

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-25:120	SUBJECT PROPERTY:	52 Purnell Drive, Hamilton
ZONE:	R1 (Low Density Residential)	ZONING BY-LAW:	Hamilton Zoning By-law 05-200, as Amended

APPLICANTS: Owner: Luigi and Sheri Lauricella
 Agent: Jenny Bognar

The following variances are requested:

1. A minimum setback of 0.3 metres shall be permitted from the interior side lot line instead of the minimum required setback of 1.2 metres from a side lot line.
2. A minimum setback of 2.4 metres shall be permitted from the flankage lot line instead of the minimum required setback of 3.0 metres from a flankage lot line.
3. The eave and gutters shall be permitted to encroach the entire width of the interior side yard instead of the maximum permitted encroachment of one-half the width of the required interior side yard.
4. The width of the parking space to be contained within the proposed attached garage shall be increased by 0.3 metres where the parking space is abutting two walls instead of increasing the width of the parking space to be contained within the proposed attached garage by 0.6 metres where the parking space is abutting two walls.

PURPOSE & EFFECT: To permit the construction of an addition to the existing dwelling.

Notes:

- i. Please be advised that the Electric Vehicle Parking requirements under By-law 24-052, remain under appeal and are not covered under Section 1.12 of the "Transitional Provisions" of the Hamilton Zoning By-law 05-200. At present, a review of the Electric Parking requirements has

A-25:120

not been included in the following zoning chart. If the remaining portions of By-law 24-052 become final before issuance of a building permit, the Electric Vehicle Parking requirements will be applicable upon review for such building permit.

- ii. The proposed attached garage is shown to provide a garage door on both the front and rear elevations, however, an access driveway providing access to the proposed attached garage via the rear yard is not shown to be proposed. The applicant shall ensure compliance with the Zoning By-law should the intent be to access the proposed attached garage via the rear yard.
- iii. A minimum landscaped area of 30% of the lot area is required to be maintained. It is noted that a minimum landscaped area of 30.3% of the lot area will be maintained has landscaped area. The applicant shall ensure the proposed landscaped area has been provided in accordance with Landscaped Area as defined within the Zoning By-law.
- iv. A further variance will be required if a minimum of 50% of the area of the front yard is not provided as landscaped area.
- v. A further variance will be required if a minimum of 50% of the area of the flankage yard is not provided as landscaped area.
- vi. A further variance will be required if a single area within the required landscaped area is not maintained for tree protection and/or tree planting which provides a minimum length of 3.75 metres on each side and which does not contain hard landscaping or structures.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 14, 2025
TIME:	3:30 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be

A-25:120

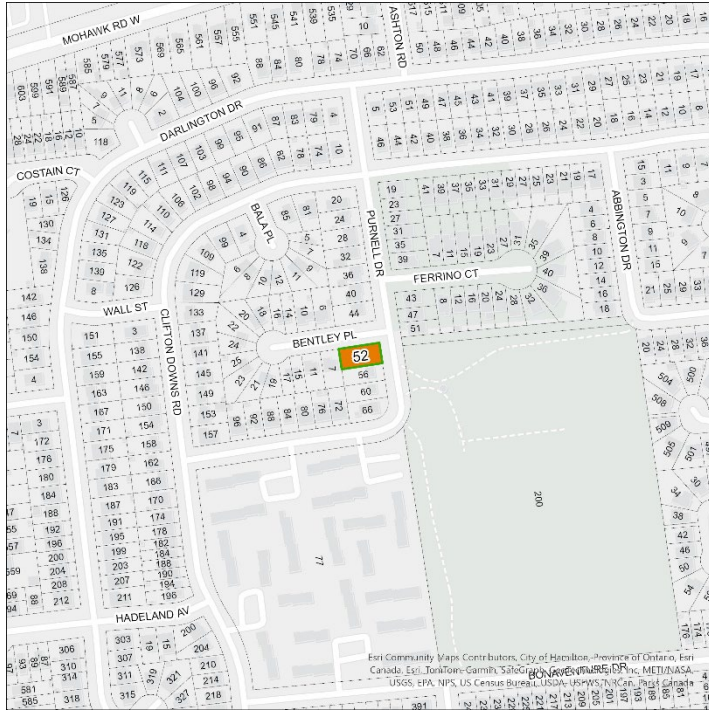
received no later than noon August 12, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 13, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:120, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: July 28, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by 12:00 p.m. (noon) on the date listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

All written comments received will be made available to the Committee and the public by the Tuesday prior to the Hearing.

Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the date listed on the Notice of Public Hearing. To register, email cofa@hamilton.ca with the following information:

- Committee of Adjustment file number
- Hearing date
- Name and mailing address of each person wishing to speak
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca no later than 12:00 p.m. (noon) on the business day prior to the Hearing. The submission must be one document in PDF format only.

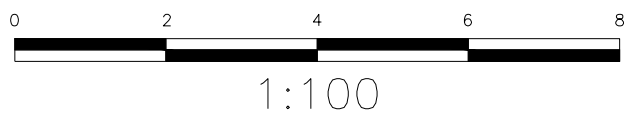
In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca by 12:00 p.m. (noon) on the business day prior to the Hearing in PDF format as a single document. Handouts are permitted only if the same content can be displayed on the presentation screen.

