

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-25:126	SUBJECT PROPERTY:	1391 Powerline Road West, Ancaster
ZONE:	A1, 86 (Agriculture)	ZONING BY-LAW:	Hamilton Zoning By-law 05-200

APPLICANTS: Owner: Dave Loewith, Ben Loewith and Carl Loewith
Agent: Summit Station Dairy & Creamery Lmt – General Manager: Jennifer Howe

The following variances are requested:

1. A Restaurant shall be permitted as a Secondary Use to Agriculture whereas a Restaurant is not permitted.

PURPOSE & EFFECT: To establish the use of a restaurant associated with the existing retail and agricultural use on the subject lands

Notes:

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, August 14, 2025
TIME:	3:05 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

A-25:126

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

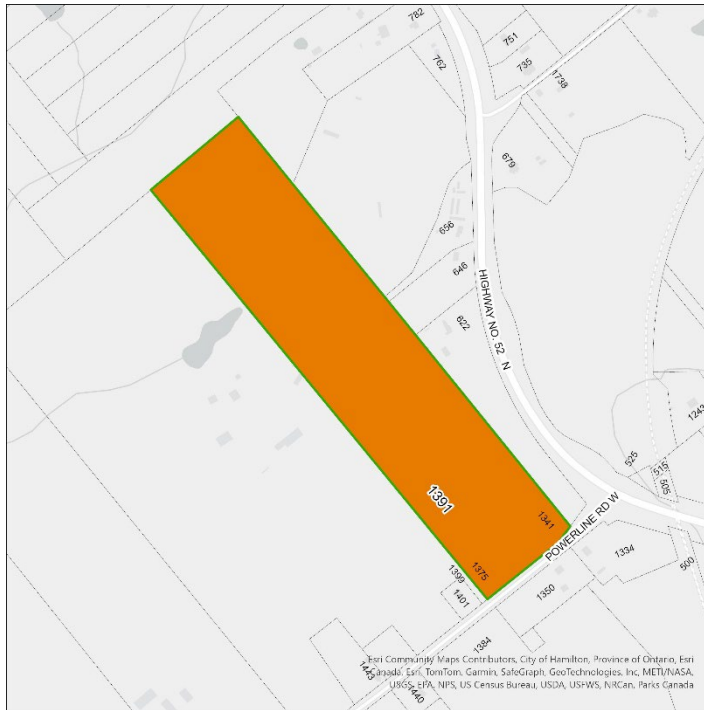
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 12, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 13, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:126, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: July 28, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATION PROCEDURES

Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by 12:00 p.m. (noon) on the date listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

All written comments received will be made available to the Committee and the public by the Tuesday prior to the Hearing.

Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the date listed on the Notice of Public Hearing. To register, email cofa@hamilton.ca with the following information:

- Committee of Adjustment file number
- Hearing date
- Name and mailing address of each person wishing to speak
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca no later than 12:00 p.m. (noon) on the business day prior to the Hearing. The submission must be one document in PDF format only.

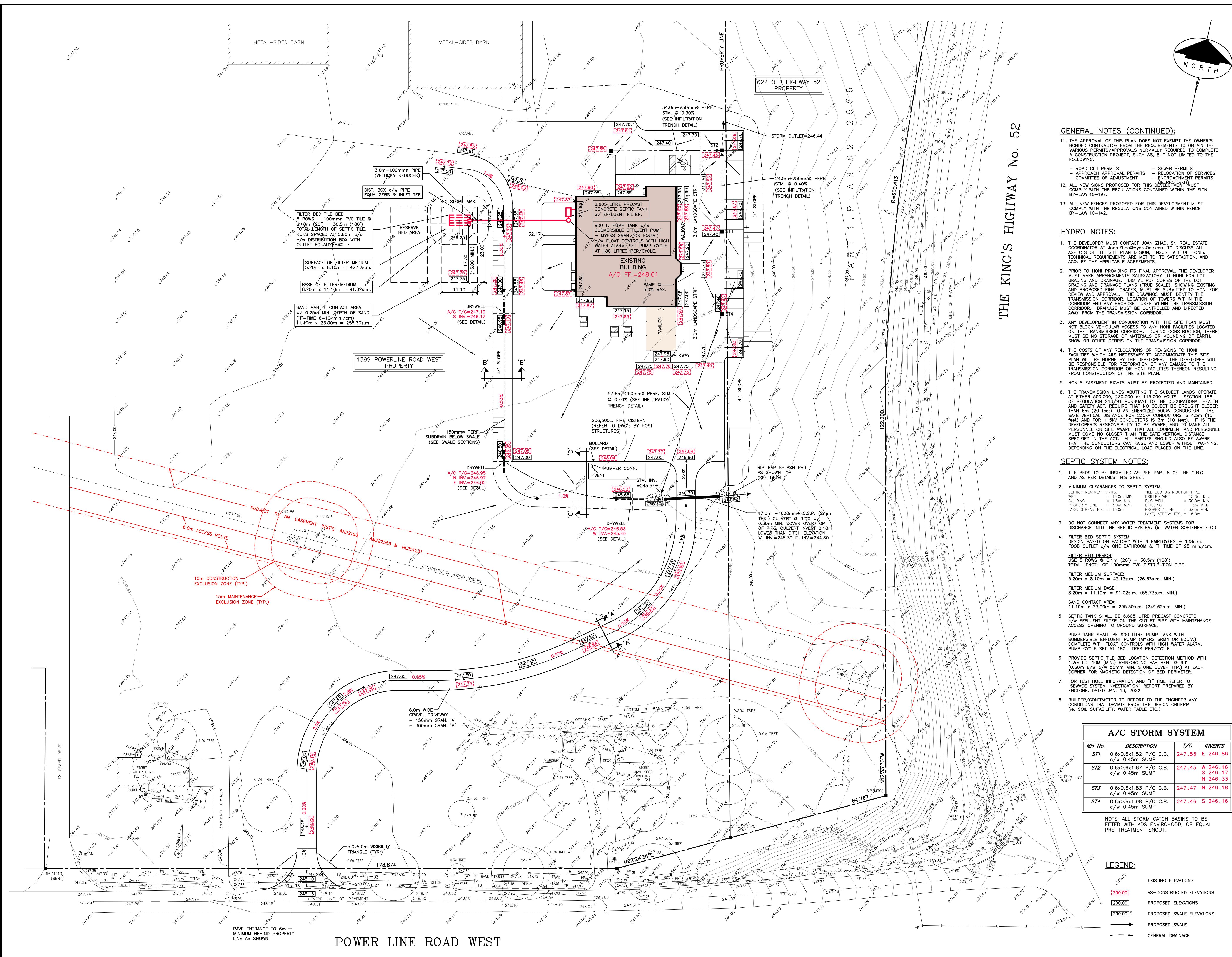
In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca by 12:00 p.m. (noon) on the business day prior to the Hearing in PDF format as a single document. Handouts are permitted only if the same content can be displayed on the presentation screen.

Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.



GENERAL NOTES (CONTINUED):

- 11. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE NECESSARY PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - ROAD CUT PERMITS
 - SEWER PERMITS
 - APPROACH APPROVAL PERMITS
 - RELOCATION OF SERVICES
 - COMMITTEE OF ADJUSTMENT
 - ENCROACHMENT PERMITS
- 12. ALL NEW SIGNS PROPOSED FOR THIS DEVELOPMENT MUST COMPLY WITH THE REGULATIONS CONTAINED WITHIN THE SIGN BY-LAW 10-197.
- 13. ALL NEW FENCES PROPOSED FOR THIS DEVELOPMENT MUST COMPLY WITH THE REGULATIONS CONTAINED WITHIN FENCE BY-LAW 10-142.

HYDRO NOTES:

- 1. THE DEVELOPER MUST CONTACT JOAN ZHAO, SR. REAL ESTATE COORDINATOR AT Joan.Zhao@HydroOne.com TO DISCUSS ALL ASPECTS OF THE SITE PLAN DESIGN. ENSURE ALL OF HONI'S TECHNICAL REQUIREMENTS ARE MET TO ITS SATISFACTION, AND ACQUIRE THE APPLICABLE AGREEMENTS.
- 2. PRIOR TO HONI PROVIDING ITS FINAL APPROVAL, THE DEVELOPER MUST MAKE ARRANGEMENTS SATISFACTORY TO HONI FOR LOT GRADING AND DRAINAGE. DIGITAL PDF COPIES OF THE LOT GRADING AND DRAINAGE PLANS (TRUE SCALE) SHOWING EXISTING AND PROPOSED FINAL GRADES, MUST BE SUBMITTED TO HONI FOR REVIEW AND APPROVAL. THE DRAINAGE PLANS MUST IDENTIFY THE TRANSMISSION CORRIDOR, LOCATION OF TOWERS WITHIN THE CORRIDOR AND ANY PROPOSED USES WITHIN THE TRANSMISSION CORRIDOR. DRAINAGE MUST BE CONTROLLED AND DIRECTED AWAY FROM THE TRANSMISSION CORRIDOR.
- 3. ANY DEVELOPMENT IN CONJUNCTION WITH THE SITE PLAN MUST NOT BLOCK VEHICULAR ACCESS TO ANY HONI FACILITIES LOCATED ON THE TRANSMISSION CORRIDOR. DURING CONSTRUCTION, THERE MUST BE NO STORAGE OF MATERIALS OR MOUNDING OF EARTH, SNOW OR OTHER DEBRIS ON THE TRANSMISSION CORRIDOR.
- 4. THE COSTS OF ANY RELOCATIONS OR REVISIONS TO HONI FACILITIES WHICH ARE NECESSARY TO ACCOMMODATE THIS SITE PLAN WILL BE BORNE BY THE DEVELOPER. THE DEVELOPER WILL BE RESPONSIBLE FOR RESTORATION OF ANY DAMAGE TO THE TRANSMISSION CORRIDOR OR HONI FACILITIES THEREON RESULTING FROM CONSTRUCTION OF THE SITE PLAN.
- 5. HONI'S EASEMENT RIGHTS MUST BE PROTECTED AND MAINTAINED.
- 6. THE TRANSMISSION LINES ABUTTING THE SUBJECT LANDS OPERATE AT EITHER 500,000, 230,000 OR 115,000 VOLTS. SECTION 198 OF REGULATION 213/01 PURSUANT TO THE OCCUPATIONAL HEALTH AND SAFETY ACT, REQUIRE THAT NO OBJECT BE BROUGHT CLOSER THAN 6m (20 feet) TO AN ENERGIZED 500KV CONDUCTOR. THE SAFE VERTICAL DISTANCE FOR 230KV CONDUCTORS IS 4.5m (15 feet) AND FOR 115KV CONDUCTORS IS 3m (10 feet). IT IS THE DEVELOPER'S RESPONSIBILITY TO BE AWARE, AND TO MAKE ALL PERSONNEL ON SITE AWARE, THAT ALL EQUIPMENT AND PERSONNEL MUST COME NO CLOSER THAN THE MINIMUM DISTANCE SPECIFIED IN THE ACT. ALL PARTIES SHOULD ALSO BE AWARE THAT THE CONDUCTORS CAN RAISE AND LOWER WITHOUT WARNING, DEPENDING ON THE ELECTRICAL LOAD PLACED ON THE LINE.

SEPTIC SYSTEM NOTES:

- 1. TILE BEDS TO BE INSTALLED AS PER PART 8 OF THE O.B.C. AND AS PER DETAILS THIS SHEET.
- 2. MINIMUM CLEARANCES TO SEPTIC SYSTEM:
 - SEPTIC TREATMENT UNITS:
 - WELL: 15.0m MIN.
 - PROPERTY LINE: 3.0m MIN.
 - LAKE, STREAM ETC.: 15.0m
 - TILE BED DISTRIBUTION PIPE:
 - DRILLED WELL: 15.0m MIN.
 - DUG WELL: 30.0m MIN.
 - BUILDING: 1.5m MIN.
 - PROPERTY LINE: 3.0m MIN.
 - LAKE, STREAM ETC.: 15.0m
- 3. DO NOT CONNECT ANY WATER TREATMENT SYSTEMS FOR DISCHARGE INTO THE SEPTIC SYSTEM. (i.e. WATER SOFTENER ETC.)
- 4. FILTER BED SEPTIC SYSTEM:
 - DESIGN BASED ON FACTORY WITH 6 EMPLOYEES + 138m.
 - FOOD OUTLET c/w ONE BATHROOM & 1" TIME OF 25 min./cm.
 - FILTER BED DESIGN:
 - USE 5 ROWS @ 6.1m (20') = 30.5m (100')
 - TOTAL LENGTH OF 100mm PVC DISTRIBUTION PIPE.
 - FILTER MEDIUM SURFACE:
 - 5.20m x 8.10m = 42.12sq.m. (26.63sq.m. MIN.)
 - FILTER MEDIUM BASE:
 - 8.20m x 11.10m = 91.02sq.m. (58.73sq.m. MIN.)
 - SAND CONTACT AREA:
 - 11.10m x 23.00m = 255.30sq.m. (249.62sq.m. MIN.)
- 5. SEPTIC TANK SHALL BE 6,005 LITRE PRECAST CONCRETE c/w EFFLUENT FILTER ON THE OUTLET PIPE WITH MAINTENANCE ACCESS OPENING TO GROUND SURFACE.
- 6. PUMP TANK SHALL BE 900 LITRE PUMP TANK WITH SUBMERSIBLE EFFLUENT PUMP (MYERS SRM4 OR EQUIV.) COMPLETE WITH FLOAT CONTROLS WITH HIGH WATER ALARM. PUMP CYCLE SET AT 180 LITRES PER/CYCLE.
- 7. PROVIDE SEPTIC TILE BED LOCATION DETECTION METHOD WITH 12m LG. 10M (MIN.) REINFORCING BAR BENT @ 90° 0.60m E/W c/w 50mm MIN. STONE COVER TYP. AT EACH CORNER FOR MAGNETIC DETECTION OF BED PERIMETER.
- 7. FOR TEST HOLE INFORMATION AND "T" TIME REFER TO SEWAGE SYSTEM INVESTIGATION REPORT PREPARED BY ENCLAVE DATED JAN. 13, 2022.
- 8. BUILDER/CONTRACTOR TO REPORT TO THE ENGINEER ANY CONDITIONS THAT DEVIATE FROM THE DESIGN CRITERIA. (i.e. SOIL SUITABILITY, WATER TABLE ETC.)

A/C STORM SYSTEM				
MH No.	DESCRIPTION	T/G	INVERTS	
ST1	0.6x0.6x1.52 P/C C.B. c/w 0.45m SUMP	247.55	E	246.86
ST2	0.6x0.6x1.67 P/C C.B. c/w 0.45m SUMP	247.45	W	246.16
			S	246.17
			N	246.33
ST3	0.6x0.6x1.83 P/C C.B. c/w 0.45m SUMP	247.47	N	246.18
ST4	0.6x0.6x1.98 P/C C.B. c/w 0.45m SUMP	247.46	S	246.16

NOTE: ALL STORM CATCH BASINS TO BE FITTED WITH ADS ENVIRHOOD, OR EQUAL PRE-TREATMENT SNUOT.

LEGEND:

- EXISTING ELEVATIONS
- AS-CONSTRUCTED ELEVATIONS
- PROPOSED ELEVATIONS
- PROPOSED SWALE ELEVATIONS
- PROPOSED SWALE
- GENERAL DRAINAGE

THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND ABOVEGROUND UTILITIES AND STRUCTURES ARE NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

GENERAL NOTES:

- 1. ALL ELEVATIONS SHOWN ARE METRIC.
- 2. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY A.T. McLAREN (DRAWING No. 36679, DATED MAY 27, 2021).
- 3. DOWNSPOUTS TO OUTLET AT GRADE LEVEL AWAY FROM BUILDINGS.
- 4. ALL EROSION AND SILTATION CONTROL DEVICES SHOULD BE AS PER THE GREATER GOLDEN HORSESHOE AREA CONSERVATION AUTHORITY'S "EROSION AND SEDIMENT CONTROL GUIDELINE FOR URBAN CONSTRUCTION".
- 5. SILTATION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO WORKS COMMENCING ON SITE AND SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION, TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING.
- 6. THE SILTATION AND EROSION CONTROL MEASURES ILLUSTRATED ON THIS PLAN ARE CONSIDERED TO BE THE MINIMUM REQUIREMENT. CONDITIONS MAY REQUIRE ADDITIONAL MEASURES WHICH WILL BE IDENTIFIED BY THE ENGINEER DURING CONSTRUCTION.
- 7. OWNER/CONTRACTOR TO MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION, TO THE SATISFACTION OF THE DIRECTOR OF ENGINEERING.
- 8. EROSION AND SEDIMENTATION CONTROL DEVICES SHOULD BE INSPECTED MINIMUM WEEKLY, AFTER EVERY RAINFALL AND MAINTAINED AND CLEANED AS REQUIRED.
- 9. THE OWNER IS RESPONSIBLE FOR THE REMOVAL OF ALL MUD AND DEBRIS THAT ARE TRACKED ONTO THE ROADWAYS FROM VEHICLES ENTERING AND LEAVING THE CONSTRUCTION SITE. THE OWNER SHALL, UPON VERBAL AND/OR REQUEST BY THE CITY, IMMEDIATELY PROCEED WITH THE CLEANUP OPERATION AT THEIR EXPENSE. SHOULD THE OWNER FAIL TO MAINTAIN THE ROAD AS DIRECTED, THE CITY WILL HAVE THE CLEANING CARRIED OUT, AND DRAW ON THE SECURITY FOR COSTS AND/OR LAY CHARGES.
- 10. ALL GARBAGE TO BE COLLECTED AND STORED INTERNALLY.

