

**NOTICE OF PUBLIC HEARING**  
**Minor Variance**

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**You are receiving this notice because you are either:**

- Assessed owner of a property located within 60 metres of the subject property
  - Applicant/agent on file, or
  - Person likely to be interested in this application
- 

<b>APPLICATION NO.:</b>	<b>A-25:122</b>	<b>SUBJECT PROPERTY:</b>	12 Melbourne Street, Hamilton
<b>ZONE:</b>	'R1a' (Low Density Residential - Small Lot)	<b>ZONING BY-LAW:</b>	Hamilton Zoning By-law 05-200

**APPLICANTS:**      Owner: David and Lesley Jesseau  
                             Agent: Tyler Malone

The following variances are requested:

- 1.A minimum 0.9 metre side yard setback shall be permitted instead of the minimum required 1.2 metre setback.
- 2.No Landscape Strip shall be required to be provided within the required side yard adjacent to an Additional Dwelling Unit – Detached whereas a Landscape Strip is required.
- 3.A maximum building height of 7.0 metres shall be provided for the Additional Dwelling Unit – Detached, instead of the maximum permitted height of 6.0 metres.
- 4.A maximum gross floor area of 95.0 square metres shall be provided for the Additional Dwelling Unit – Detached whereas a maximum gross floor area of 75.0 square metres is permitted.
- 5.A maximum combined lot coverage of all buildings on a lot containing an Additional Dwelling Unit – Detached shall be 47% instead of the maximum permitted lot coverage of 45%.
- 6.A total of two (2) parking spaces shall be permitted to be maintained with a hard surface material instead of the requirement that any parking provided beyond that which is required shall be maintained with permeable material.

**PURPOSE & EFFECT:**      To permit the construction of an Additional Dwelling Unit - Detached within the rear yard of the existing Single Detached Dwelling.

**Notes:**

## A-25:122

- i. Details were not provided to determine the minimum landscaped area provided. Additional variances may be required for the landscaped area if compliance with Section 15.2.2.1.h) cannot be achieved.
- ii. Details were not provided to determine the extent of the potential eave and gutter encroachment. Additional Variances may be required if compliance with Section 4.33.2.d) cannot be achieved.

**This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.**

This application will be heard by the Committee as shown below:

<b>DATE:</b>	<b>Thursday, August 14, 2025</b>
<b>TIME:</b>	<b>1:55 p.m.</b>
<b>PLACE:</b>	<b>Via video link or call in (see attached sheet for details)</b>
	<b>City Hall Council Chambers (71 Main St. W., Hamilton)</b>
	<b>To be streamed (viewing only) at</b> <b><a href="http://www.hamilton.ca/committeeofadjustment">www.hamilton.ca/committeeofadjustment</a></b>

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit [www.hamilton.ca/committeeofadjustment](http://www.hamilton.ca/committeeofadjustment)
- Visit Committee of Adjustment staff at 5<sup>th</sup> floor City Hall, 71 Main St. W., Hamilton

### PUBLIC INPUT

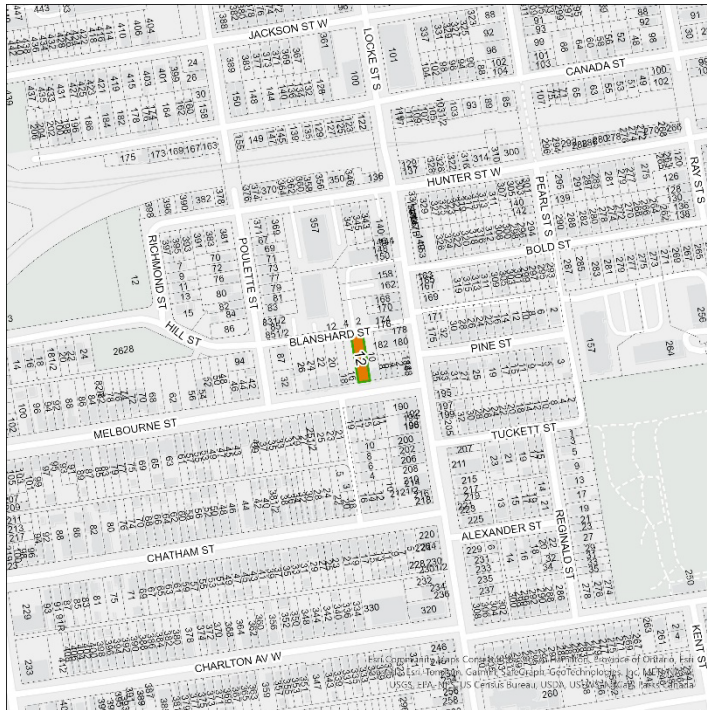
**Written:** If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon August 12, 2025

**Orally:** If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon August 13, 2025

### FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:122, you must submit a written request to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: July 28, 2025

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Justin Leung,  
Secretary-Treasurer  
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

## **COMMITTEE OF ADJUSTMENT**

City Hall, 5<sup>th</sup> floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

## **PARTICIPATION PROCEDURES**

### **Written Submission Ahead of the Meeting**

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by 12:00 p.m. (noon) on the date listed on the Notice of Public Hearing.

### **How to Submit Written Comments:**

#### **By Email:**

Send to: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

#### **By Mail:**

Committee of Adjustment  
City of Hamilton  
71 Main Street West, 5th Floor  
Hamilton, Ontario  
L8P 4Y5

All written comments received will be made available to the Committee and the public by the Tuesday prior to the Hearing.

### **Oral Submissions During the Hearing**

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

#### **Speaking Time Limit:**

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

### **In-Person Oral Submissions**

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.



## **Virtual Oral Submissions**

To participate virtually, you must register by 12:00 p.m. (noon) on the date listed on the Notice of Public Hearing. To register, email [cofa@hamilton.ca](mailto:cofa@hamilton.ca) with the following information:

- Committee of Adjustment file number
- Hearing date
- Name and mailing address of each person wishing to speak
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

## **Presentations**

All presentations are permitted at the discretion of the Committee.

### **Virtual Presentations:**

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) no later than 12:00 p.m. (noon) on the business day prior to the Hearing. The submission must be one document in PDF format only.

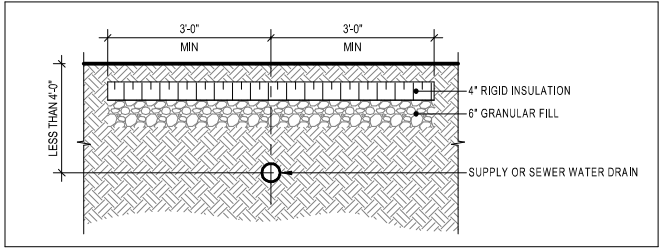
### **In-Person Presentations:**

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to [cofa@hamilton.ca](mailto:cofa@hamilton.ca) by 12:00 p.m. (noon) on the business day prior to the Hearing in PDF format as a single document. Handouts are permitted only if the same content can be displayed on the presentation screen.

## **Additional Notes**

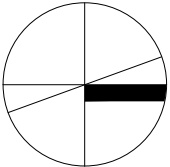
- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

**For any questions, contact staff at [cofa@hamilton.ca](mailto:cofa@hamilton.ca) or call 905-546-2424 ext. 4221.**



SITE PLAN LEGEND	
EXISTING GRADE	97.45
PROPOSED GRADE	97.75
DRAINAGE DIRECTION	→
TOP OF CURB	TC
FINISHED FLOOR	FF

SITE STATISTICS	
SCOPE OF WORK PROPOSAL TO BUILD AN ADDITIONAL DWELLING UNIT (ADU) IN THE REAR YARD	
EXISTING HOUSE	
GROSS FLOOR AREA (GFA):	
BASEMENT:	130.0 m <sup>2</sup>
GROUND FLOOR:	136.7 m <sup>2</sup>
TOTAL:	266.7 m <sup>2</sup>
PROPOSED ADU AREAS:	
FLOOR AREA:	
GROUND FLOOR:	62.0 m <sup>2</sup>
SECOND FLOOR:	80.0 m <sup>2</sup>
TOTAL:	142.0 m <sup>2</sup>
EXCLUSIONS:	
PARKING:	33.0 m <sup>2</sup>
MECHANICAL:	6.0 m <sup>2</sup>
STORAGE:	8.0 m <sup>2</sup>
TOTAL:	47.0 m <sup>2</sup>
TOTAL GROSS FLOOR AREA:	142.0 m <sup>2</sup> - 47.0 m <sup>2</sup>
TOTAL:	95.0 m <sup>2</sup>
LOT	
LOT AREA:	494.0 m <sup>2</sup>
LOT COVERAGE OF EXISTING BUILDING:	27.8% (136.7 m <sup>2</sup> /494.0 m <sup>2</sup> )
LOT COVERAGE OF PROPOSED ADU:	19.2% (95.0 m <sup>2</sup> /494.0 m <sup>2</sup> )
TOTAL LOT COVERAGE	46.8%
BUILDING HEIGHT:	
PERMITTED HEIGHT:	6m
PROPOSED BUILDING HEIGHT:	7.0m
PROPOSED PARKING SPACES:	3



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4	Issued For Minor Variance	2025/06/03
3	Issued For Progress	2025/05/08
2	Issued For Coordination	2025/05/05
1	Issued For Progress	2025/01/21

No.	Description	Date
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## TOMS + MCNALLY

DESIGN | ARCHITECTURE | URBANISM | CONSTRUCTION

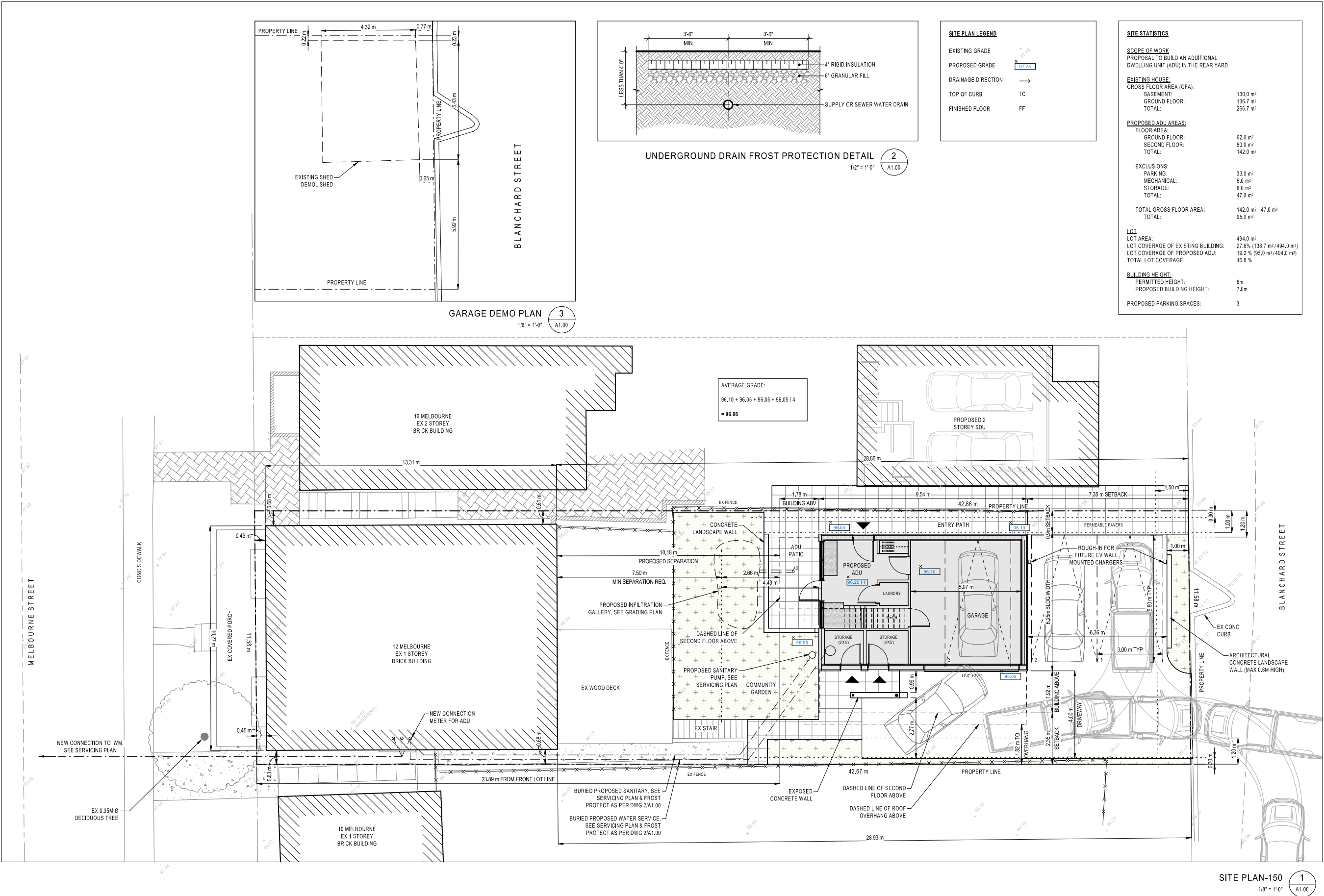
301-41 King William Street | Hamilton | Ontario | L8R 1A2 | 289 768 2211  
www.toms-mcnally.ca