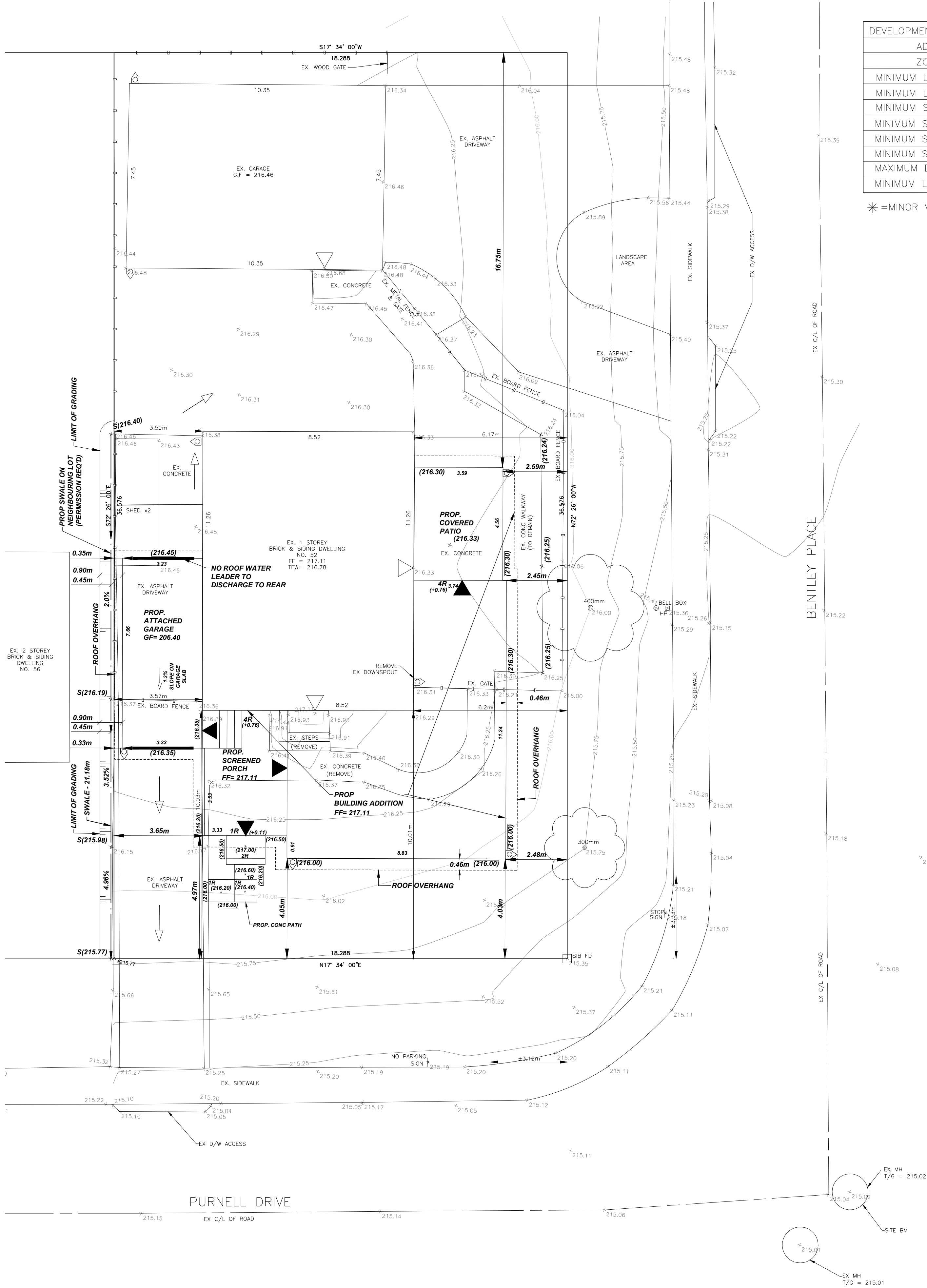
Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.



DRAWING FILE: Z:\Project Files\PROJECTS\Hamilton\52 Purnell Drive, Hamilton\CAD\BASE_52 PURNELL DR.dwg PLOTTED: Jun 17, 2025 - 4:26pm PLOTTED BY: Don



DEVELOPMENT STATISTICS			
ADDRESS: 52 PURNELL DRIVE, HAMILTON			
ZONING BY-LAW: 05-200, 24-051 (R1)			
MINIMUM LOT AREA:	360.0 sq.m (min)	668.9sq.m	✓
MINIMUM LOT WIDTH:	12.0m (min)	18.3m	✓
MINIMUM SETBACK FROM THE FRONT LOT LINE:	4.0m (max)	4.03m	✓
MINIMUM SETBACK FROM A SIDE LOT LINE:	1.2m (min)	0.33m	*
MINIMUM SETBACK FROM A FLANKAGE LOT LINE:	3.0m (min)	2.45m	*
MINIMUM SETBACK FROM THE REAR LOT LINE:	7.5m (min)	16.75m	✓
MAXIMUM BUILDING HEIGHT:	10.5m (max)	5.27m	✓
MINIMUM LANDSCAPED AREA:	30% (min)	30.3%	✓