B.M. ELEV. = 237.180m (CGVD-1928:1978)
QUEEN'S RANGER STATION ON SOUTH SIDE OF HIGHWAY No. 99, 0.6km EAST OF INTERSECTION WITH HIGHWAY No. 52, TABLET IN NORTH OR FRONT CONCRETE FOUNDATION WALL, 1.76m EAST OF ENTRANCEWAY AT NORTH-WEST CORNER OF BUILDING, 57cm EAST OF CORNER STONE DATED 1958, 21cm BELOW BRICKWORK, 1m BELOW ROAD LEVEL. MONUMENT 0011975U014

T.B.M. No. 1 ELEV. = 249.72m (GEO)
NAIL IN HYDRO POLE ADJACENT EXISTING BARN AS SHOWN.

NO.	REVISION	DATE (MM/DD/YY)	BY
9	AS-CONSTRUCTED	06/04/24	S.L.M.
8	STORM SYSTEM & DRAINAGE	07/04/23	K.P.B.
7	GENERAL	04/26/23	K.P.B.
6	ADD FIRE CISTERN	05/09/22	K.P.B.
5	AS PER CITY COMMENTS	02/14/22	K.P.B.
4	AS PER HYDRO ONE	02/09/22	K.P.B.
3	STORM DESIGN	01/12/22	K.P.B.
2	ADDITIONAL SEC INFORMATION	11/19/21	K.P.B.
1	AS PER CITY COMMENTS	11/02/21	K.P.B.

**J.H. COHOON
ENGINEERING
LIMITED**
CONSULTING ENGINEERS

440 HARDY ROAD, UNIT #1, BRANTFORD - ONTARIO, N3T 5L8
TEL (519) 753-2656 FAX (519) 753-4263 www.cohoneng.com

PROJECT:
**PROPOSED
AGRICULTURAL PRODUCTS
DISTRIBUTION CENTRE**
1399 POWERLINE ROAD WEST
& 622 OLD HIGHWAY 52
CITY OF HAMILTON

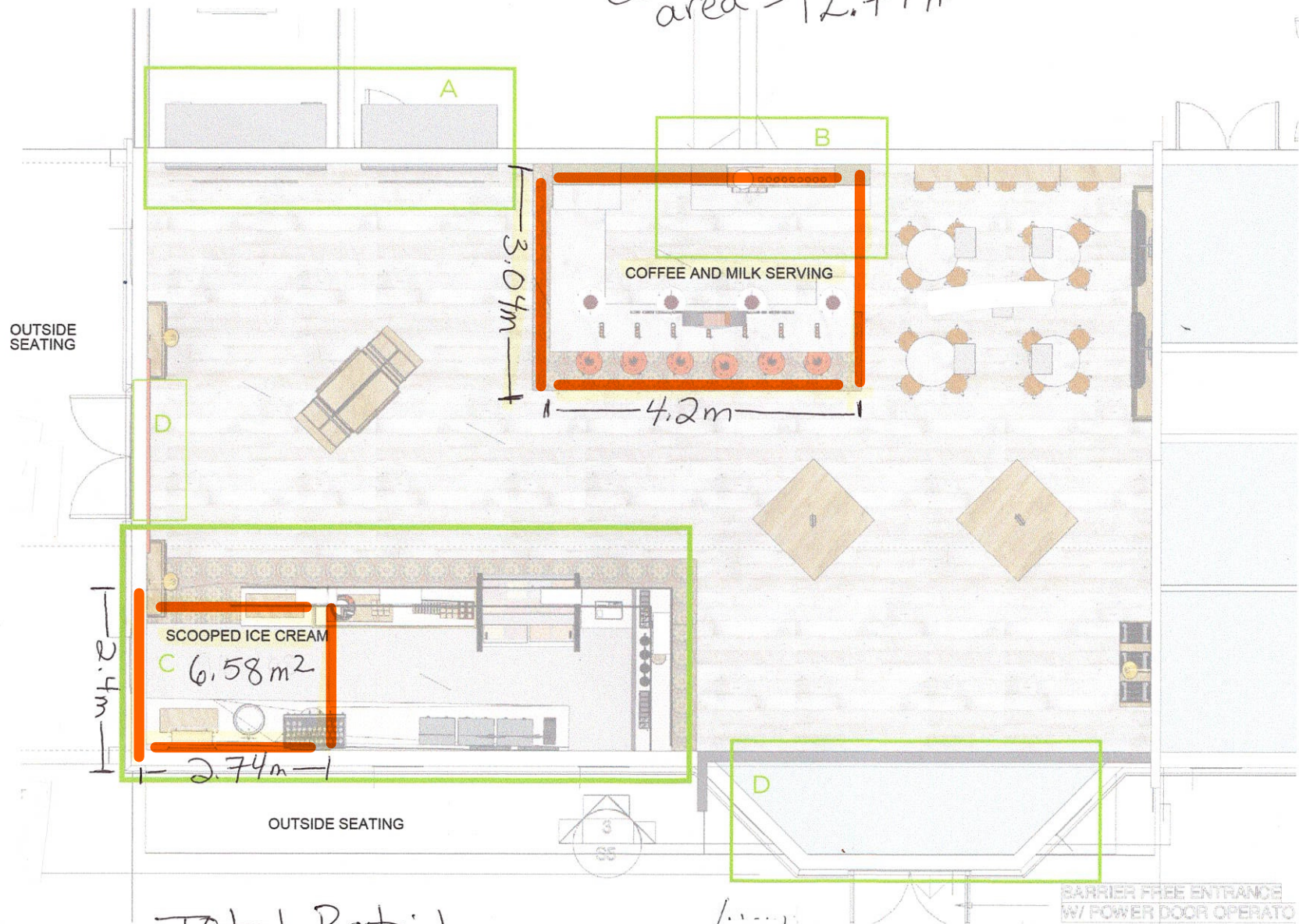
CLIENT:
JOSEPH LOEWITH & SONS

**GRADING, SERVICING &
SILTATION & EROSION
CONTROL PLAN
(SPAR-21-120)**

DESIGN:	M.J.W.	SCALE:	1:500
DRAWN:	K.P.B.	JOB No:	14748
CHECKED:	M.J.W.		
SHEET:	2 of 3	DWG. No:	AC-14748-2
DATE:	OCT. 21/21		

AS-CONSTRUCTED

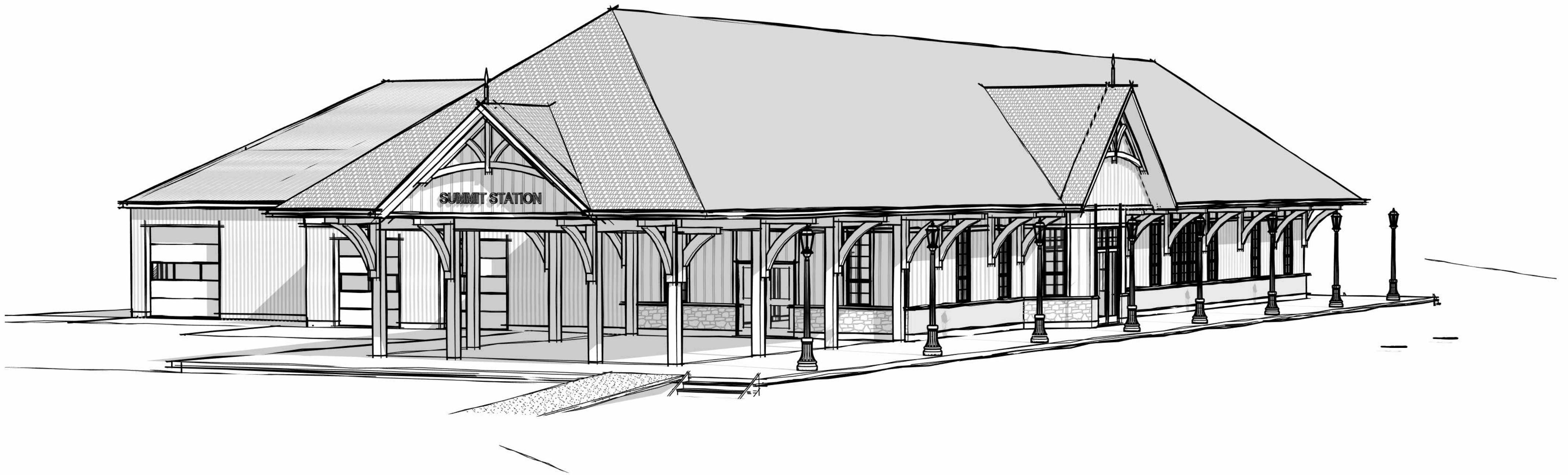
Coffee area = 12.77 m^2



Total Retail
Space = 156.4 m^2

Food service
to take up 12%
of Retail Space

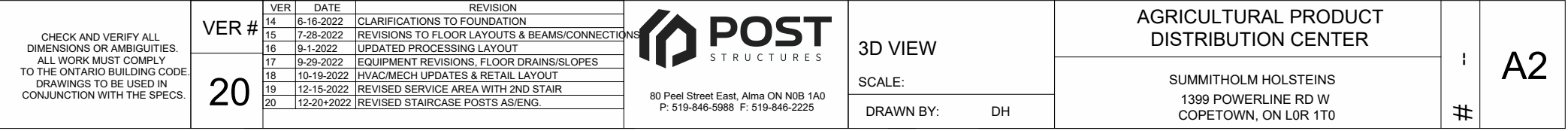


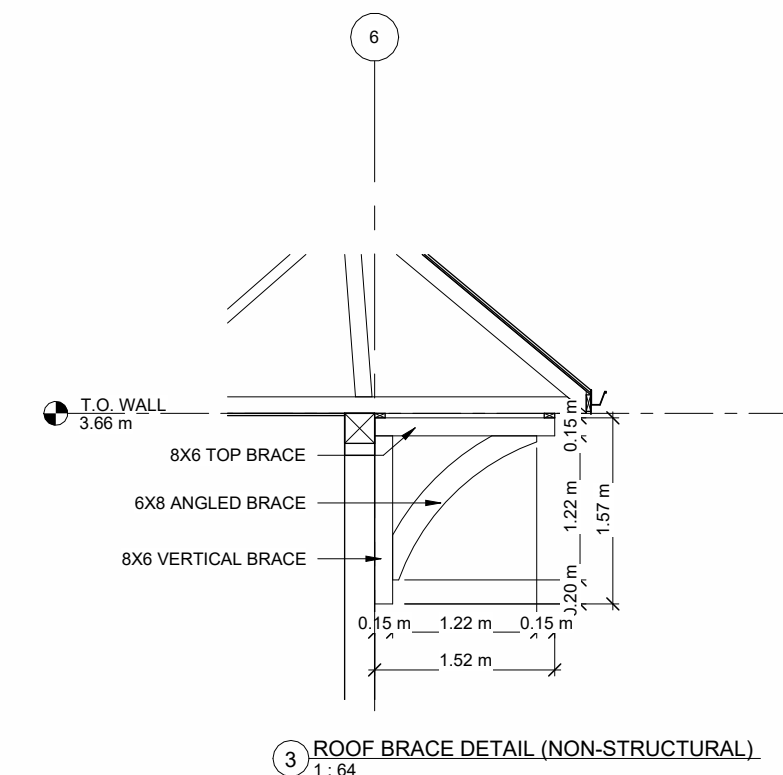
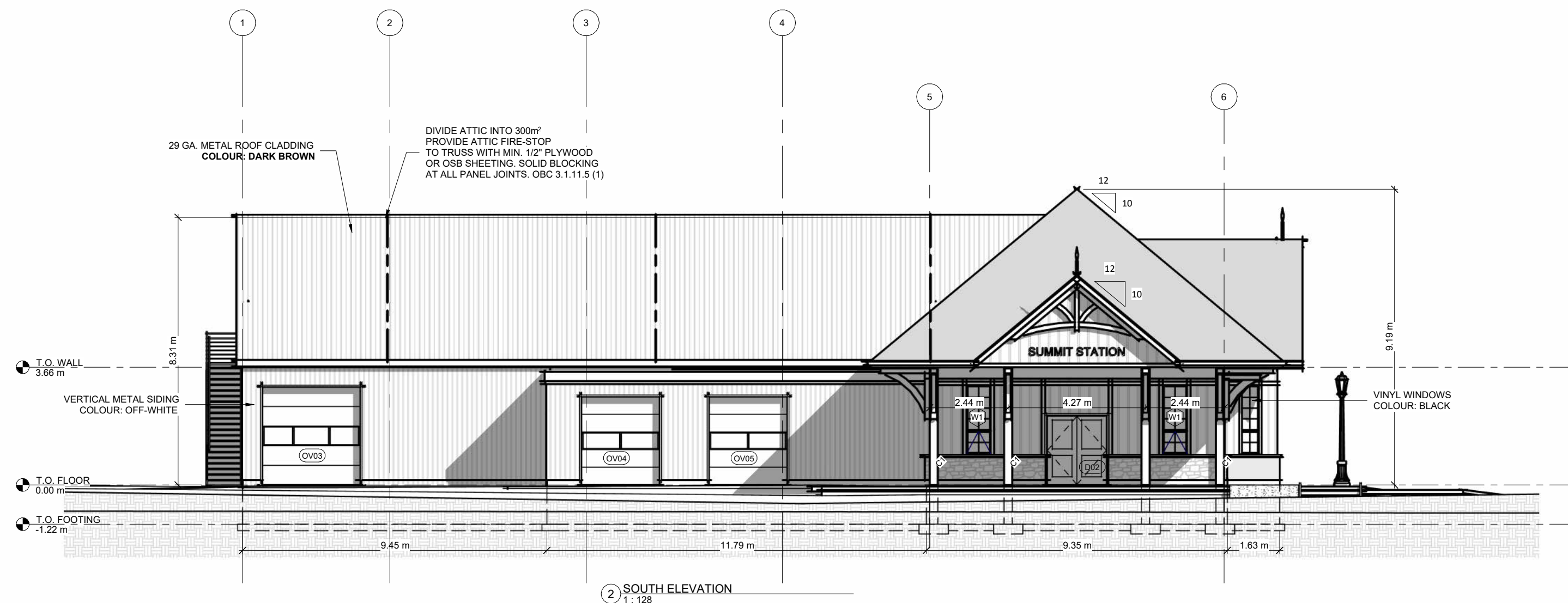
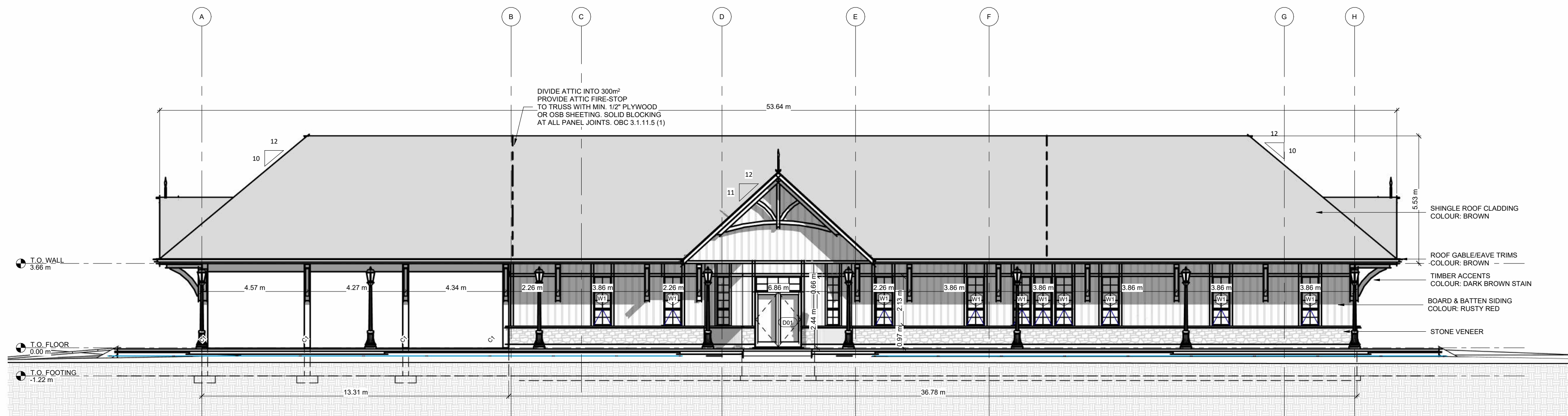


SHEET LIST		
A1	COVER PAGE	20
A2	3D VIEW	20
A3	ELEVATIONS	20
A4	ELEVATIONS	20
A5	FLOOR PLAN	20
A6	SERVICE PLATFORM	20
S1	FOUNDATION	20
S2	FLOOR SLOPES & DRAINS	20
S3	FRAMING PLAN	20
S4	SERVICE PLATFORM	20
S5	ROOF FRAMING	20
S6	RETAIL CROSS SECTIONS	20
S7	PRODUCTION CROSS SECTIONS	20
S8	PRODUCTION SECTIONS - 2	20

ISSUED FOR: CONSTRUCTION

CHECK AND VERIFY ALL DIMENSIONS OR AMBIGUITIES. ALL WORK MUST COMPLY TO THE ONTARIO BUILDING CODE DRAWINGS TO BE USED IN CONJUNCTION WITH THE SPECS.	VER # 20	VER	DATE	REVISION	 80 Peel Street East, Alma ON N0B 1A0 P: 519-846-5088 F: 519-846-2225	COVER PAGE SCALE: DRAWN BY: DH	AGRICULTURAL PRODUCT DISTRIBUTION CENTER SUMMITHOLM HOLSTEINS 1399 POWERLINE RD W COPETOWN, ON L0R 1T0	!	A1
		14	9-16-2022	CLARIFICATIONS TO FOUNDATION					
		15	7-28-2022	REVISIONS TO FLOOR LAYOUTS & BEAMS/CONNECTIONS					
		16	9-1-2022	UPDATED PROCESSING LAYOUT					
		17	9-29-2022	EQUIPMENT REVISIONS, FLOOR DRAINS/SLOPES					
		18	10-19-2022	HVAC/MECH UPDATES & RETAIL LAYOUT					
		19	12-15-2022	REVISED SERVICE AREA WITH 2ND STAIR					
		20	12-20-2022	REVISED STAIRCASE POSTS AS/ENG.					