## 12 MELBOURNE ADDITIONAL DWELLING UNIT

12 MELBOURNE STREET, HAMILTON, ON

### SITE PLAN

Project No.: 24030  
Scale: 1/8" = 1'-0"  
Drawn By: MM  
Checked By: GM



12 MELBOURNE  
ADDITIONAL DWELLING UNIT

12 MELBOURNE STREET, HAMILTON, ON

ARCHITECT  
TOMS + MCNALLY DESIGN INC  
145 KING STREET EAST  
HAMILTON, ON  
L8N 1B1

BLANSHARD ST

MELBOURNE ST

FANNING ST

LOCKE STS

KEY PLAN  
NTS

SUBJECT PROPERTY  
(12 MELBOURNE ST)

ARCHITECTURAL DRAWING LIST

Sheet #	Sheet Name	Current Rev.	Current Rev. Date
A1.00	SITE PLAN	4	2025/06/03
A2.01	LEVEL 1 FLOOR PLAN	4	2025/06/03
A2.03	ROOF PLAN	4	2025/06/03
A4.00	ELEVATIONS	4	2025/06/03
A5.00	BUILDING SECTIONS	4	2025/06/03
A5.01	BUILDING SECTIONS	4	2025/06/03

ADDITIONAL DRAWING LIST

Sheet #	Sheet Name	Current Rev.	Current Rev. Date
SERP	SERVICING PLAN	4	2025/06/03
SGP	SITE AND GRADING PLAN	4	2025/06/03

3D rendering of the 12 Melbourne Additional Dwelling Unit, showing a modern two-story structure with large windows and a balcony, set against a clear sky.

LEGEND

TRUE NORTH

PROJECT NORTH

WALLS

BEAM ABOVE

DOOR

SCREEN TYPE TAG

WALL / PARTITION TYPE TAG

CEILING TYPE TAG

DOOR NUMBER TAG

DRAWING NOTE TAG

GRIDLINE IDENTIFICATION  
(ALPHA / NUMERIC - VERT / HORIZ)

BUILDING SECTION REFERENCE

WALL SECTION REFERENCE

DETAIL REFERENCE

INTERIOR ELEVATION REFERENCE

DATUM REFERENCE ELEVATION

REFERENCE

SPOT ELEVATION

SCR1

P1

C1

102

1

1

333  
A-333

333  
A-333

333  
A-333

333  
A-333

333  
A-333

3333

3333

ONTARIO BUILDING CODE DATA MATRIX

PART 9 - HOUSING AND SMALL BUILDINGS

Revised: 2025 06 02  
OBC REFERENCE <sup>(1)</sup>

Name of Practice

Toms + McNally Design Inc

Address 1

145 King St East

Address 2

Hamilton, ON, L8N 1B1

Contact

Philip Toms

Name of Project

12 Melbourne Additional Dwelling Unit

Location/Address

12 Melbourne Street Hamilton Ontario

Date

2025-06-02

Seal & Signature

9.00 BUILDING CODE VERSION

O.Reg. 332/12

LAST AMENDMENT O.Reg. 163/24

9.01 PROJECT TYPE

New Construction

[A] 1.1.2.

Contruction of a 2 storey additional dwelling in the rear yard of 12 Melbourne St

9.02 OCCUPANCY CLASSIFICATION

OCCUPANCY

USE

9.10.2.

C Residential

Single Family Dwelling

9.03 SUPERIMPOSED MAJOR OCCUPANCIES

NO

9.10.2.3.

9.04 BUILDING AREA (m²)

DESCRIPTION

EXISTING

NEW

TOTAL [A] 1.4.1.2.

Additional Dwelling Unit

0.00

95.00

95.0

TOTAL

-

95.0

95.0

9.05 GROSS AREA (m²)

DESCRIPTION

EXISTING

NEW

TOTAL [A] 1.4.1.2.

Ground Floor Garage

33.00

33.0

Ground Floor Mechanical & Storage

14.00

14.0

Ground Floor Entry

15.00

15.0

Second Floor Living Space

80.00

80.0

TOTAL

-

142.0

142.0

9.07 BUILDING HEIGHT

2

STOREYS ABOVE GRADE

7.00 (m) ABOVE GRADE

[A] 1.4.1.2. & 9.10.4.

0

STOREYS BELOW GRADE

9.08 NUMBER OF STREETS/ FIRE FIGHTER ACCESS

1 STREET(S)

9.10.20.

9.11 WATER SERVICE/ SUPPLY IS ADEQUATE

No

Proposed increase size of water service

9.12 CONSTRUCTION TYPE

RESTRICTIONS

Combustible Permitted

9.10.6.

ACTUAL

Combustible

HEAVY TIMBER CONSTRUCTION NO

9.13 POST-DISASTER BUILDING

NO

[A] 1.1.2.2.(2)

9.14 OCCUPANT LOAD

FLOOR LEVEL/AREA

OCCUPANCY TYPE

BASED ON

OCCUPANT LOAD (PERSONS)

3.1.17.

Second Floor Living Space

C

No. of sleeping rooms

4.0

TOTAL

4

9.15 BARRIER-FREE DESIGN

No

[provide e: [provide explanation here]

9.5.2.

9.16 HAZARDOUS SUBSTANCES

No

9.10.1.3.

9.18 SPATIAL SEPARATION

WALL

EBF AREA (m²)

L.D. (m²)

% U.O.

REQUIRED FRR

CONSTRUCTION TYPE

CLADDING TYPE

9.10.15.

North

45.0

7.35

22.2%

Combustible Permitted

Combustible Permitted

South

50.0

4.45

30.0%

Combustible Permitted

Combustible Permitted

East

64.0

2.35

6.7%

Combustible Permitted

Combustible Permitted

West

72.0

1.00

8.1% 45 minute

Combustible Permitted

Noncombustible Req'd

9.20 ENERGY EFFICIENCY

RESIDENTIAL

COMPLIANCE OPTION:

SB-12 Prescriptive Compliance Packages

12.2.1.

PROJECT DESIGN CONDITIONS

CLIMATIC ZONE

Zone 1 (< 5000 Degree Days)

FENESTRATION

GROSS ABOVE GRADE WALL OR ROOF AREA (m²)

GROSS FENESTRATION AREA (m²)

FENESTRATION RATIO

VERTICAL (W+D)

234.0

33.8

14.4%

SKYLIGHTS

-

#DIV/0!

SPACE HEATING FUEL

Electricity

COMPLIANCE PACKAGE

C4

\*

9.21 NOTES

ALL REFERENCES ARE TO DIVISION B OF THE OBC UNLESS PRECEDED BY [A] FOR DIVISION A AND [C] FOR DIVISION C

1

Ontario Building Code Data Matrix, Part 9  
© Ontario Association of Architects

\* April 2017

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TOMS + MCNALLY

DESIGN | ARCHITECTURE | URBANISM | CONSTRUCTION

301-41 King William Street | Hamilton | Ontario | L8R 1A2 | 289 768 2211  
www.toms-mcnally.ca

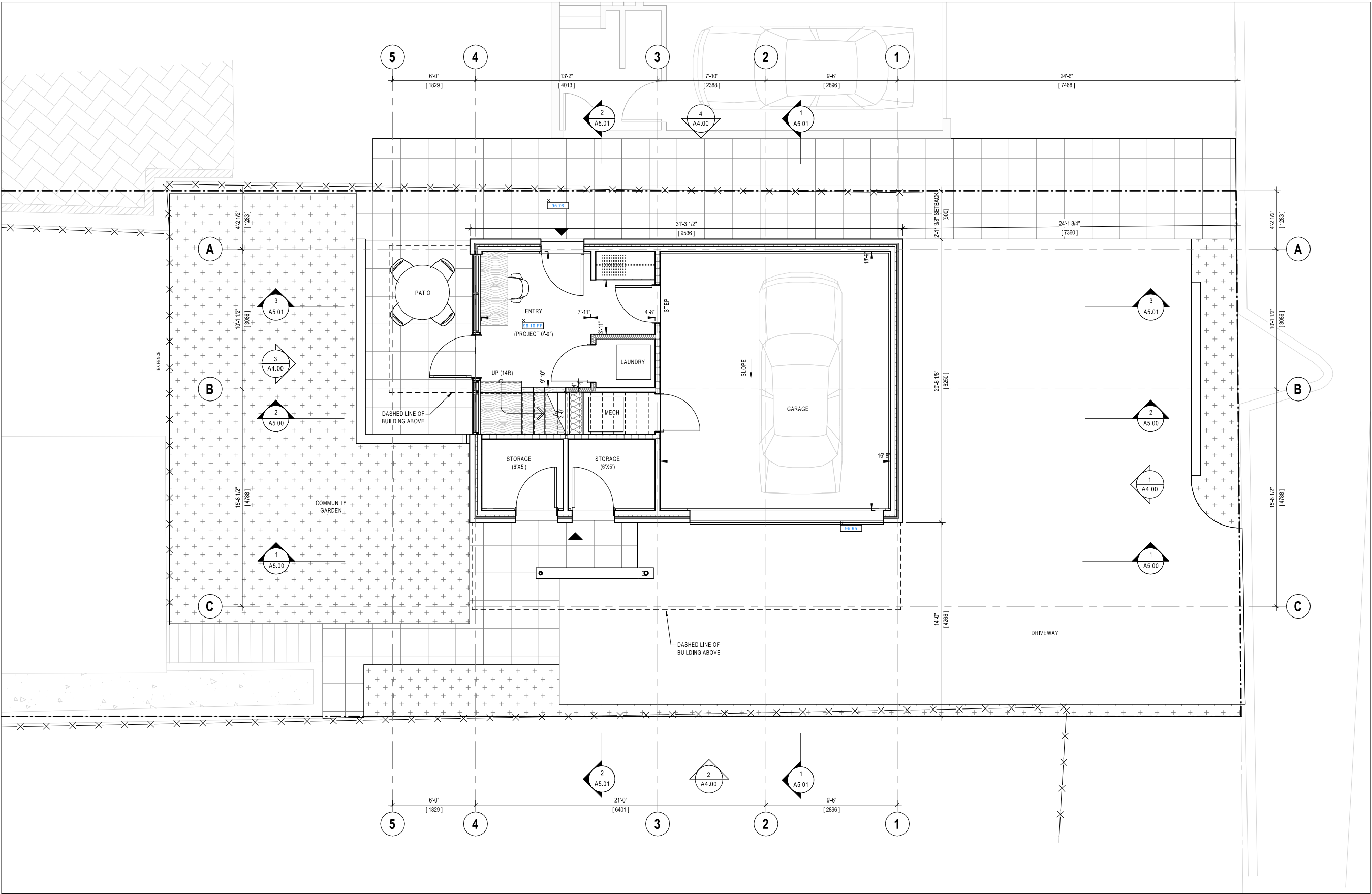
12 MELBOURNE  
ADDITIONAL DWELLING  
UNIT

