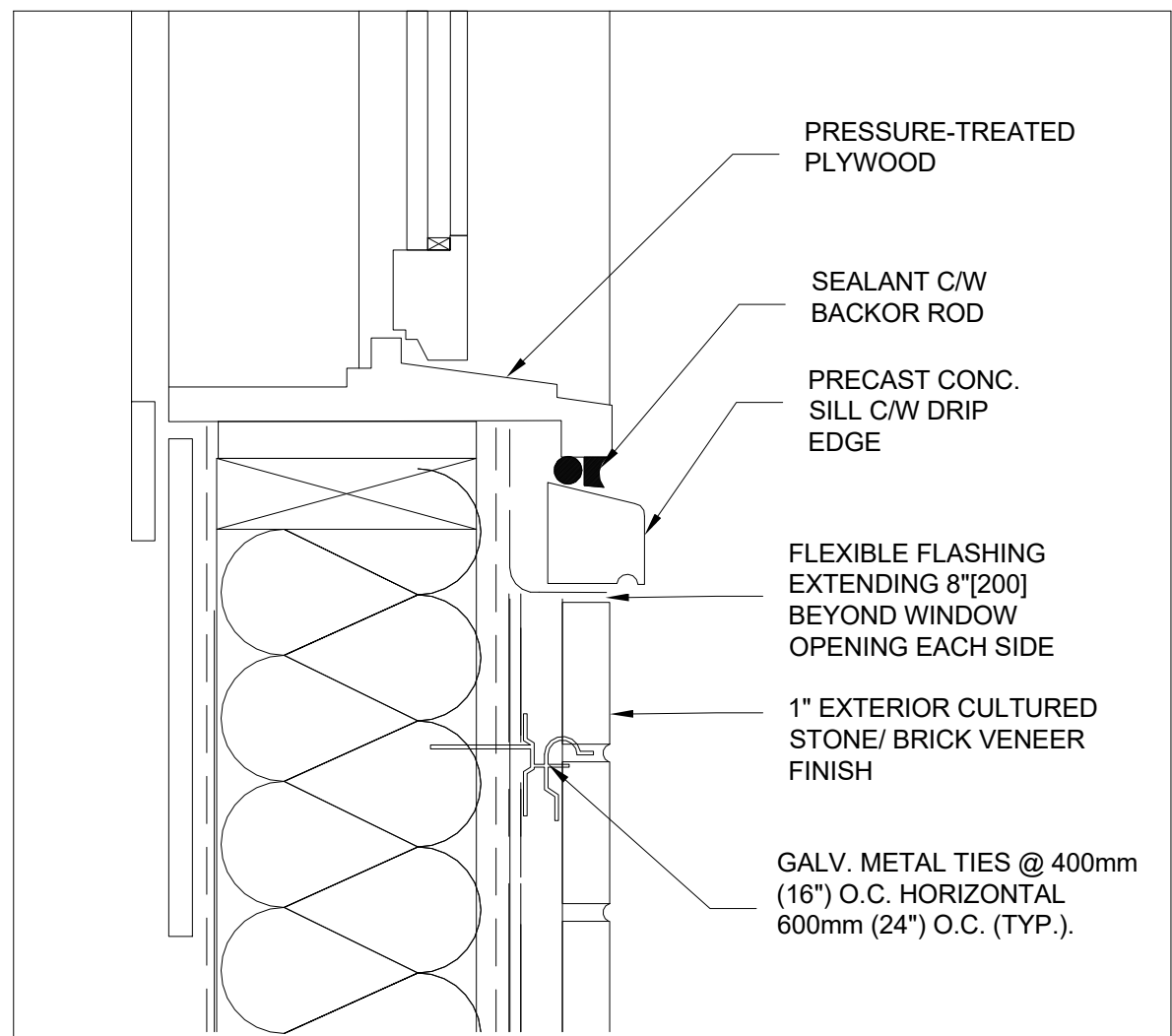
2
A4.5
WINDOW/DOOR HEADER
DETAIL @ STONE/BRICK
NTS



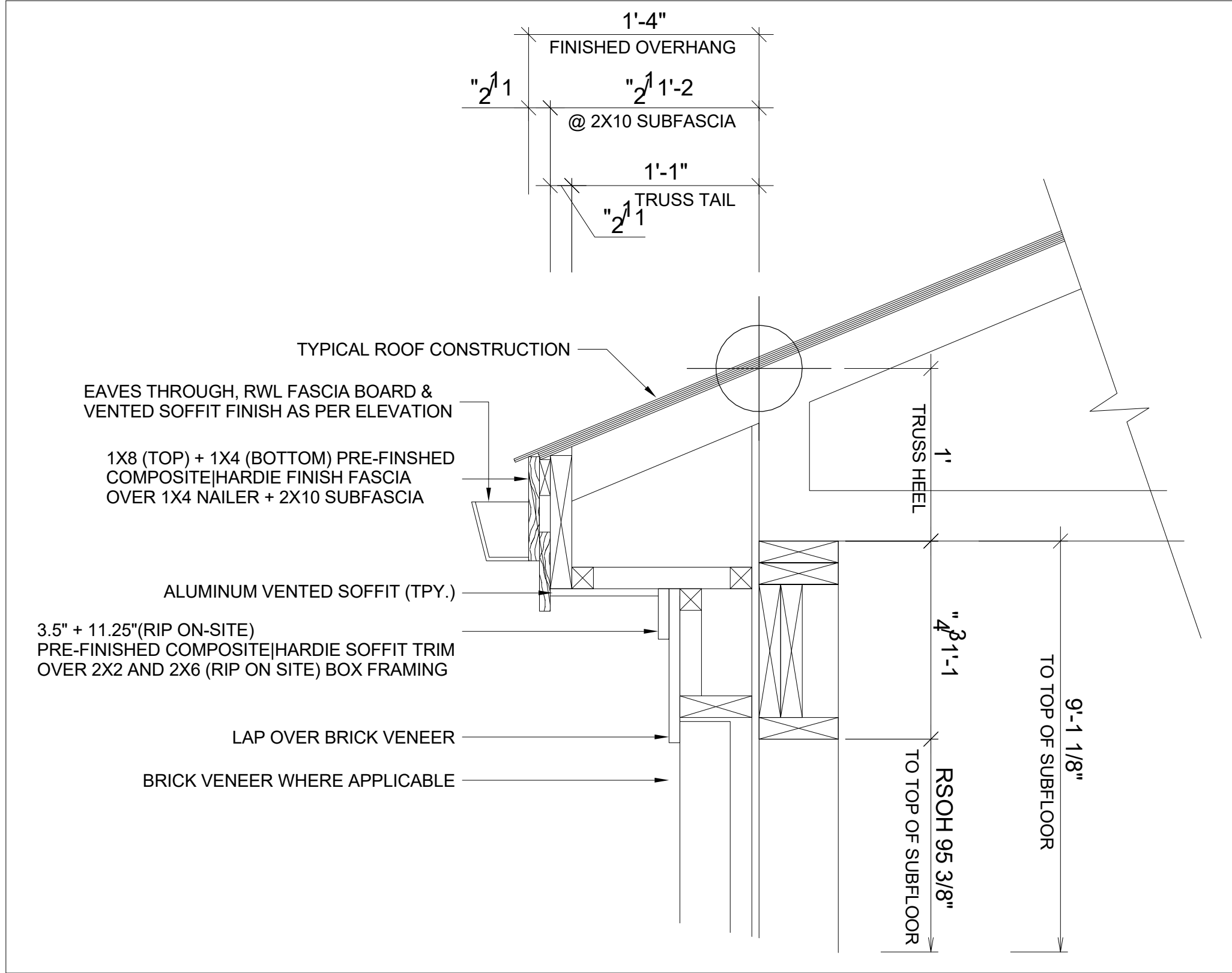
3
A4.5
WINDOW SILL DETAIL
@STONE/BRICK
NTS



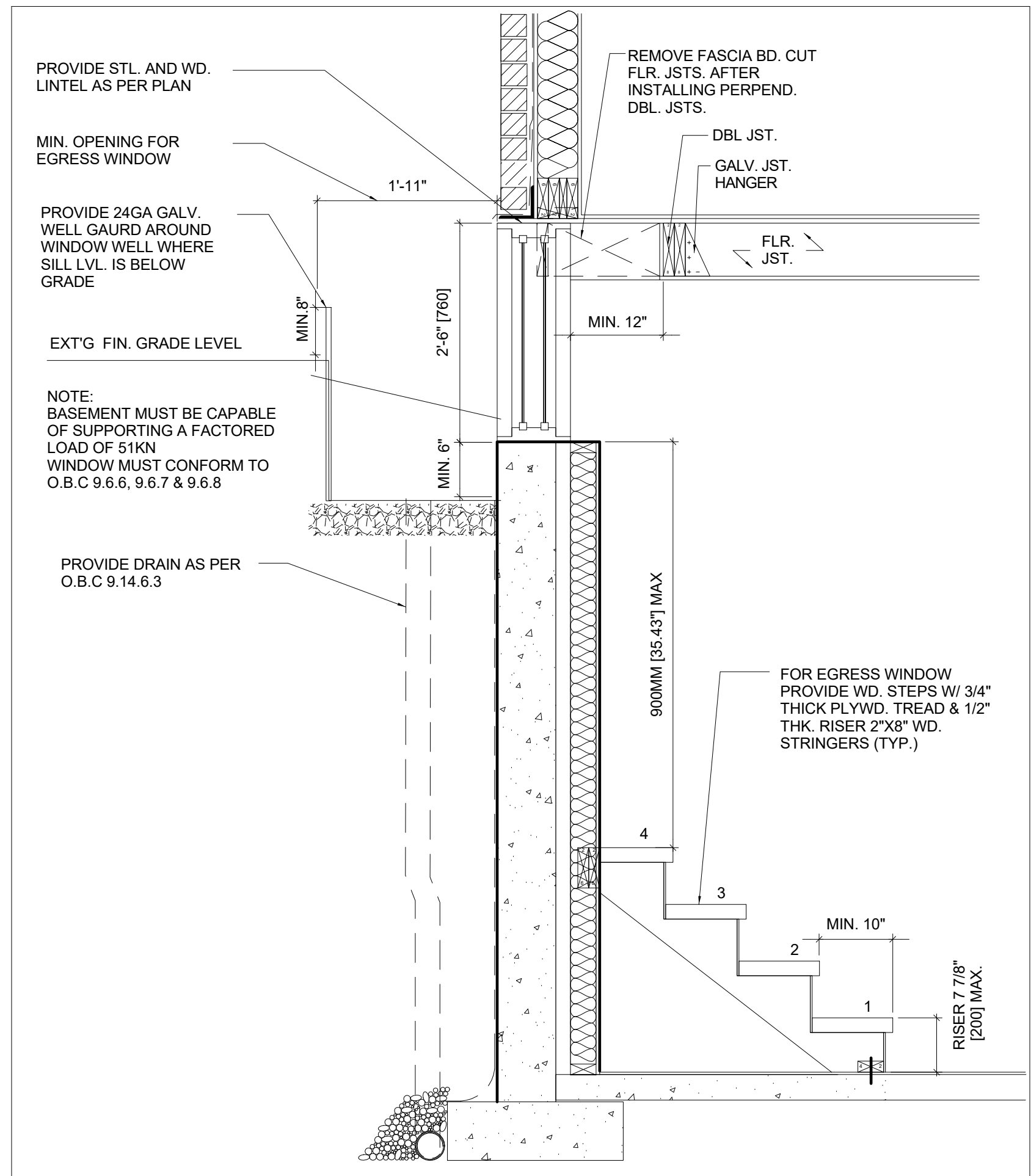
4
A4.5
HEADER DETAIL @CUT BRICK
VENEEER
NTS



5
A4.5
SILL DETAIL @CUT BRICK
VENEEER
NTS



8
A4.5
SOFFIT DETAILS
NTS



9
A4.5
TYP. EGRESS WINDOW SECTION
DETAIL @BASEMENT
3/4" = 1'-0"

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PROJECT:

**TOWNHOUSE
DEVELOPMENT**

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

SECTIONAL DETAILS

JOB #

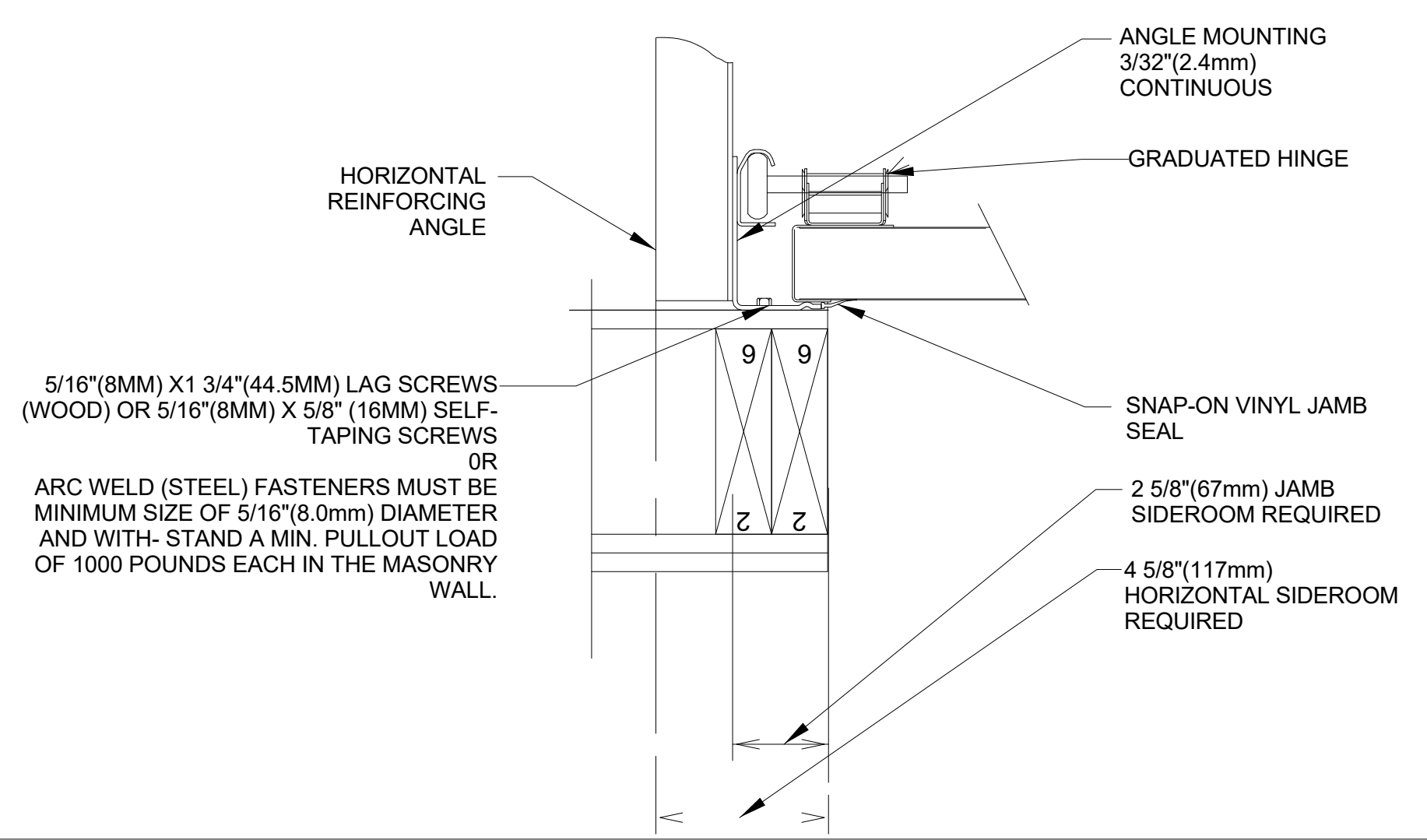
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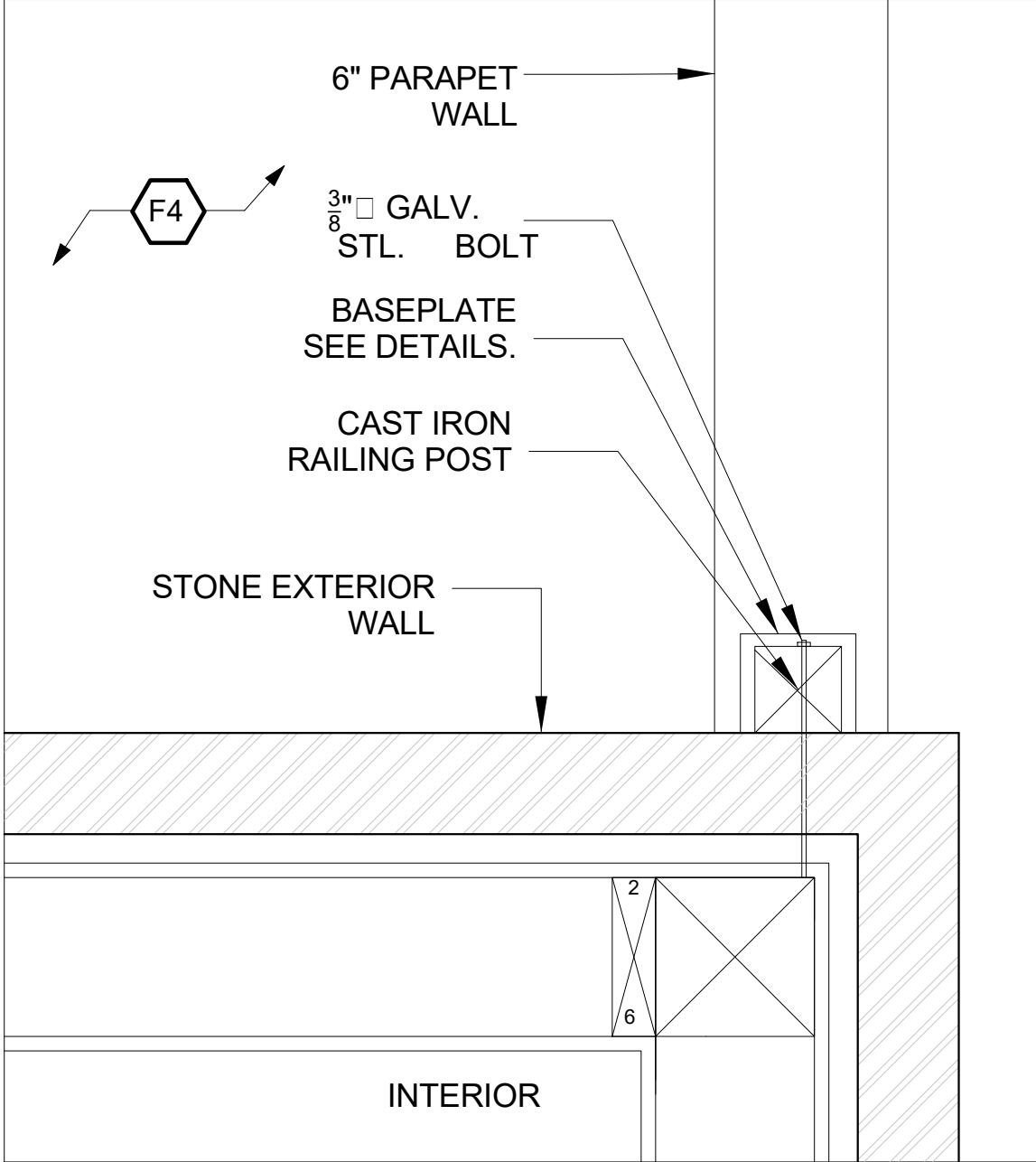
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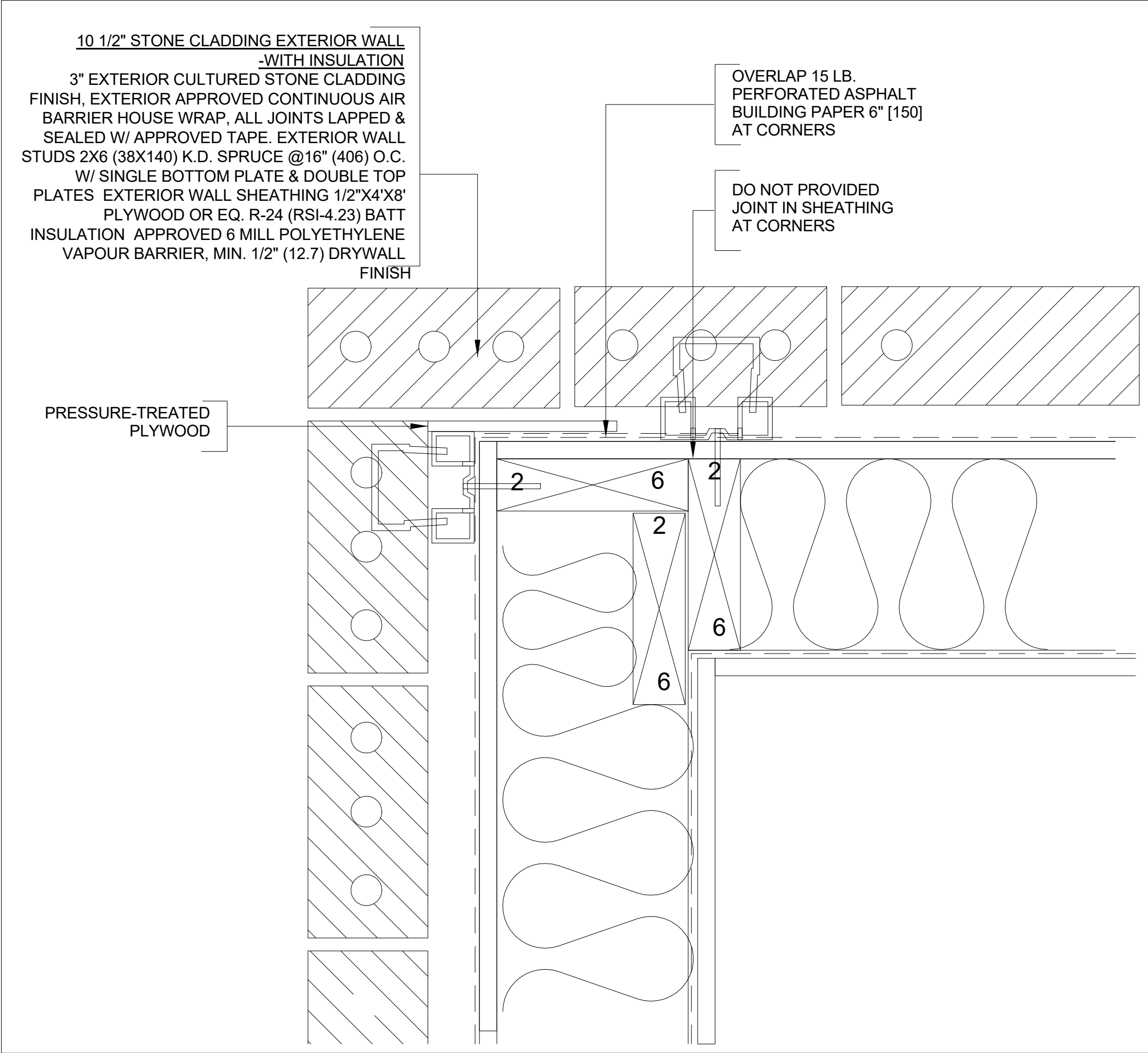
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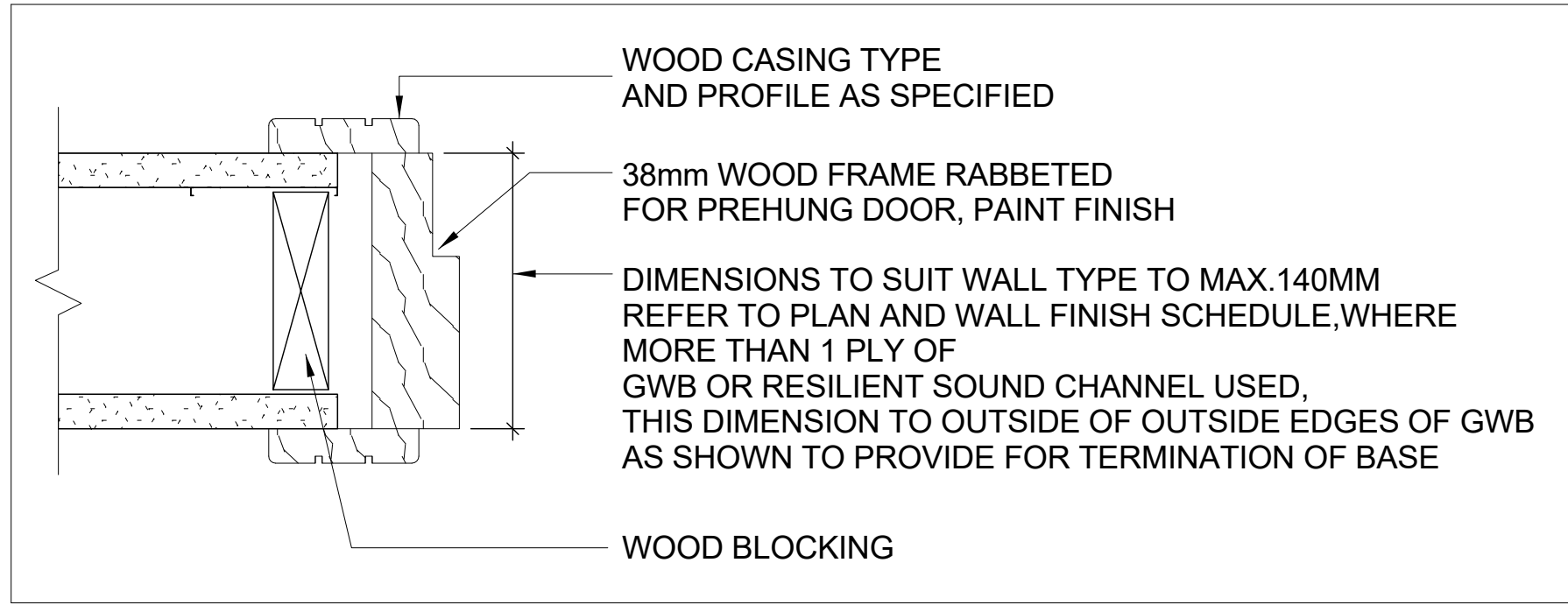
1 GARAGE DOOR DETAIL
NTS



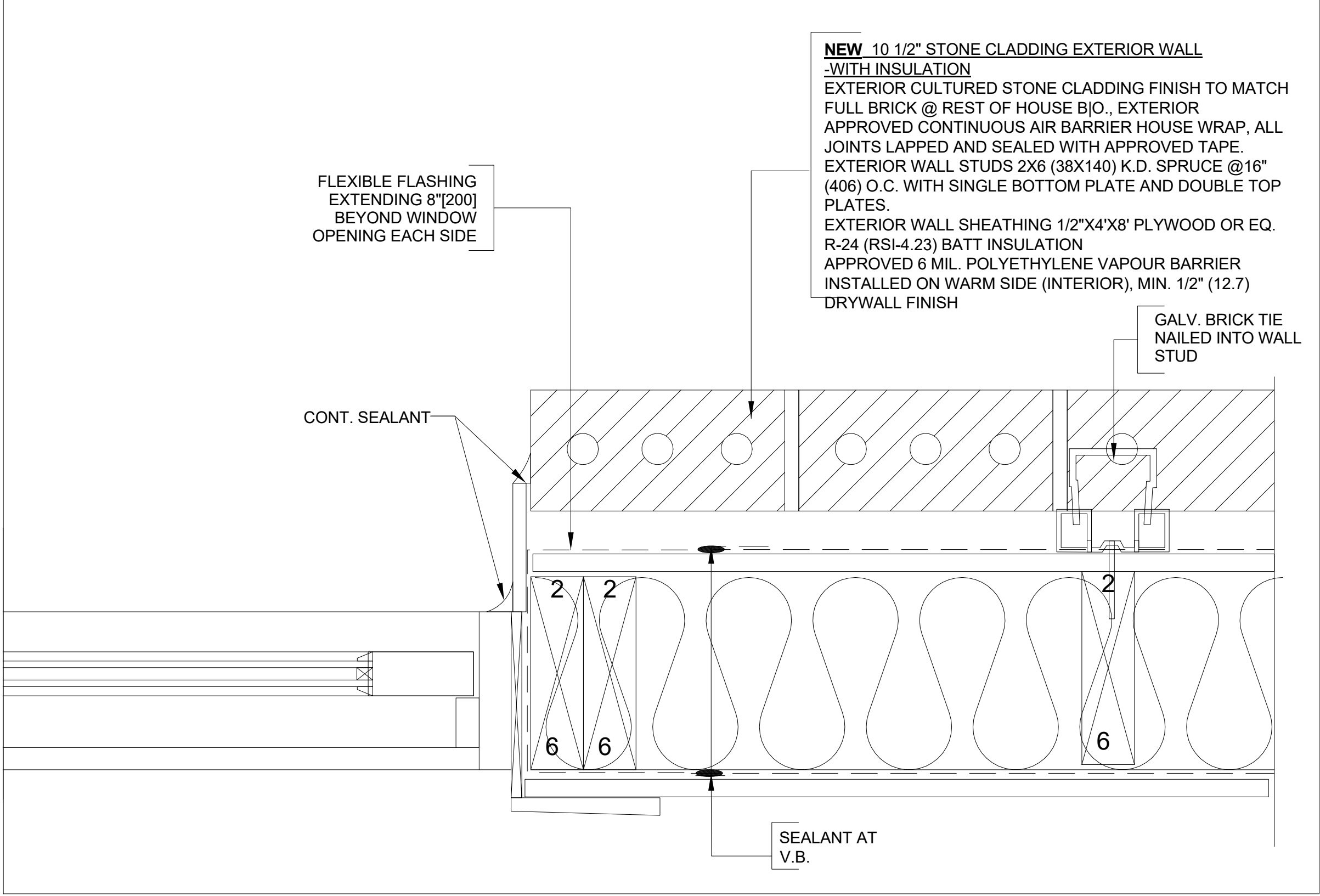
4 GAURD RAIL PLAN
CONNECTION DETAIL
NTS



5 CONER PLAN DETAIL
@STONE/BRICK
NTS



3 TYP. DOOR JAMB DETAIL
1/8" = 1'-0"



2 WINDOW PLAN DETAIL
NTS

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PROJECT:

TOWNHOUSE
DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

PLAN DETAILS

JOB #

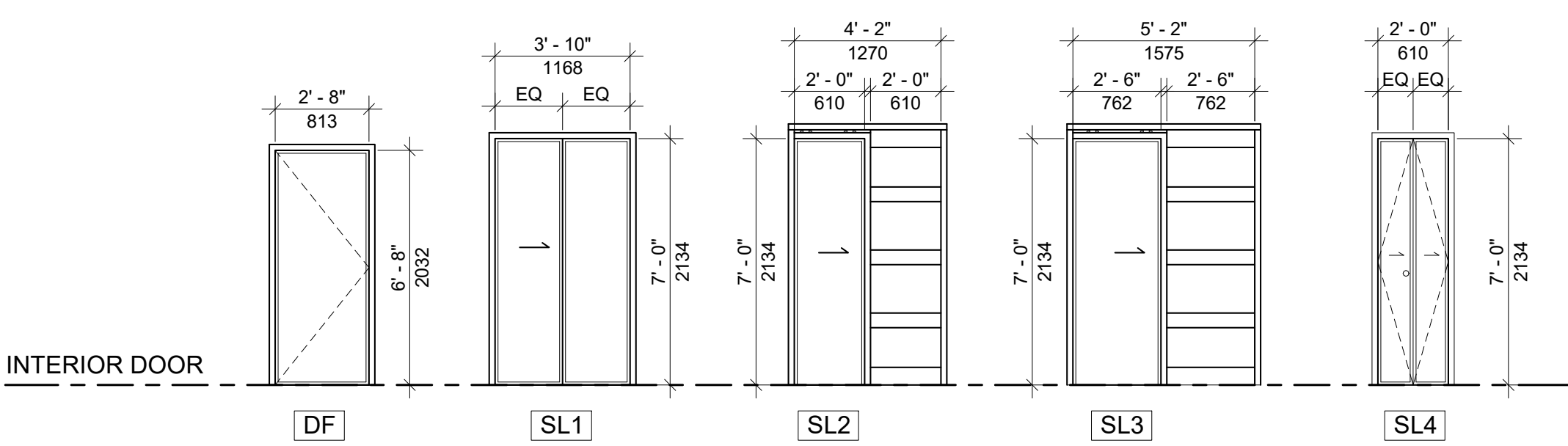
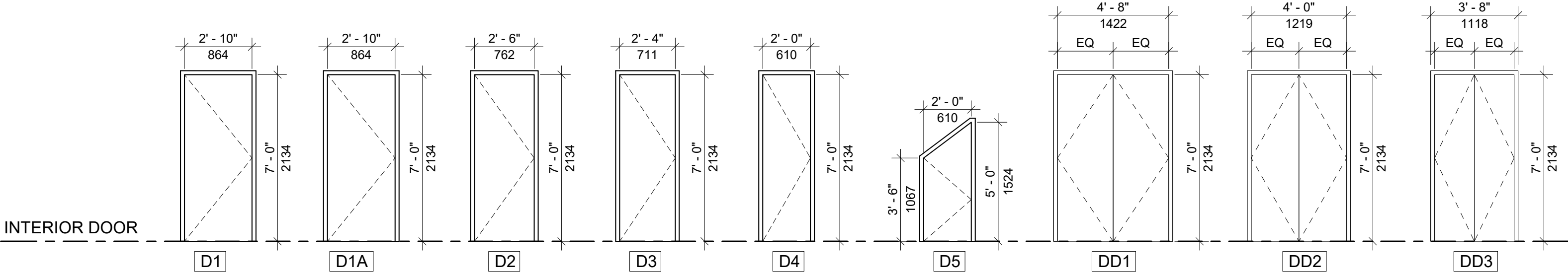
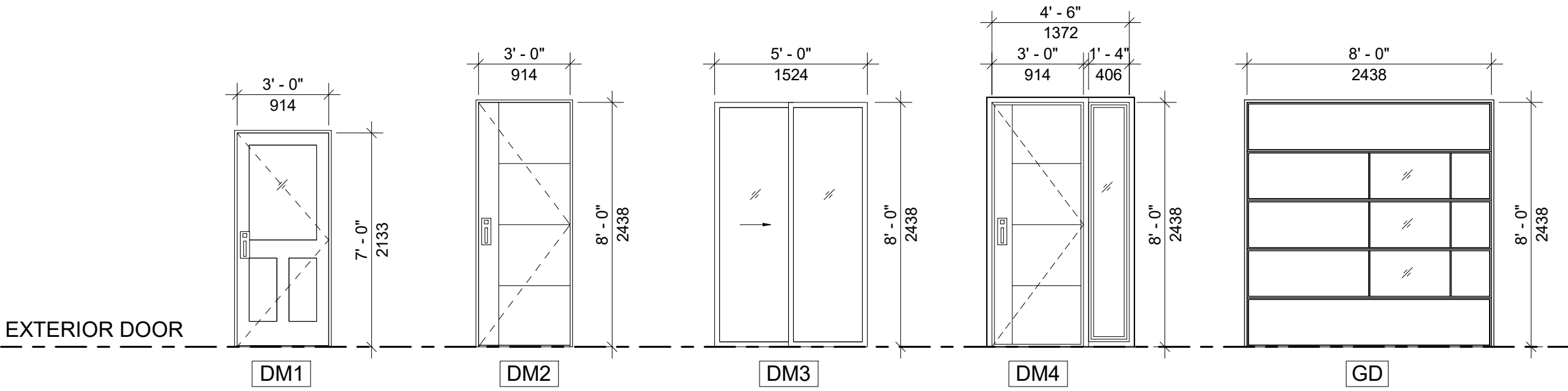
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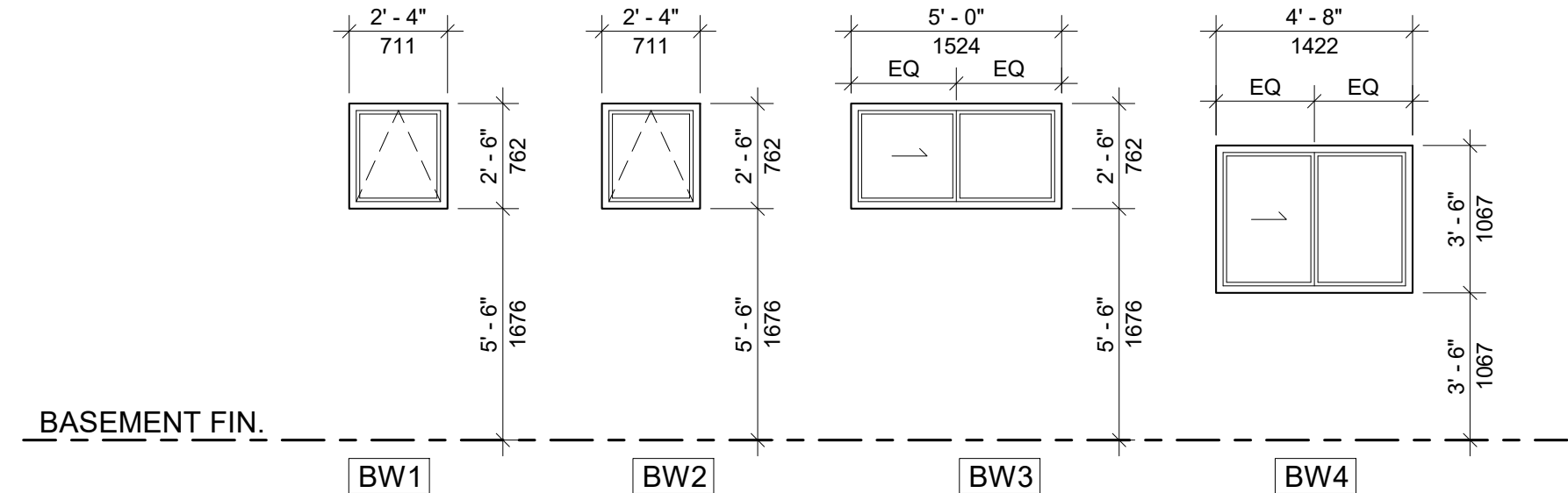
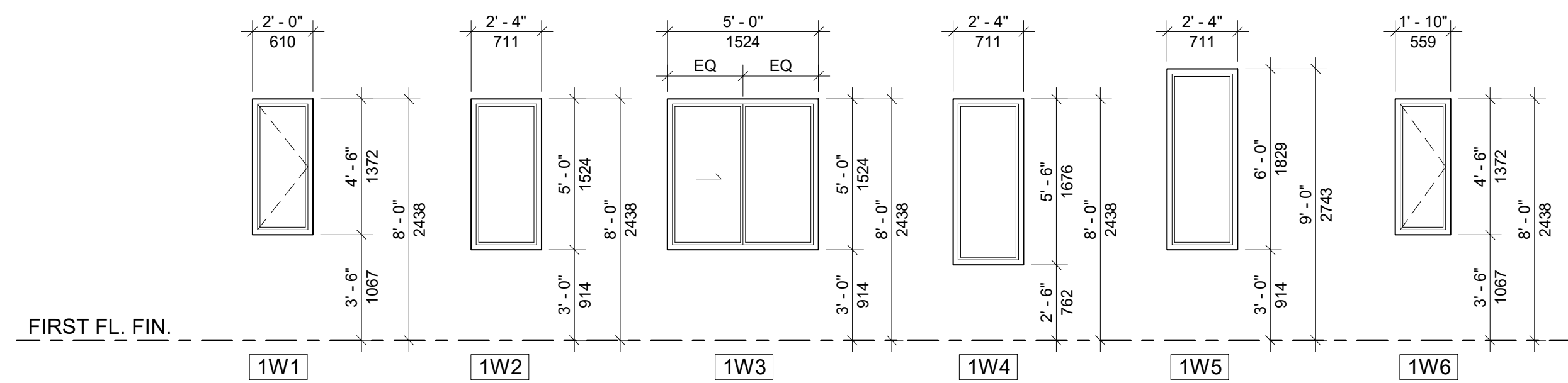
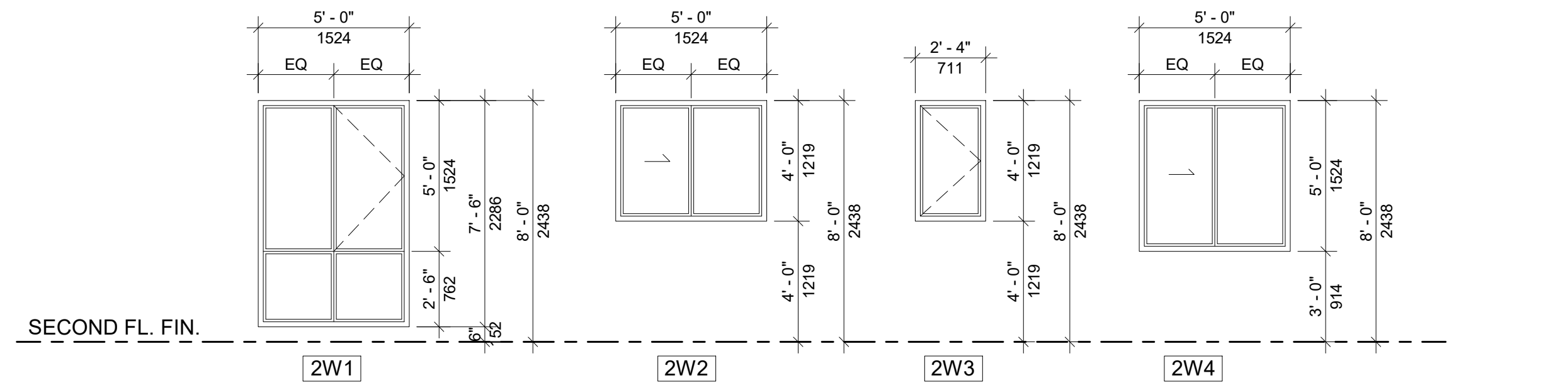
As indicated

SHEET NO.:

A4.6



DOOR LEGEND
1/4" = 1'-0"



WINDOW LEGEND
1/4" = 1'-0"

DOOR SCHEDULES			
Type Mark	Width	Height	Description
D1	2' - 10"	7' - 0"	INTERIOR TYPE PANELED DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
D1A	2' - 10"	7' - 0"	ALUMN. FRAME H.M INSULATED DOOR W/ LATCHED LOCK AT GARAGE WITH GAS-PROOF SEALANT
D2	2' - 6"	7' - 0"	INTERIOR TYPE PANELED DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
D3	2' - 4"	7' - 0"	INTERIOR TYPE PANELED DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
D4	2' - 0"	7' - 0"	INTERIOR TYPE PANELED DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
D5	2' - 0"	5' - 0"	STORAGE DOOR UNDER THE STAIRCASE
DD1	4' - 8"	7' - 0"	INTERIOR TYPE PANELED DOUBLE DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
DD2	4' - 0"	7' - 0"	INTERIOR TYPE PANELED DOUBLE DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
DD3	3' - 4"	7' - 0"	INTERIOR TYPE PANELED DOUBLE DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
DF	2' - 8"	6' - 8"	MIN. 20 MIN. FIRE-RATED INTERIOR TYPE DOOR W/ SELF-CLOSING DEVICE. EMERGENCY EXIT TYPE I/S LOCK
DM1	3' - 0"	7' - 0"	P.F. INSULATED METAL EXTERIOR SINGLE DOOR WITH FIXED GLAZED, COPPER HINGES DOOR LOCK ALUMN. THRESHOLD, WEATHER STRIPPING AND DOOR STOP
DM2	3' - 0"	8' - 0"	P.F. INSULATED METAL EXTERIOR SINGLE DOOR WITH FIXED GLAZED, COPPER HINGES DOOR LOCK ALUMN. THRESHOLD, WEATHER STRIPPING AND DOOR STOP
DM3	5' - 0"	8' - 0"	P.F. INSULATED METAL EXTERIOR SLIDING DOOR WITH FIXED GLAZED, COPPER HINGES DOOR LOCK ALUMN. THRESHOLD, WEATHER STRIPPING AND DOOR STOP
DM4	3' - 0"	8' - 0"	P.F. INSULATED METAL EXTERIOR SINGLE DOOR WITH 16"x 96" SIDE FIXED GLAZED WINDOW, COPPER HINGES DOOR LOCK ALUMN. THRESHOLD, WEATHER STRIPPING AND DOOR STOP
SL1	3' - 10"	7' - 0"	INTERIOR TYPE SLIDING DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
SL2	2' - 0"	7' - 0"	INTERIOR TYPE POCKET DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
SL3	2' - 6"	7' - 0"	INTERIOR TYPE POCKET DOOR WITH LATCHED LOCK, HINGES AND DOOR STOP
SL4	2' - 4"	7' - 0"	INTERIOR TYPE BI-FOLDING DOOR WITH LATCHED LOCK, HINGE
SL5	9' - 3"	8' - 0"	

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	DESCRIPTION	COUNT
FIRST FLOOR WINDOWS				
1W1	1'-10"	4'-6"	ALUM. FRAME THERMOPAN DBL GLAZED WINDOW PROVIDE INSERT SCREEN AT OPERABLE PANEL.	5
1W2	2'-4"	5'-0"	DO.	10
1W3	5'-0"	5'-0"	DO.	5
1W4	2'-4"	5'-6"	DO.	1
1W5	2'-4"	6'-0"	DO.	1
1W6	2'-0"	4'-6"	DO.	1
SECOND FLOOR WINDOWS				
2W1	5'-0"	7'-6"	ALUM. FRAME THERMOPAN DBL GLAZED WINDOW PROVIDE INSERT SCREEN AT OPERABLE PANEL.	10
2W2	5'-0"	4'-0"	DO.	2
2W3	2'-4"	4'-0"	DO.	5
2W4	5'-0"	5'-0"	DO.	5
BASEMENT FLOOR WINDOWS				
BW1	2'-4"	2'-6"	EGRESS WINDOW	5
BW2	2'-4"	2'-6"	ALUM. FRAME THERMOPAN DBL GLAZED WINDOW PROVIDE INSERT SCREEN AT OPERABLE PANEL.	5
BW3	5'-0"	2'-6"	DO.	5
BW4	4'-8"	3'-6"	DO.	5

NOTE:
1. SEE ELEVATIONS FOR SILL HEIGHTS
2. ALL OPENABLE PANEL SHOULD BE EQUIPED WITH INSECT PANEL

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PROJECT:

TOWNHOUSE
DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

DOOR & WINDOW
SCHEDULES

JOB #

2023019

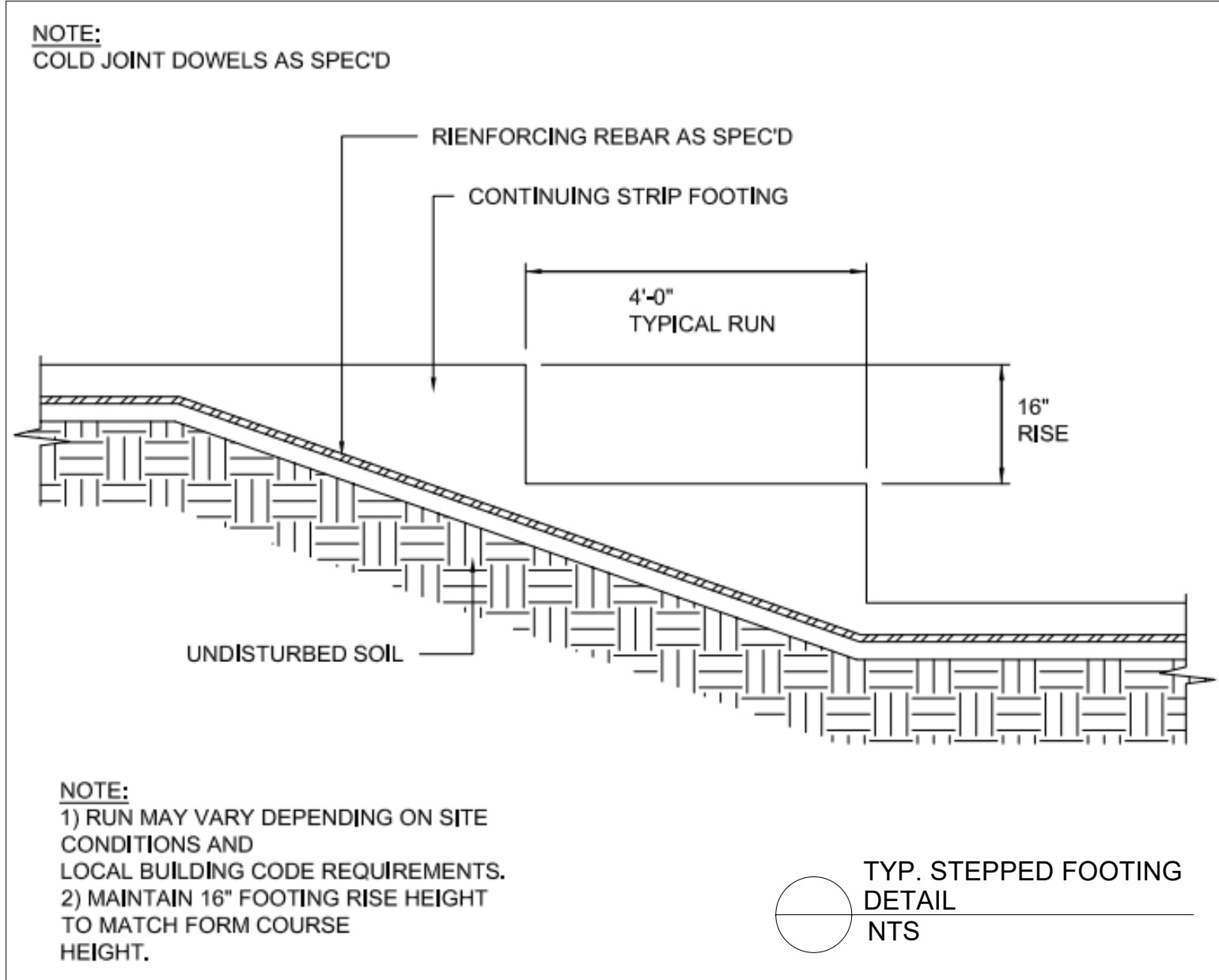
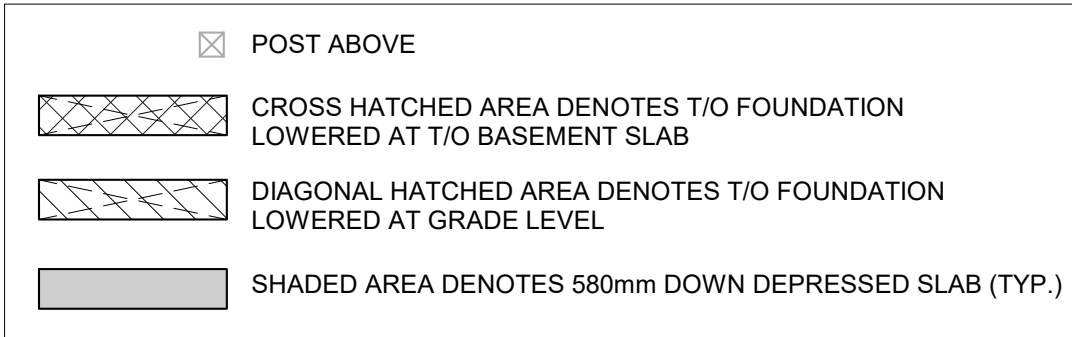
SCALE:

1/4" = 1'-0"

SHEET NO.:

A5.0

NOTE:
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STRUCTURAL DESIGN NOTES:

1. ASSUMING BEARING CAPACITY OF SOIL = 120kPa
2. FOUND ALL FOOTINGS ON NATIVE UNDISTURBED SOIL
3. STRUTURAL STEEL SHALL CONFORM TO CSA STANDARD CAN/CSA G40.20 G40.21 OR ASTM A592/A592M
4. BOLTS & BOLTS ASSEMBLY SHALL CONFORM TO ASTM A325 OR A490M
5. ALL REBARS SHALL CONFORM TO CAN/CSA G30.18-M92, MIN. YIELD STRENGTH 400 mPa
6. MIN. LAP LENGTH = 24XBAR DIA