VER #	DATE	REVISION
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POST
STRUCTURES

80 Peel Street East, Alma ON N0B 1A0
P: 519-846-5088 F: 519-846-2225

ELEVATIONS

SCALE: As indicated

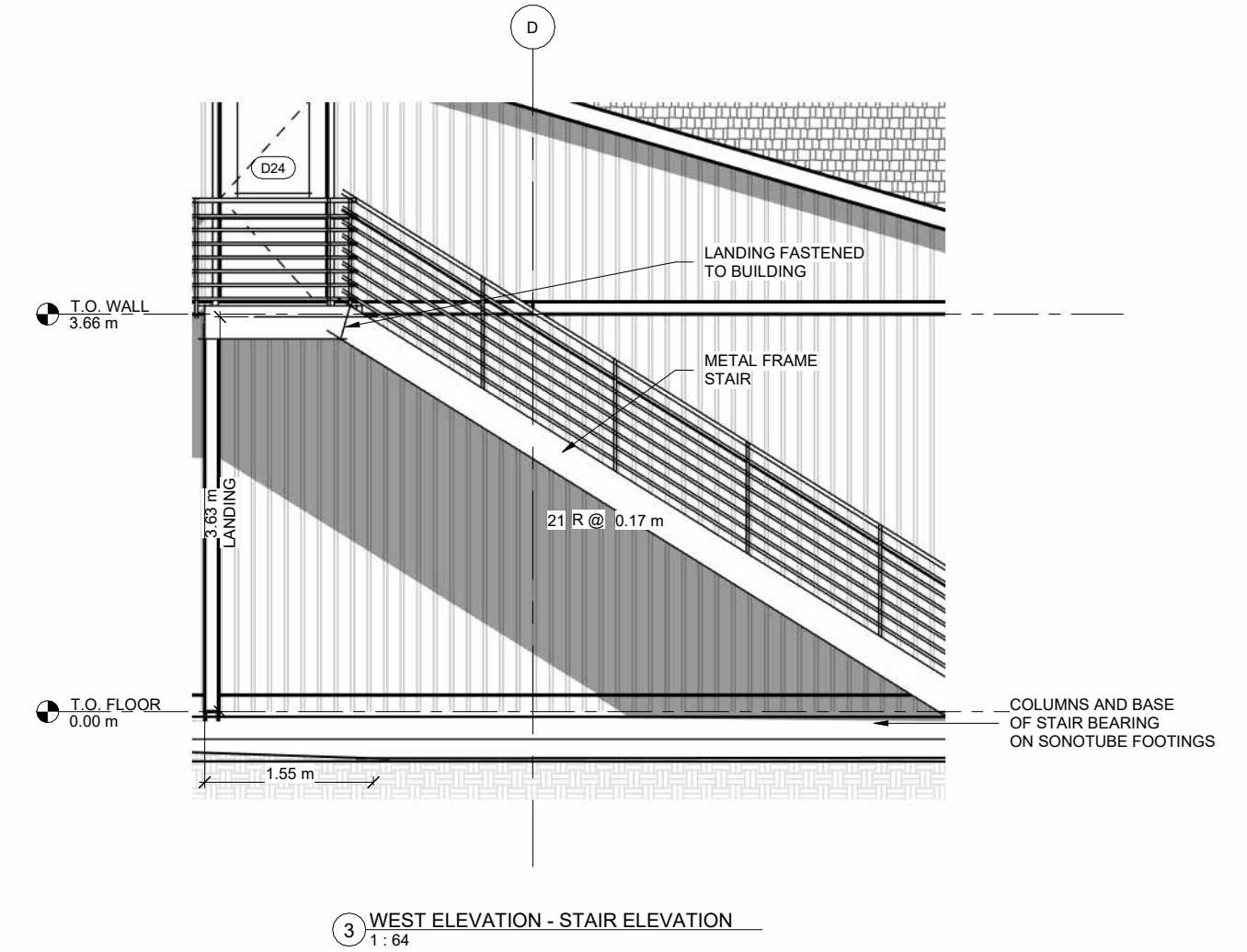
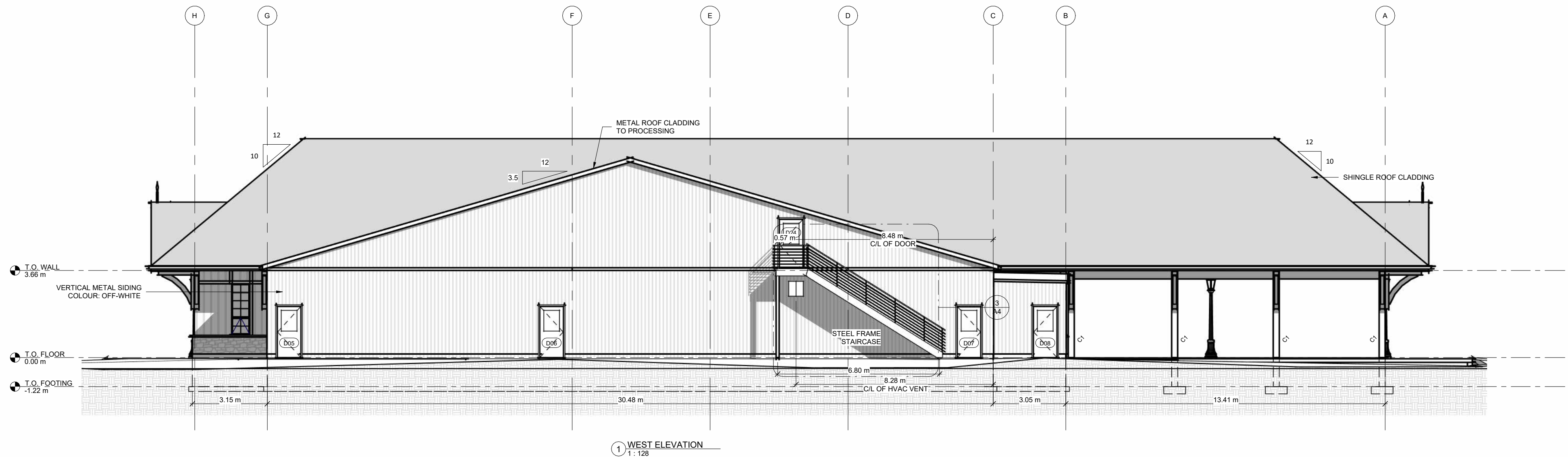
DRAWN BY: DH

ISSUED FOR: CONSTRUCTION

AGRICULTURAL PRODUCT
DISTRIBUTION CENTER

SUMMITHOLM HOLSTEINS
1399 POWERLINE RD W
COPETOWN, ON L0R 1T0

A3



VER #	DATE	REVISION
14	8-16-2022	CLARIFICATIONS TO FOUNDATION
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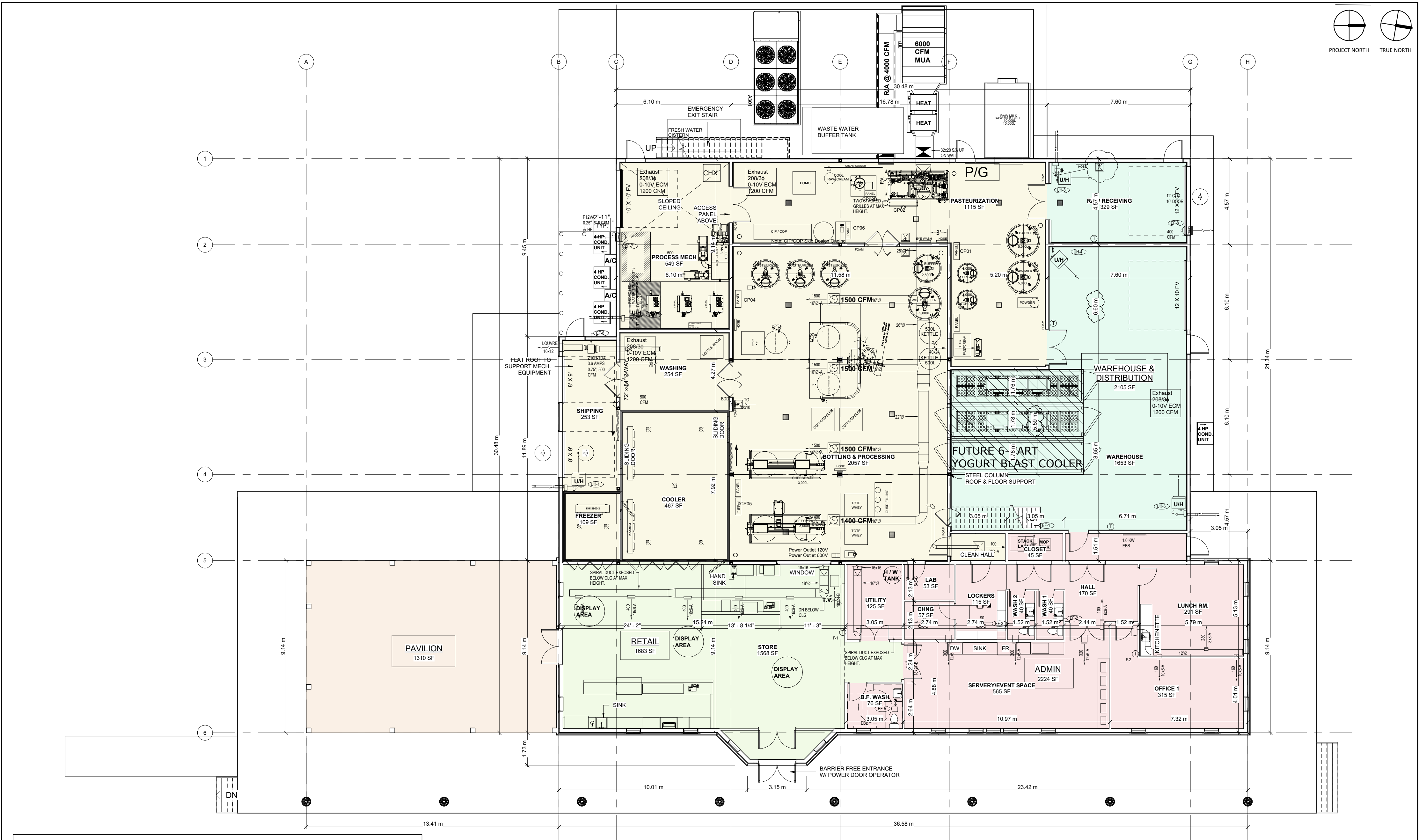
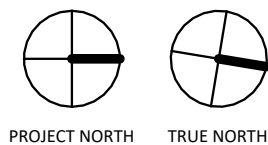
ELEVATIONS
SCALE: As indicated
DRAWN BY: DH

ISSUED FOR: CONSTRUCTION

AGRICULTURAL PRODUCT DISTRIBUTION CENTER

SUMMITHOLM HOLSTEINS
1399 POWERLINE RD W
COPETOWN, ON L0R 1T0

A4



ROOM FINISHES					
NAME	PERIMETER	AREA	WALL FINISH	FLOOR FINISH	CEILING FINISH
WASH 1	26' - 4"	40 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
WASH 2	26' - 4"	40 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
CLOSET	28' - 6"	45 SF			
LAB	29' - 8"	53 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
CHNG	30' - 6"	57 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
B.F. WASH	35' - 0"	76 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
FREEZER	42' - 0"	109 SF	2" INSULATED METAL PANEL	EPOXY COATED CONCRETE	2" THICK INSULATED METAL PANEL
LOCKERS	43' - 11"	115 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
UTILITY	45' - 4"	125 SF	1/2" DRYWALL, TAPED & SANDED	SMOOTH CONCRETE	5/8" DRYWALL, TAPED & SANDED
HALL	65' - 7"	170 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
SHIPPING	72' - 6"	253 SF	2" INSULATED METAL PANEL	EPOXY COATED CONCRETE	2" THICK INSULATED METAL PANEL
WASHING	64' - 10"	254 SF	2" INSULATED METAL PANEL	EPOXY COATED CONCRETE	2" THICK INSULATED METAL PANEL
LUNCH RM.	68' - 5"	291 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
OFFICE 1	83' - 3"	315 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
RAW RECEIVING	75' - 1"	329 SF	2" INSULATED METAL PANEL	EPOXY COATED CONCRETE	2" THICK INSULATED METAL PANEL
COOLER	87' - 9"	467 SF	2" INSULATED METAL PANEL	EPOXY COATED CONCRETE	2" THICK INSULATED METAL PANEL
PROCESS MECH	95' - 11"	549 SF	2" INSULATED METAL PANEL	EPOXY COATED CONCRETE	2" THICK INSULATED METAL PANEL
SERV/ERY/VENT SPACE	108' - 4"	565 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
PASTEURIZATION	180' - 0"	1115 SF	2" INSULATED METAL PANEL	EPOXY COATED CONCRETE	2" THICK INSULATED METAL PANEL
PAVILION	147' - 4"	1310 SF	N/A	CONCRETE	SHIPLAP PINE BOARD
STORE	180' - 8"	1568 SF	1/2" DRYWALL, TAPED & SANDED	EPOXY COATED CONCRETE	5/8" DRYWALL, TAPED & SANDED
WAREHOUSE	180' - 7"	1653 SF	2" INSULATED METAL PANEL	EPOXY COATED CONCRETE	2" THICK INSULATED METAL PANEL
BOTTLING & PROCESSING	185' - 5"	2057 SF	2" INSULATED METAL PANEL	EPOXY COATED CONCRETE	2" THICK INSULATED METAL PANEL
SERVICE PLATFORM	214' - 4"	2613 SF			

BUILDING AREA		
NAME	AREA	AREA(M)
ADMIN	2,224 SF	206.7 m²
PAVILION	1,310 SF	121.7 m²
PROCESSING	5,124 SF	476.1 m²
RETAIL	1,683 SF	156.4 m²
SERVICE PLATFORM	2,660 SF	247.1 m²
WAREHOUSE & DISTRIBUTION	2,105 SF	195.6 m²
15,107 SF - 1,403.5 m²		

ISSUED FOR: CONSTRUCTION

CHECK AND VERIFY ALL DIMENSIONS OR AMBIGUITIES. ALL WORK MUST COMPLY TO THE ONTARIO BUILDING CODE. DRAWINGS TO BE USED IN CONJUNCTION WITH THE SPECS.

VER #
20

VER	DATE	REVISION
13	5-19-2022	FRAMING & CLADDING REVISIONS FROM OXFORD ENERGY
15	7-28-2022	REVISIONS TO FLOOR LAYOUTS & BEAMS/CONNECTIONS
16	9-1-2022	UPDATED PROCESSING LAYOUT
17	9-29-2022	EQUIPMENT REVISIONS, FLOOR DRAINS/SLOPES
19	10-19-2022	HVAC/MECH UPDATES & RETAIL LAYOUT
19	12-15-2022	REVISED SERVICE AREA WITH 2ND STAIR
20	12-20-2022	REVISED STAIRCASE POSTS AS/ENG.