12 MELBOURNE STREET, HAMILTON, ON

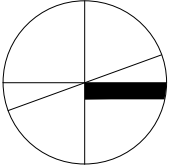
COVER

Project No.:	24030
Scale:	As indicated
Drawn By:	MM
Checked By:	GM

A0.00



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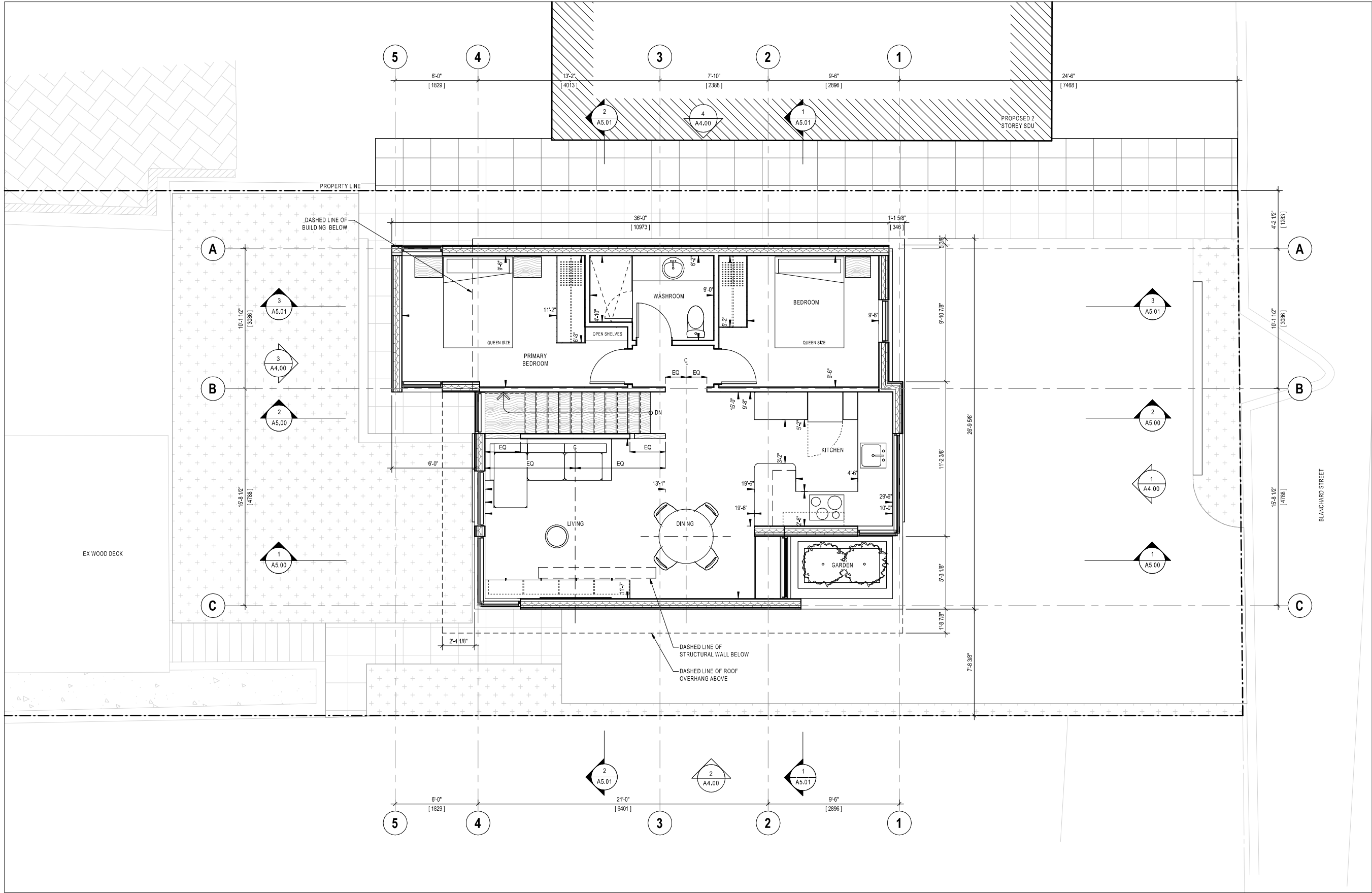
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**12 MELBOURNE  
ADDITIONAL DWELLING  
UNIT**  
12 MELBOURNE STREET, HAMILTON, ON  
**LEVEL 1 FLOOR PLAN**

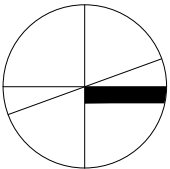
Project No.:	24030
Scale:	1/4" = 1'-0"
Drawn By:	MM
Checked By:	GM

**A2.01**



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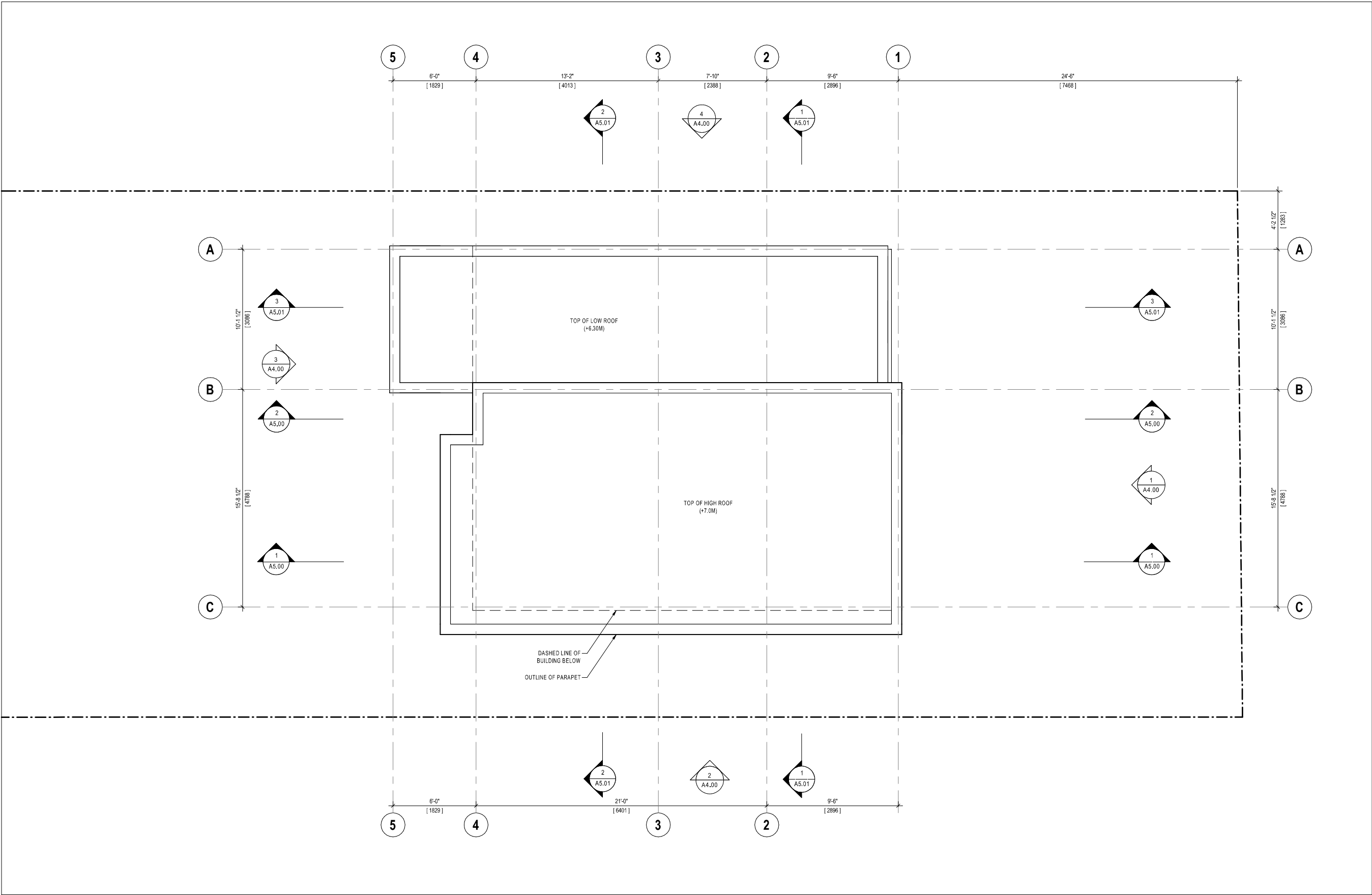
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12 MELBOURNE STREET, HAMILTON, ON

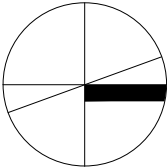
### LEVEL 2 FLOOR PLAN

Project No.: 24030  
Scale: 1/4" = 1'-0"  
Drawn By: Author  
Checked By: Checker