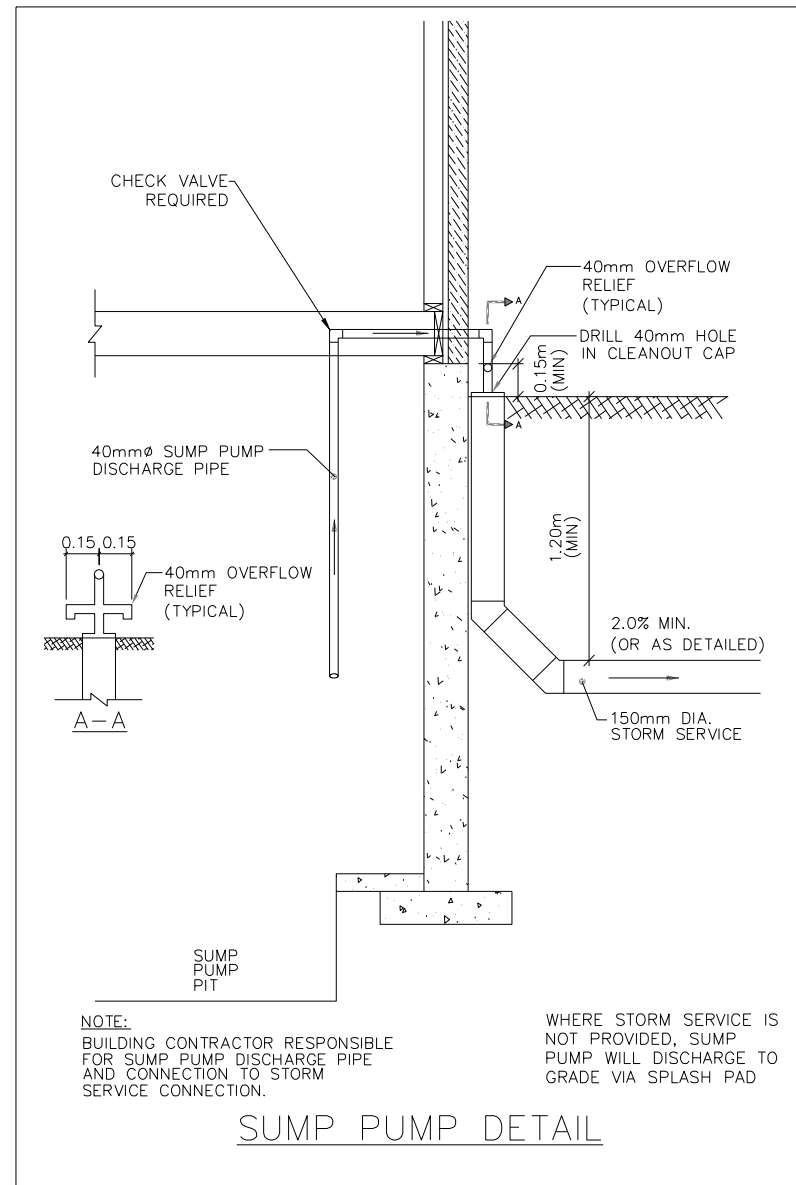
*=MINOR VARIANCE REQUIRED

LEGEND	
×100.50	EXISTING ELEVATION
×±100.50	EXISTING ELEVATION (CALCULATED)
0.00%	EXISTING SLOPE
×(100.00)	PROPOSED ELEVATION
(100.00)	PROPOSED APRON ELEVATION
×S(100.00)	PROPOSED SWALE ELEVATION
0.00%	PROPOSED SLOPE
⊙	EXISTING DOWNSPOUT
⊙	PROPOSED DOWNSPOUT
-	PROPOSED SWALE
—○—	PROPOSED SILT FENCE
△	PROPOSED ENTRANCE LOCATION
⊙ SP	PROPOSED SUMP PUMP

- GENERAL GRADING NOTES:
- 1.MATCH EXISTING GRADE AT PROPERTY / DEVELOPMENT LIMITS WITH SODDED SLOPES OF MAXIMUM 3:1 AND/OR RETAINING WALLS AS SPECIFIED.
 - 2.SLOPES OF SWALES FOR BOTH "BACK-TO-FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% AND NO GREATER THAN 3.5% (3:1).
 - 3.MINIMUM GRADE FOR APRON "WRAP-AROUND" SWALE AT THE REAR OF THE UNIT SHALL BE 1.0%.
 - 4.WHEN MATCHING TO EXISTING GRADE AT THE LIMITS OF THE DEVELOPMENT / PROPERTY WHERE 2.0% SLOPE CANNOT BE REASONABLY ACHIEVED A 1.5% GRADE IS PERMITTED PROVIDED A 150MM SUB-DRAIN IS INSTALLED WITH THE SWALE AS PER RD-121 AND CONNECTED TO A SUITABLE OUTLET.
 - 5.DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2.0% AND SHALL NOT BE MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS ARE NOT ALLOWED FOR ANY NEW CONSTRUCTION.
 - 6.GARAGE FLOOR ELEVATION SHALL BE SET A MINIMUM OF 0.30M HIGHER THAN THE BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
 - 7.THE TOP OF FOUNDATION WALL FOR THE DWELLING UNIT SHALL BE A MINIMUM 150MM (6") ABOVE FINISHED GRADE.
 - 8.UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS SHALL BE GRADED AS A STRAIGHT LINE.
 - 9.IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE PROPERTY / DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER, OTHERWISE RETAINING WALLS MUST BE USED.
 - 10.ALL RETAINING WALLS SHALL BE PLACED A MINIMUM 0.45M FROM PROPERTY LINES.
 - 11.ANY WALL OF GREATER HEIGHT THAN 1.0M MUST BE DESIGNED BY A PROFESSIONAL ENGINEER.
 - 12.TOP OF RETAINING WALL ELEVATIONS SHALL BE SET A MINIMUM OF 150MM ABOVE THE PROPOSED SIDE-YARD SWALES.
 - 13.RETAINING WALLS 0.60M AND HIGHER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. SUCH FENCES OR GUARD RAILS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
 - 14.ALL FILL COMPACTED ON THE LOT(S) SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER). MATERIALS SHALL BE PLACED IN LIFTS NOT EXCEEDING 300MM DEPTH.
 - 15.FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS, AND PROTECTION SCHEMATICS REFER TO THE TREE PROTECTION PLAN (IF APPLICABLE).