80 Peel Street East, Alton ON N0B 1A0
P: 519-846-5088 F: 519-846-2225

FLOOR PLAN

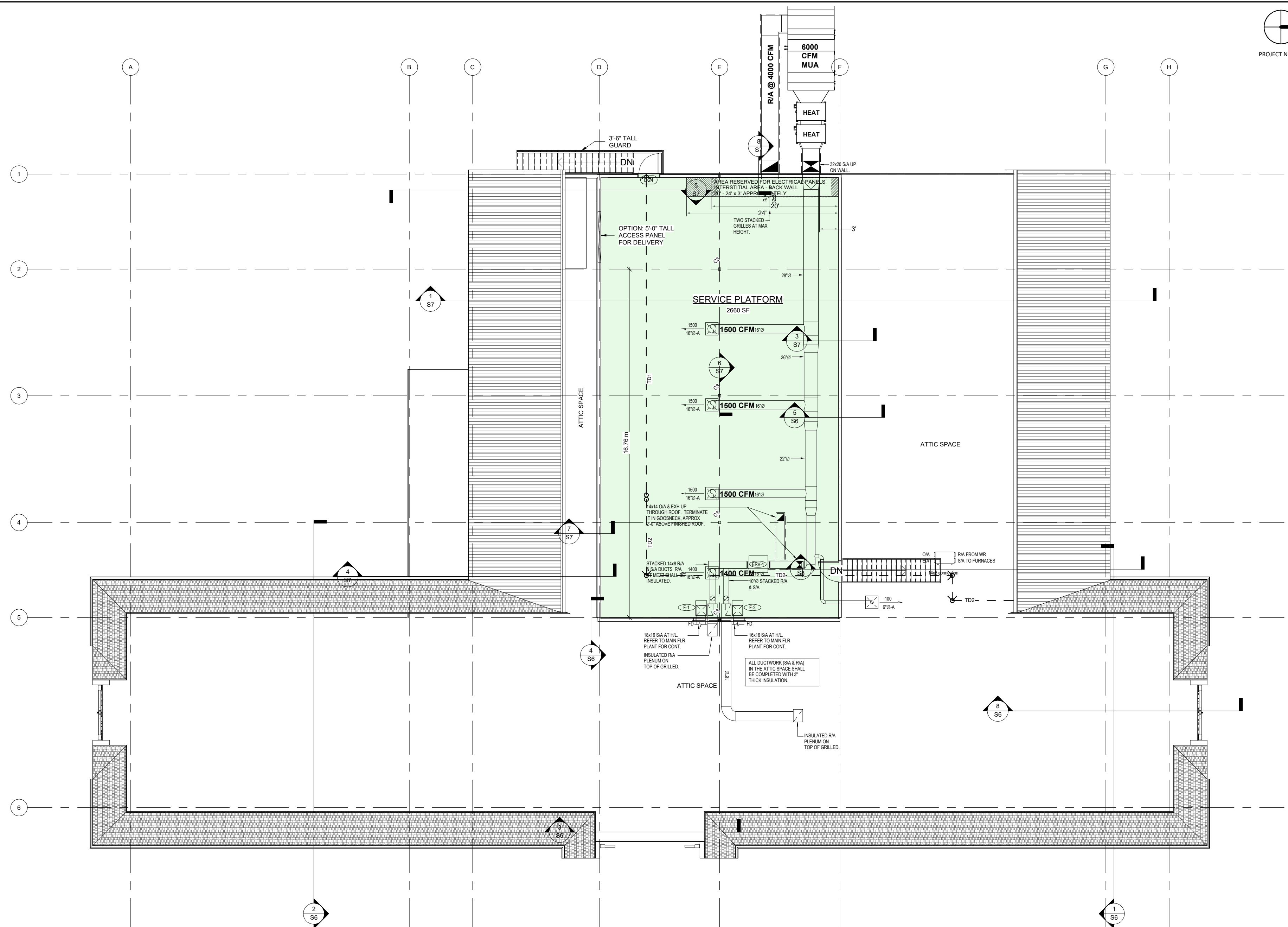
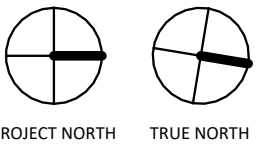
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DRAWN BY: DH

AGRICULTURAL PRODUCT DISTRIBUTION CENTER

SUMMITHOLM HOLSTEINS
1399 POWERLINE RD W
COPETOWN, ON L0R 1T0

A5



TRAVEL DISTANCE			
TYPE	MARK	DISTANCE	DISTANCE (M)
Travel Line	TD1	51'	15.42 m
Travel Line	TD2	94'	28.59 m

CHECK AND VERIFY ALL DIMENSIONS OR AMBIGUITIES. ALL WORK MUST COMPLY TO THE ONTARIO BUILDING CODE DRAWINGS TO BE USED IN CONJUNCTION WITH THE SPECS.

VER #
20

VER	DATE	REVISION
14	9-16-2022	CLARIFICATIONS TO FOUNDATION
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80 Peel Street East, Alton ON N0B 1A0
P: 519-846-5088 F: 519-846-2225

SERVICE PLATFORM

SCALE: 1 : 128
DRAWN BY: DH

ISSUED FOR: CONSTRUCTION

AGRICULTURAL PRODUCT DISTRIBUTION CENTER

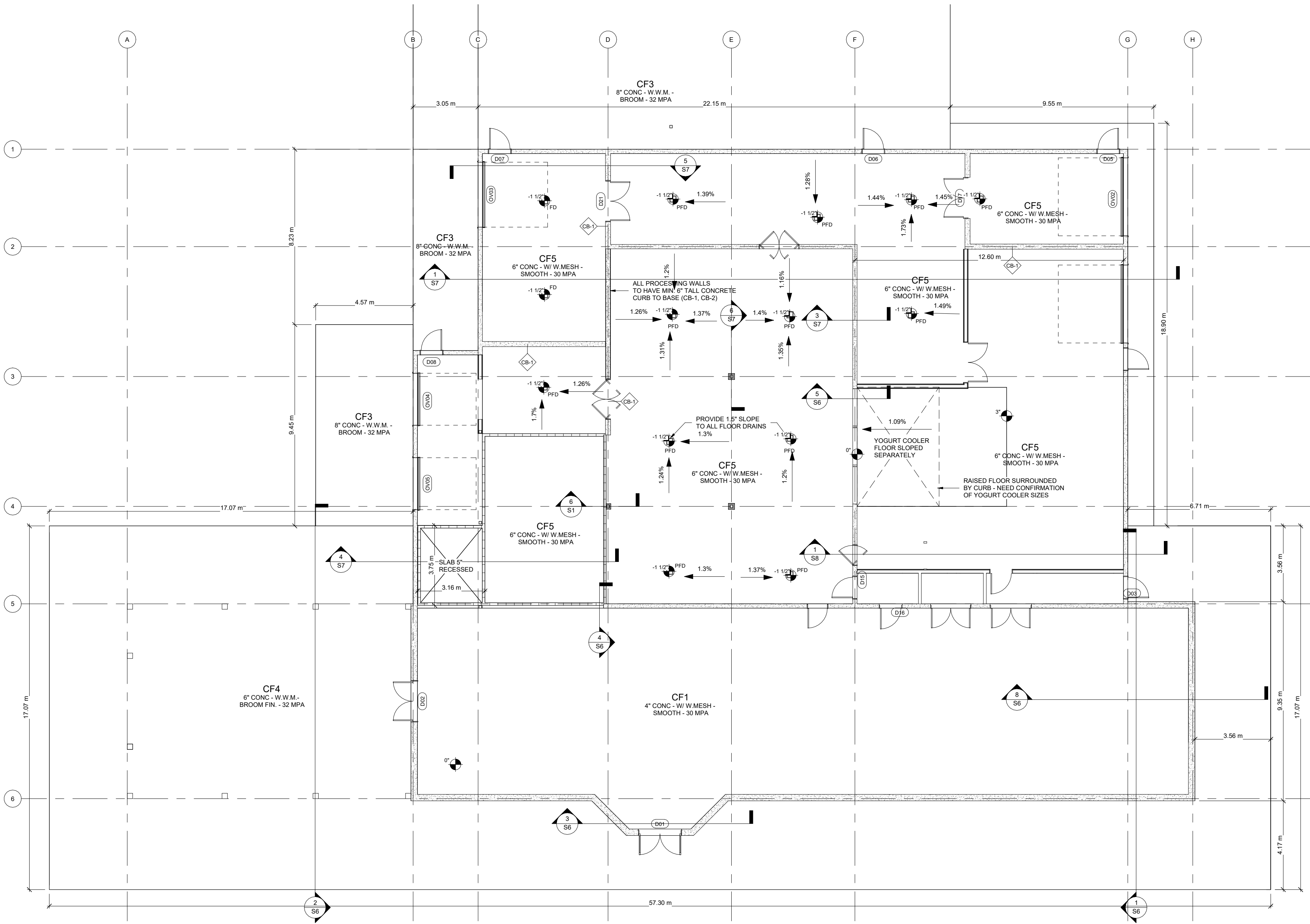
SUMMITHOLM HOLSTEINS
1399 POWERLINE RD W
COPETOWN, ON L0R 1T0

A6

ISSUED FOR: CONSTRUCTION

CB-1 9.5" X 6" CONC. CURB

CB-2 6" X 6" CONC. CURB



CONCRETE FLOOR SLABS

NO.	TYPE	T/O FLOOR	AREA	VOLUME
CF1	4" CONC - W/ W.MESH - SMOOTH - 30 MPA	0.00 m	3481 SF	32.9 m³
CF1	4" CONC - W/ W.MESH - SMOOTH - 30 MPA	0.00 m	263 SF	2.5 m³
CF1	4" CONC - W/ W.MESH - SMOOTH - 30 MPA	<varies>	85 SF	0.8 m³
CF1	4" CONC - W/ W.MESH - SMOOTH - 30 MPA	<varies>	85 SF	0.8 m³
CF1	4" CONC - W/ W.MESH - SMOOTH - 30 MPA	<varies>	85 SF	0.8 m³
CF3	8" CONC - W.W.M. - BROOM - 32 MPA	<varies>	310 SF	5.9 m³
CF3	8" CONC - W.W.M. - BROOM - 32 MPA	<varies>	1890 SF	35.7 m³
CF3	8" CONC - W.W.M. - BROOM - 32 MPA	<varies>	465 SF	8.8 m³
CF3	8" CONC - W.W.M. - BROOM - 32 MPA	<varies>	260 SF	4.9 m³
CF4	6" CONC - W.W.M. - BROOM FIN. - 32 MPA	-0.05 m	5461 SF	77.3 m³
CF4	6" CONC - W.W.M. - BROOM FIN. - 32 MPA	-0.05 m	357 SF	5.1 m³
CF5	6" CONC - W/ W.MESH - SMOOTH - 30 MPA	<varies>	5819 SF	82.4 m³
CF5	6" CONC - W/ W.MESH - SMOOTH - 30 MPA	<varies>	6432 SF	91.1 m³
CF5	6" CONC - W/ W.MESH - SMOOTH - 30 MPA	-0.13 m	121 SF	1.7 m³
CF5	6" CONC - W/ W.MESH - SMOOTH - 30 MPA	<varies>	422 SF	6.0 m³
Grand total			6975 SF	98.8 m³
			19717 SF	274.1 m³

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FLOOR SLOPES & DRAINS

SCALE: As indicated

DRAWN BY: DH

AGRICULTURAL PRODUCT DISTRIBUTION CENTER

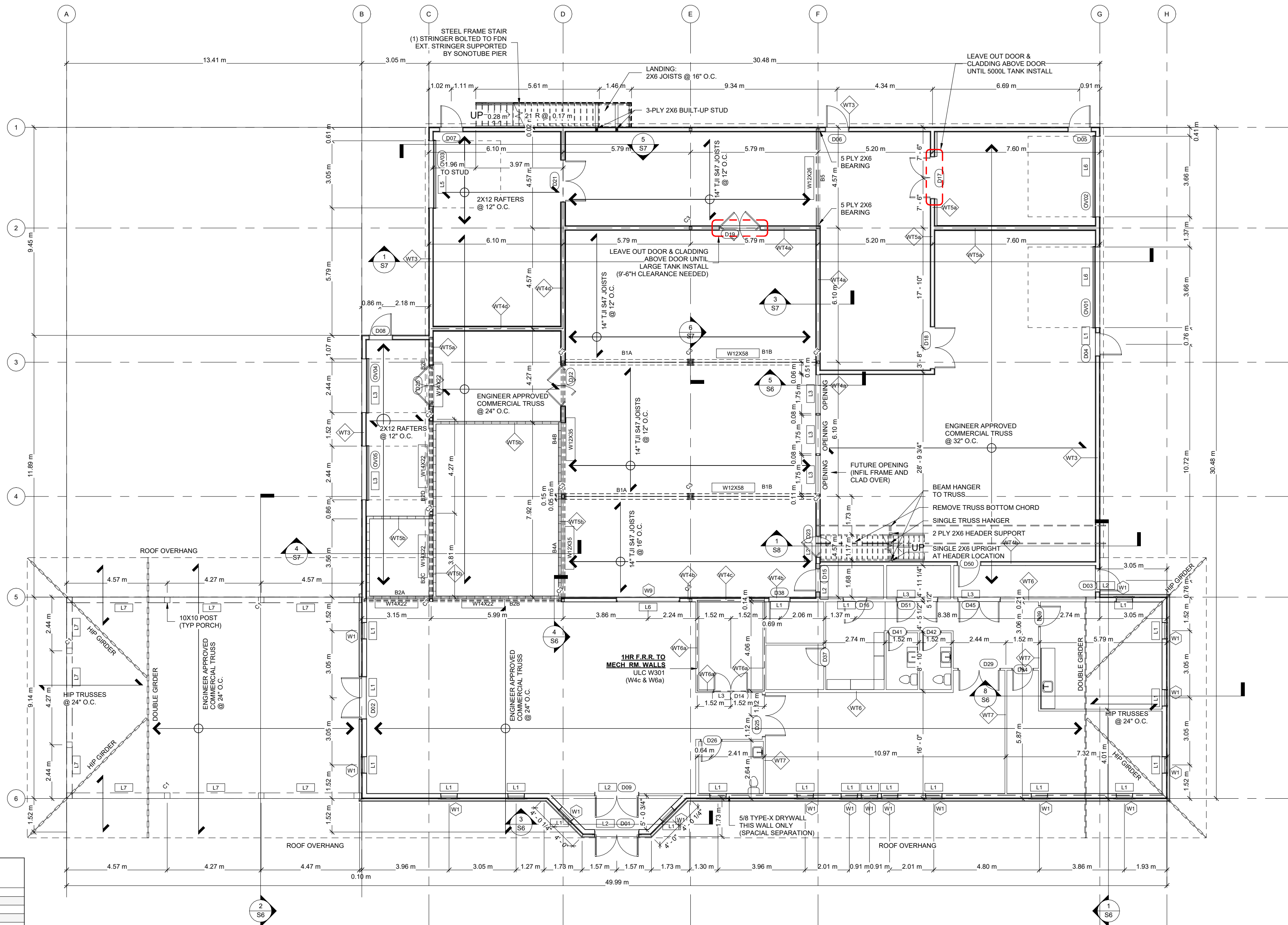
SUMMITHOLM HOLSTEINS
1399 POWERLINE RD W
COPETOWN, ON L0R 1T0