**A2.02**



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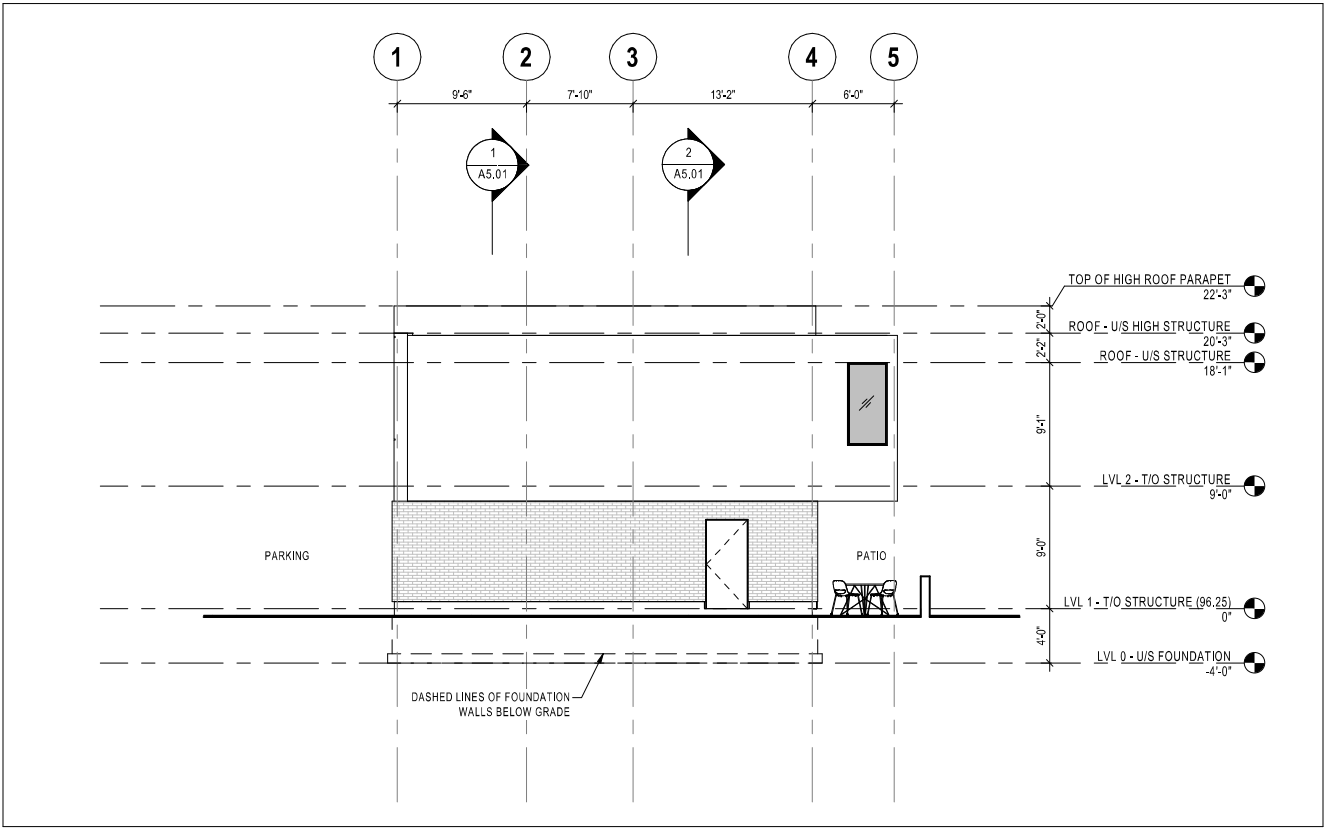
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**12 MELBOURNE  
ADDITIONAL DWELLING  
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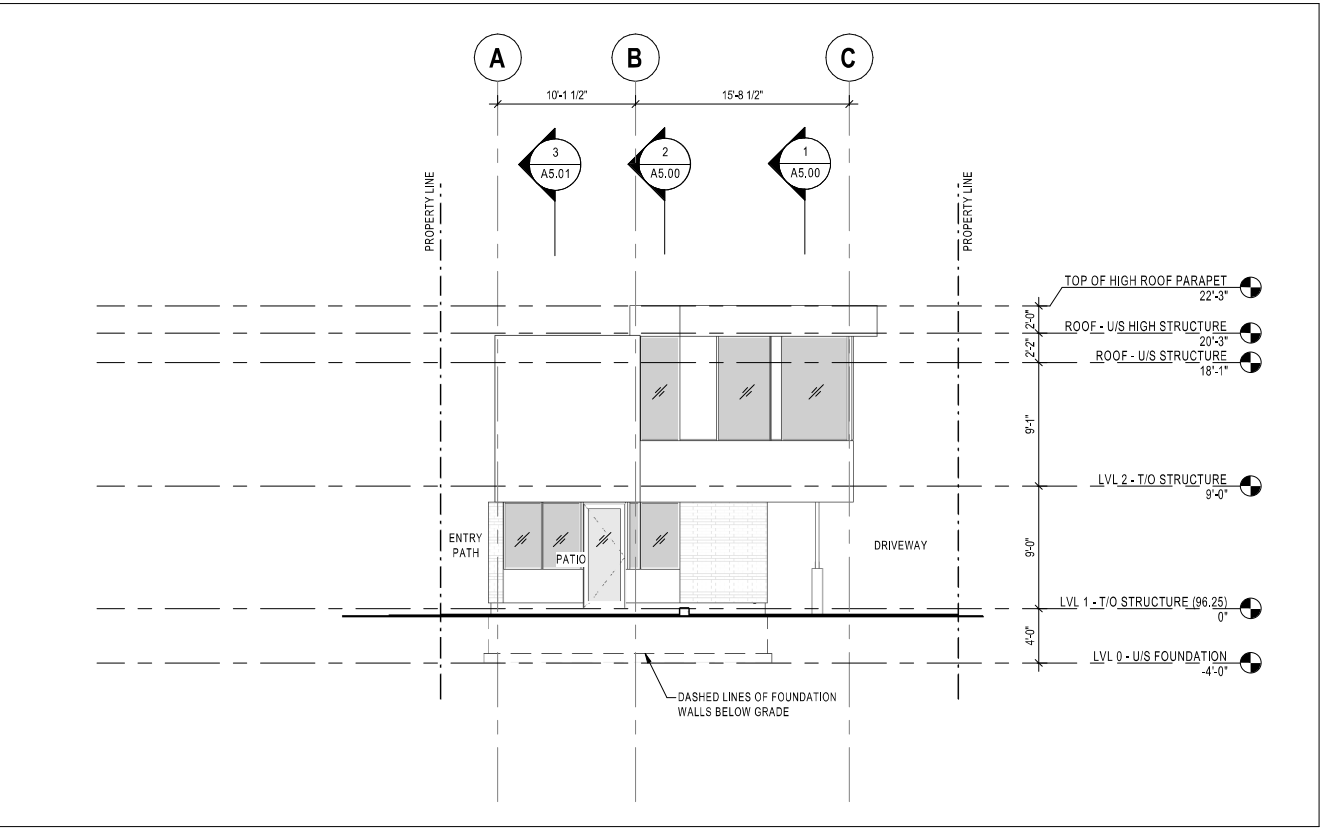
**ROOF PLAN**

Project No.:	24030
Scale:	1/4" = 1'-0"
Drawn By:	MM
Checked By:	GM

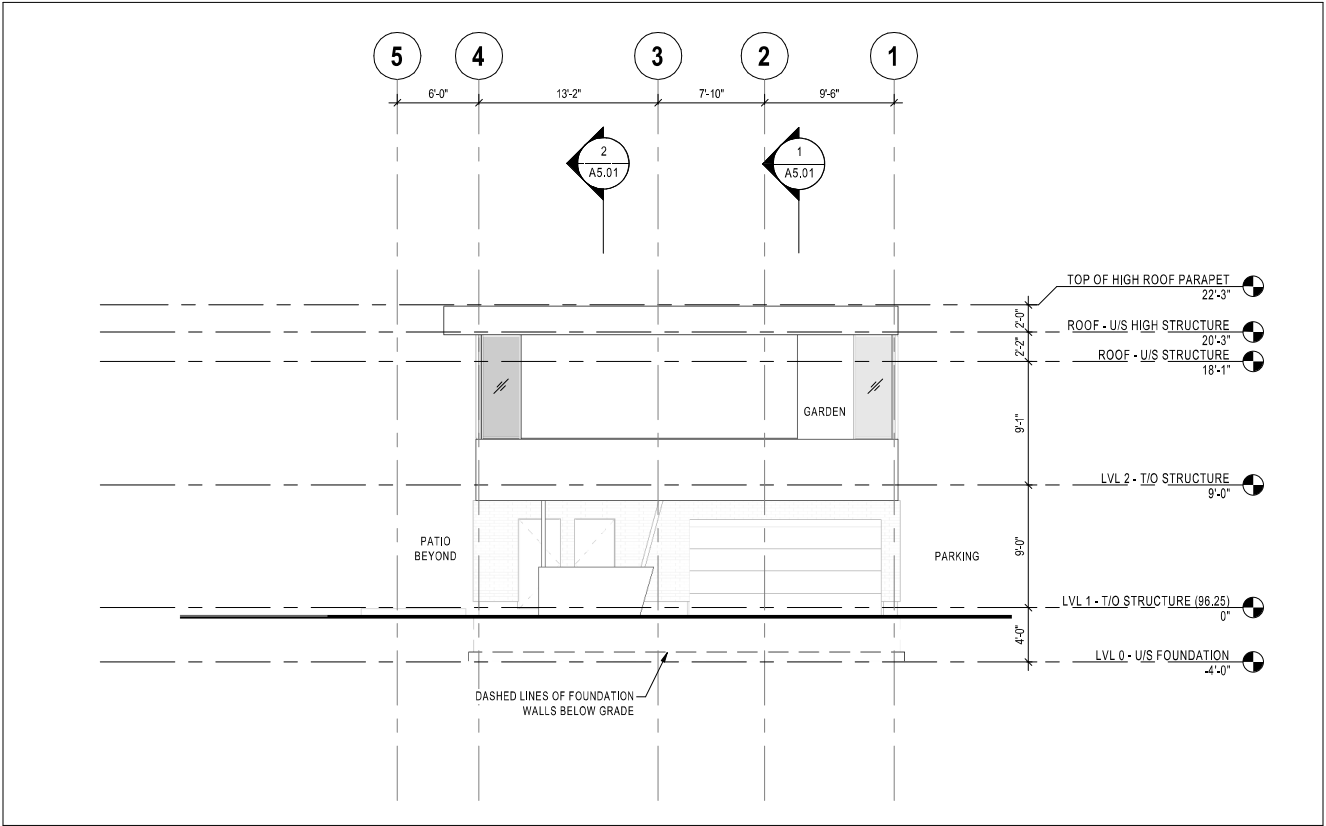
**A2.03**



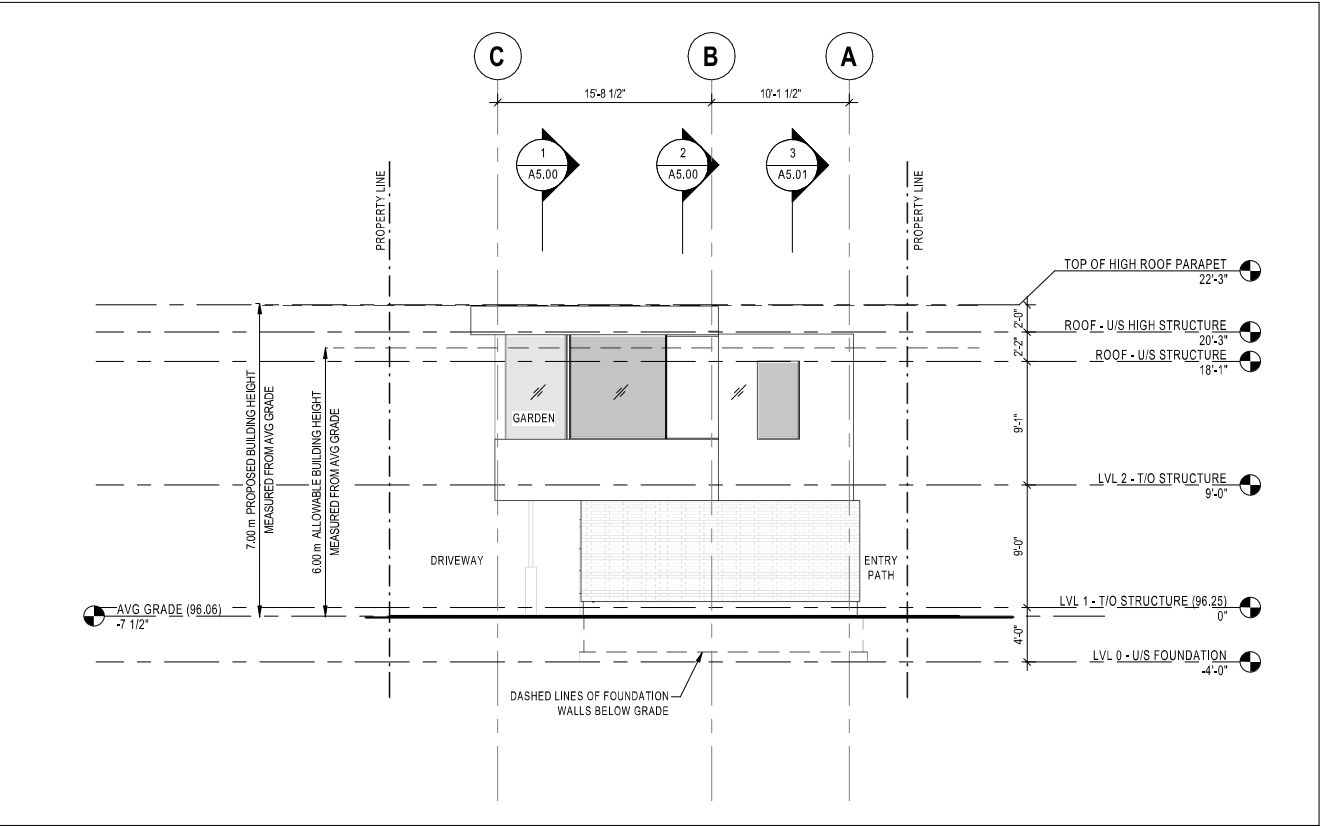
WEST ELEVATION 4  
1/8" = 1'-0" A4.00



SOUTH ELEVATION 3  
1/8" = 1'-0" A4.00



EAST ELEVATION 2  
1/8" = 1'-0" A4.00



NORTH ELEVATION 1  
1/8" = 1'-0" A4.00

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  - Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
  - Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Architect.