BEAM DESCRIPTION

B1	2.1 RIGIDLAM SP LVL. 1-3/4 x 11-7/8
B2	1-1/8 x 11-7/8 APA RIM BOARD PLUS
B3	11-7/8 PUJ-40 SEE LUMBER

NOTE: PLEASE SEE LUMBER DWGS. FOR STRUCTURAL FLOOR FRAMING PLANS

JOIST SCHEDULE

J1	11-7/8" PUJ SEE LUMBER DRAWINGS
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FOOTING DESCRIPTION

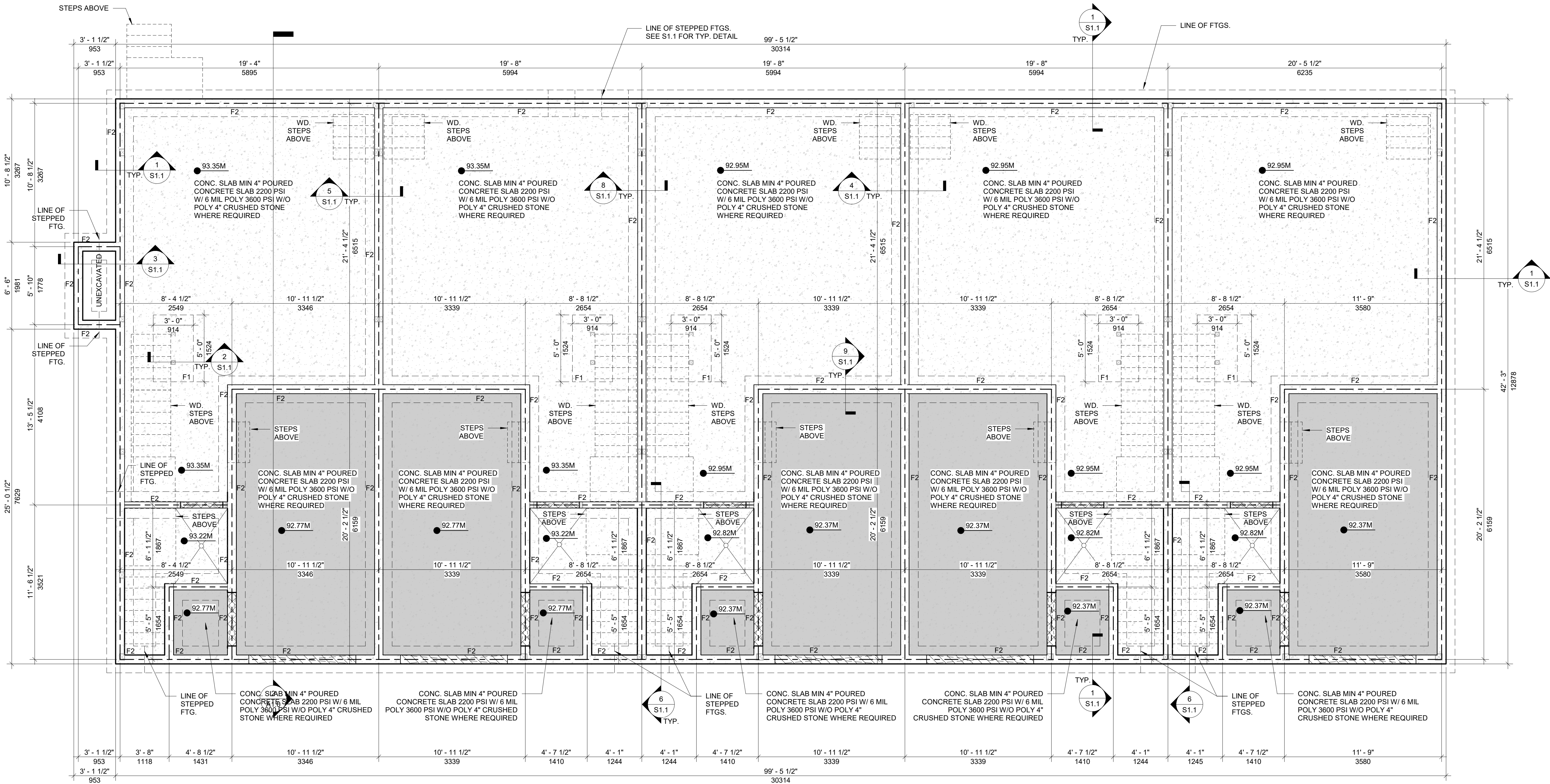
F1	3'-0"x5'-0"x16" THE FOOTING REINFORCED WITH 5-15M BAR BOTTOM BOTH WAYS AND POURED WITH 25MPA CONCRETE
F2	24" WIDE X 8" TH. REINFORCED WITH 3-10M. CONTINUOUS BARS IN OTTOM BOTH WAYS TO BE POURED WITH 25MPA CONCRETE.

WD. POST SCHEDULE

P1	2- 2 x 6 SPF
P2	3- 2 x 6 SPF
P3	4- 2 x 6 SPF
P4	4- 2 x 4 SPF
P5	3- 2 x 4 SPF
P6	4x4 SPF STAIRCASE POST
P7	4- 2 x 8 SPF
C1	2" DIA STEEL POST

LINTEL SCHEDULE

OPENINGS	LINTEL SIZE
UPTO 42" OPENINGS	2- 2 x 6
UPTO 66" OPENINGS	2- 2 x 8
UPTO 78" OPENINGS	3- 2 x 10
UPTO 90" OPENINGS	3- 2 x 12



1 FOUNDATION PLAN
S1.0 1/4" = 1'-0"

PROJECT ARCHITECTS:

ARCHISYSTEM INC.

CONSULTING ARCHITECTS
CERTIFICATE OF PRACTICE # 5465

279 Main Street North
Brampton, ON L6X 1N4
Tel: 905-858-2565 Cell: 647-295-2565
www.thearchisystem.com
email: archisystem@gmail.com

NOTES:

THE DRAWINGS SHALL NOT BE SCALED.

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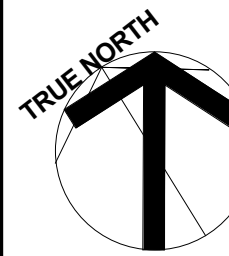
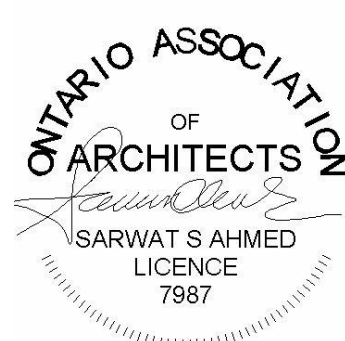
ALLWORKS TO BE DONE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO PREVAILING ONTARIO BUILDING CODE.

OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

FOUNDATION PLAN

JOB #

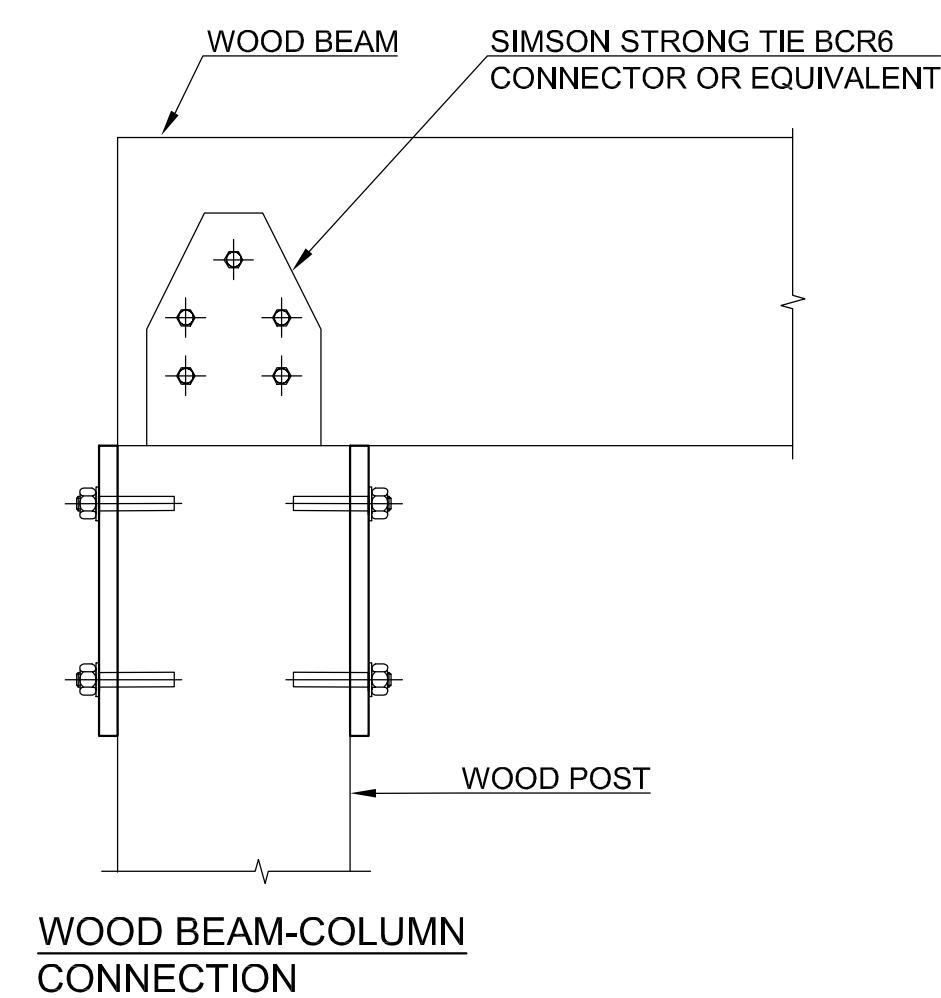
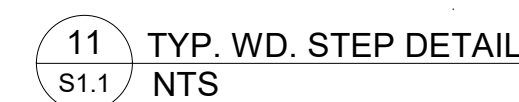
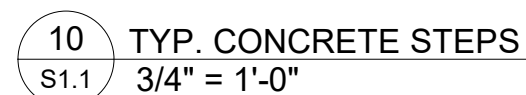
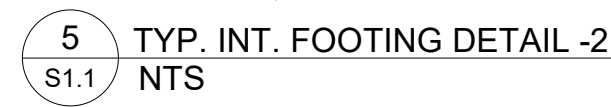
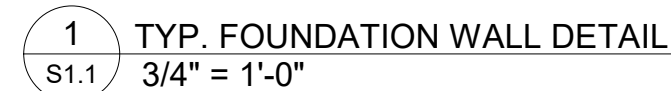
2023019

SCALE:

As indicated

SHEET NO.:

S1.0



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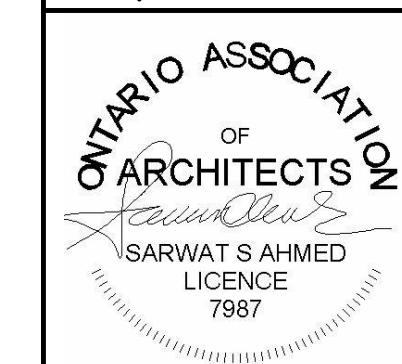
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OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS.

BUILDING PERMIT		10-10-2024
No.:	Issued For:	Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE: STRUCTURAL DETAILS

JOB #	2023019
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SCALE: As indicated

SHEET NO.

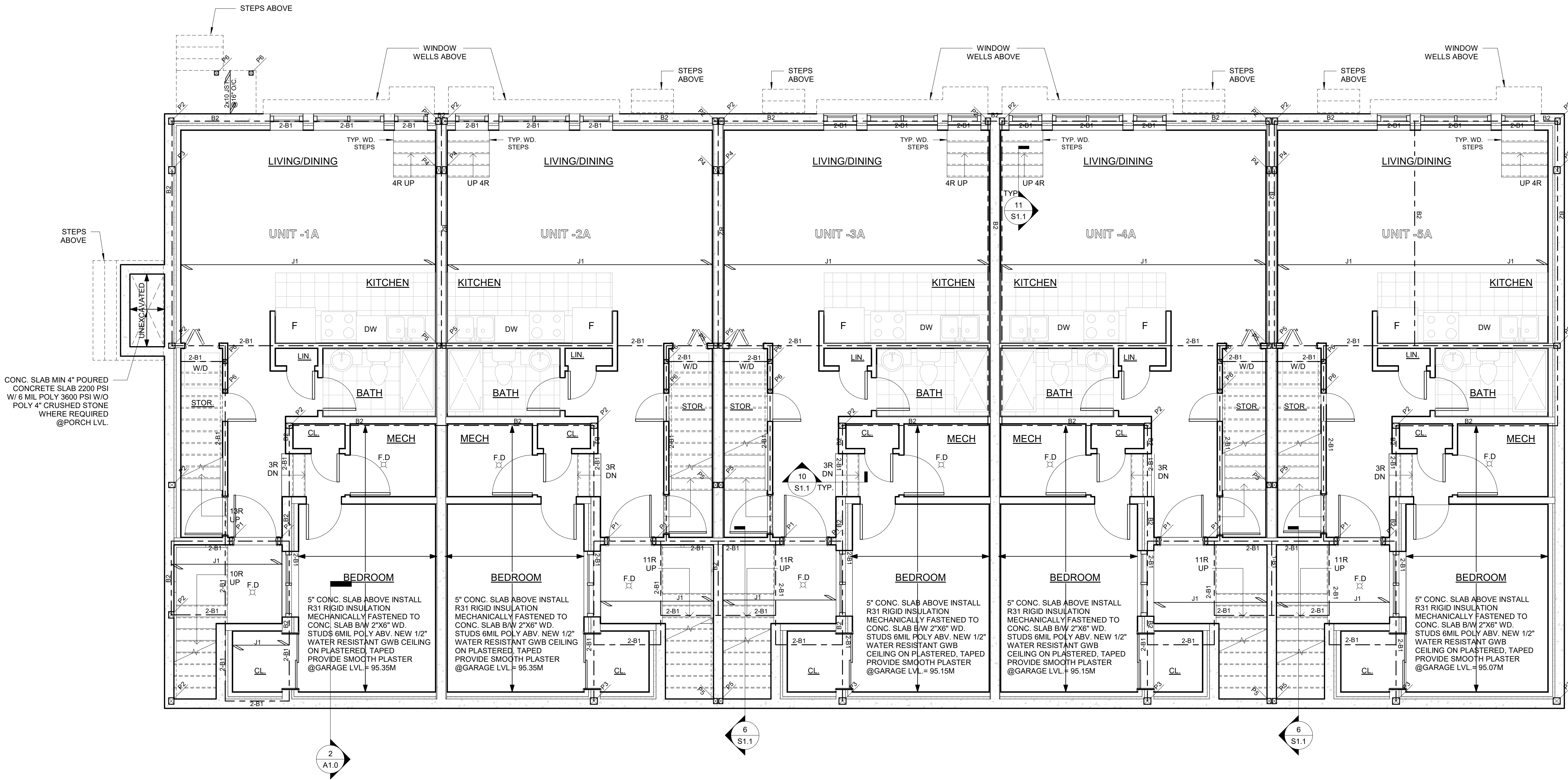
S1.1

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STRUCTURAL DESIGN NOTES:		BEAM DESCRIPTION	
1.	ASSUMING BEARING CAPACITY OF SOIL = 120kPa	B1	2.1 RIGIDLAM SP LVL. 1-3/4 x 11-7/8
2.	FOUND ALL FOOTINGS ON NATIVE UNDISTURBED SOIL	B2	1-1/8 x 11-7/8 APA RIM BOARD PLUS
3.	STRUCTURAL STEEL SHALL CONFORM TO CSA STANDARD CAN/CSA G40.20 G40.21 OR ASTM A992/A992M	B3	11-7/8 PJI-40 SEE LUMBER
4.	BOLTS & BOLTS ASSEMBLY SHALL CONFORM TO ASTM A325 OR A490M	NOTE: PLEASE SEE LUMBER, DWGS. FOR STRUCTURAL FLOOR FRAMING PLANS	
5.	ALL REBARS SHALL CONFORM TO CAN/CSA G30.15-M92, MIN. YIELD STRENGTH 400 MPa		
6.	MIN. LAP LENGTH = 24XBAR DIA		

JOIST SCHEDULE		FOOTING DESCRIPTION	
J1	11-7/8" PJI SEE LUMBER DRAWINGS	F1	3'-0"x5'-0"x16" THE FOOTING REINFORCED WITH 5-15M BAR BOTTOM BOTH WAYS AND POURED WITH 25MPA CONCRETE
		F2	24" WIDE X 8" TH. REINFORCED WITH 3-10M CONTINUOUS BARS IN OTTOM BOTH WAYS TO BE POURED WITH 25MPA CONCRETE.