S2

#

ISSUED FOR: CONSTRUCTION

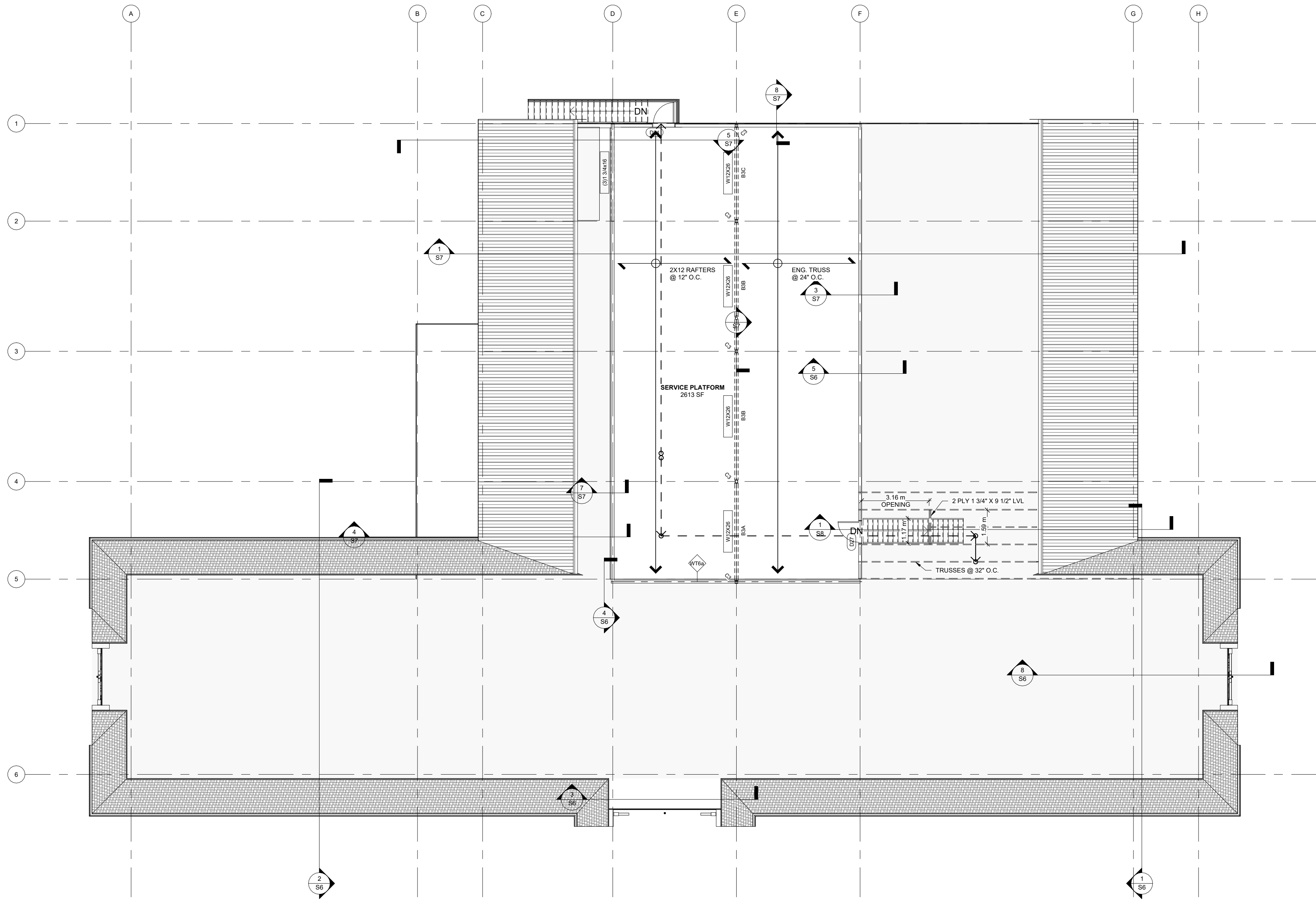
NO.	TYPE	ROUGH WIDTH	ROUGH HEIGHT	COUNT	ROOM
D01	80" x 122" DOUBLE	80 1/2"	122 1/2"	1	STORE
D02	72" x 84" DOUBLE	76 1/2"	86 1/2"	1	PAVILION
D03	38" x 84"	42 1/2"	86 1/2"	1	
D04	38" x 84"	42 1/2"	86 1/2"	1	WAREHOUSE
D05	38" x 84"	42 1/2"	86 1/2"	1	RAW RECEIVING
D06	38" x 84"	42 1/2"	86 1/2"	1	PASTEURIZATION
D07	38" x 84"	42 1/2"	86 1/2"	1	PROCESS MECH
D08	38" x 84"	42 1/2"	86 1/2"	1	SHIPPING
D09	80" x 122" DOUBLE	80 1/2"	122 1/2"	1	
D12	72" x 84" 2-WAY	74 1/2"	85 1/4"	1	WASHING
D14	60" x 84" DOUBLE	62 1/2"	85 1/4"	1	STORE
D15	38" x 84"	42 1/2"	86 1/2"	1	BOTTLING & PROCESSING
D16	38" x 84"	42 1/2"	86 1/2"	1	LOCKERS
D17	72" x 84" DOUBLE	76"	88"	1	RAW RECEIVING
D18	72" x 84" DOUBLE	76"	88"	1	PASTEURIZATION
D19	72" x 84" 2-WAY	74 1/2"	85 1/4"	1	BOTTLING & PROCESSING
D20	72" x 84" 2-WAY	74 1/2"	85 1/4"	1	WASHING
D21	72" x 84" DOUBLE	76"	88"	1	PROCESS MECH
D23	36" x 84" 2-WAY	38 1/2"	85 1/4"	1	BOTTLING & PROCESSING
D24	38" x 84"	42 1/2"	86 1/2"	1	SERVICE PLATFORM
D25	72" x 84" DOUBLE	76"	88"	1	STORE
D26	36" x 84"	38 1/2"	85 1/4"	1	STORE
D27	38" x 84"	42 1/2"	86 1/2"	1	SERVICE PLATFORM
D29	72" x 84" DOUBLE	76"	88"	1	SERVERY/EVENT SPACE
D34	36" x 84"	38 1/2"	85 1/4"	1	HALL
D37	32" x 84"	34 1/2"	85 1/4"	1	CHNG
D38	36" x 84"	38 1/2"	85 1/4"	1	LAB
D39	36" x 84"	38 1/2"	85 1/4"	1	LUNCH RM.
D41	32" x 84"	34 1/2"	85 1/4"	1	WASH 2
D42	32" x 84"	34 1/2"	85 1/4"	1	WASH 1
D45	72" x 84" DOUBLE	76 1/2"	86 1/2"	1	HALL
D50	38" x 84"	42 1/2"	86 1/2"	1	WAREHOUSE
D51	72" x 84" DOUBLE	74 1/2"	85 1/4"	1	HALL



WINDOW SCHEDULE				
NO.	TYPE	ROUGH WIDTH	ROUGH HEIGHT	COUNT
W1	30X84 - 28" AWNING, 56" FIXED	31"	85"	18
W9	114" x 72" FIXED	115"	73"	1

PROVIDE L1 LINTEL OVER ALL DOOR/WINDOW OPENINGS U.N.O.

STEEL BEAMS - THIS SHEET			
NO.	TYPE	CUT LEN.	QTY
B1A	W12X58	5.63 m	2
B1B	W12X58	5.63 m	2
B2A	W14X22	2.97 m	1
B2B	W14X22	5.84 m	1
B2C	W14X22	3.80 m	1
B2D	W14X22	4.11 m	1
B2E	W14X22	3.66 m	1
B4A	W12X35	4.56 m	1
B4B	W12X35	5.94 m	1
B5	W12X26	4.53 m	1
Grand total			12



COLUMN SCHEDULE			
NO.	TYPE	LENGTH	COUNT
C1	10X10 TIMBER	3.66 m	10
C3	HSS5X5X1/4	<varies>	14
24			

STEEL COLUMNS - THIS SHEET				
TYPE	NO.	TYPE	LEN.	QTY
C3	C3G	HSS5X5X1/4	6.49 m	2
C3	C3H	HSS5X5X1/4	6.49 m	1
C3	C3J	HSS5X5X1/4	6.79 m	2
5				

STEEL BEAMS - THIS SHEET				
NO.	TYPE	CUT LEN.	QTY	
B3A	W12X26	4.56 m	1	
B3B	W12X26	5.94 m	2	
B3C	W12X26	4.32 m	1	
Grand total 4				

MANDOOR SCHEDULE - SHEET					
NO.	TYPE	ROUGH WIDTH	ROUGH HEIGHT	COUNT	ROOM
D24	38" x 84"	42 1/2"	86 1/2"	1	SERVICE PLATFORM
D27	38" x 84"	42 1/2"	86 1/2"	1	SERVICE PLATFORM

CHECK AND VERIFY ALL DIMENSIONS OR AMBIGUITIES. ALL WORK MUST COMPLY TO THE ONTARIO BUILDING CODE DRAWINGS TO BE USED IN CONJUNCTION WITH THE SPECS.

VER #20

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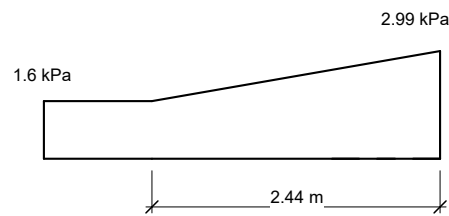
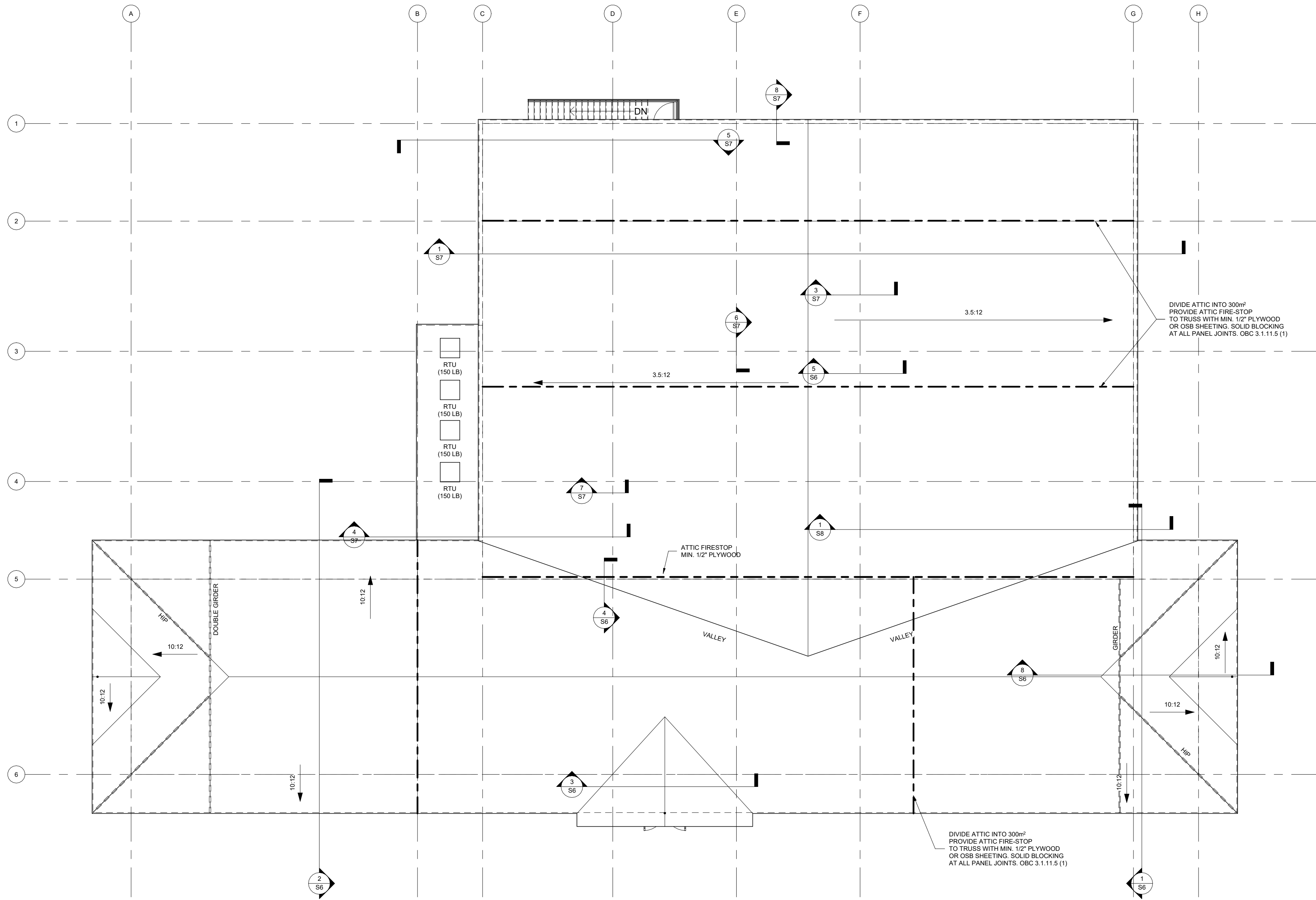
POST
STRUCTURES

80 Peel Street East, Alma ON N0B 1A0
P: 519-846-5088 F: 519-846-2225

SERVICE PLATFORM	AGRICULTURAL PRODUCT DISTRIBUTION CENTER
SCALE: 1 : 128	SUMMITHOLM HOLSTEINS 1399 POWERLINE RD W COPETOWN, ON L0R 1T0
DRAWN BY: DH	

ISSUED FOR: CONSTRUCTION

S4



2 SNOW DRIFT @ VALLEYS & RTU'S
1:64

VER #	VER	DATE	REVISION
20	14	9-16-2022	CLARIFICATIONS TO FOUNDATION
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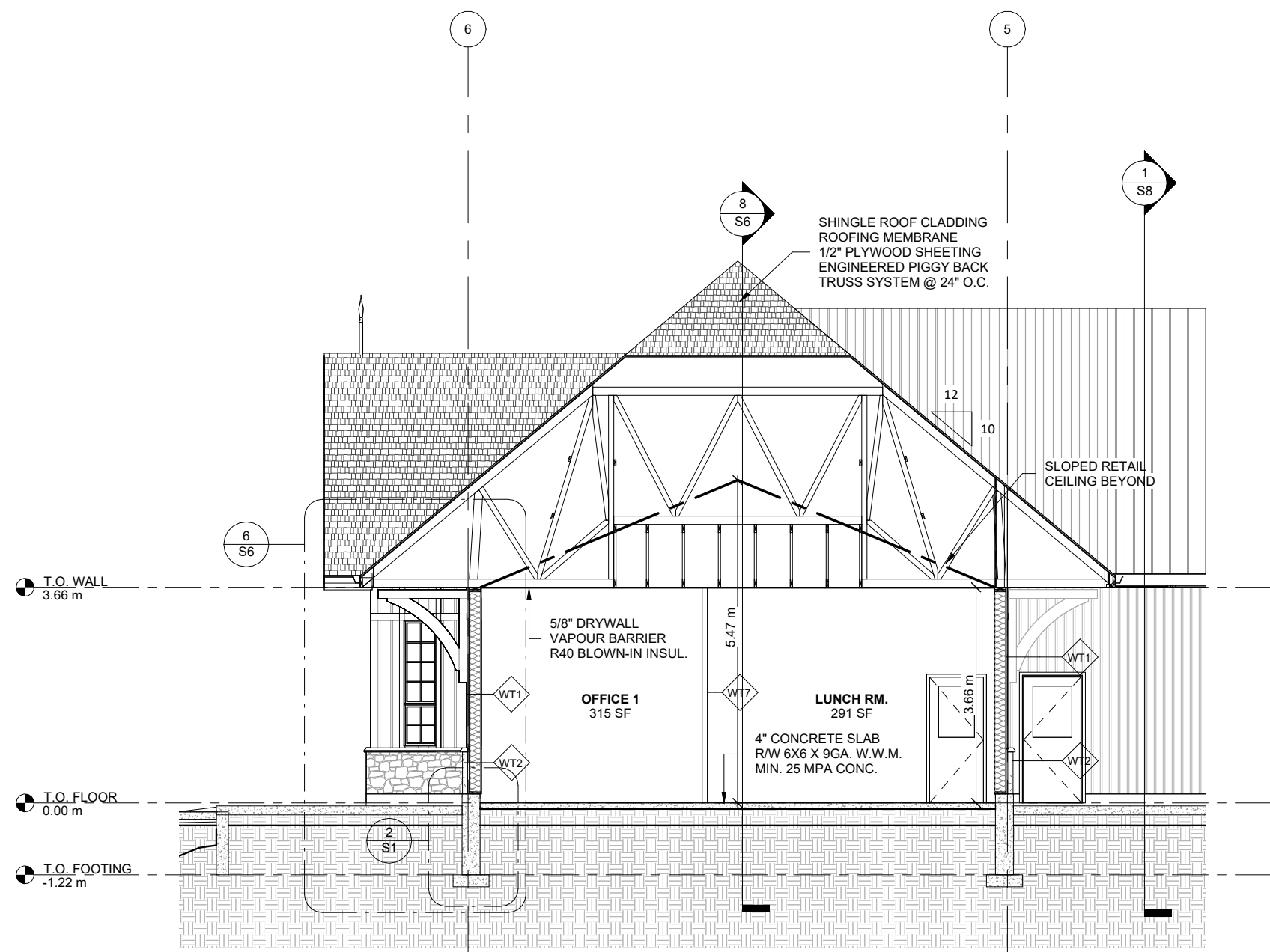