4	Issued For Minor Variance	2025/06/03
3	Issued For Progress	2025/05/08
2	Issued For Coordination	2025/05/05
1	Issued For Progress	2025/01/21

No.	Description	Date
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**TOMS + MCNALLY**  
DESIGN | ARCHITECTURE | URBANISM | CONSTRUCTION  
301-41 King William Street | Hamilton | L8R 1A2 | 289 768 2211  
[www.toms-mcnally.ca](http://www.toms-mcnally.ca)

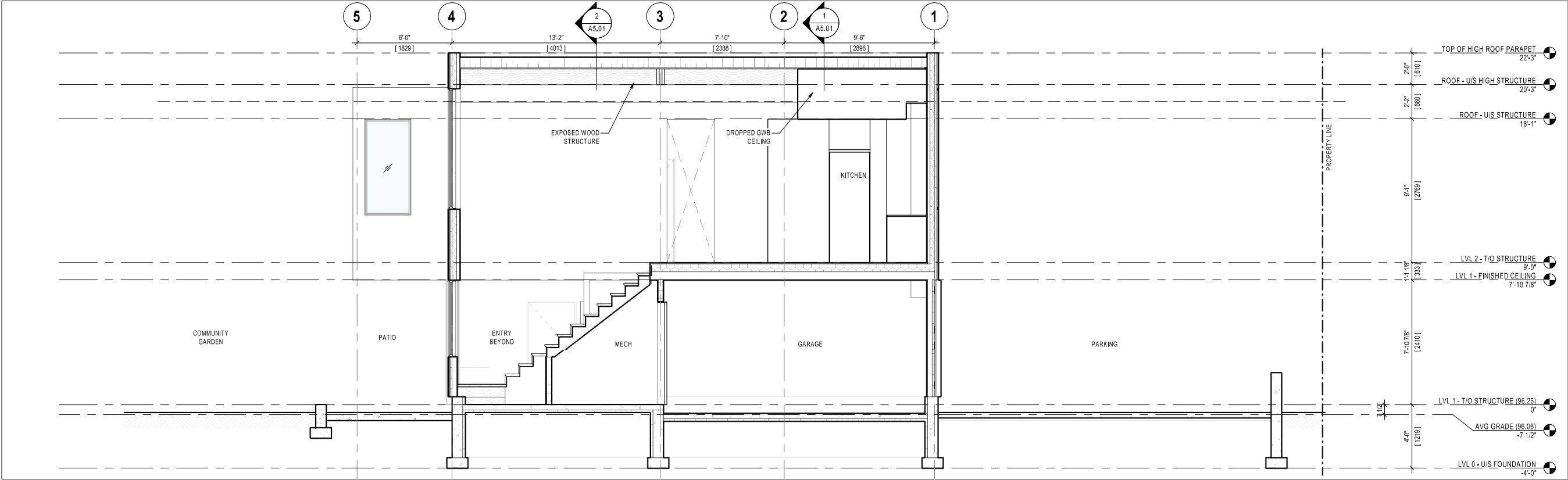
**12 MELBOURNE  
ADDITIONAL DWELLING  
UNIT**  
12 MELBOURNE STREET, HAMILTON, ON

**ELEVATIONS**

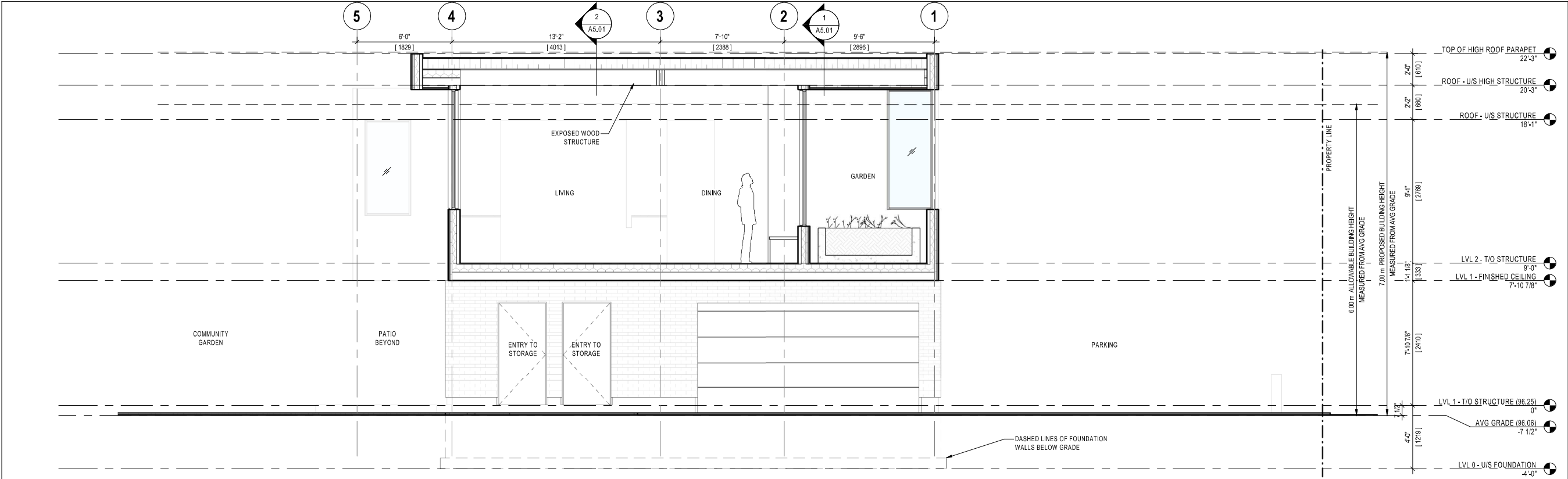
Project No.: 24030  
Scale: 1/8" = 1'-0"  
Drawn By: MM  
Checked By: GM

**A4.00**





BUILDING SECTION - NORTH-SOUTH THRU STAIR  
1/4" = 1'-0"  
A5.00



BUILDING SECTION - NORTH-SOUTH THRU LIVING & DINING  
1/4" = 1'-0"  
A5.00

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3	Issued For Progress	2025/05/08
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No.	Description	Date
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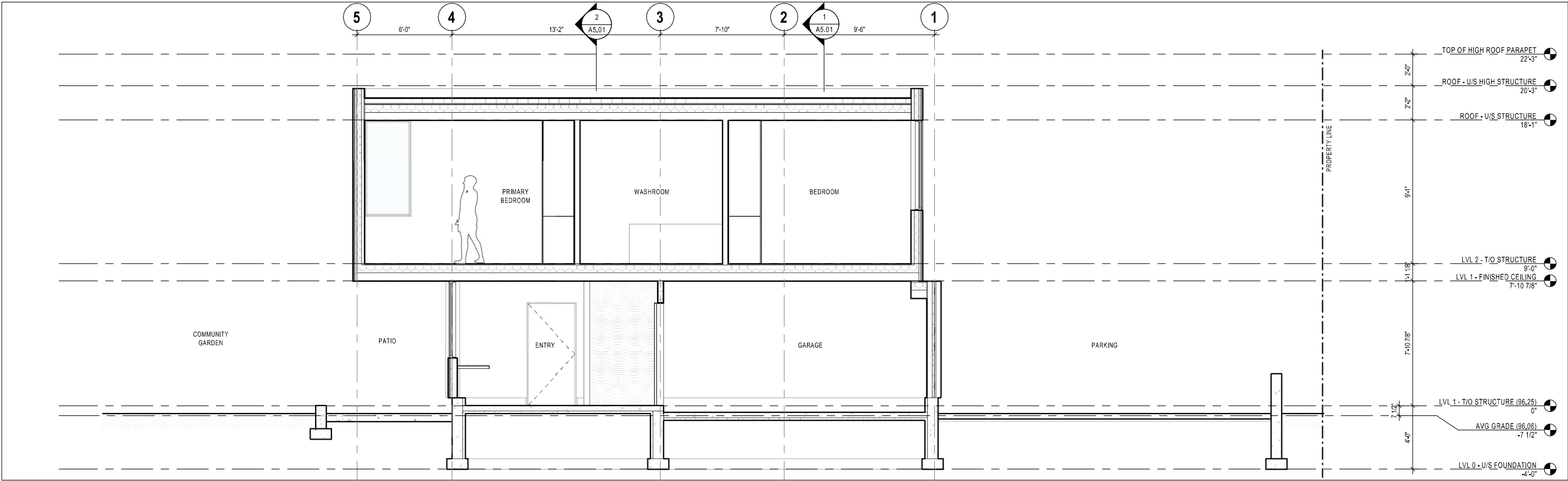
**TOMS + MCNALLY**  
DESIGN | ARCHITECTURE | URBANISM | CONSTRUCTION  
301-41 King William Street | Hamilton | L8R 1A2 | 289 768 2211  
[www.toms-mcnally.ca](http://www.toms-mcnally.ca)