WD. POST SCHEDULE		LINTEL SCHEDULE	
P1	2- 2 x 6 SPF	OPENINGS	LINTEL SIZE
P2	3- 2 x 6 SPF	UPTO 42" OPENINGS	2- 2 x 6
P3	4- 2 x 6 SPF	UPTO 66" OPENINGS	2- 2 x 8
P4	4- 2 x 4 SPF	UPTO 78" OPENINGS	3- 2 x 10
P5	3- 2 x 4 SPF	UPTO 90" OPENINGS	3- 2 x 12
P6	4x4 SPF STAIRCASE POST		
P7	4- 2 x 8 SPF		
C1	2" DIA STEEL POST		



1 FIRST FLOOR FRAMING PLAN
S2.0 1/4" = 1'-0"

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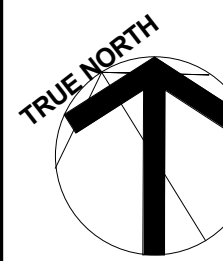
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LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

BUILDING PERMIT 10-10-2024
No.: Issued For: Date:



PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

FIRST FLOOR FRAMING
PLAN

JOB #

2023019

SCALE:

1/4" = 1'-0"

SHEET NO.:

S2.0

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5. ALL REBARS SHALL CONFORM TO CAN/CSA G30.15-M92, MIN. YIELD STRENGTH 400 MPa
6. MIN. LAP LENGTH = 24XBAR DIA

BEAM DESCRIPTION

B1	2.1 RIGIDLAM SP LVL. 1-3/4 x 11-7/8
B2	1-1/8 x 11-7/8 APA RIM BOARD PLUS
B3	11-7/8 PJI-40 SEE LUMBER

NOTE: PLEASE SEE LUMBER, DWGS. FOR STRUCTURAL FLOOR FRAMING PLANS

JOIST SCHEDULE

J1	11-7/8" PJI
	SEE LUMBER DRAWINGS

FOOTING DESCRIPTION

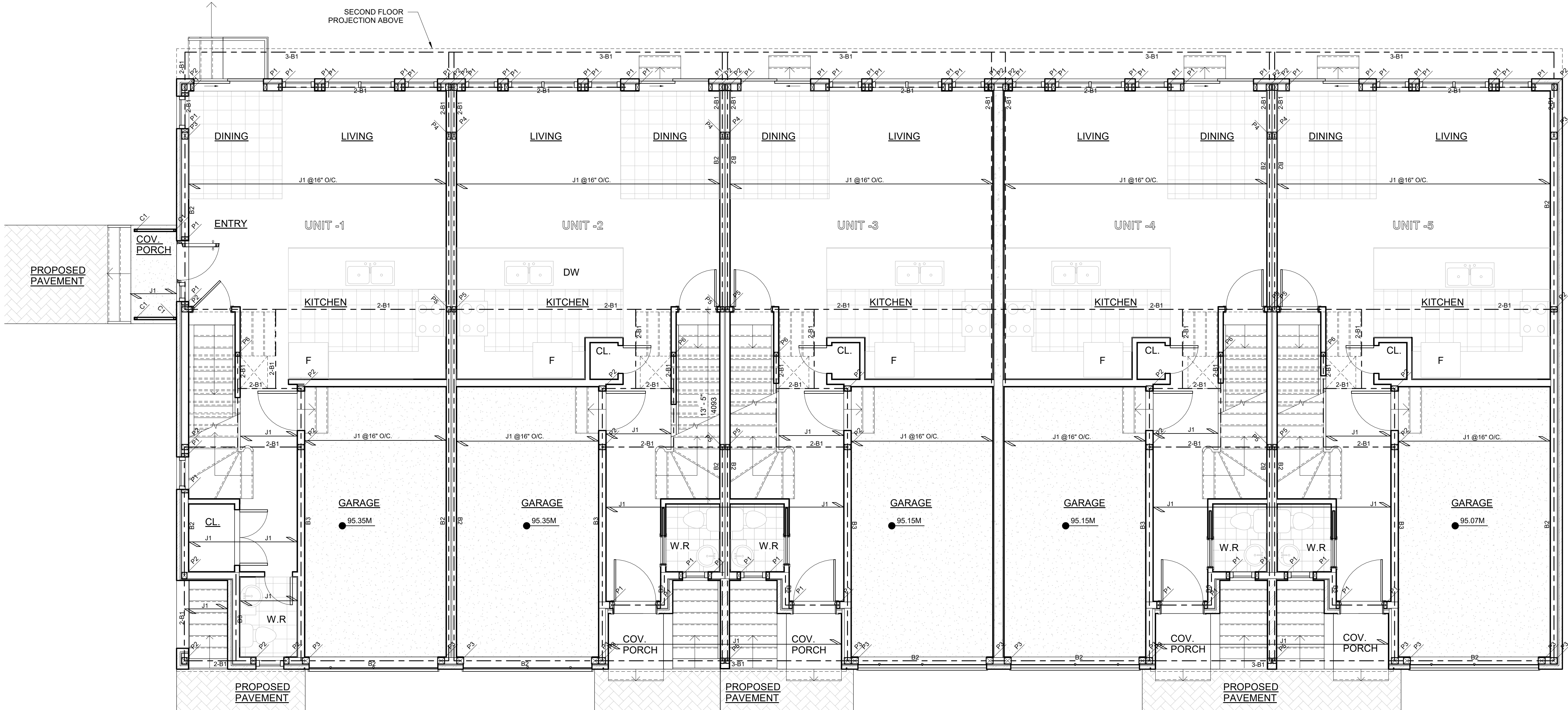
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WD. POST SCHEDULE

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P2	3- 2 x 6 SPF
P3	4- 2 x 6 SPF
P4	4- 2 x 4 SPF
P5	3- 2 x 4 SPF
P6	4x4 SPF STAIRCASE POST
P7	4- 2 x 8 SPF
C1	2" DIA STEEL POST

LINTEL SCHEDULE

OPENINGS	LINTEL SIZE
UPTO 42" OPENINGS	2- 2 x 6
UPTO 66" OPENINGS	2- 2 x 8
UPTO 78" OPENINGS	3- 2 x 10
UPTO 90" OPENINGS	3- 2 x 12



1 SECOND FLOOR FRAMING PLAN
S2.1 1/4" = 1'-0"

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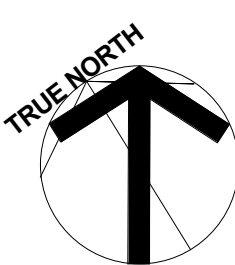
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OWNER / CLIENT:

LA CABAN DEVELOPMENTS INC.

STRUCTURAL ENGINEERS:

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PROJECT:

TOWNHOUSE DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

SECOND FLOOR
FRAMING PLAN

JOB #

2023019

SCALE:

1/4" = 1'-0"

SHEET NO.:

S2.1

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BEAM DESCRIPTION	
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B3	11-7/8 PJI-40 SEE LUMBER

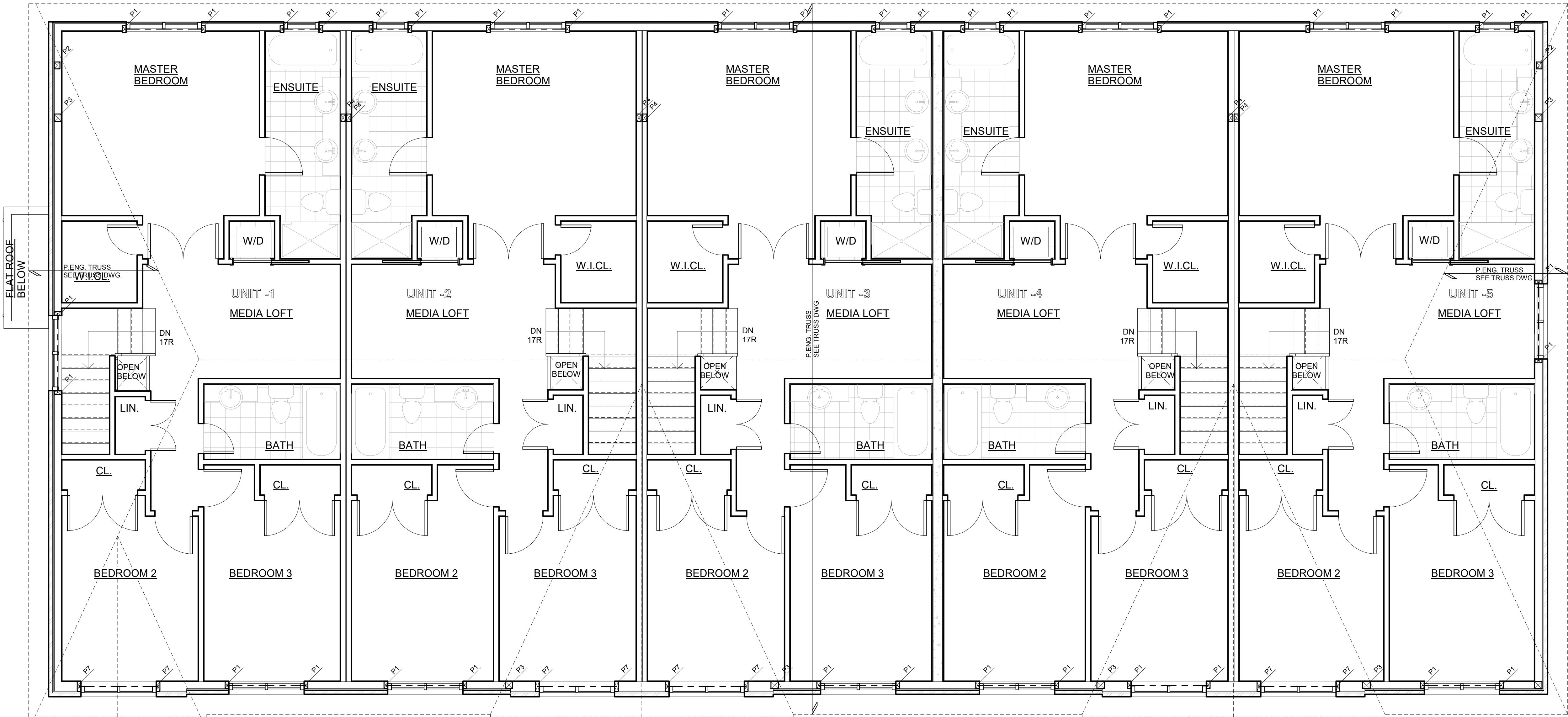
NOTE: PLEASE SEE LUMBER, DWGS. FOR STRUCTURAL FLOOR FRAMING PLANS

JOIST SCHEDULE	
J1	11-7/8" PJI SEE LUMBER DRAWINGS

FOOTING DESCRIPTION	
F1	3'-0"x5'-0"x16" THE FOOTING REINFORCED WITH 5-15M BAR BOTTOM BOTH WAYS AND POURED WITH 25MPA CONCRETE
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WD. POST SCHEDULE	
P1	2- 2 x 6 SPF
P2	3- 2 x 6 SPF
P3	4- 2 x 6 SPF
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P5	3- 2 x 4 SPF
P6	4x4 SPF STAIRCASE POST
P7	4- 2 x 8 SPF
C1	2" DIA STEEL POST

LINTEL SCHEDULE	
OPENINGS	LINTEL SIZE
UPTO 42" OPENINGS	2- 2 x 6
UPTO 66" OPENINGS	2- 2 x 8
UPTO 78" OPENINGS	3- 2 x 10
UPTO 90" OPENINGS	3- 2 x 12



1 ROOF FRAMING PLAN
S2.2 1/4" = 1'-0"

PROJECT ARCHITECTS:

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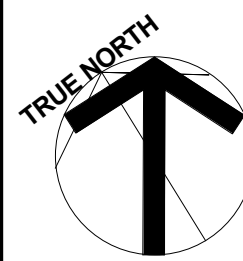
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PROJECT:

TOWNHOUSE
DEVELOPMENT

61 CLAPHAM RD, HAMILTON,
ON L8G 2H9

DRAWING TITLE:

ARCHITECTURAL SET

SHEET TITLE:

ROOF FRAMING PLAN

JOB #

2023019

SCALE:

1/4" = 1'-0"

SHEET NO.:

S2.2

- 1.0 GENERAL
- 1.1 ALL DIMENSIONS AND SETTING OUT SHOWN IN STRUCTURAL DRAWINGS SHALL BE VERIFIED WITH ARCHITECTURAL DRAWINGS. IN CASE OF DISCREPANCY, NOTIFY THE ENGINEER PRIOR TO EXECUTION.
- 2.0 MATERIALS
- 2.1 PROVIDE ONLY NEW STRUCTURAL MATERIALS IN ACCORDANCE WITH THE REFERENCE STANDARDS AND THE FOLLOWING, UNLESS OTHERWISE NOTED.
- 2.1.1 CONCRETE: CONFIRM TO THE REQUIREMENT OF CSA A23.1. AS PER OBC-2012, CLAUSE 9.3.1.6, MIN. 28 DAYS COMPRESSIVE STRENGTH OF CONCRETE SHALL BE AS FOLLOWS,
I = 25MPa for footings, basement walls and foundation walls
II = 32MPa for garage floor and all other exterior floors
III - 20MPa for all interior floors
IV - 15MPa for all other applications
- CONCRETE USED FOR GARAGE AND CARPET FLOORS AND EXTERIOR STEPS SHALL HAVE AIR ENTRAINMENT OF 5% TO 8
- 2.1.2 REINFORCEMENT: CONFORM TO CSA G30 SERIES. FY = 400 MPa FOR ALL REINFORCEMENT EXCEPT THAT FY = 386 MP FOR WELDED WIRE FABRIC. [PROVIDE WELDED WIRE FABRIC IN FLAT SHEETS ONLY]
ALL REINFORCEMENT IS TO BE BLACK EXCEPT WHERE THE SUFFIX C IS USED TO DESIGNATE EPOXY COATED REINFORCEMENT.
- 2.1.3 STRUCTURAL STEEL:
- 2.1.3.1 ANGLES (L) TO CONFORM TO CAN/CSA-G40.20/640.21 GRADE 300W. 1.3.2 ALL 'W SECTION AND HSS SHALL CONFORM TO CAN/CSA-G40.21 GRADE 350W. PROVIDE ONLY NEW STRUCTURAL MATERIALS IN ACCORDANCE WITH THE REFERENCE STANDARDS AND THE FOLLOWING. UNLESS OTHERWISE NOTED.
- 2.1.3.2 SHOP PAINT: TO CISC/CPMA 1-73A OR SSPC PAINT 15. 1.4.2 SHOP PRIMER: 10 CISC/CPMA STANDARD 2-75.
- 2.1.3.3 INORGANIC ZINC-PRIMER: ZINC CLAD II AS SUPPLIED BY SHERWIN-WILLIAMS COMPANY (2 TO 4 MILS DRY FILM THICKNESS), OR APPROVED ALTERNATIVE.
- 2.1.3.4 EPOXY PAINT: MACROPOXY 646 FAST CURE EPOXY AS SUPPLIED BY SHERWIN-WILLIAMS MOTANY (4 TO 6 MILS DRY FILM THICKNESS) OR APPROVED ALTERNATIVE.
- 2.1.3.5 ANCHOR BOLTS: GRADE A307 CR 300W THREADED ROD CONFORMING TO CSA G40.21-M
- 2.1.3.6 SAWN LUMBER: SPRUCE PINE FIR (S-P-F), NO. ON DRAWINGS. CONFORM TO CSA-0141
- 2.1.3.7 TIMBER DECKING: SPRUCE PINE FIR (S-P-F). COMMERCIAL GRADE OR BETTER UNLESS NOTED ON DRAWINGS. CONFORM TO CSA-0141. ALL TIMBER USED IN OUTSIDE ENVIRONMENT SHALL BE PRESSURE TREATED. 1.11 STRUCTURAL COMPOSITE LUMBER: CONFORM TO CSA 046.
- 2.1.3.8 PLYWOOD: CONFORM TO CSA 0121 (DOUGLAS FIR PLYWOOD) OR TO CSA 0151 (CANADIAN SOFTWOOD PLYWOOD).
- 2.1.3.9 TIMBER I- JOISTS: CONFORM TO CSA 086.
3. FOUNDATIONS
- 3.1 SOIL BEARING CAPACITY FOR FOUNDATION DESIGN IS ASSUMED AS 100kPa. CONTRACTOR SHALL VERIFY THIS ASSUMED VALUE OF BEARING CAPACITY BY CARRYING OUT REQUIRED SOIL TESTS BEFORE POURING THE FOOTINGS. NOTIFY THE ENGINEER IF MIN. 100kPa IS NOT ACHIEVED AT FOUNDING ELEVATION OF FOOTINGS.
- 3.2 FOOTINGS SUBGRADE MUST BE INSPECTED BY EITHER A GEOTECHNICAL ENGINEER OR A GEOTECHNICAL TECHNICIAN UNDER THE SUPERVISION OF GEOTECHNICAL ENGINEER TO ENSURE THE SUBGRADE CONDITIONS ARE COMPATIBLE WITH THE FOUNDATION DESIGN REQUIREMENTS.
- 3.3 FOUNDATION EXPOSED TO WEATHERING AND IN UNHEATED AREA SHOULD HAVE AT LEAST 4'-0" OF EARTH COVER FOR PROTECTION AGAINST FROST ACTION.
- 3.4 THE SLAB ON GRADE FLOOR SLABS SHOULD BE PLACED ON A GRANULAR BASE 20CM THICK, CONSISTING OF 19MM CRUSHED GRANITE, OR EQUIVALENT.
- 3.5 PERIMETER AND FLOOR SUBDRAINS ENCASED IN FABRIC FILTER SHOULD BE INSTALLED AND CONNECTED TO A POSITIVE OUTLET AND THE FOUNDATION WALLS SHOULD BE DAMP PROOFED.
- 3.6 INSULATION IS REQUIRED FOR PROTECTION OF THE FOUNDATIONS FROM DAMAGE DUE TO FROST ACTION. REFER TO ARCHITECTURAL DRAWINGS FOR FOUNDATION INSULATION NOT SHOWN ON STRUCTURAL DRAWINGS.
- 3.7 DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (OTHER THAN CANTILEVER RETAINING WALLS) UNTIL THE WALLS AND THE FLOOR CONSTRUCTION AT TOP AND BOTTOM OF THE WALLS HAVE BEEN CAST AND ATTAINED 100% OF THEIR DESIGN STRENGTH.
- 3.8 FOUNDATION INSULATION: EXTRUDED POLYSTYRENE WITH A MINIMUM COMPRESSIVE STRENGTH OF 0.24MPa UNLESS NOTED OTHERWISE 2 GRADE OR BETTER UNLESS NOTED
- 3.9 CARRY OUT BACKFILLING AGAINST FOUNDATION WALLS WHERE THERE IS GRADE ON BOTH SIDES IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 600 MM (2'-0") DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL. DO NOT COMPACT CLOSER THAN 1500 MM (6'-0") FROM WALLS WITH HEAVY EQUIPMENT. USE LIGHT HAND CONTROLLED EQUIPMENT WITHIN 1800 MM (6'-0") FROM WALLS.
- 4.0 CONCRETE
- 4.1 FOLLOW MANUFACTURER'S INSTRUCTIONS REGARDING INSTALLATION PROCEDURES AND MINIMUM EMBEDMENT OF ANCHORS
- 4.2 ALL DOWELS SHALL HAVE MINIMUM EMBEDMENT EQUIVALENT TO THE STRAIGHT TENSION EMBEDMENT LENGTH OR 600 MM (2'-0"), WHICHEVER IS GREATER, UNLESS NOTED OTHERWISE
- 4.3 REINFORCEMENT IDENTIFIED AS CONTINUOUS SHALL TERMINATE WITH STANDARD END HOOKS AND SHALL BE LAPPED WITH CLASS 'B' TENSION LAP SPLICES.
- 4.2.1 CONCRETE COVER:
ALL CONCRETE CAST AGAINST EARTH IS TO HAVE 75 MM (3") COVER, UNO.
- 4.2.2 CURING CONCRETE
- 4.2.3 CURE ALL CONCRETE IN ACCORDANCE WITH CSA A23.1. THE CONCRETE SUPPLIERS REQUIREMENTS AND AS SPECIFIED HEREIN.
- 4.3.1 PROTECTION
- 4.3.2 CONFORM TO THE REQUIREMENTS OF CSA A23.1. PROTECT FRESHLY DEPOSITED CONCRETE FROM FREEZING. PREMATURE DRYING AND EXTREMES OF TEMPERATURE. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT A RELATIVELY CONSTANT TEMPERATURE FOR THE PERIOD OF TIME NECESSARY FOR THE HYDRATION OF THE CEMENT AND TO ACHIEVE THE SPECIFIED STRENGTH OF THE CONCRETE.
- 4.3.3 PROVIDE SUFFICIENT INSULATION, AND HEAT AS NECESSARY TO PREVENT FREEZING OF FROST SUSCEPTIBLE SOIL WHICH LIES AGAINST STRUCTURAL ELEMENTS, IN PARTICULAR PROTECT SOIL BENEATH FOOTINGS AND BEHIND FOUNDATION WALLS UNTIL THE BUILDING IS COMPLETED.
- 4.3.4 CRACK REPAIR: PRIOR TO COMPLETION OF THE PROJECT AND IN ANY CASE NOT SOONER THAN 28 DAYS AFTER CONCRETE HAS BEEN PLACED. EXAMINE CONCRETE FLOOR SURFACES AND REPAIR ALL MAJOR CRACKS IN THEM. ROUT CRACKS OUT MTH MECHANICAL ROUTER TO 13 MM (1/2") SQUARE APPROXIMATE CROSS SECTION. THEN CLEAN AND FILL CRACKS IN SAME MANNER AS SAW CUTS IN SLAB ON GRADE.
- 4.3.5 THE CONTRACTOR SHALL ENSURE THAT REINFORCING STEEL IS ADEQUATELY BRACED AGAINST MOVEMENT DURING CONCRETE PLACING.
- 4.3.6 FABRICATE REINFORCEMENT IN ACCORDANCE WITH CAN/CSA A23.1 AND THE RSIC MANUAL OF STANDARD PRACTICE.
- 4.3.7 PERFORM FORMING OPERATIONS AND PLACE HARDWARE SO THAT FINISHED CONCRETE WILL BE WITHIN THE TOLERANCES SET OUT IN CAN/CSA-A23.1.
- 4.3.8 AFTER A PERIOD OF AT LEAST 28 DAYS, FILL SAW-CUTS WITH MORTAR CONTAINING CEMENT, SAND AND LATEX BONDING AGENT ENSURE THAT JOINTS TO BE FILLED ARE CLEAN, DRY AND FREE OF FOREIGN MATTER.
- 5.0 WOOD WORKS
- 5.1 ALL FRAMING. BRIDGING, NAILING. PROTECTION, HARDWARE AND OTHER FRAMING DETAILS ARE TO BE IN ACCORDANCE WITH PART 9 OF THE 2012 ONTARIO BUILDING CODE.
- 5.2 ROOF SHEATHING TO BE 15.5mm th. (5/8"th.) EXTERIOR GRADE FIR PLYWOOD NAILED AT 150MM (6") C/C ALONG EDGES AND 300MM (12") C/C ON INTERMEDIATE FRAMING MEMBERS. PROVIDE 3MM (1/8") GAP BETWEEN SHEATHING PIECES U.N.O.
- 5.3 WIND LOADS SHALL BE IN ACCORDANCE WITH THE 2012 ONTARIO BUILDING CODE. PROVIDE FRAMING ANCHORS TO RESIST UPLIFT AT EACH END OF EACH ROOF JOIST. ANCHORS TO HAVE A MINIMUM WORKING CAPACITY OF 0.5 kN (100 lbs) UNO.
- 5.4 UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, THE CONTRACTOR SHALL PROVIDE STANDARD SIMPSON STRONGTIE HARDWARE OR APPROVED EQUIVALENT FOR ALL JOIST HANGERS BEAM HANGERS BEAM SEATS, POST ANCHORS, ETC.
- 5.5 MEMBERS SHALL BE ALIGNED LEVEL AND PLUMB WITHIN A TOLERANCE OF 1 IN 500.