- BACKYARD GRADING NOTES:
- 1."REQUIRED BACKYARD" SHALL BE A MINIMUM OF 6.0 METRES UNLESS OTHERWISE DEFINED IN THE APPLICABLE ZONING BY-LAW.
 - 2.THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5% EXCEPT FOR SIDE OR REAR YARD SWALES AND RETAINING WALLS.
 - 3.WHERE THE 5% RESTRICTION ON THE BACKYARD'S GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN ADJACENT PROPERTIES, RETAINING WALL SHALL BE CONSTRUCTED ALONG THE SIDES AND BACK OF THE LOT.
 - 4.GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 - 5.THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FLEXIBILITY OF HOUSE CONSTRUCTION.
 - 6.BACK TO FRONT DRAINAGE SHALL ONLY BE PERMITTED WHERE THE COMBINED SIDE YARD SETBACK IS 2.0m OR MORE, PROVIDING A MINIMUM OF 2.0m BETWEEN FOUNDATION WALLS FOR DRAINAGE SWALES. A 1.2m SETBACK IS REQUIRED ON THE GARAGE SIDE OF THE LOT.

- SILTATION AND EROSION CONTROL NOTES:
- 1.SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED ON THE PLAN ACCORDING TO OPSD 219.110 (SEE DETAIL ON THIS SHEET).
 - 2.ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL EVENT TO THE SATISFACTION OF THE CITY OF HAMILTON.
 - 3.CATCH BASIN SEDIMENT CONTROL DEVICES SHALL BE SILTSACK BY ACF ENVIRONMENTAL OR APPROVED EQUIVALENT, TO BE PLACED AS PER THE MANUFACTURER'S RECOMMENDATIONS (IF APPLICABLE).
 - 4.ADDITIONAL SILTATION CONTROL MEASURES MAY BE REQUIRED AS PER FIELD CONDITIONS AS DETERMINED BY THE CITY.



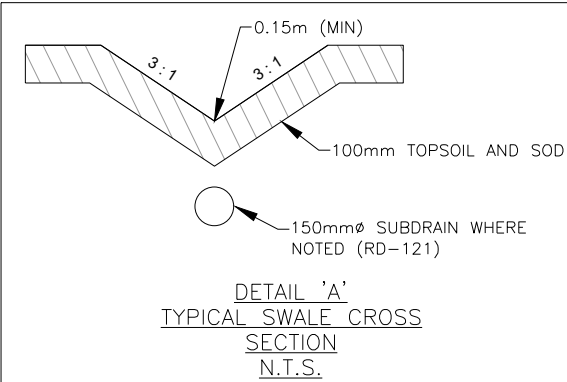
ROOFWATER LEADERS/SUMP PUMPS

ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6M FROM THE BUILDING FACE.

SUMP PUMPS WITH CHECK VALVES ARE TO BE INSTALLED IN EACH DWELLING TO PUMP THE WEeping TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

FOUNDATION DRAINS

WEeping TILES SHALL DRAIN TO SUMP PIT AND BE PUMPED TO STORM SEWER VIA PUMP SUMP WITH BACK-FLOW PREVENTOR (SEE DETAIL). MIN 1 hp PUMP WITH BACK-UP POWER REQUIRED.



NOTES:

1. LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
2. ANY DISCREPANCIES BETWEEN SERVICE LOCATIONS AND THESE ENGINEERING DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER.



KEY PLAN N.T.S.

BENCHMARK NOTE:

ELEVATION = 214.006m

DESCRIPTION: B.M No 713WEST FACE OF BRICK HOUSE #517 ON THE SOUTH SIDE OF MOHAWK RD., SOUTH EAST CORNER MOHAWK & ASHTON RD.. PLAQUE IS SET IN THE 2ND ROW OF BLOCKS FROM THE TOP OF THE FOUNDATION, TWO BLOCKS SOUTH OF THE NORTH WEST CORNER OF THE HOUSE.

SITE BENCHMARK :

ELEVATION = 215.02m

EXISTING SANITARY MANHOLE TOP GRATE TO THE NORTH EAST OF THE SITE AS INDICATED ON THE PLAN.

- GENERAL NOTES:
1. TENDERER SHALL SATISFY THEMSELVES AS TO THE NATURE OF THE GROUND AND BID ACCORDINGLY.
 2. ALL ROCK LINE INDICATIONS SHOWN ON THE PLAN MUST BE VERIFIED BY THE CONTRACTOR.
 3. CONTRACTOR SHALL VERIFY LOCATIONS AND INVERTS OF ALL EXISTING SANITARY AND STORM SEWERS AND WATERMANS, PRIVATE DRAINS AND WATER SERVICES, GAS MAINS, CABLE TV, HYDRO AND TELEPHONE DUCTS ETC AT START OF CONSTRUCTION.