80 Peel Street East, Alton ON N0B 1A0
P: 519-846-5088 F: 519-846-2225

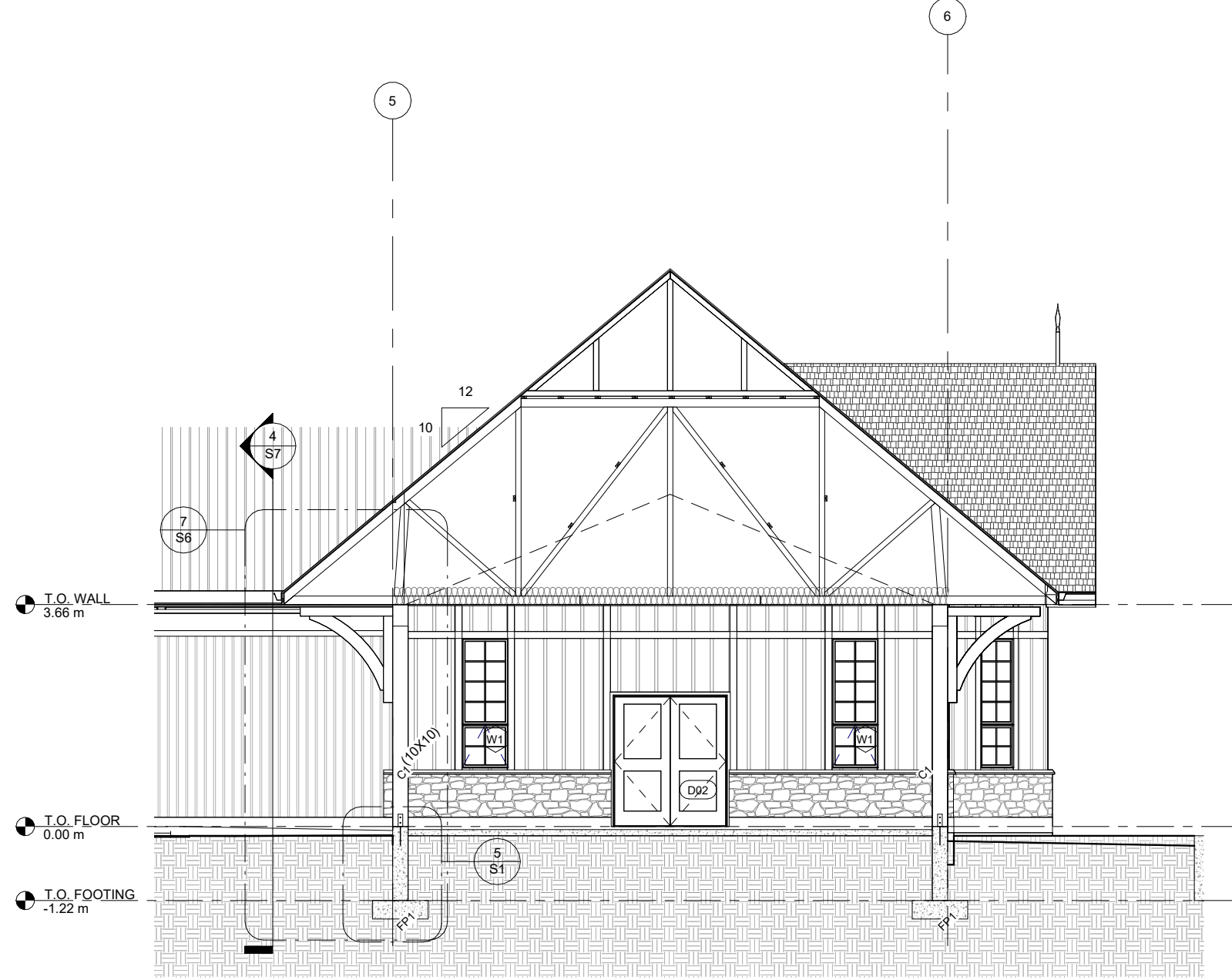
ROOF FRAMING	
SCALE: As indicated	
DRAWN BY:	DH