- MAKE ADEQUATE PROVISIONS FOR ERECTION STRESSES AND FOR SUFFICIENT TEMPORARY BRACING TO KEEP THE STRUCTURAL FRAME PLUMB AND IN TRUE ALIGNMENT UNTIL THE COMPLETION OF THE ENTIRE FRAMING INCLUDING INSTALLATION OF THE FLOOR AND WALL SHEATHING.
- 5.7 FOR ALL BUILT UP BEAMS SUPPORTED ON TIMBER WALLS, SUPPORT BEAMS ON POSTS WITH AN EQUAL NUMBER OF LAMINATIONS UNLESS NOTED OTHERWISE.
- 5.8 ALL BUILT UP BEAMS, TO BE NAILED TOGETHER WITH TWO ROWS OF 59 mm (3 1/2") SPIRAL NAILS AT 200MM (8") C/C. STAGGERED ROWS TOP AND BOTTOM. DO NOT SPLICE MEMBERS BETWEEN SUPPORTS.
- 5.9 ALL BEAMS SUPPORTED ON TIMBER WALLS ARE TO BEAR ON BUILT UP POSTS OR BE CONNECTED TO OTHER BEAMS WITH METAL BEAM HANGERS. PRESSURE NAILING PLATES WILL NOT BE ACCEPTED.
- 5.10 BUILT UP POSTS OF 2 OR 3 PLY SHALL BE NAILED TOGETHER AT 150 mm (6) c/c STAGGERED UNLESS NOTED OTHERWISE.
- 5.11 PROVIDE 38x38 (2x2) DIAGONAL CROSS BRIDGING AT MAXIMUM 2100 mm (6'-11) c/c UNLESS NOTED OTHERWISE. FOR ALL SAWN JOIST LOCATIONS (UNLESS NOTED OTHERWISE ON DRAWINGS).
- 5.12 PROVIDE MINIMUM BEARING OF 50 mm (2) FOR ALL JOISTS.
- 5.13 PROVIDE MINIMUM BEARING OF 100 mm (4) FOR ALL BEAMS.
- 5.14 NO SAWN LUMBER SHALL BE NOTCHED OR DRILLED IN THE FIELD WITHOUT THE PERMISSION OF THE CONSULTANT.
- 5.15 WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT PROTECTION. PROVIDE EITHER PRESSURE TREATED WOOD OR A POLYETHYLENE SHEET BETWEEN THE WOOD AND MASONRY/CONCRETE.
- 5.16 PROPOSED SCHEDULE OF WORK TO BE COORDINATED WITH ALL SUB TRADES, THE CONSULTANT AND OWNER.
- 5.17 PARALLAM BEAMS SHALL BE MANUFACTURED CONFORMING TO CAN/CSA-086.
- 5.18 UP TO THREE 44 mm (2) WIDE BEAMS MAY BE NAILED WITH 3 ROWS OF 89 mm (3 1/2") COMMON NAILS AT 300 mm (12") O.C. EACH SIDE: FOUR OR MORE PLY BEAMS SHALL BE BOLTED WITH 2 ROWS OF 13 mm (1/2") DIAMETER BOLTS AT 300 mm (12") O.C. STAGGERED BETWEEN ROWS.
- 5.19 NO HOLE OR NOTCH IS PERMITTED WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER AND THE SUPPLIER OF THE PARALLAM BEAMS
- 5.20 BEAMS SHALL BE INSTALLED CONFORMING TO THE MANUFACTURER'S INSTRUCTION FOR INSTALLATION.
- 5.21 ALL BEAMS SHALL BE PROPERLY STORED ON SITE AND SHALL BE PROTECTED AGAINST EXTENDED EXPOSURE TO SUN AND WATER BY USING STOCKERS ADEQUATE TO KEEP PRODUCTS ABOVE GROUND AND OUT OF MUD AND WATER (APPROXIMATELY 3000 mm (10'-0") O.C.) AND BY COVERING THE PRODUCTS WITH POLY SHEETS.
- 6.0 CONNECTION HARDWARE:
- 6.1- ALL CONNECTORS SHALL BE CSA APPROVED.
- 6.2- INSTALL ALL CONNECTORS AS PER MANUFACTURER'S RECOMMENDATION.
- 6.3- ALL NAILS, SCREWS, BOLTS, AND WELDS FOR CONNECTORS TO BE USED SHALL BE AS PER MANUFACTURER'S RECOMMENDATION.
- 6.4- SILL PLATES FOR EXTERIOR WALLS AT CONCRETE OR MASONRY WALL SHALL USE 12MM (1/2") DIA ANCHOR BOLTS EMBEDDED MIN. 7" TO 48" CENTERS UNLESS NOTED OTHERWISE ON DRAWINGS.
- 7.0 WOOD FRAMING:
- 7.1- ALL INTERIOR LOAD BEARING WALL FRAMING SHALL BE 2X6 STUD @ 12"/C/C WITH SILL PLATE, DOUBLE TOP PLATE AND 2X6 BLOCKING AT MID HEIGHT UNLESS NOTED OTHERWISE ON DRAWINGS.
- 7.2- ALL INTERIOR NON-LOAD BEARING WALL FRAMING SHALL BE 2X4 STUDS @ 16"/C/C.
- 7.3- ALL EXTERIOR WALLS TO BE CONSTRUCTED AS SHEAR WALLS. USE 2X6 @ 16"/C/C STUD WALLS. SHEAR WALL PANELS TO BE MIN. 12MM (1/2") PLYWOOD SHEATHING ON OUTSIDE AND 12MM (1/2") GYPSUM BOARD ON INSIDE CONNECT WITH MIN. 3.25MM (1/8")X 63.5MM (2 1/2") LONG NAILS AT 100MM (4") C/C ALONG PANEL EDGES AND 150MM (6") C/C ALONG INTERMEDIATE FRAMING MEMBERS. ALL SHEAR WALLS TO BE SHEATHED FROM TOP PLATE TO SILL PLATE. HORIZONTAL CONTINUOUS BLOCKING AT 1200MM (4'-0") C/C.
- 7.4- BOTTOM PLATE OF UPPER STORY SHEAR WALL TO BE CONNECTED TO THE FLOOR FRAMING, WHERE FLOOR FRAMING IS PROPERLY CONNECTED TO LOWER STORY SHEAR WALL. OVERSIZED SHEATHING PANELS MAY BE USED TO CONNECT UPPER STORY SHEAR WALLS TO LOWER STORY SHEAR WALLS THROUGH THE FLOOR RIM JOIST OR END JOIST. IN THIS CASE, SPACE MUST BE LEFT BETWEEN THE UPPER AND LOWER STORY SHEAR PANELS TO ACCOMMODATE MOVEMENT OF THE RIM JOIST AND NAILS STAGGERED TO PREVENT SPLITTING OF PLATES
- 7.5- ANY ALLOWABLE HOLES AND CUTS IN THE JOISTS ARE TO BE ONLY AS PER MANUFACTURER'S RECOMMENDATION.
- 7.6- WHEN 2 OR MORE LVL BEAM PLIES ARE FASTENED TOGETHER, CONTRACTOR TO STRICTLY FOLLOW MANUFACTURER'S RECOMMENDATION.
- 8.0 ROOF TRUSSES
- 1- ALL TRUSS GIRDERS SHALL BE SUPPORTED ON 6X6 PSL POSTS TO FOUNDATION WALLS UNLESS NOTED OTHERWISE ON DRAWINGS
- 2- REQUIRED UPLIFT HARDWARE SHALL BE USED WHERE TRUSS DESIGNER SHOW UPLIFT FORCES. UPLIFT HARDWARE SHALL BE AS PER MANUFACTURER'S RECOMMENDATION.
- 3- ALL ROOF TRUSSES SHALL BE DESIGNED AND SUPPLIED BY TRUSS MANUFACTURER ALONG WITH PROFESSIONAL ENGINEER'S DESIGN LABEL
- 4- ALL BRACING REQUIREMENT AND RECOMMENDATION FOR THE TRUSS SYSTEM ARE THE RESPONSIBILITY OF THE TRUSS DESIGN ENGINEER AND MANUFACTURER.
- 5- TRUSS MANUFACTURE/SUPPLIER/DESIGNER SHALL SUBMIT ENGINEERED SHOP DRAWINGS, ERECTION DRAWING AND DESIGN CALCULATIONS BEARING STAMP OF A PROFESSIONAL REGISTERED ENGINEER
- 6- THIS IS THE RESPONSIBILITY OF THE SUPPLIER TO SPECIFY ALL SUPPORTING HANGERS AND CONNECTION HARDWARE REQUIRED FOR THE INSTALLATION THE ROOF TRUSS.
- 9.1 DEFECTIVE MATERIALS AND WORK
- 1.1 WHERE EVIDENCE EXISTS THAT DEFECTIVE WORK HAS OCCURRED OR THAT WORK HAS BEEN CARRIED OUT INCORPORATING DEFECTIVE MATERIALS. THE CONSULTANT MAY HAVE TESTS, INSPECTIONS OR SURVEYS PERFORMED. ANALYTICAL CALCULATIONS OF STRUCTURAL STRENGTH MADE, AND THE LIKE IN ORDER TO HELP DETERMINE WHETHER THE WORK MUST BE CORRECTED OR REPLACED. TESTS, INSPECTIONS, SURVEYS, OR CALCULATIONS CARRIED OUT UNDER THESE CIRCUMSTANCES WILL BE MADE AT THE CONTRACTORS EXPENSE, REGARDLESS OF THEIR RESULTS, WHICH MAY BE SUCH THAT, IN THE CONSULTANTS OPINION, THE WORK MAY BE ACCEPTABLE
- 1.2 ALL TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 ONTARIO BUILDING CODE, EXCEPT WHERE THIS WOULD, IN THE CONSULTANTS OPINION, CAUSE UNDUE DELAY OR GIVE RESULTS NOT REPRESENTATIVE OF THE REJECTED MATERIAL IN PLACE. IN THIS CASE, THE TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE STANDARDS GIVEN BY THE CONSULTANT.
- 1.3 MATERIALS OR WORK, WHICH FAIL TO MEET SPECIFIED REQUIREMENTS, MAY BE REJECTED BY THE CONSULTANT WHENEVER FOUND AT ANY TIME PRIOR TO FINAL ACCEPTANCE OF THE WORK REGARDLESS OF PREVIOUS INSPECTION, SHALL BE PROMPTLY REMOVED AND REPLACED OR REPAIRED TO THE SATISFACTION OF THE CONSULTANT. AT NO EXPENSE TO THE OWNER.

DESIGN CODES AND LOADS:

1. STRUCTURAL DESIGN IS BASED ON NATIONAL BUILDING CODE OF CANADA, 2015 AND ONTARIO BUILDING CODE REGULATIONS, 2012.
2. LOADS SHOWN ON STRUCTURAL DRAWINGS ARE UNFACTORED U.N.O.
3. DESIGN LOADS AS SHOWN ON STRUCTURAL DRAWINGS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
6. CLIMATIC LOADS (LOCATION: MISSISSAUGA, ONTARIO):
 - 6.1.WIND PRESSURE ($\frac{1}{30}$): 0.35 kPa
 - 6.2.SNOW LOAD ($\frac{1}{50}$) : $S_s = 1.1$ kPa , $S_r = 0.4$ kPa
7. DESIGN LOADS (SERVICE):
 - 7.1.LIVE LOAD = 40 psf
 - 7.2.FLOOR DEAD LOAD = 22 psf
 - 7.3.EXTERNAL WALL DEAD LOAD = 50 psf
 - 7.4.PARTITION LOAD = 6 psf
 - 7.5.ROOF DEAD LOAD = 10 psf
 - 7.6.SNOW LOAD = 21 psf
 - 7.7.WIND LOAD = 7.5 psf


STRUCTURAL DESIGN NOTES:		BEAM DESCRIPTION	
1.	ASSUMING BEARING CAPACITY OF SOIL = 120KPa	B1	2.1 RIGIDLAM SP LVL. 1-3/4 x 11-7/8
2.	FOUND ALL FOOTINGS ON NATIVE UNDISTURBED SOIL	B2	1-1/8 x 11-7/8 APA RIM BOARD PLUS
3.	STANDARD STRUCL. SHALL CONFORM TO CSA STRUTURAL CAN/CSA G40.20 G40.21 OR ASTM A992/A992M	B3	11-7/8 PJ-140 SEE LUMBER
4.	BOLTS & BOLTS ASSEMBLY SHALL CONFORM TO ASTM A325 OR A490M		
5.	ALL REBARS SHALL CONFORM TO CAN/CSA G30.18-M52, MIN. YIELD STRENGTH 400 mPa		
6.	10M LAP LENGTH = 24XBAR DIA		
		NOTE: PLEASE SEE LUMBER DWGS. FOR STRUCTURAL FLOOR FRAMING PLANS	

JOIST SCHEDULE		FOOTING DESCRIPTION	
J1	11-7/8" PJ1 SEE LUMBER DRAWINGS	F1	3'-0"x5'-0"x16" THE FOOTING REINFORCED WITH 5-15M BAR BOTTOM BOTH WAYS AND POURED WITH 25MPA CONCRETE

WD. POST SCHEDULE	F2	24" WIDE X 8" TH. REINFORCED WITH 3-10M CONTINUOUS BARS IN OTTOM BOTH WAYS TO BE POURED WITH 25MPA CONCRETE.
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WD. POST SCHEDULE		UPTO 84" OPENINGS	
P1	2-2 x 6 SPF	POURED WITH 25MPA CONCRETE	
P2	3-2 x 6 SPF		
P3	4-2 x 6 SPF		
P4	4-2 x 4 SPF		
P5	3-2 x 4 SPF		
P6	4x4 SPF STAIRCASE POST		
P7	4-2 x 8 SPF		

NOTE:
IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF ONTARIO BUILDING CODE. NOTATIONS MADE ON THESE DRAWINGS ARE BASED ON ASSUMED SITE CONDITIONS AND DO NOT NECESSARILY ADDRESS ALL AREAS OF CONSTRUCTION. THIS IS CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SITE CONDITION AND IN CASE OF ANY DISCREPANCY BETWEEN ACTUAL SITE CONDITIONS AND THE DRAWINGS, NOTIFY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ALL CONSTRUCTION TO BE DONE BY CONTRACTOR IS SUBJECT TO FIELD REVIEW AND APPROVAL BY A QUALIFIED LICENSED PROFESSIONAL ENGINEER.