**12 MELBOURNE  
ADDITIONAL DWELLING  
UNIT**  
12 MELBOURNE STREET, HAMILTON, ON

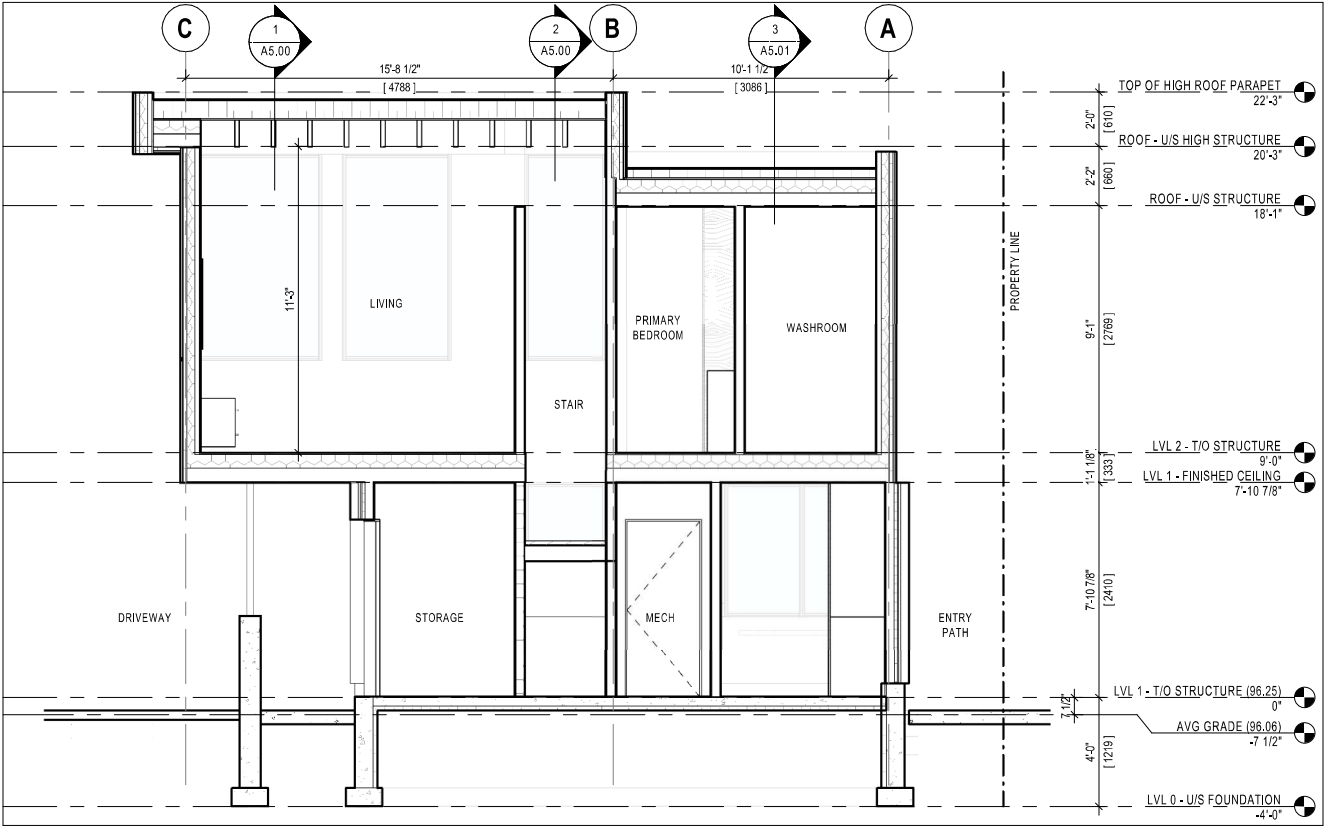
**BUILDING SECTIONS**

Project No.: 24030  
Scale: 1/4" = 1'-0"  
Drawn By: MM  
Checked By: GM

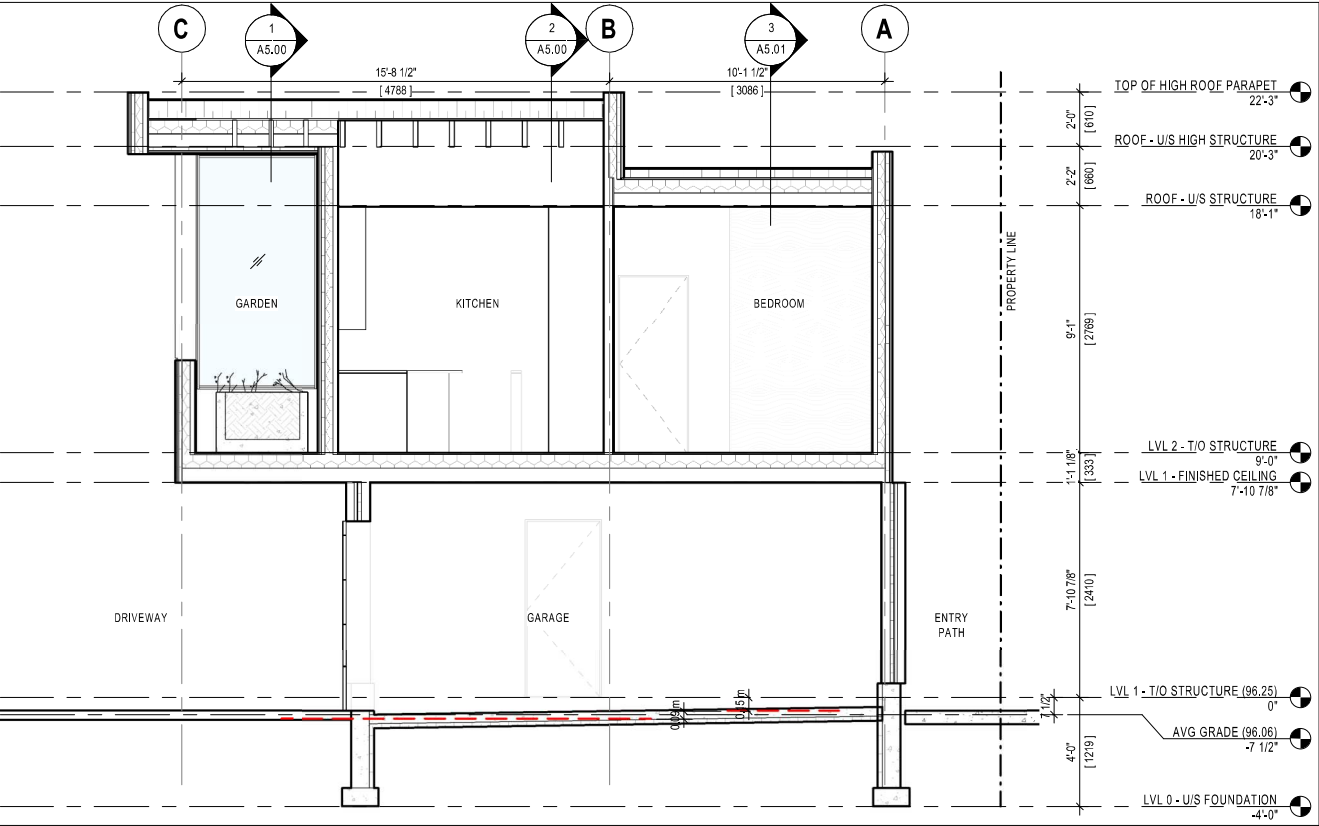
**A5.00**



BUILDING SECTION - NORTH-SOUTH THRU BEDROOMS  
1/4" = 1'-0" A5.01



BUILDING SECTION - EAST-WEST  
1/4" = 1'-0" A5.01



BUILDING SECTION - EAST-WEST THRU GARAGE  
1/4" = 1'-0" A5.01

- GENERAL NOTES:
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  - Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.
  - Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the Architect.

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3	Issued For Progress	2025/05/08
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1	Issued For Progress	2025/01/21

No.	Description	Date
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**TOMS + MCNALLY**  
DESIGN | ARCHITECTURE | URBANISM | CONSTRUCTION  
301-41 King William Street | Hamilton | Ontario | L8R 1A2 | 289 768 2211  
[www.toms-mcnally.ca](http://www.toms-mcnally.ca)

**12 MELBOURNE  
ADDITIONAL DWELLING  
UNIT**  
12 MELBOURNE STREET, HAMILTON, ON

**BUILDING SECTIONS**

Project No.: 24030  
Scale: 1/4" = 1'-0"  
Drawn By: MM  
Checked By: GM

**A5.01**

1. THIS THESE PLANS/S) IS/ARE NOT TO BE USED FOR CONSTRUCTION OR PART SEALT BY THE ENGINEER AND INDICATED USED FOR CONSTRUCTION ON THE DRAWING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARUCH GRENKE SURVEYING LIMITED.
3. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION PLANS SHALL BE OBTAINED FROM THE CITY OF OTTAWA. THE CONTRACTOR SHALL INTERVIEW THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND/OR SUFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
4. SITE PLAN INFORMATION TAKEN FROM SURVEY BY BARUCH GRENKE SURVEYING LTD.
5. THE PLAN IS RELATED TO BE USED FOR SERVINGING AND GRADING ONLY, FOR BUILDING LOCATIONS TO THE SITE PLAN.
6. MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY/TOWN OF OTTAWA'S CONSTRUCTION AND GRADING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORKS BY THE CITY/TOWN STAFF DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARUCH GRENKE SURVEYING LIMITED.
8. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNERS BONDED CONTRACTOR TO COMPLETE THE WORKS TO OBTAIN ALL NECESSARY WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARUCH GRENKE SURVEYING LIMITED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARUCH GRENKE SURVEYING LIMITED.

1. REMOVE ROUGH CUT FLOORS  
2. REMOVE APPROACH CEMENT, FORMS  
3. RELOCATION OF SERVICES  
4. COMMITTEE OF ADJUSTMENT  
5. REMOVAL AGREEMENTS

9. PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:

1. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS WHICH INCLUDE BUT ARE NOT LIMITED TO: SITE, REMOVAL OF EXISTING SERVICE CONNECTIONS, EXISTING INGRESS AND EGRESS FINDING IN WRITING TO THE ENGINEER.

2. OBTAIN ALL NECESSARY PERMITS AND LICENSES.

3. VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MY APPEAR ON THE PLANS.

4. VERIFY ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION. NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NEIGHBORING INTERFERENCES.

10. THE CONTRACTOR IS RESPONSIBLE FOR CONTRACTING THE ENGINEER 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER WILL INSPECT THE WORK AND DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGOING SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF THE INSPECTION AND TESTING. IN THE EVENT OF A GENERAL REPAIR, FAILURE TO MAKE SUTABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO POST CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER. THE COSTS OF WHICH WILL BE PAID BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF THE INSPECTION AND TESTING FOR UN-INSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION TESTING AND INSPECTION.

11. INSPECTION BY THE OWNER'S ENGINEER FOR CERTIFICATION AND GENERAL PERFORMANCE PURPOSES, AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF THE INSPECTION AND TESTING, LINE AND GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/ENGINEER AND SHALL BE COORDINATED BY THE CONTRACTOR.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK TO BE UNDERTAKEN BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY/TOWN STANDARDS.

15. THE CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SLEWER AND WATERMAIN INSTALLATION TRENCHES.

16. THE CONTRACTOR SHALL TERMINATE ALL SERVICES 15m ROW BEHIND THE BUILDING FACE.

16. NO BLASTING WILL BE PERMITTED.

1. STORM SEWERS

- A. CONSTRUCTION OF STORM SEWERS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
- B. COVER AND BEDDING MATERIAL FOR PVC PIPE SHALL BE GRANULAR "A" MATERIAL AS PER OFSD 802.010 OR 802.013.
- C. PVC PIPE MUST BEGRADUALLY SLOPED CONSTRUCTION PROCEDURES AS PER CITY SPECIFICATIONS.
- D. ALL SEWERS TO BE SPECIAL INSPECTED.
- E. ALL SEWERS TO BE FLUSHED PRIOR TO VIDEO INSPECTION.
- F. STORM PIPE MUST BE 250mm TO 600mm IN DIAMETER SHALL BE PVC PIPE, CSA B182.2, SR-35.
- G. PROPOSED PRIVATE REROT LOT CATCH BASINS (R/OB'S) ARE TO BE AS PER OFSD 705.010, COMPLETE WITH BRIDGE FRAME AND GRATE AS PER OFSD 400.120, REROT LOT CATCH BASINS MUST BE CONCRETE.
- H. ALL PVC SEWERS ARE TO BE TESTED FOR DEFLECTION (MANORL PASSAGE) AFTER INSTALLATION

**2. STORM AND SANITARY PRIVATE DRAINS**

**A. CONSTRUCTION OF PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION)**

**B. PRIVATE DRAINS TO BE 150mm PVC, CSA B182.1 M-1983, 30S AS PER FORM 5000. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOR OTHER THAN WHITE. WOOD PIPE SHALL BE 150mm AND SHALL BE PAINTED RED.**

**C. COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR "A" INSTALLED AS PER OPSD 802.010 OR 802.013.**

**D. MINIMUM FALL FOR PRIVATE DRAINS TO BE 2.0%.**

**E. TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2M (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILLED.**

**F. TOP OF STORM PRIVATE DRAINS AT STREET LINE TO BE 1.2M (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILLED.**

**G. BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT DISCHARGE TO THE SEWAGE MAIN OR TO THE STREET LINE TO BE 1.2M (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILLED.**

**H. SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DRAINING TO PLUMB THE BUILDING WETTES TIES TO THE STORM PRIVATE DRAINS. THE SUMP OUTLET PIPE SHALL EXTEND TO THE STREET LINE TO BE 1.2M (MIN.) BELOW CENTERLINE ROAD ELEVATION (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN. SEE DETAIL 3.**

**I. IF THE APPLICANT/OWNER INTENDS TO REUSE A PORTION OF A SITE'S EXISTING SEWER SYSTEM, THE APPLICANT/OWNER IS RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THEIR PRIVATE VENDOR TO HAVE CONTRACTED WORK COMPLETED PRIOR TO THE START OF THE PROJECT. WHEN APPLICABLE BY-LAW REQUIREMENTS, AND IS IN GOOD WORKING ORDER, SEWERS TO BE REUSED MUST BE INSPECTED, WHILE THE CITY/OWNERS SEWER INSPECTOR IS PRESENT. THE APPLICANT/OWNER IS RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THEIR PRIVATE VENDOR TO HAVE CONTRACTED WORK COMPLETED PRIOR TO THE START OF THE PROJECT.**

**D. WATER SERVICES**

A. CONSTRUCTION OF PRIVATE WATER SERVICES SHALL BE IN ACCORDANCE WITH CITY STANDARDS SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).