AGRICULTURAL PRODUCT DISTRIBUTION CENTER	
SUMMITHOLM HOLSTEINS 1399 POWERLINE RD W COPETOWN, ON L0R 1T0	
#	S5

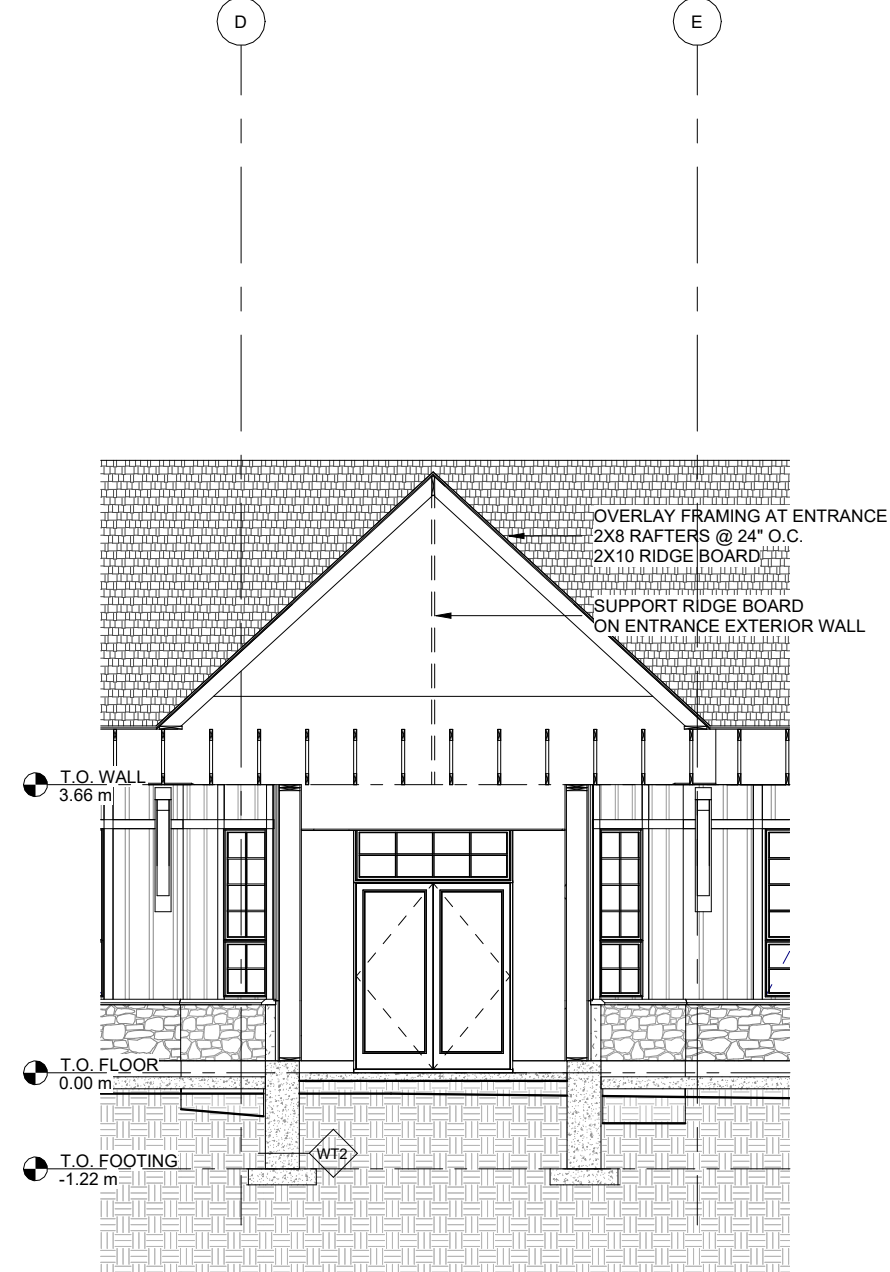
ISSUED FOR: CONSTRUCTION



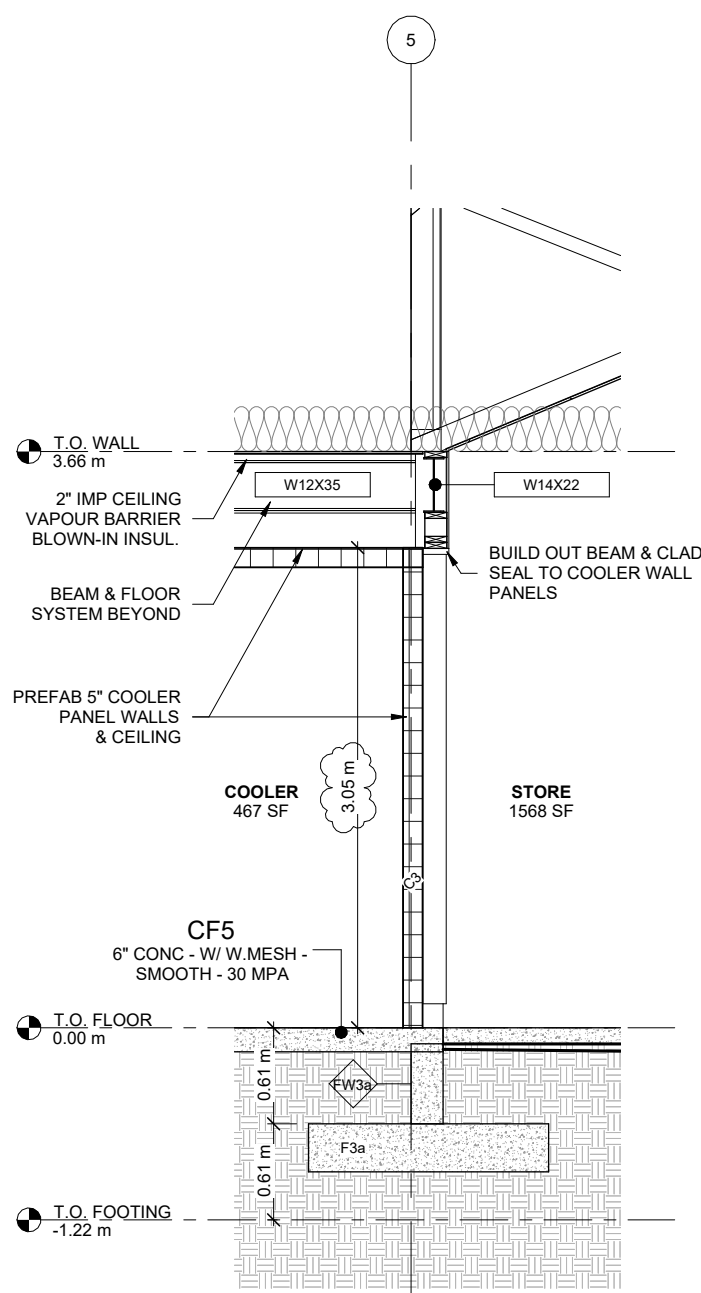
1 RETAIL/OFFICE SECTION
1:96



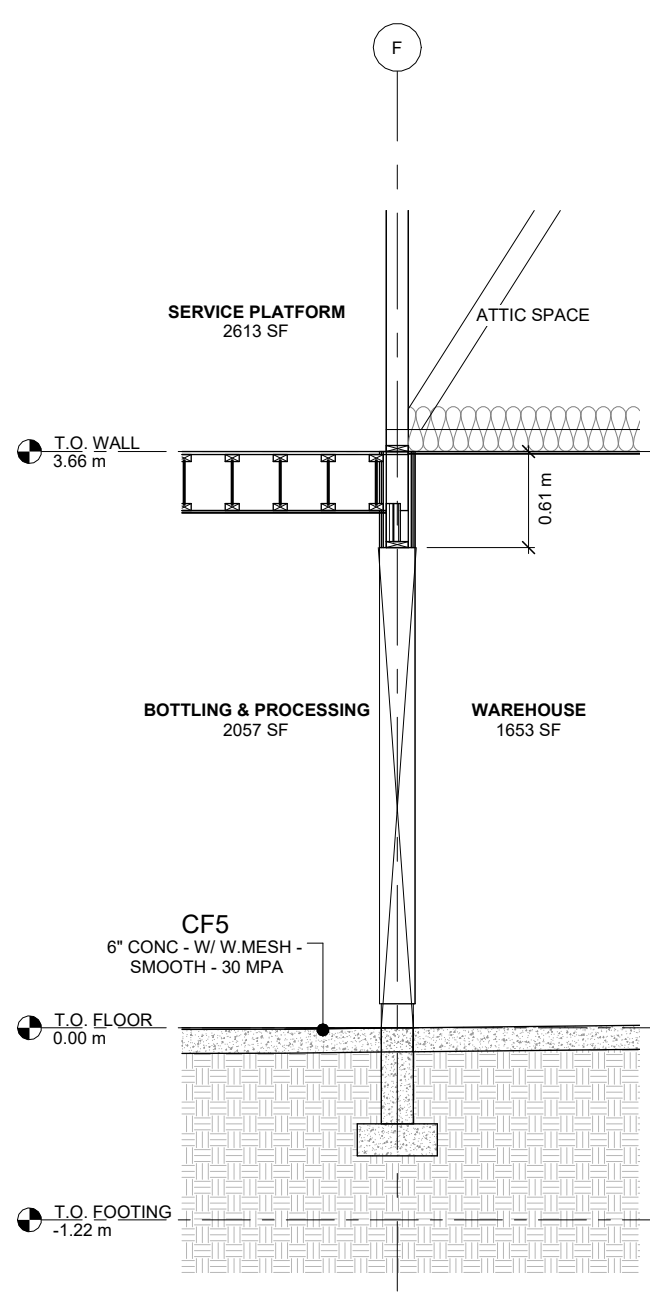
2 COVERED PORCH
1:96



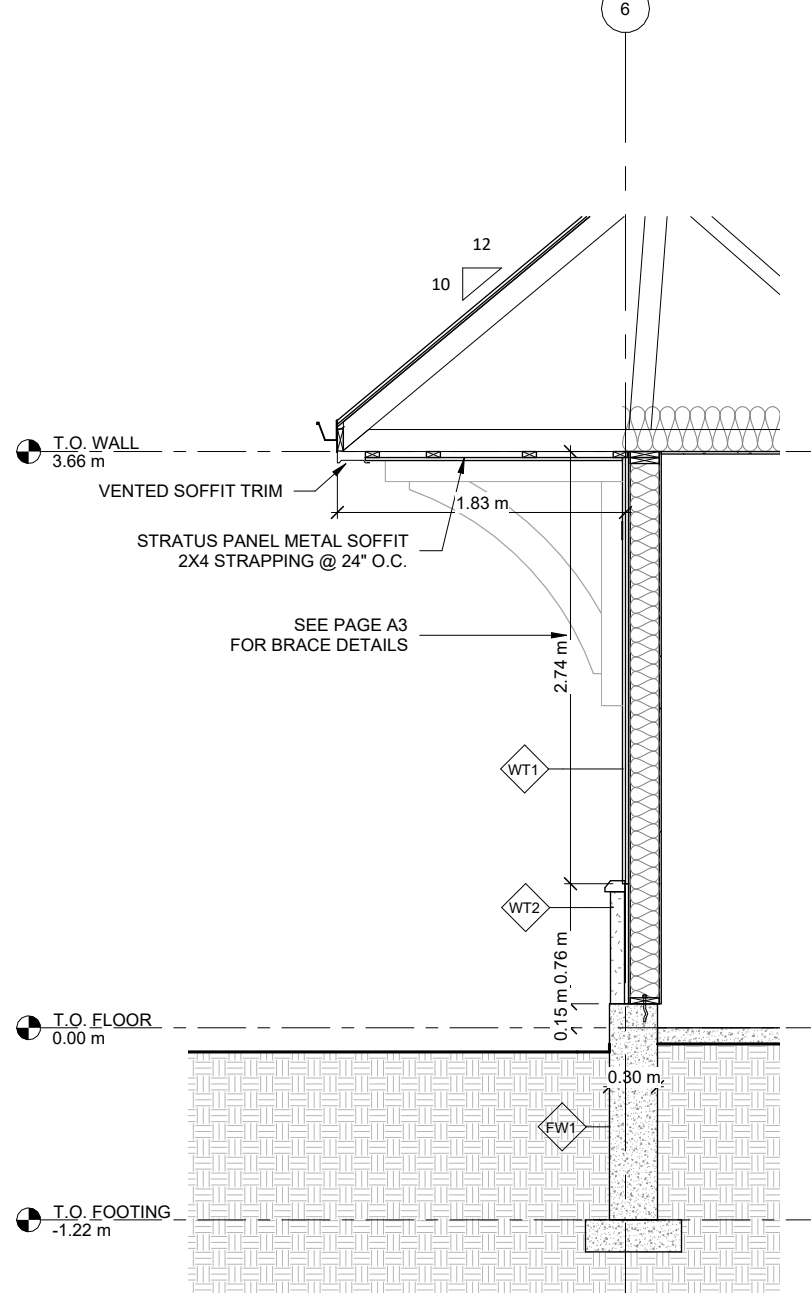
3 RETAIL ENTRY
1:96



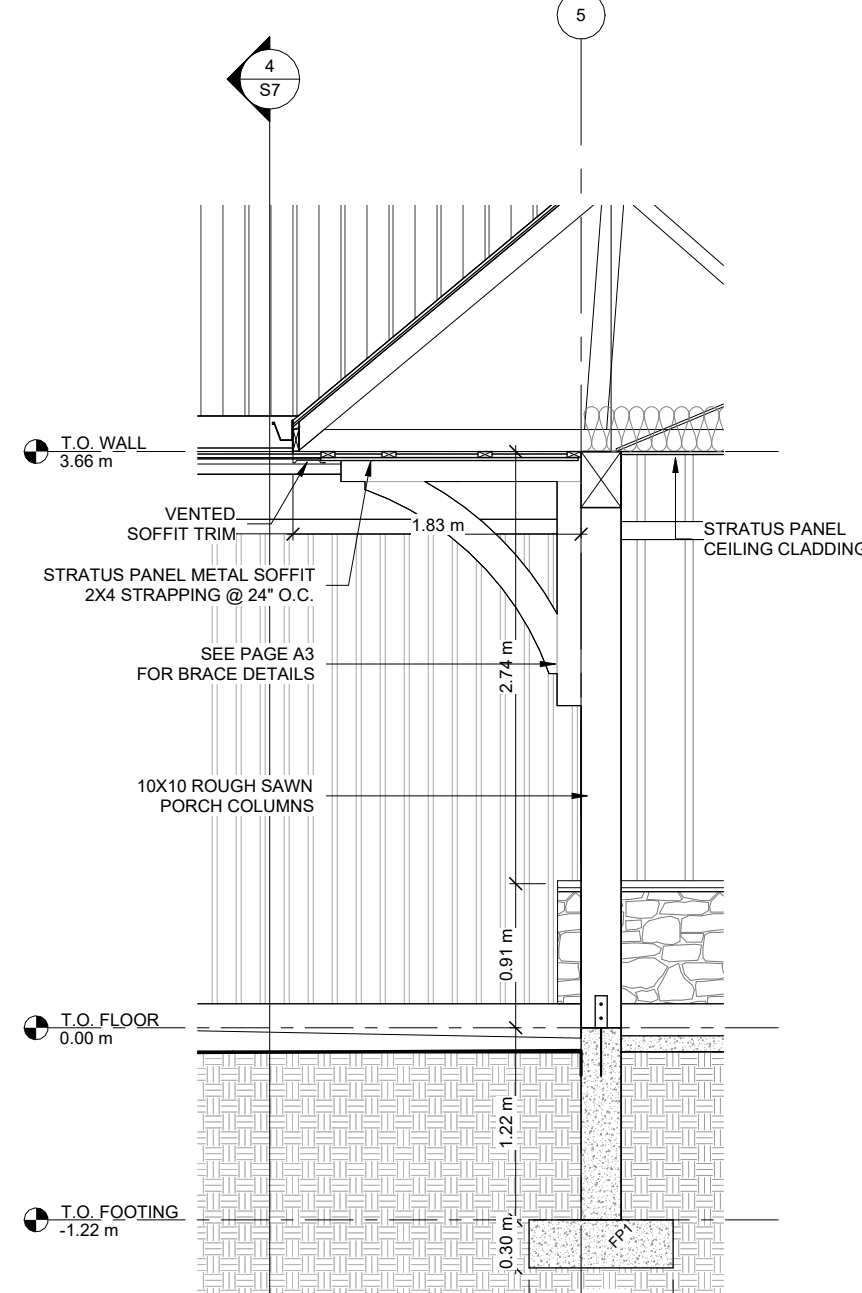
4 RETAIL AT COOLER
1:48



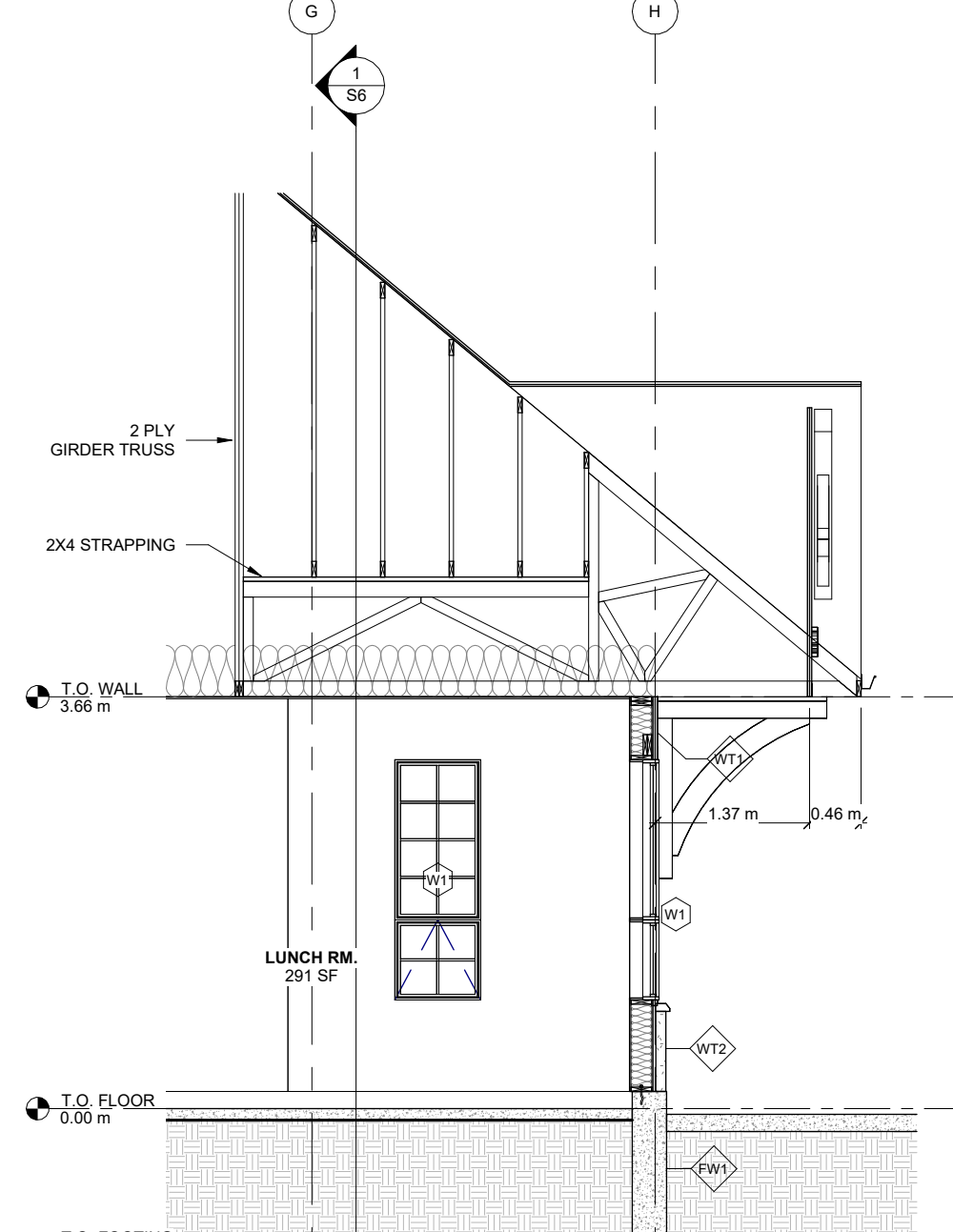
5 DIVIDING WALL AT YOGURT COOLERS
1:48



6 RETAIL WALL DETAIL
1:48



7 COVERED PORCH WALL DETAIL
1:48



8 END WALL SECTION
1:64

VER #	DATE	REVISION
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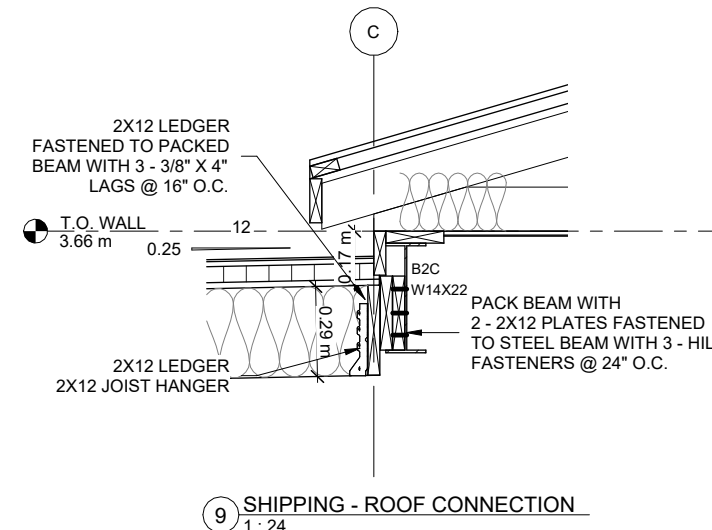
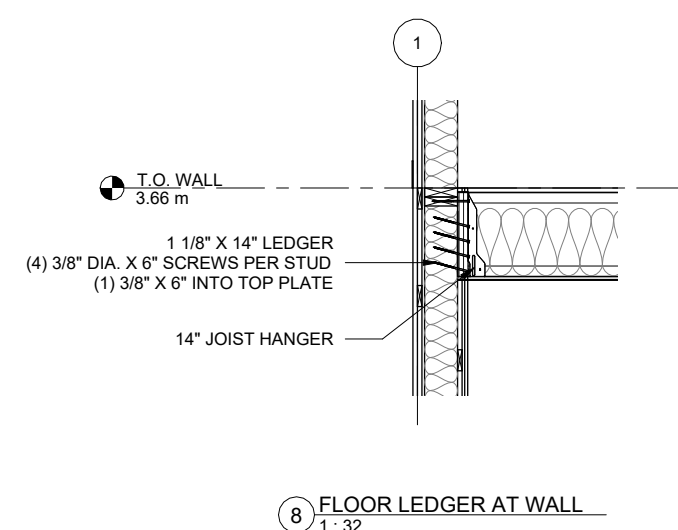
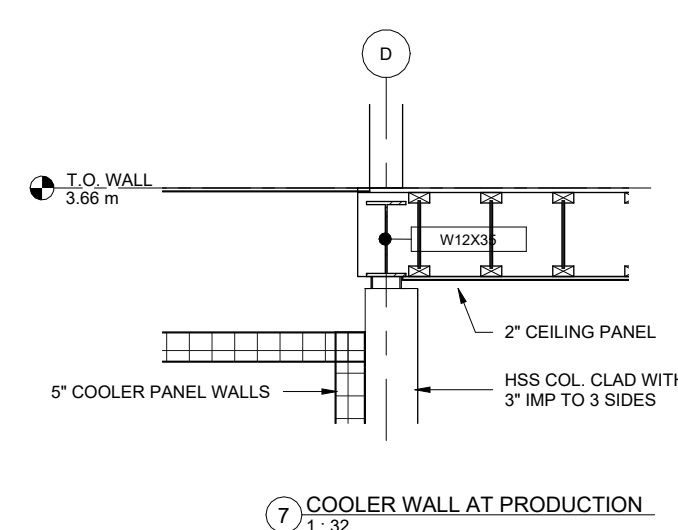
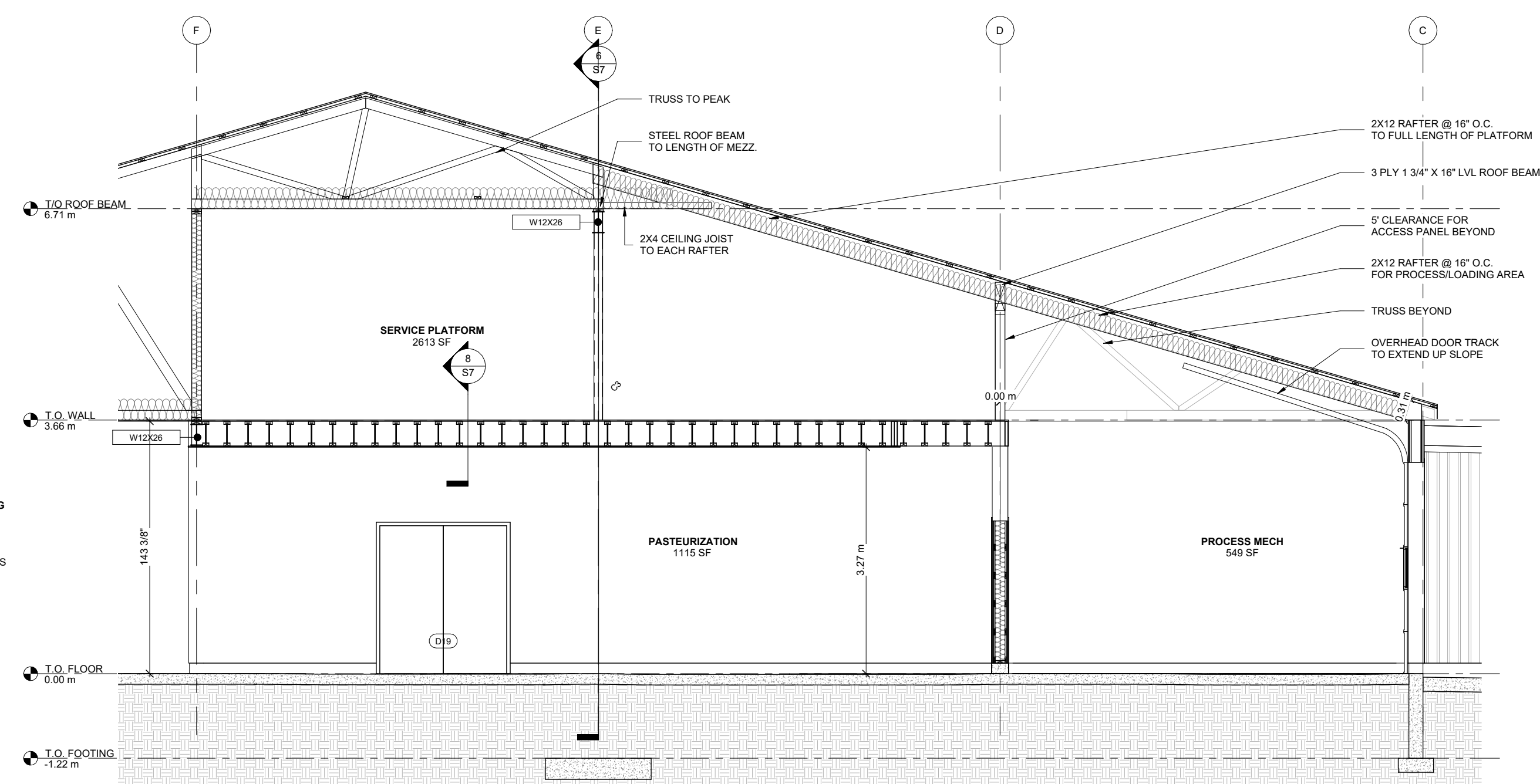
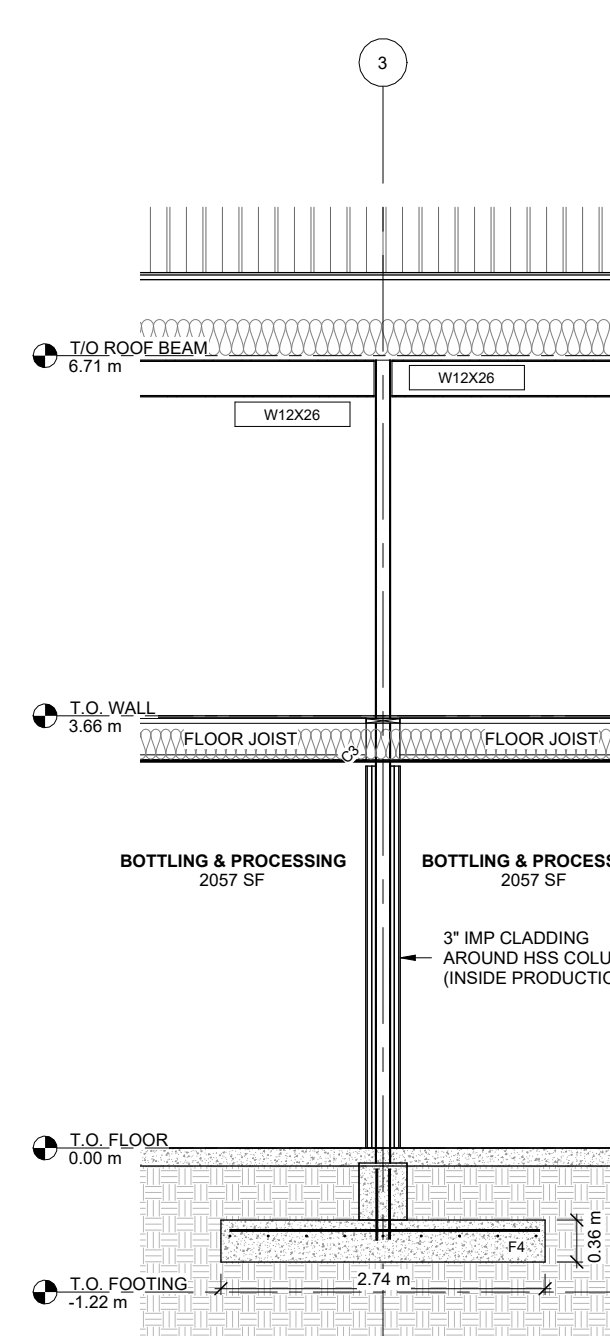
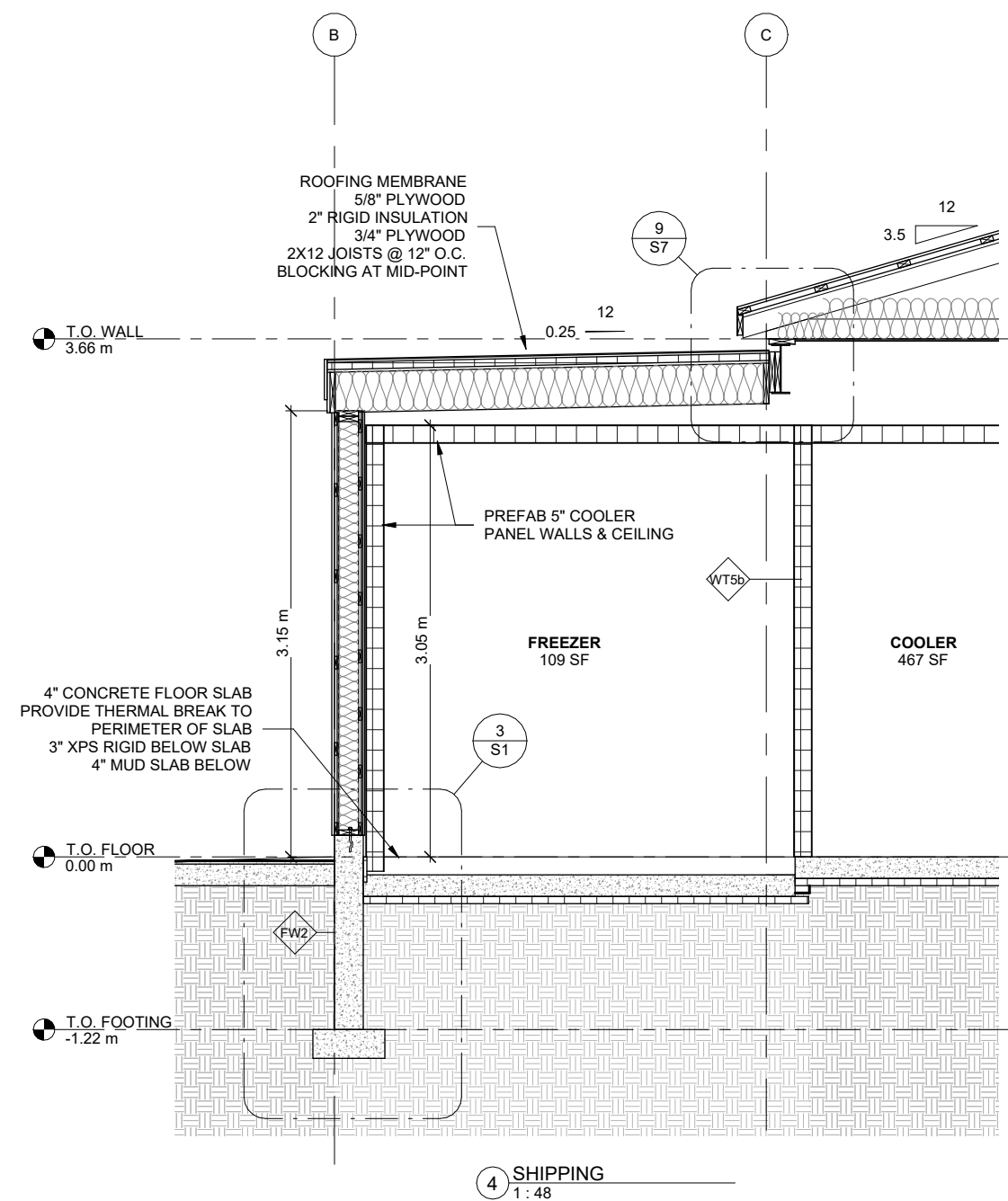
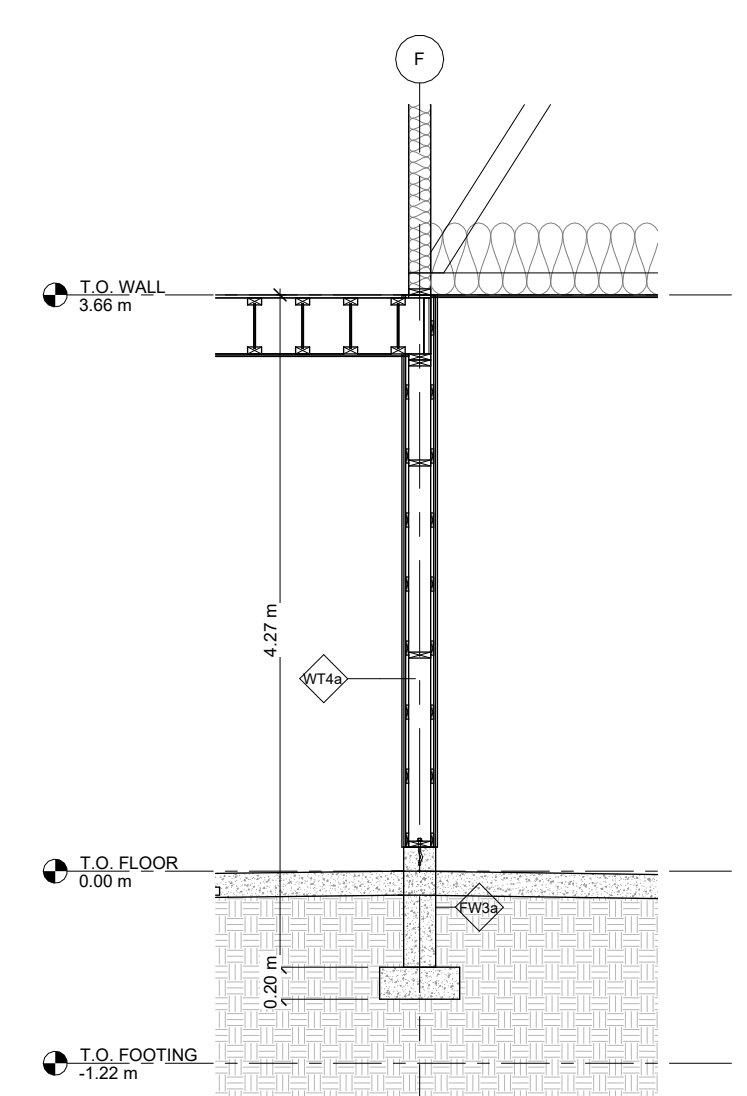
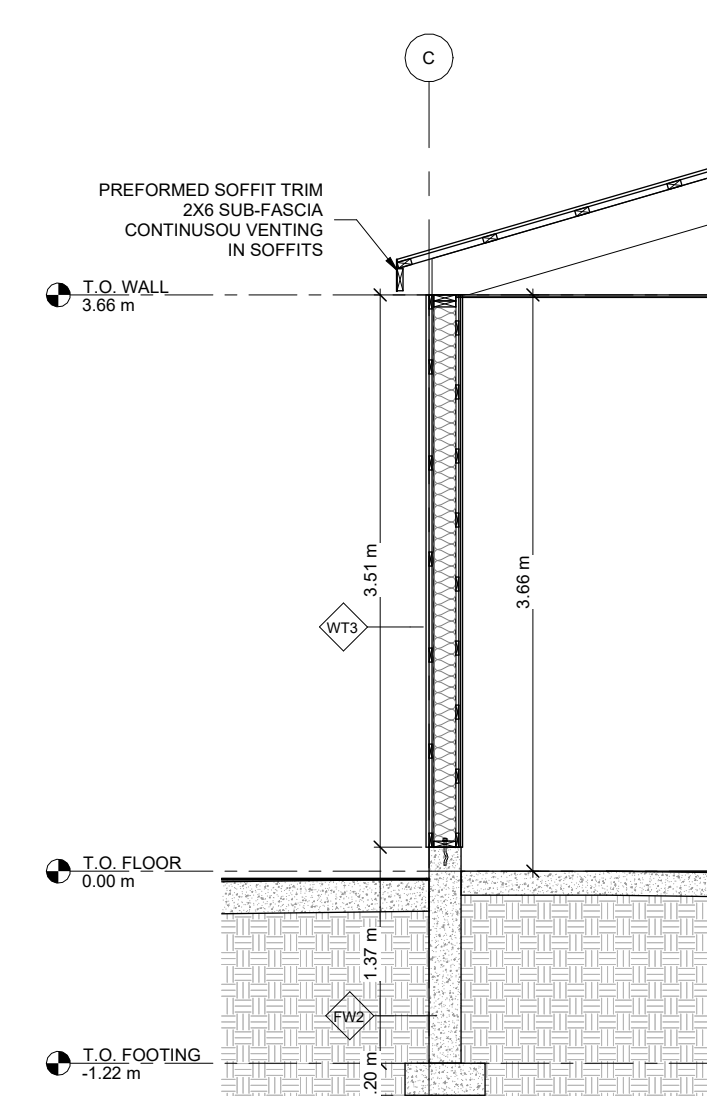
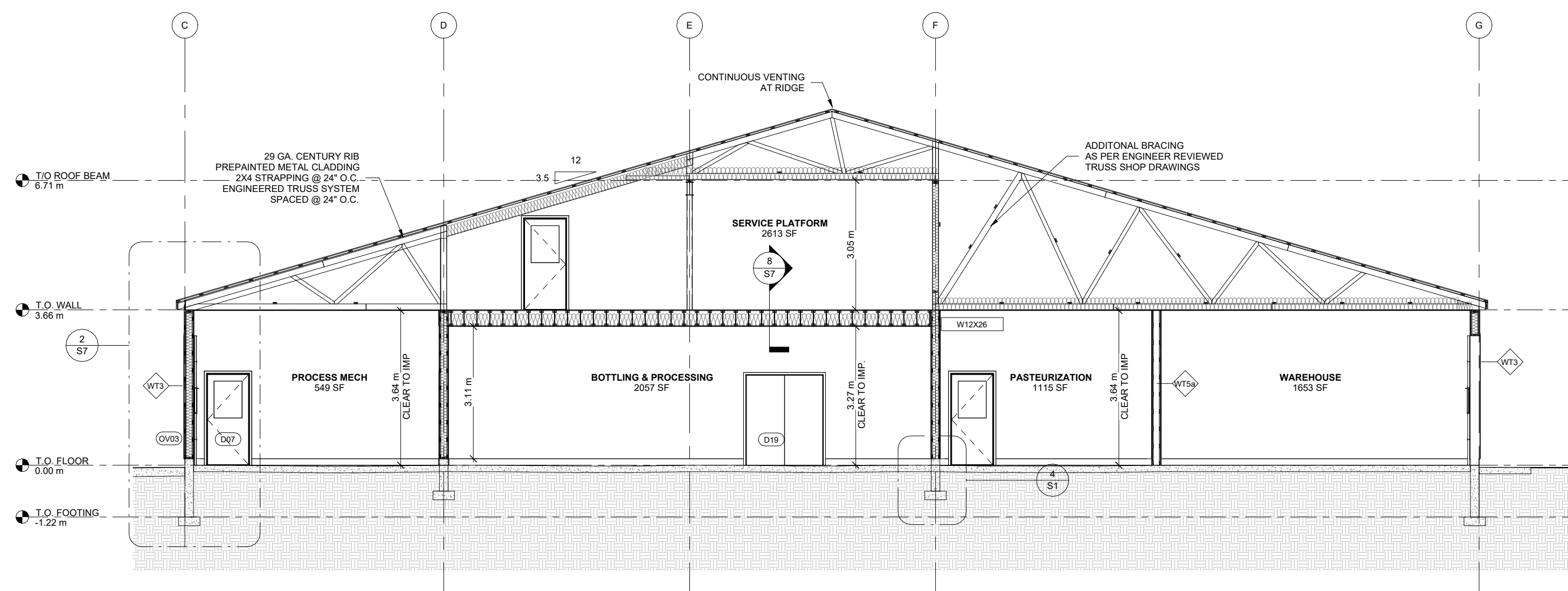
80 Peel Street East, Alton ON N0B 1A0
P: 519-846-5088 F: 519-846-2225

RETAIL CROSS SECTIONS
SCALE: As indicated
DRAWN BY: DH

AGRICULTURAL PRODUCT DISTRIBUTION CENTER
SUMMITHOLM HOLSTEINS
1399 POWERLINE RD W
COPETOWN, ON L0R 1T0

S6
#

ISSUED FOR: CONSTRUCTION



VER	DATE	REVISION
VER #	6-16-2022	CLARIFICATIONS TO FOUNDATION
20	15-7-28-2022	REVISIONS TO FLOOR LAYOUTS & BEAMS/CONNECT
	18-9-1-2022	UPDATED PROCESSING LOG
	17-9-29-2022	EQUIPMENT UPDATES, FLOOR DRAINS/SLOPES
	10-10-12-2022	HVACMECH REVISIONS & RETAIL LAYOUT
	10-12-15-2022	REVISED SERVICE AREA WITH 2ND STAIR
	20-12-20-2022	REVISED STAIRCASE POSTS AS/ENG



PRODUCTION CROSS SECTIONS
SCALE: As indicated
DRAWN BY: CH

ISSUED FOR: CONSTRUCTION		
AGRICULTURAL PRODUCT DISTRIBUTION CENTER		S7
SUMMITHOLM HOLSTEINS 1399 POWERLINE RD W		



Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	DAVE LOEWITH BEN LOEWITH CARL LOEWITH	
Applicant(s)	Summit Station Dairy & Creamery Limited (General Manager: Jennifer Howe)	
Agent or Solicitor	n/a	

1.2 Primary contact

☒ Applicant

☐ Owner

☐ Agent/Solicitor

1.3 Sign should be sent to

☒ Applicant

☐ Owner

☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

☐ In person

☒ Credit over phone*

☐ Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1391 Powerline Road West, Lynden ON L0R 1T0		
Assessment Roll Number	140.110.91400.0000 (Joseph Loewith & Sons Limited)		
Former Municipality	TOWN OF ANCASTER		
Lot	29, 30	Concession	1
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Summit Station Dairy would like to apply for a City of Hamilton Restaurant License for the purpose of specifically showcasing dairy-based and dairy-related food items within our existing retail space. This additional on-farm diversification will enhance the agritourism experience and strengthen the local agricultural economy. We seek to convert 19.35 sm of existing retail space (156.4sm) to food service space.