PROJECT ARCHITECTS: ARCHISYS INC.					
CONSULTING ARCHITECTS CERTIFICATE OF PRACTICE # 5465					
279 Main Street North Brampton, ON L6X 1N4 Tel: 905-858-2565 Cell: 647-295-2565 www.thearchisystem.com email: archisysystem@gmail.com					
<u>NOTES:</u>					
THE DRAWINGS SHALL NOT BE SCALED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ,DATUM AND LEVELS PRIOR TO COMMENCING THE WORK. FAILURE TO THAT THE CONTRACTOR WILL BE LIABLE TO RECTIFY WITHOUT EXTRA COST. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT .VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THIS DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THIS DRAWING IS EXCLUSIVE PROPERTY OF THEARCHITECT AND SHALL NOT BE REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION. ALLWORKS TO BE DONE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO PREVAILING ONTARIO BUILDING CODE.					
OWNER / CLIENT: LA CABAN DEVELOPMENTS INC.					
STRUCTURAL ENGINEERS:					
No.	BUILDING PERMIT	Issued For:	10-10-2024	Date:	
					
PROJECT: TOWNHOUSE DEVELOPMENT 61 CLAPHAM RD, HAMILTON, ON L8G 2H9					
DRAWING TITLE: ARCHITECTURAL SET					
SHEET TITLE: GENERAL NOTES					
JOB #		2023019			
SCALE:		As indicated			
SHEET NO.: S3.0					

June 19, 2025

Submitted Digitally

Mr. Justin Leung
Secretary-Treasurer
Committee of Adjustment
Planning and Economic Development Department
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON
L8P 4Y5

Dear Mr. Leung:

**Re: Minor Variance Application
LaCaban Developments Inc.
61 Clapham Road
City of Hamilton
Our File No.: 2015/15**

On behalf of LaCaban Developments Inc., the purpose of this letter is to provide planning justification for the above noted Minor Variance Application ("Application") for the subject property located at 61 Clapham Road.

Purpose of Application

The purpose of the Application is to obtain minor variances necessary to facilitate the development of five (5) two-storey street townhouse dwellings and five (5) additional secondary dwelling units each within the principal dwelling. Individual driveway access for the units will be off of Catalina Drive.

Minor Variances Requested

Based on our review of the City zoning comments provided for the related Building Permit Application, the following minor variances are being requested:

1. To permit a minimum easterly side yard setback of 1.5 metres for Unit 5 whereas 2.0 metres is required (Section 10 F(4)(c)).
2. To permit an unenclosed porch within the side yard of Unit 1 whereas an unenclosed porch is only permitted within a required front yard or rear yard (Section 18(3)d)).

3. To permit a minimum driveway dimension of 2.8 metres x 5.5 metres for a secondary dwelling unit whereas 2.8 metres x 5.8 metres is required (Sections 18A(7) and Section 19).
4. To permit a minimum parking and loading space dimension of 3.0 metres x 5.5 metres for a secondary dwelling unit whereas 3.0 metres x 5.8 metres is required (Sections 18A(9) and Section 19).
5. To permit a minimum easterly side yard setback of 1.92 metres for the access driveway for secondary unit within Unit 5 whereas 3.0 metres is required (Sections 18A(25) and Section 19).

Planning Opinion

On November 9, 2016, City Council approved Zoning By-law No. 16-301 to facilitate the development of five (5) street townhouses on the subject property. The Holding Provision was subsequently removed on December 19, 2024 through By-law 24-239 following the execution of the required External Services Agreement and approval of a Functional Servicing Report. Through a further zoning review provided through the Building Permit Application, City staff identified zoning deficiencies that were not initially captured in Zoning By-law No. 16-301 as well as deficiencies related to the proposed secondary dwelling units.

The overall intent and purpose of the proposed development has not changed since the Council approval. At the rezoning stage, it was determined that proposed townhouse development conformed to the Urban Hamilton Official Plan (UHOP). Additionally, the *Planning Act* requires that every municipality provide for secondary dwelling units in their respective Official Plans and Zoning By-laws. The UHOP and implementing Zoning By-law No. 6593 (Section 19) contains policies and regulations for secondary dwelling units.

The proposed minor variances in my opinion maintain the general intent and purpose of the UHOP and Zoning By-law and satisfy the four (4) tests as set out in the Planning Act.

A review and analysis of the minor variances sought is outlined below.

Variances #1 and #5 apply to Unit #5 which is the most easterly townhouse unit. The proposed side yard setback reductions for the principal townhouse and secondary dwelling units and the access driveway are in my opinion, appropriate in this instance. The side yard in question is adjacent to an existing parking lot that presently serves the existing apartment building. In this scenario, there are no concerns with respect to land use compatibility or conflict with existing homeowners. It is anticipated that wood privacy fencing will be installed between the proposed townhouse and the existing parking lot to provide privacy for the future townhouse owner.

It is my opinion that these variances maintain the general intent and purpose of the Official Plan and Zoning By-law, are minor in nature and desirable for the appropriate

development and use of the land. Given the existing context, there will be no adverse impacts arising from the proposed variances seeking a reduced side yard setback.

Variance #2 applies to the proposed secondary unit within Unit #1 which is the most westerly townhouse unit situated at the corner of Clapham Road and Catalina Drive. Based on the corner lot condition, the owner is seeking relief for an unenclosed porch within a side yard whereas the Zoning By-law permits unenclosed porches only within the front and rear yards. The purpose of the unenclosed porch is to facilitate side yard access to the dwelling unit and will result in an improved design. It will also contribute to the aesthetics of the streetscape. The existing house presently fronts onto Clapham Road.

It is my opinion that the variance maintains the general intent and purpose of the Official Plan and Zoning By-law, is minor in nature and is desirable for the appropriate development and use of the land. There will be no adverse impact arising from the proposed variance to facilitate an unenclosed porch.

Variances #3 and #4 address the minimum driveway and loading space dimensions only for the proposed secondary dwelling units. In this case, the owner is seeking relief of 0.3 metres (1 foot) for the driveway and loading space length for the secondary dwelling units. The width of the driveway at 3.0 metres will meet and exceed the Zoning By-law standards. It should be noted that Zoning By-law 16-301 approved by Council provided relief for the garage and driveway dimensions for the townhouses. By-law 16-301 provides for a minimum dimension of a parking space of not less than 3.0 metres by 5.8 metres within a garage and 2.8 metres by 5.5 metres within a driveway. The same provisions, however, do not apply to secondary dwelling units, hence the need for these variances. It is my opinion that the variances are technical in nature and appropriate to accommodate secondary dwelling units. The relief will avoid the need to recess the garage within the townhouse unit to accommodate secondary dwelling units. The 5.5 metre length is more than sufficient to accommodate most vehicles. The variances continue to respect Council's approval of the Zoning By-law in 2016 which was premised on a driveway length of 5.5 metres.

It is my opinion that these variances maintain the general intent and purpose of the Official Plan and Zoning By-law, are minor in nature and desirable for the appropriate development and use of the land. The variances are technical in nature and will have no adverse impact on the surrounding neighbourhood.

Conclusions

In conclusion, it is my opinion that the minor variances requested satisfy the four (4) tests as set out in Section 45(1) of the *Planning Act*. The proposed variances will facilitate a townhouse development together with secondary dwelling units that will provide for an appropriate and compatible built form. The variances related to the secondary dwelling units help advance Provincial policy that supports more affordable housing units. The variances requested maintain the general intent and purpose of the UHOP as well as the implementing Zoning By-law, are minor in nature, and appropriate and desirable for the

use and development of the subject lands. There will be no adverse impact on the surrounding neighbourhood arising from the minor variances requested.

Yours truly,
WELLINGS PLANNING CONSULTANTS INC.

A handwritten signature in black ink, appearing to read "Glenn J. Wellings". The signature is fluid and cursive, with the first name "Glenn" being more prominent than the last name "Wellings".

Glenn J. Wellings, MCIP, RPP

Copy: Tayo Omosehin, LaCaban Developments Inc.
Ross Defina, Project Architect

Authority: By-law No. 22-217
CM: August 12, 2022 Ward: 5

Bill No. 239

**CITY OF HAMILTON
BY-LAW NO. 24-239-PED**

**To Amend Former City of Hamilton Zoning By-law No. 6593
Respecting Lands Located at 61 Clapham Road, Hamilton**

WHEREAS the Council of the City of Hamilton, in adopting Item 8 of Report 22-013 of the Planning Committee at its meeting held on the 12th day of August 2022, recommended that the Director of Planning and Chief Planner be authorized to pass a by-law to remove a Holding Symbol that forms part of any zone where the conditions have been met;

WHEREAS the City of Hamilton is the successor to certain area municipalities, including the former municipality known as the "The Corporation of the City of Hamilton" and is the successor to the former regional municipality, namely, "The Regional Municipality of Hamilton-Wentworth";

WHEREAS the *City of Hamilton Act, 1999* provides that the Zoning By-laws of the former area municipalities continue in force in the City of Hamilton until subsequently amended or repealed by the Council of the City of Hamilton;

WHEREAS the Council of The Corporation of the City of Hamilton passed Zoning By-law No. 6593 (Hamilton) on the 25th day of July 1950, which by-law was approved by the Ontario Municipal Board by Order dated the 7th day of December 1951 (File No. P.F.C. 3821);

WHEREAS the conditions of Holding Provision for the lands located at 61 Clapham Road, Hamilton have been satisfied;

WHEREAS the Notice of Intention to Pass the Holding Removal By-law was issued on December 18th, 2024;

AND WHEREAS this By-law is in conformity with the Urban Hamilton Official Plan;

NOW THEREFORE the Director of Planning and Chief Planner of the City of Hamilton enacts as follows:

1. That Sheet No. 1193 of the District Maps, appended to and forming part of Zoning By-law No. 6593 (Hamilton) is amended by changing the zoning from the "RT-30/S-1738-'H'" (Street Townhouse) District, Modified, Holding to the "RT-30/S-1738" (Street Townhouse) District, Modified, on the lands the extent and boundaries of which are shown on Schedule "A" annexed hereto and forming part of this by-law.
2. That no building or structure shall be erected, altered, extended, or enlarged, nor shall any building or structure or part hereof be used, nor shall any land be used, except in accordance with the "RT-30/S-1738" (Street Townhouse) District, Modified, provisions.

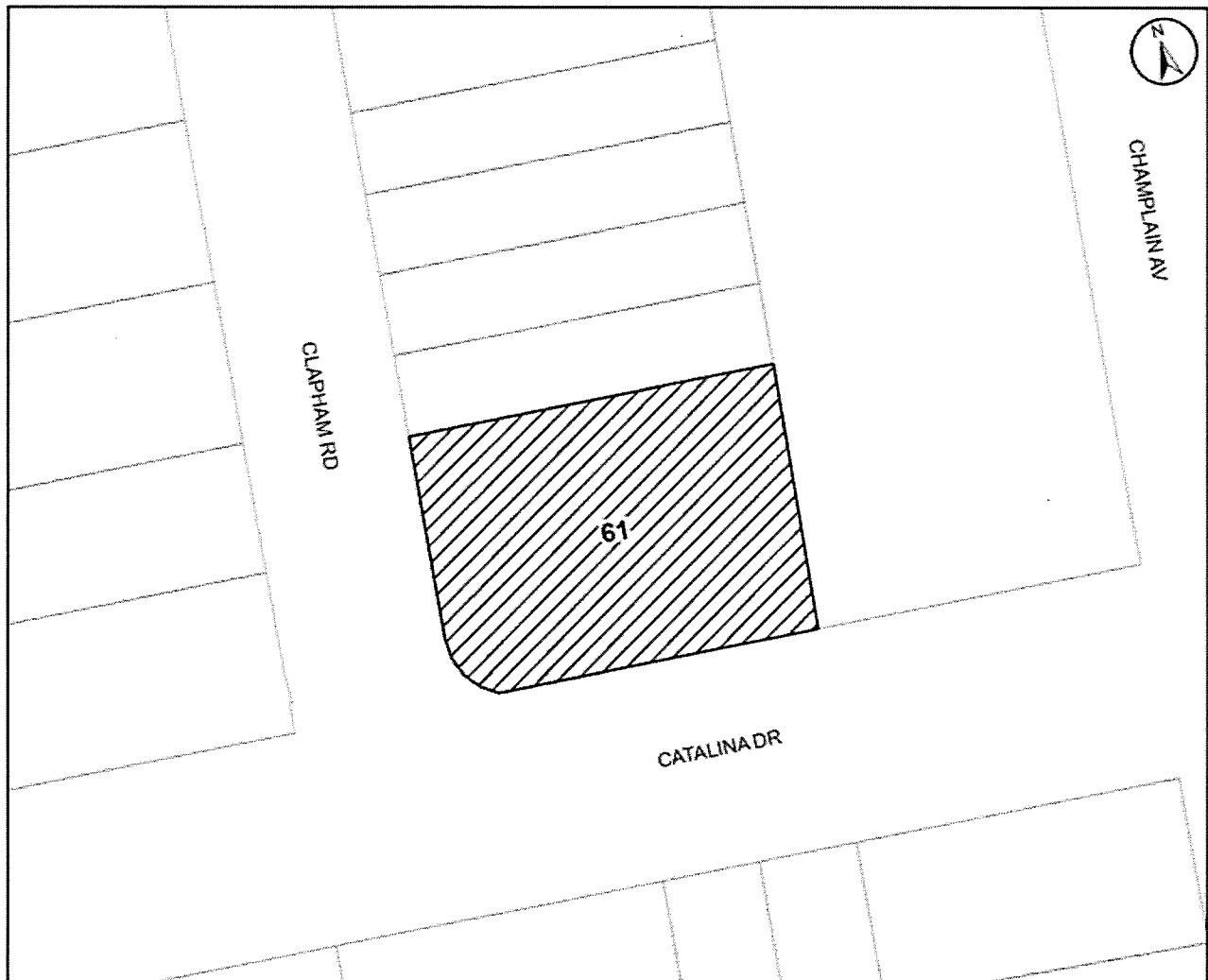
3. That the Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law, in accordance with the *Planning Act*.

PASSED this 19th day of December, 2024.



Anita Fabac
Acting Director of Planning and Chief Planner

ZAH-23-021



This is Schedule "A" to By-law No. 24-
Passed the 19th day of December, 2024


Director of Planning and Chief Planner


Schedule 'A'

Map forming part of
By-law No. 24-239-PED

to Amend By-law No. 6593

Subject Property

61 Clapham Road, Hamilton

 Change in Zoning from "RT-30/S-1738-H"
(Street Townhouse) District, Holding, Modified,
to "RT-30/S-1738" (Street Townhouse) District,
Modified

Scale:
N.T.S.

File Name/Number:
ZAH-23-021

Date:
December 18, 2024

Planner/Technician:
BD/SH



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

June 5, 2025

FILE: ZCR-24-115- 02
ATTENTION OF: Kayla Medeiros
TELEPHONE NO: (905) 546-2424
EXTENSION: 5867

SARWAT A SYED
[REDACTED]
[REDACTED]

Re: APPLICABLE LAW REVIEW – ZONING BYLAW COMPLIANCE REVIEW
PRESENT ZONE: RT-30-H/S-1738 (STREET TOWNHOUSE-HOLDING)
ADDRESS: 61 CLAPHAM ROAD, HAMILTON

An Applicable Law Review respecting zoning bylaw compliance has been completed and the following comments are provided.

COMMENTS:

1. This application is to facilitate the construction of a two-storey Street Townhouse Dwelling consisting of five (5) dwelling units, each having individual driveway access off Cataline Drive. The application is also proposing five (5) additional secondary dwelling units, located within each principle dwelling unit and having access through the basement.
2. This application has been made in support of a building permit application. This review is based on a Revision submitted May 29, 2025.
3. The subject property is zoned RT-30-H/S-1738 (Street Townhouse- Holding) within Hamilton Zoning By-law 6593, which permits street townhouse dwellings. The proposed use of a secondary dwelling unit within a street townhouse dwelling unit is permitted.
4. A Street Townhouse Dwelling shall mean the following:
 - (a) *in which all single family dwelling units front on a public street, and*
 - (b) *which do not share any yards, driveways, common open space and parking and manoeuvring space.*

The applicant shall confirm that the proposed development is consistent with the definition of Street Townhouse Dwelling, as provided in Hamilton Zoning By-law 6593.


5. This property is deemed as a corner lot. Front lot line is defined as the following:

“... with reference to a corner lot shall mean either of the boundary lines along a street at the option of the owner, provided that where one of such boundary lines along a street is chosen as the front lot line, the other shall be considered as a side lot line; and with reference to a through lot shall mean and include each of the two shorter boundary lines along streets.”

Based on the site plan submitted it appears that Catalina Drive is considered the front lot line and Clapham Road is considered the side lot line.