B. WHERE METAL FITTINGS ARE TO BE USED ON PVC MAINS SUFFICIENT CATHODIC PROTECTION MUST BE PROVIDED AS PER THE FOLLOWING REQUIREMENTS:

- 1. ONE 1KG ZINC ANODE SHALL BE INSTALLED FOR EVERY 100m OF TRACER WM.
- 2. ONE 1KG ZINC ANODE SHALL BE INSTALLED FOR EACH COPPER WATER SERVICE CONNECTION.
- 3. ONE 1KG ZINC ANODE SHALL BE INSTALLED ON EVERY VALVE, HYDRANT, BEND, TEE, SLEEVE, FLUG, PLUG, JOINT RESTRAINT, COUPLING, ETC. CONNECTED TO THE PVC PIPE.

C. WATER SERVICE TO BE 25mm DIA. TYPE 'K' SOFT COPPER AS PER WM-27.01 OR AS DETAIL.

D. GRANULAR BEDDING AS PER WM-20.01 AND WM-20.02 TO BE GRANULAR 'D' AS PER FORM 600.

E. ALL VALVE BOXES TO BE SET TO PROPOSED GRADES.

**COMPACTION REQUIREMENTS**  
UNLESS OTHERWISE NOTED OR DIRECTED BY THE GEOTECHNICAL CONSULTANT, THE FOLLOWING SHALL APPLY:

- A. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC., SHALL BE COMPACTED TO MIN. 98% SPD. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
- B. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 98% SPD.
- C. FOR ALL SEWERS AND WATERMAINS IN FILL SECTIONS, THE COMPACTION SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO LAYING OF PIPE.

SILTATION AND EROSION CONTROL  
A. SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.  
B. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.  
C. ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY ENGINEER, THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.

RESTORATIONS

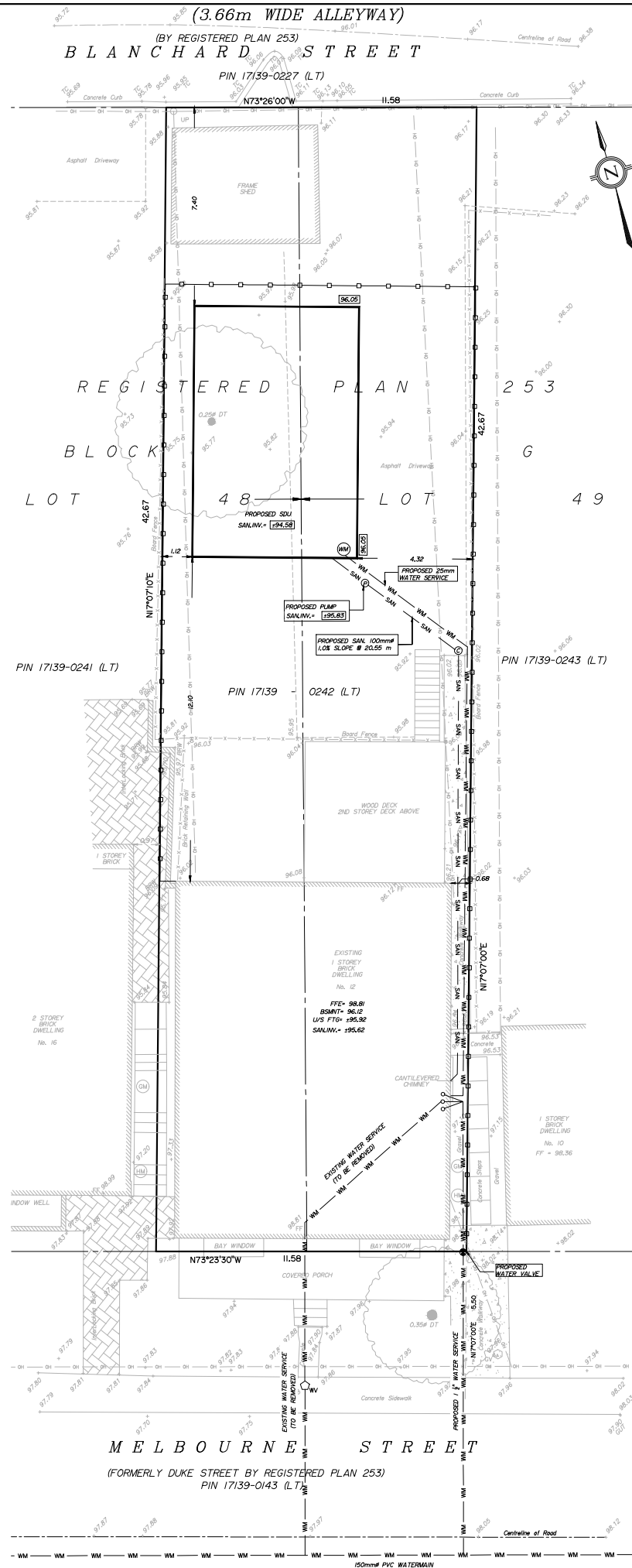
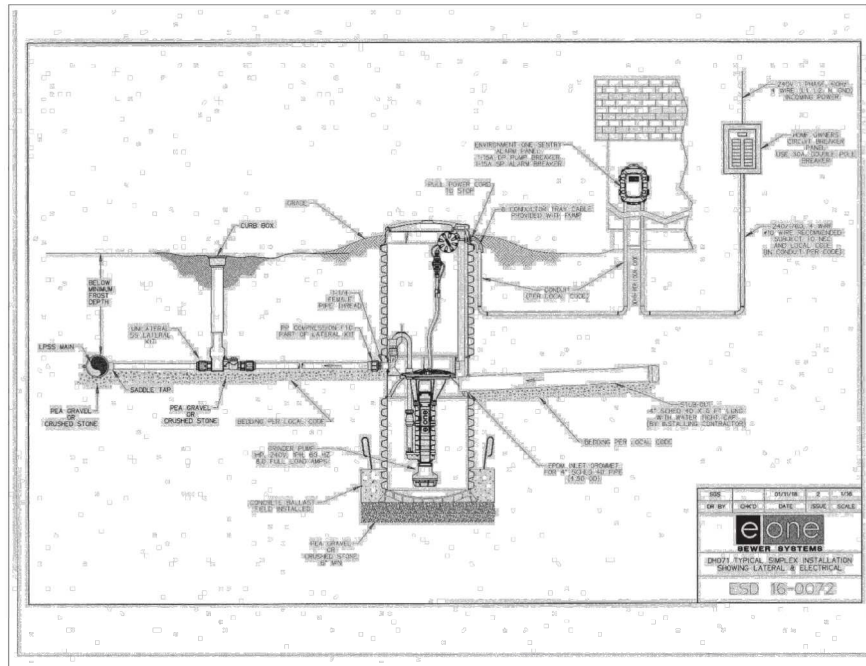
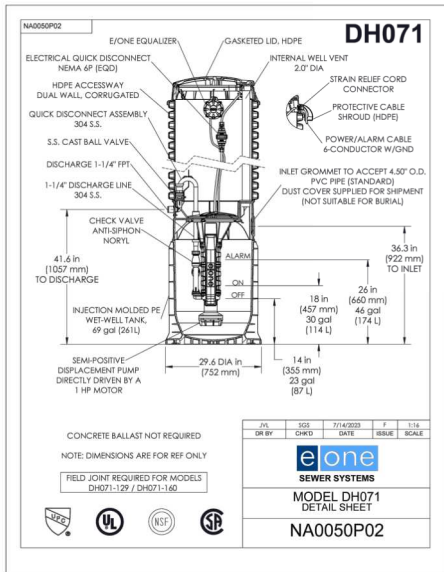
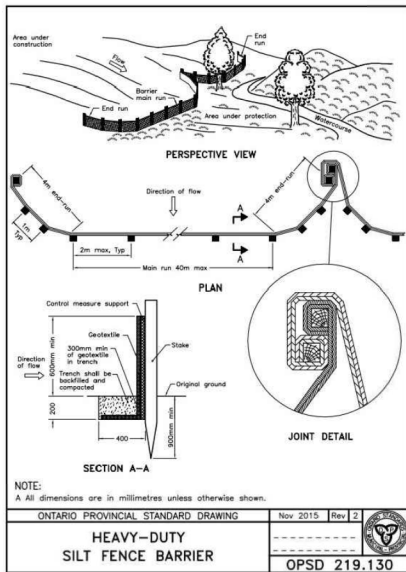
A. ALL TRENCH EXCAVATION WITHIN EXISTING ROAD ALLOWANCES SHALL BE BACKFILLED WITH GRANULAR "A", COMPACTED TO 98% SPD. PAVEMENT RESTORATION SHALL BE PERFORMED AS PER RCD-100.01 & 100.02.

B. ALL BOULEVARDS TO BE RESTORED WITH #1 NURSERY SOD ON 100mm MINIMUM THICK SELECT TOPSOIL.

C. BEDDING MATERIALS TO BE AS PER FORM 600. COMPACTION TO BE AS PER 800.

REMOVALS & ABANDONMENTS

1. COMPLETELY REMOVE ABANDONED SEWER/WATERMAIN WHERE POSSIBLE AND/OR DIRECTED BY THE CITY OF HAMILTON. IF MAINS TO BE ABANDONED IN PLACE, FOLLOW OPSS 510.
2. WHEN ABANDONING A WATER SERVICE CONNECTION OR WATERMAIN CONNECTED TO A LIVE MAIN, THE PREFERRED METHOD IS TO REMOVE THE CURB STOP AND SHUT OFF MAIN STOP AND DISCONNECT/CUT WATER SERVICE AT MAIN STOP.



ADDRESS: 12 MELBOURNE STREET, HAMILTON

SERVICING PLAN OF  
PART OF LOT 48 & 49  
BLOCK G  
REGISTERED PLAN 253  
IN THE  
CITY OF HAMILTON

BARICH GRENKIE SURVEYING LTD.  
A DIVISION OF GEOMAPLE  
© COPYRIGHT 2025  
METRIC  
DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**LEGEND**

DT DENOTES DECIDUOUS TREE  
CF DENOTES CONIFEROUS TREE  
SV DENOTES SERVICE VALVE  
DB DENOTES SUBJECT LANDS BOUNDARY  
DL DENOTES DEED LINE  
LO DENOTES LOT LINE  
FL DENOTES FENCE LINE  
NR DENOTES TREE TO BE REMOVED  
N-E-S-W DENOTES NORTH-EAST-SOUTH-WEST  
100.00 DENOTES EXISTING ELEVATION  
102.00 DENOTES PROPOSED ELEVATION  
SM DENOTES PROPOSED SILT FENCE  
SW DENOTES PROPOSED SANITARY SERVICE  
WP DENOTES PROPOSED WATER SERVICE  
GP DENOTES PROPOSED GRINDER PUMP  
SC DENOTES PROPOSED SANITARY CLEANOUT  
WM DENOTES WATER METER

**ELEVATION NOTE**  
ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM  
(CGVD-1928:1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK  
No. 07720020012 HAVING AN ELEVATION OF 84.543 m.