2	2025-06-17	ISSUED FOR BUILDING PERMIT SUBMISSION
1	2025-03-24	FIRST SUBMISSION

NO: DATE: DESCRIPTION:

REVISIONS

SEAL

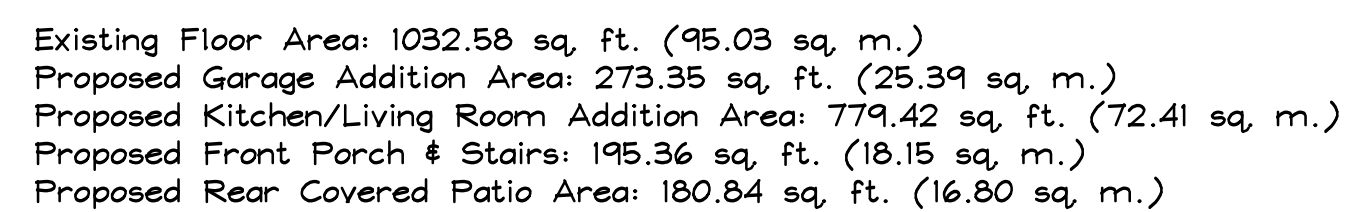
LANDSMITH ENGINEERING & CONSULTING LTD.

1059 UPPER JAMES STREET, SUITE 207
HAMILTON, ON L9C 3A6
ANDREW@LANDSMITHEC.COM
289-309-3632

CLIENT:	LUIGI LAURICELLA
MUNICIPALITY:	CITY OF HAMILTON
PROJECT NAME:	52 PURNELL DR.
TITLE:	GRADING PLAN
SCALE:	1:100
CHECKED BY:	AS
DWG No:	25007LAU
DATE:	2025-03-17
DESIGNED BY:	OJ
SHEET No:	G1



SHEET
A1
OF 4



THE LAURICELLA
RESIDENCE
52 PURNELL DRIVE
HAMILTON, ON
L9C 4Y3



FOR MINOR VARIANCE

06.15.25 signature required
Jennifer Bognar reviews and takes responsibility for the
design work described in this document
firm bcin 103416 ■ individual bcin 33001

[illegible]

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON THE DRAWINGS, THE DESIGNER SHALL BE IMMEDIATELY NOTIFIED IN WRITING AND NO WORK SHALL BE PROCEEDED BY THE CONTRACTOR WITHOUT THE DESIGNER'S KNOWLEDGE AND PERMISSION.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME CHARACTER AS THOSE NOTED FOR SIMILAR CONDITIONS.

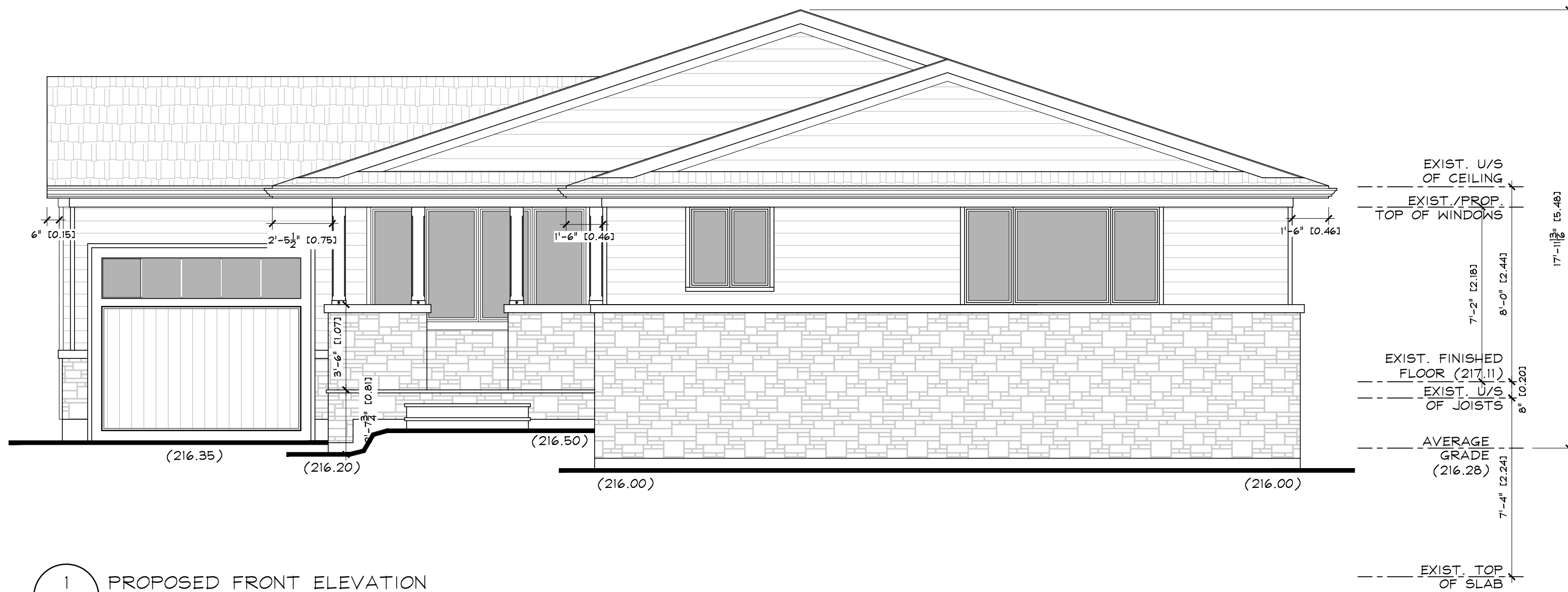
UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE FOR THE PROTECTION OF EXISTING UTILITIES OCCURRING IN CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHIELDING, PROTECTIVE MEASURES AND PRECAUTIONS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF JCB DRAFTING AND DESIGN. USE LATEST REVISED DRAWINGS. DO NOT SCALE.