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The current zoning (rural agricultural) by-law does not usually allow for Restaurant Licenses. Summit Station seeks a small deviation from zoning regulations to permit the serving of food and beverages specifically related to our dairy products.

3.3 Is this an application 45(2) of the Planning Act.

☒ Yes

☐ No

If yes, please provide an explanation:

Summit Station is applying to augment our current on-site Food Store and Agritourism offerings which would be consistent with the general intent and purpose of the Secondary Uses to Agricultural permissions, and won't adversely impact neighboring properties.

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
302 m	600 m +/-	52 ha	20m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Agriculture processing & retail	13.79m	1000m	North 200m / South 162m	07/01/2023
Dairy Barns	240m	560m	1	01/01/1999
Single Dwelling 1	606m	378m +/-	2	01/01/1857
Single Dwelling 2	51m	900m +/-	1	01/01/1970

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
(no new structures)				

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Agriculture processing & retail	1034.8sm	1403.5sm	2	9.19m
Dairy Barns	11148sm	11148sm	1	9.1m
Single Dwelling 1	232sm	400sm +/-	2	9.1m
Single Dwelling 2	153sm	153sm	1	6.09m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
(no new structures)				

4.4 Type of water supply: (check appropriate box)

- ☐ publicly owned and operated piped water system
☐ privately owned and operated individual well

- ☐ lake or other water body
☒ other means (specify)

City water to private cistern

4.5 Type of storm drainage: (check appropriate boxes)

- ☐ publicly owned and operated storm sewers
☐ swales

- ☒ ditches
☐ other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☐ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☒ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway ☐ right of way
☐ municipal road, seasonally maintained ☐ other public road
☒ municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Food service.

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Agricultural. Single Detached dwelling.

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

1947

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Agriculture

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Agriculture (dairy farming). Agricultural distribution. Agricultural Processing. Retail.

7.4 Length of time the existing uses of the subject property have continued:
Farming - 76 years. All other uses - 22 months.

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Agriculture

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? A1, Exception 86

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

☐ Yes ☐ No

If yes, please provide the file number: A1, Exception 86

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 2

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
 - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
 - ☐ Hydrogeological Assessment
 - ☐ Septic Assessment
 - ☐ Archeological Assessment
 - ☐ Noise Study
 - ☐ Parking Study
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