6. The lands are subject to a holding provision. The holding contains specific conditions required to be satisfied before development can occur on the subject lands. Therefore, the proposed development is not permitted until such time that the "H" holding is successfully removed through an amendment to the By-Law.
7. Please note that this review is based on the assumption that the individual lots identified on the site plan have been established through a successful Part Lot Control Application. Additional review will be required should individual lots not be created.
8. Construction of the proposed development is subject to the issuance of a building permit in the normal manner.
9. Demolition of any existing buildings or structures are subject to the issuance of a demolition permit in the normal manner.
10. All new signs proposed for this development must comply with the regulations contained within Hamilton Sign By-law 10-197. A building permit(s) is required for all signage.
11. The designer shall ensure that the fire access route conforms to the Ontario Building Code.
12. The proposed development has been reviewed and compared to the standards of the "RT-30" zoning district under Hamilton Zoning By-law 6593, as indicated in the following chart:

By-Law Section	Required By By-Law	Provided	Conforming/ Non-Conforming
SECTION 10F: RT-30-H/S-1738 (STREET – TOWNHOUSE) <i>(and amending by-law 16-301)</i>			
Permitted Uses [Section 10F (2)a) of Hamilton Zoning By-law 6593]	A Street Townhouse Dwelling or Street Townhouse Dwellings.	Street Townhouse Dwelling, with five (5) additional dwelling units within each principal unit.	Conforms
Height Requirements [Section 10F(3) of Hamilton Zoning By-law 6593]	No building shall exceed three (3) storeys, and no structure other than a building shall exceed 11.0m in height.	Two (2) Storey, 10.9 metres	Conforms
Minimum Front Yard [Section 10F(4)(a) of Hamilton Zoning By-law 6593 & as amended by By-law 16-301]	A front yard depth of not less than 3.0m. A front yard of a depth of not less than 5.5 metres	5.50 metres	Conforms
Minimum Rear Yard [Section 10F(4)(b) of Hamilton Zoning By-law 6593 & as amended by By-law 16-301]	A rear yard of a depth not less than 7.5m. A minimum rear yard of a depth of not less than 6.5 metres for the first storey and 5.8 metres for the second storey	6.5 metres	Conforms

<p>Minimum Side Yard [Section 10F(4)(c) of Hamilton Zoning By-law 6593]</p>	<p>Except as provided in clause (d), a side yard abutting a wall <u>that is not a party wall</u>, along each side lot line of a width of not less than;</p> <p>i) 1.2m for a street townhouse dwelling, not exceeding one storey in height</p> <p>ii) 2.0m for a street townhouse dwelling, not exceeding two (2) storeys in height</p> <p>iii) 2.5m for a street townhouse dwelling, not exceeding three (3) storeys in height</p>	<p>ii)Westerly side lot line: 2.31m Easterly side lot line: 1.50m *Non-Conforming for easterly lot line</p> 	<p>NON-CONFORMING</p>
<p>Minimum Side Yard [Section 10F(4)(d)(i) of Hamilton Zoning By-law 6593 & as amended by By-law 16-301]</p>	<p>A side yard abutting a wall that is not a party wall, along each side lot line of a width of not less than;</p> <p>i) 3.0m, for each dwelling unit for which a garage or carport is not provided as either attached to or as an integral part of the street townhouse dwelling.</p> <p>i) side yard abutting a wall that is not a party wall along each side lot line of a width of not less than 1.2 metres on the easterly side lot line and 1.4 metres on the westerly side lot line</p>	<p>Westerly side lot line: 2.31m Easterly side lot line: 1.50m</p>	<p>Conforms</p>
<p>Distance Between Buildings [Section 10F(5) of Hamilton Zoning By-law 6593]</p>	<p>There shall be provided and maintained where there is more than one building on a lot, a distance between buildings</p> <p>a) not exceeding one storey in height, of not less than 2.5m</p> <p>b) not exceeding two storeys in height, of not less than 3.5m</p> <p>c) not exceeding three storeys in height, of not less 5.0m</p>	<p>Only one building is proposed</p>	<p>Not Applicable</p>

Intensity of Use [Section 10F(6) of Hamilton Zoning By-law 6593 & as amended by By-law 16-301]	<p>i) a lot area not less than 180 square metres for each single family dwelling</p> <p>ii) a width of not less than 6.0m for each dwelling unit.</p> <p>A lot area not less than 149 square metres for each single family dwelling unit and not less than 200 square metres for the end units</p>	<p>Unit 1: 201.9 square metres Unit 2: 149.6 square metres Unit 3: 149.6 square metres Unit 4: 149.6 square metres Unit 5: 200.0 square metres</p> <p><i>Note: Unit 1 and Unit 5 are considered end units</i></p>	Conforms
Dwelling Unit Placement [Section 10F(9) of Hamilton Zoning By-law 6593]	Not more than eight single family dwelling units shall be attached in a continuous row.	Maximum five (5) units are attached in a row.	Conforms
Visual Barrier [as amended by By-law 16-301]	A visual barrier shall be provided along the easterly and northerly property boundaries which shall be between 1.5 metres to 2.2 metres in height.	<p>A visual barrier (fence) at a height of 2 metres has been provided along the northerly property boundary.</p> <p>Note: Applicant shall ensure the fence is provided along the <u>entire easterly property boundary</u>.</p>	Conforms
Section 18 – Supplementary Requirements and Modifications			
Yard Encroachments [Section 18(3) of Hamilton Zoning By-law 6593]	<p>b) A canopy, cornice, eaves or gutter may project,</p> <p>i) into a required front yard not more than 1.5m provided that no such projection shall be closer to the street line than 1.5m</p> <p>ii) into a required rear yard not more than 1.5m, and</p> <p>iii) into a required side yard not more than one-half the width, or 1.0m, whichever is lesser.</p>	<p>i) provided</p> <p>ii) provided</p> <p>iii) 1.10m along easterly side yard</p>	Conforms
	<p>c) An open fire escape or stairway may project into a required <u>rear</u> yard not more than 1.0m.</p> <p><i>Required rear yard: A minimum rear yard of a depth of not less than 6.5 metres for the first storey and 5.8 metres for the second storey.</i></p>	<p>Unit 1: 6.5m</p> <p>Units 2 - Unit 5: 5.99m</p> <p><i>Note: Applicant shall dimension setback from proposed stairway to rear yard</i></p>	Conforms
	d) A roofed-over or screened but otherwise unenclosed porch at the first storey level, including eaves and gutters, may project into a required <u>front yard or rear yard</u> to a distance of not more than 3.0m, and every such projecting porch shall be distance	<p>Unit 1: Rear yard: 6.5m Side yard: 1.46m</p> <p>Setback of stairs located along Clapham Road has not been shown.</p>	NON-CONFORMING

	at least 1.5m from the front lot line.	<p><i>Note: Unit 1 covered porch cannot encroach into the required side yard</i></p> <p>Units 2 – Unit 5: Setback for covered porch has not been dimensioned on site plan.</p> <p><i>dimensioned on plan (no issue)</i></p>	
Accessory Buildings [as amended by By-law 16-301]	Accessory buildings shall not be permitted for any street townhouse units.	Accessory buildings are not proposed as per the submitted site plan.	Conforms
Section 19 – Residential Conversion Requirements			
Secondary Dwelling Unit and Secondary Dwelling Unit – Detached in all Residential Districts [Section 19 (1) of Hamilton Zoning By-law 6593]	(ii) Parking shall be provided in accordance with Section 18(A) of this By-law and the following: (a) No additional parking space shall be required for either a Secondary Dwelling Unit or a Secondary Dwelling Unit - Detached, provided the required parking spaces which existed on May 12, 2021 for the existing dwelling shall continue to be provided and maintained; 1. Notwithstanding Section 19.(1) (ii) (a), one parking space shall be required for a Secondary Dwelling Unit - Detached if it constitutes the fourth Dwelling Unit on a lot	New construction, therefore parking will be required.	Applicant to Note
	(b) Notwithstanding Section 18A.(14a) and 18A.(14h) (i), a maximum of two parking spaces for a Secondary Dwelling Unit and/or Secondary Dwelling Unit - Detached may be provided in the required Front Yard; and,	One (1) parking space is provided in garage and second parking spaces is provided on driveway.	Conforms
	(c) In addition to Section 18A.(31), the surface of a parking space and access driveway may include permeable pavers.	Applicant to note	Applicant to Note
Secondary Dwelling Unit [Section 19 (1) (1) of Hamilton Zoning By-law 6593]	(i) A maximum of one Secondary Dwelling Unit shall be permitted within a Single Detached Dwelling, a Semi-Detached Dwelling, or a Street Townhouse Dwelling on a divided or undivided lot and shall not result in a change to the defined dwelling type on the lot	A maximum of one secondary dwelling unit is proposed in each unit within the street townhouse dwelling	Conforms
	(ii) All the regulations of this By-law applicable to the existing dwelling shall continue to apply unless specifically provided in Section 19.(1).1.	Applicant to note	Applicant to Note

	(iii) A Secondary Dwelling Unit shall contain a maximum of two bedrooms.	A maximum of one bedroom is proposed in each secondary dwelling unit	Conforms
	(iv) There shall be no outside stairway above the first floor other than a required exterior exit.	Not proposed	Conforms
	(v) A maximum of one entrance shall be permitted on the front façade of a dwelling containing a Secondary Dwelling Unit. (a) Notwithstanding Section 19.(1).1 (v), one additional entrance may be located on the front façade of a dwelling for lots identified in Schedule "P" of Section 22.	A maximum of one entrance is proposed in each street townhouse dwelling	Conforms
Minimum Number of Required Parking Spaces [Section 18A(1)(a) of Hamilton Zoning By-law 6593]	TABLE 1: Street Townhouse Dwelling requires one (1) parking space per dwelling unit.	Parking space appears to be proposed in garage of each townhouse dwelling. Applicant shall label on site plan.	Appears to Conform
Minimum Number of Required Parking Spaces [Section 18A(1)(a) of Hamilton Zoning By-law 6593]	TABLE 1: Secondary Dwelling Unit requires one (1) parking space per dwelling unit.	Parking spaces appears to be provided on the driveway of each townhouse dwelling, however, does not meet minimum parking size. Applicant shall label on site plan.	See below
Manoeuvring Space [Section 18A(1)(f) of Hamilton Zoning By-law 6593 & as amended by By-law 16-301]	Table 6, the minimum required manoeuvring space shall not apply	Not applicable as per amending bylaw 16-301	Conforms/Not Applicable
Minimum Parking Space Size [Section 18A(7) of Hamilton Zoning By-law 6593 & as amended by By-law 16-301]	The minimum dimensions of a parking space shall not be less than 3.0 metres by 5.8 metres within a garage and 2.8 metres by 5.5 metres within a driveway.	Driveway: 3.0 m x 5.50m Garage: 3.10m x 5.92m This Section conforms, not sure why it's still noted as unconforming?	NON-CONFORMING
[Section 18A(7b) of Hamilton Zoning By-law 6593]	Where a dwelling is constructed with an attached garage, then the finished level of the garage floor shall be a minimum of 0.3 metres above grade	0.30 metres	Conforms
[Section 18A(9) of Hamilton Zoning By-law 6593]	Required parking space, loading space and manoeuvring space shall be provided and maintained only on the lot on which the principle use, building or structure is located.	Parking space located on driveway does not meet the minimum size of 3.0 metres by 5.8 metres	NON-CONFORMING

[Section 18A(10) of Hamilton Zoning By-law 6593]	Sufficient space additional to required parking space shall be provided and maintained on the same lot on which the parking space is located, in such a manner as to enable each and every parking space to be unobstructed and freely and readily accessible from within the lot, without moving any vehicle on the lot or encroaching on any designated parking or loading space.	Parking spaces are located in driveway as unobstructed and freely accessible from within the lot.	Conforms
Required Parking Space [Section 18A (14a) of Former Hamilton Zoning By-law 6593]	Except for single family dwellings, two family dwellings and three family dwellings erected prior to the 14th day of December 1971, no part of a required parking space for a single family dwelling, two family dwelling or three family dwelling in a residential district shall be located in a required front yard and not less than 50% of the gross area of the front yard shall be used for a landscaped area excluding concrete, asphalt, gravel, pavers, or other similar materials.	As per site statistic chart: Unit 1: 58.16% Unit 2: 50.03% Unit 3: 50.03% Unit 4: 50.03% Unit 5: 61.67%	Conforms
[Section 18A(21) of Hamilton Zoning By-law 6593]	All required parking spaces and manoeuvring spaces shall have access by means of one or more access driveways, a) located on the lot; or b) located partly on the lot in the case of a mutual driveway; or c) by means of a right of way.	Parking space is accessed by driveway located on the lot.	Conforms
[Section 18A(22) of Hamilton Zoning By-law 6593] <i>Note: By-law 16-301 states that notwithstanding Section 18A(1)(f) and Table 6, the minimum required manoeuvring space shall not apply</i>	All manoeuvring spaces shall be maintained free and clear of all obstructions to permit unobstructed access to and egress from required parking spaces.	Maneuvering appears to be free and clear of obstruction.	Conforms
[Section 18A(24) of Hamilton Zoning By-law 6593]	Every parking area for a use where; a) There are five or less parking spaces shall have not less than one access driveway or mutual driveway, having a width of at least 2.8m.	Each unit has one driveway and 2.8 metres provided	Conforms
[Section 18A(25) of Hamilton Zoning By-	Where a townhouse dwelling, maisonette dwelling or multiple	Northerly property zoned DE-2/S-48A and easterly	NON-CONFORMING

law 6593]	dwelling is adjacent to a residential district that does not permit such uses, every access driveway to the townhouse dwelling, maisonette dwelling or multiple dwelling shall be located not less than 3.0 metres from the common boundary between the district in which the townhouse dwelling, maisonette dwelling or multiple dwelling is located and the district that does not permit such uses.	property is zoned DE-3. Both zones do not permit street townhouses. Unit 5: 1.92m to the easterly property line.	
[Section 18A(29) of Hamilton Zoning By-law 6593]	Where a parking space for a townhouse dwelling is covered and attached to or enclosed within a dwelling unit, the entrance to the parking space shall be located not less than 6.0m from the entrance to the individual driveway.	1.70 metres has been provided for all Units	Conforms
[Section 18A(30) of Hamilton Zoning By-law 6593]	A permanent durable and dustless surface that is graded, drained, and paved with concrete or asphalt or a combination of concrete and asphalt shall be provided and maintained for every parking area, manoeuvring space, loading space and access driveway.	Concrete driveway proposed	Conforms
[Section 18A(31) of Hamilton Zoning By-law 6593]	A gravel or similar surface or other suitable paving shall be provided and maintained for every parking space and access driveway accessory to a single family dwelling, a two family dwelling, and to street townhouse dwellings each having separate access driveways.	Concrete driveway proposed	Conforms

Yours truly



For the Manager of Zoning & Committee of Adjustment



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5


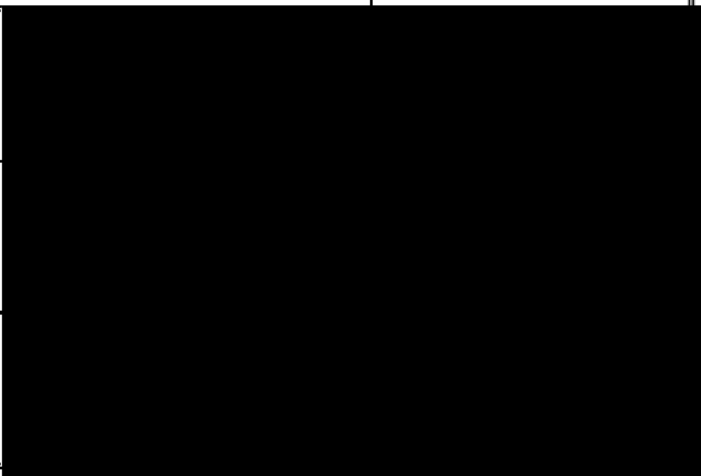
Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	LaCaban Developments Inc. 	
Applicant(s)	Ross Defina	
Agent or Solicitor	Ross Defina	

1.2 Primary contact

☒ Applicant

☐ Owner

☒ Agent/Solicitor

1.3 Sign should be sent to

☒ Applicant

☐ Owner

☒ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

☐ In person

☐ Credit over phone*

☒ Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	61 Clapham Road, Hamilton, On. L8G 2H9		
Assessment Roll Number			
Former Municipality	City of Hamilton		
Lot	28	Concession	3
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

1. To permit a reduced easterly side yard setback. 2. To permit a unenclosed porch encroachment into the westerly side yard. 3. To permit a reduced minimum driveway dimensions. 4. To permit a reduced parking loading space dimensions. 5. To permit a reduced access driveway easterly side yard setback.

☐ Second Dwelling Unit ☒ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

1. Proposed easterly side yard is 1.5m where 2.0m is required. Section 10F(4)(c).
2. Unenclosed porch at unit #1 is with the westerly side yard. By-law only permit a porch with a front or rear yard. Section 18(3)(d).
3. Proposed driveway dimension is 3.0mx5.5m whereas 3.0mx5.8m is required for a secondary dwelling unit. Sections 18A(7) and Section 19.
4. Proposed parking and loading space dimension is 3.0mx5.5m whereas 3.0mx5.8m is required for a secondary dwelling unit. Sections 18A(9) and Section 19.
5. Proposed access driveway (unit #5) is 1.92m whereas 3.0m is required for a secondary dwelling unit. Sections 18A(25) and Section 19.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes ☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
24.94m	34.44m	850.70m ²	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Family Residential	6.12m	17.94m	3.02m	01/01/1955
Shed #1	n/a	19.27m	1.65m	
Shed #2	n/a	8.13m		

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
5 Unit Townhouse	5.5m	6.5m	1.5m	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Main House	103.37	103.37	1	5.84
Shed #1	5.2	5.2	1	
Shed #2	11.4	11.4	1	

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
5 Unit Townhouse	291.6	704.7	2	10.757

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- _____

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year
☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

5 Unit Townhouse Residential

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single Family Detached Residential

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

June 15, 2015

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Residential

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single Detached Residential

7.4 Length of time the existing uses of the subject property have continued:

Unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): N/A

Rural Settlement Area: N/A

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

Neighbourhoods designation permits townhouses.

7.6 What is the existing zoning of the subject land? RT-30/S-1738

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

☒ Yes ☐ No

If yes, please provide the file number: ZAC-16-018

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 10

8.3 Additional Information (please include separate sheet if needed):

5 Unit Townhouse with legal basement apartments.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☒ Cover Letter/Planning Justification Report
- ☒ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study