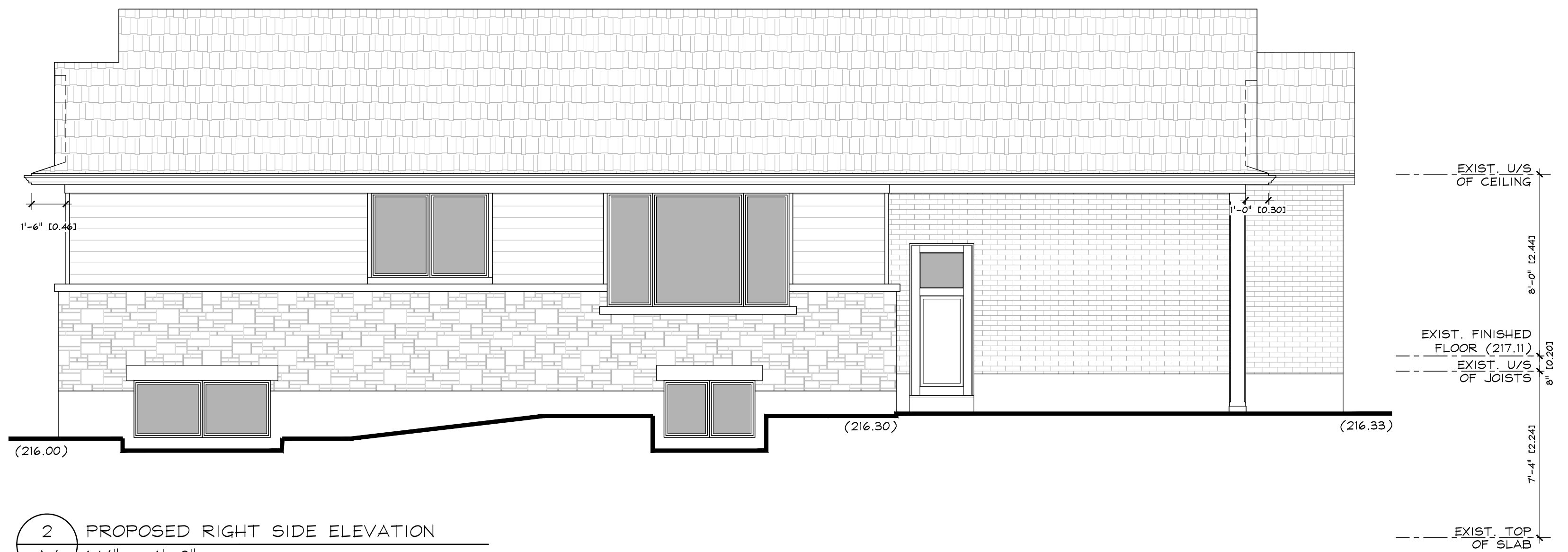
PROPOSED FIRST FLOOR PLAN

SHEET

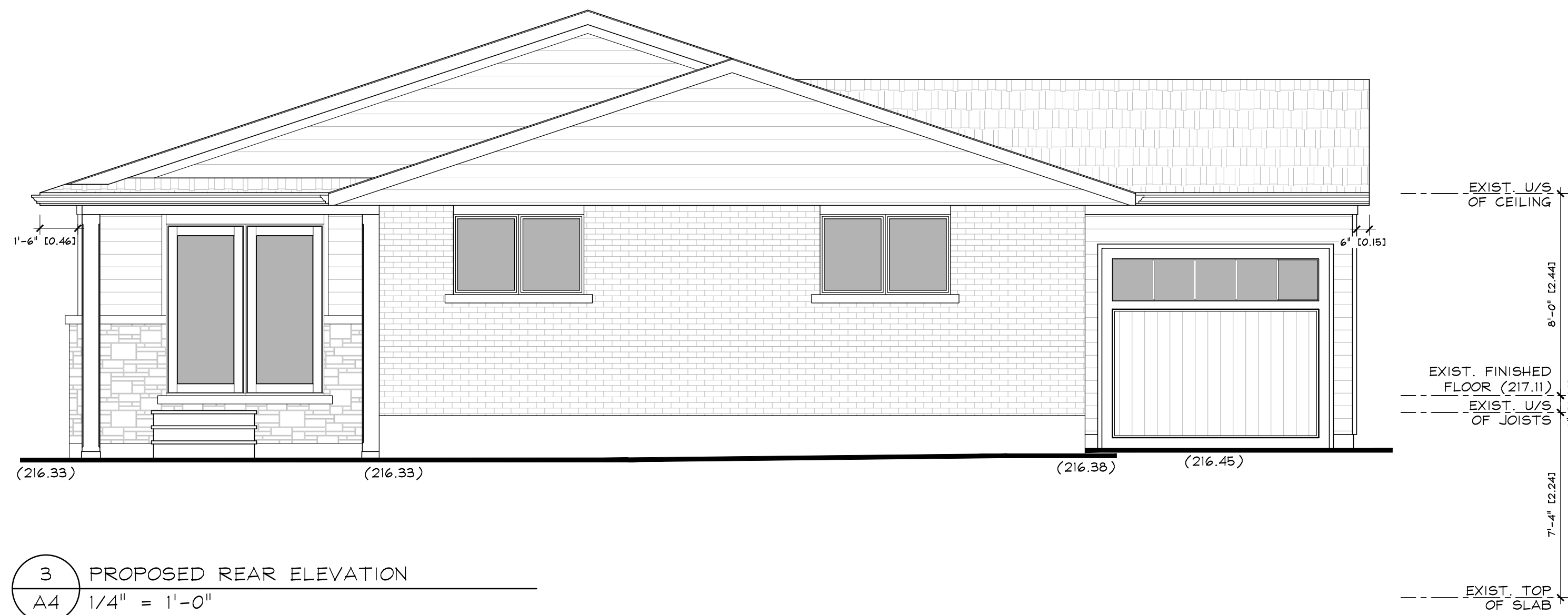
A3 OF 4



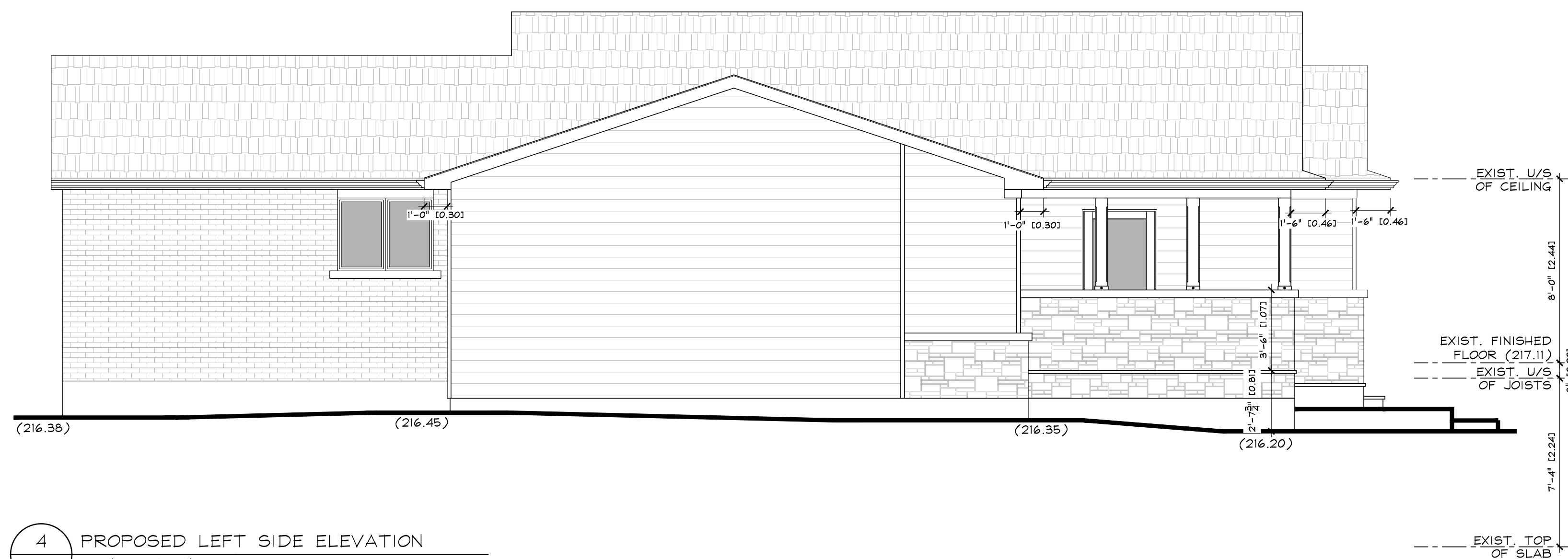
1 PROPOSED FRONT ELEVATION
A4 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
A4 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
A4 1/4" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
A4 1/4" = 1'-0"

THE LAURICELLA
RESIDENCE
52 PURNELL DRIVE
HAMILTON, ON
L9C 4Y3

**drafting
+ design**
193 East 43rd Street
Hamilton, ON L8T 3C3
jbdraftinganddesign@live.ca
905.517.6027

FOR MINOR VARIANCE
06.15.25 signature required

Jennifer Bognar reviews and takes responsibility for the
design work described in this document
firm bcjn 103416 individual bcjn 33001

DATE	ISSUE DESCRIPTION
11.30.24	ISSUED FOR REVIEW
11.30.24	ISSUED FOR REVIEW
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11.30.24	ISSUED FOR REVIEW
11.30.24	ISSUED FOR REVIEW
06.15.25	ISSUED FOR MV

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VERIFIED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO
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SERVICES BE FOUND TO VARY FROM THAT INDICATED BY THE DRAWINGS, THE DESIGNER
MAY BE NOTIFIED IMMEDIATELY. THE DESIGNER IS NOT LIABLE FOR ANY CHANGES MADE
BY THE CONTRACTOR WITHOUT THE DESIGNER'S KNOWLEDGE AND PERMISSION.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME
UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. NO PROVISION HAS BEEN
MADE IN THE DESIGN FOR CONSTRUCTION OCCURRING DURING CONSTRUCTION. IT SHALL BE
THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACKETS,
BRACING, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO MAINTAIN ALL EXISTING
OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT
OF J.B. DRAFTING AND DESIGN. USE LATEST REVISED DRAWINGS. DO NOT SCALE
DRAWINGS.

PROPOSED
ELEVATIONS

SHEET
A4
OF 4

Minor Variance Application

Project: 52 Purnell Drive

To whom it may concern,

We are kindly requesting consideration for a number of minor variances to facilitate the construction of an attached garage on the South side of the existing single-family dwelling and a kitchen/family room addition to the North and East sides of the existing dwelling.

This neighbourhood has quite a mix of house types that include single detached dwellings, semi detached dwellings, both with 1 and 2 stories, with a mix of attached and detached garages.

Variances Required

1. To permit a flankage yard setback of 2.45m. instead of the required 3.0m. for a proposed 1 story addition.

The homeowner requires more living space for their growing kids. They are outgrowing the 3 small bedrooms they currently have and would like to ensure all living spaces are on the main level so they can stay in this house as they age and be close to their kids and the living space while they're small.

We feel this reduced setback will have very little impact on Bentley Place street as there is an extra large boulevard of 5.0m on this side. We have also met the required front yard setback which ensures great visibility from the corner of Bentley Place and Purnell Drive.

2. To permit a South side lot line of 0.33m. instead of the required 1.20m. for a proposed 1 story garage addition.

Currently this space is occupied by a hardscaped driveway. The homeowner is looking to get some direct and covered access from an enclosed parking space, into their home. The proposal of this garage along with the front covered porch gives them this access.

We have ensured that the new garage does not protrude any farther forward than the neighbouring house to ensure we don't negatively impact their view.

We have also provided a rear garage door so that we have accessibility to the rear yard from this side of the yard if needed, however there is plenty of wide access from the north yard.

We don't feel the reduced setback will have any negative impact on the drainage. Currently there are no drainage issues in this location, even with being completely hardscaped right now. If anything, we feel this addition will ensure this remains a non-issue as we can now direct run off to the front of the property.

The neighbouring property owner has signed a letter in support of this addition (see below) and is more than happy to have their property accessed when needed to ensure everything is built and graded appropriately.

3. To permit an interior garage width of 3.15m. instead of the required 3.40m. in width for a parking space with wall obstruction on both sides.

We feel this 3" reduction in the interior garage width required will have very little impact on the use of the garage. The home owner has a smaller car which will ensure they can use this garage properly for their family. We feel this request is very minor in nature and can serve this families needs.

Overall, we feel these additions are in keeping with the neighbourhood and surrounding homes and poses no negative impacts to the streetscape or neighbours.

We appreciate your time and consideration in this manner.

June 1, 2025

To Whom it May Concern,

This letter is to acknowledge our support of the proposed plans to the property of 52 Purnell Drive, Hamilton ON.

Luigi and Sheri Lauricella have been our next door neighbours since the summer of 2012. They have personally discussed their intention of putting an addition onto the house and placement of a side garage that would sit between our houses. The area in question is already fully hardscaped from the previous owners and to date, we have not had any issues with water pooling or drainage in our side yard. Also, they have identified that should this be approved, they may require access to our property to excavate and we are ok with this as well.

In addition, we appreciate the fact that they have opted not to push out a proposed garage/addition and rather set it back between the houses so as not to impede our view when we sit on our front porch.

To reiterate, we are in support of their proposed plans.

Thank you,

June 3, 2025

Don and Kim Johnson

APPLICATION FOR A MINOR VARIANCE/PERMISSION
 UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	Luigi Lauricella & Sheri Lauricella (nee Spolnik)	
Applicant(s)	Jenny Bognar	
Agent or Solicitor	As per applicant	

1.2 Primary contact ☒ Applicant ☐ Owner
☐ Agent/Solicitor

1.3 Sign should be sent to ☐ Applicant ☒ Owner
☐ Agent/Solicitor

1.4 Request for digital copy of sign ☐ Yes* ☒ No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email ☒ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type ☐ In person ☒ Credit over phone*
☐ Cheque _____

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	52 Purnell Drive		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot	83	Concession	
Registered Plan Number	M-29	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☒ Yes ☐ No

If YES, describe the easement or covenant and its effect:

Part 99 Plan WHR 58 4' Easement (off rear property line)

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

See attached

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

See attached

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
18.288 m.	36.576 m.	668.90 sq. m.	20.0 m.

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Existing Dwelling	10.01 m.	15.28 m.	6.17 m./3.57 m.	1980's appr.
Existing Detached Garage	n/a	1.22 m.	0.61 m./7.32 m.	2020

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling Additions	4.03 m.	16.75 m.	2.45 m./0.33 m.	ASAP

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Existing Dwelling	95.93 sq. m.	95.93 sq. m.	1	4.69 m.
Existing Detached Garage	77.06 sq. m.	77.06 sq. m.	1	4.5 m.

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling w/ Additions including front porch	210.10 sq. m.	210.10 sq. m.	1	5.48 m.

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- _____

4.6 Type of sewage disposal proposed: (check appropriate box)

☒ publicly owned and operated sanitary sewage

☐ system privately owned and operated individual

☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

☐ provincial highway

☐ right of way

☒ municipal road, seasonally maintained

☐ other public road

☐ municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single detached dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single detached dwellings

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

August 15, 2012

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

Always

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

See attached

7.6 What is the existing zoning of the subject land? R1

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

☐ Yes

☒ No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
 - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
 - ☐ Hydrogeological Assessment
 - ☐ Septic Assessment
 - ☐ Archeological Assessment
 - ☐ Noise Study
 - ☐ Parking Study
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