1	05/20/2025	GF	ISSUED AS PER ARCHITECT'S REQUEST		
0	01/23/2025	GF	ISSUED FOR REVIEW		
NO.	DATE	BY	REVISIONS		
DESIGN	GF	CHK'D	DJ	DATE MAY 20,2025	
DRAWN	GF	CHK'D	DJ		



## APPROVALS

STAMP



**Barich Grenkie**  
**Surveying Ltd.**  
PROFESSIONAL SURVEYORS AND ENGINEERS  
HWY No. 8 (2ND FLOOR) - STONEY CREEK, ON  
(905) 662-6767  
A DIVISION OF GEOM

WN BY: GF  
HK BY: MF  
OB No. 24-3290

CLIENT	
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DAVID JESSEAU

PROJECT NAME  
PROPOSED SERVICING PLAN  
12 MELBOURNE STREET, HAMILTON

TITLE	SERVICING PLAN
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PROJECT No. 24-3290	DRAWING No. 24-3290 SERP
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- GENERAL NOTES
1. THIS/THESE PLAN(S) IS/ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED BY THE ENGINEER AND INDICATED ISSUED FOR CONSTRUCTION ON THE DRAWING.
  2. THIS/THESE PLAN(S) IS/ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF BARICH GRENKIE SURVEYING LIMITED.
  3. INFORMATION REGARDING ANY EXISTING SERVICES AND/OR UTILITIES SHOWN ON THE APPROVED SET OF CONSTRUCTION DRAWINGS ARE FURNISHED AS THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL INTERPRET THIS INFORMATION AS HE SEES FIT WITH THE UNDERSTANDING THAT THE OWNER AND HIS AGENTS DISCLAIM ALL RESPONSIBILITY FOR ITS ACCURACY AND/OR SUFFICIENCY. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
  4. SITE PLAN INFORMATION TAKEN FROM SURVEY BY BARICH GRENKIE SURVEYING LTD.
  5. THIS/THESE PLAN(S) TO BE USED FOR SERVICING AND GRADING ONLY, FOR BUILDING LOCATION REFER TO THE SITE PLAN.
  6. MUNICIPAL APPROVAL OF THESE DRAWINGS IS FOR MATERIAL AND COMPLIANCE WITH CITY/TOWN STANDARDS AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION OF THE WORKS BY THE CITY/TOWN STAFF DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS NOR RELIEVE THE CONTRACTOR OF CERTIFICATION OF ALL WORKS BY THE OWNER'S ENGINEER.
  7. ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED WRITTEN APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY OF HAMILTON AND THE ENGINEER.
  8. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
    - ROAD CUT PERMITS
    - SEWER PERMITS
    - APPROACH APPROVAL PERMITS
    - RELOCATION OF SERVICES
    - COMMITTEE OF ADJUSTMENT
    - ENCROACHMENT AGREEMENTS
  9. PRIOR TO CONSTRUCTION THE CONTRACTOR MUST:
    - I. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING ELEVATIONS WHICH INCLUDE BUT ARE NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS, EXISTING INVERTS AND REPORT FINDING IN WRITING TO THE ENGINEER.
    - II. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
    - III. VERIFY ALL FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS WHICH MY APPEAR ON THESE PLANS COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
    - IV. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
    - V. NOTIFY THE ENGINEER OF THE PROPOSED CONSTRUCTION SCHEDULE FOR COORDINATION OF NECESSARY INSPECTIONS.
  10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEER 48 HOURS PRIOR TO THE COMMENCING SITE WORKS TO ARRANGE FOR INSPECTION. THE ENGINEER SHALL DETERMINE THE EXTENT OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF THE UNDERGROUND SERVICE INSTALLATION AS MANDATED BY THE ONTARIO BUILDING CODE DIVISION (C. PART I, SECTION 1.2.2. GENERAL REVIEW. FAILURE TO MAKE SUITABLE ARRANGEMENTS FOR INSPECTION WILL LEAD TO POST CONSTRUCTION TESTING AND INSPECTION AS DETERMINED BY THE ENGINEER, THE COSTS OF WHICH INCLUDING ANY DELAYS IN CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR. FULL PAYMENT FOR UN-INSPECTED WORKS MAY BE WITHHELD UNTIL THE COMPLETION OF THE POST CONSTRUCTION INSPECTION AND TESTING TO THE SATISFACTION OF THE ENGINEER.
  11. INSPECTION BY THE OWNER'S ENGINEER IS FOR CERTIFICATION AND GENERAL CONFORMANCE PURPOSES AND DOES NOT CERTIFY LINE AND GRADE OR IMPLY AN ASSURANCE OF QUALITY CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THE INSTALLATION OF THE WORKS TO PROPER LINE, GRADE AND QUALITY TO CURRENT INDUSTRY STANDARDS.
  12. ANY UTILITY RELOCATIONS AND RESTORATIONS DUE TO THE DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER AND SHALL BE COORDINATED BY THE CONTRACTOR.
  13. ALL RESTORATIONS AND RECONSTRUCTIONS SHALL BE COMPLETED TO MATCH EXISTING CONDITIONS OR BETTER AND ARE TO BE PERFORMED TO THE SATISFACTION OF THE ENGINEER AND THE CITY/TOWN STANDARDS.
  14. SERVICING CONTRACTOR TO MAINTAIN A "CONFINED TRENCH CONDITION" IN ALL SEWER AND WATERMAIN INSTALLATION TRENCHES.
  15. THE SITE SERVICING CONTRACTOR SHALL TERMINATE ALL SERVICES 1.0m FROM THE BUILDING FACE.
  16. NO BLASTING WILL BE PERMITTED.

- SEWERS
- A. CONSTRUCTION OF STORM SEWERS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
  - B. COVER AND BEDDING MATERIAL FOR PVC PIPE SHALL BE GRANULAR "A" MATERIAL AS PER OPSD 802.010 OR 802.013.
  - C. PVC PIPE WILL REQUIRE SPECIAL CONSTRUCTION PROCEDURES AS PER CITY SPECIFICATIONS.
  - D. ALL SEWERS TO BE VIDEO INSPECTED.
  - E. ALL SEWERS TO BE FLUSHED PRIOR TO VIDEO INSPECTION.
  - F. STORM SEWERS 250mm to 600mm in DIAMETER SHALL BE PVC PIPE, CSA B182.1, SDR-35.
  - G. PROPOSED PRIVATE REAR LOT CATCH BASINS (RCUBS) ARE TO BE AS PER OPSD 705.010, COMPLETE WITH BRIDGE FRAME AND GRATE AS PER OPSD 400.010. REAR LOT CATCH BASINS ARE TO BE SIMPLIFIED.
  - H. ALL PVC SEWERS ARE TO BE TESTED FOR DEFLECTION (MANHOLE PASSAGE) AFTER INSTALLATION.

- A. CONSTRUCTION OF PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
- B. PRIVATE DRAINS TO BE 150mm PVC PIPE, CSA B182.1 M-1983, SDR 28 AS PER FORM 500.
- C. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WOOD MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
- D. COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR "A" INSTALLED AS PER OPSD 802.010 OR 802.013.
- E. MINIMUM FALL FOR PRIVATE DRAINS TO BE 2.0%.
- F. TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2m (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
- G. TOP OF STORM PRIVATE DRAINS AT STREET LINE TO BE 1.2m (MIN.) BELOW CENTERLINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
- H. BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE TO LANDSCAPED SURFACES VIA SPLASH PADS.
- I. SUMP PUMPS WITH CHECK VALVES SHALL BE INSTALLED IN EACH DWELLING TO PUMP THE BUILDING WASTEWATER TO THE STORM PRIVATE DRAINS. THE SUMP OUTLET PIPE SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN. SEE DETAIL 3.
- J. IF THE APPLICANT/OWNER INTENDS TO REUSE A PORTION OF A SITE'S EXISTING SEWER SYSTEM, IT IS THEIR RESPONSIBILITY TO ENSURE THAT THE SEWER IS OF ADEQUATE CAPACITY, MEETS ALL APPLICABLE BY-LAW REQUIREMENT, AND IS IN GOOD WORKING ORDER. SEWERS TO BE REUSED MUST BE VIDEO INSPECTED, WHILE THE CITY/TOWN SEWER INSPECTOR IS PRESENT. THE APPLICANT/OWNER IS RESPONSIBLE FOR MAKING ALL ARRANGEMENTS WITH THEIR PRIVATE VIDEO INSPECTION CONTRACTOR ALONG WITH PAYMENT OF AN INSPECTION FEE.

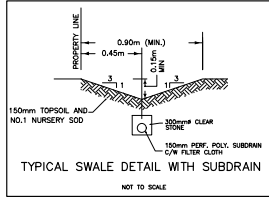
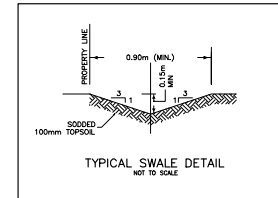
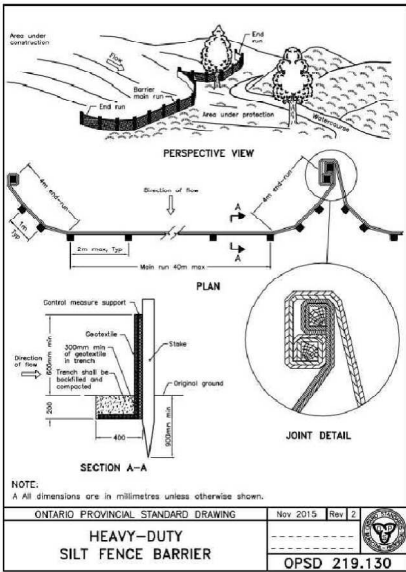
- WATERMANS AND WATER SERVICES
- A. CONSTRUCTION OF PRIVATE WATER SERVICES SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
  - B. WHERE METAL FITTINGS ARE TO BE USED ON PVC MAINS SUFFICIENT CATHODIC PROTECTION MUST BE PROVIDED AS PER THE FOLLOWING REQUIREMENTS:
    - I. MINIMUM OF ONE 11KG ZINC ANODE SHALL BE INSTALLED FOR EVERY 100m OF TRACER WIRE.
    - II. ONE 11KG ZINC ANODE SHALL BE INSTALLED FOR EACH COPPER WATER SERVICE CONNECTION.
    - III. ONE 11KG ZINC ANODE SHALL BE INSTALLED ON EVERY VALVE, HYDRANT, BEND, TEE, ELBOW, REDUCER, PLUG, CAP, JOINT RESTRAINT, COUPLING, ETC. CONNECTED TO THE PVC PIPE.
  - C. WATER SERVICE TO BE 25mm DIA. TYPE K-SOFT COPPER AS PER WM-201.01 OR AS DETAILED.
  - D. GRANULAR BEDDING AS PER WM-200.01 AND WM-200.02 TO BE GRANULAR "D" AS PER FORM 600.
  - E. ALL VALVE BOXES TO BE SET TO PROPOSED GRADES.

- COMPACTION REQUIREMENTS
- UNLESS OTHERWISE NOTED OR DIRECTED BY THE GEOTECHNICAL CONSULTANT, THE FOLLOWING SHALL APPLY:
- A. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC. SHALL BE COMPACTED TO MIN. 98% SPD. ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm LIFTS.
  - B. ALL GRANULAR ROAD BASE MATERIALS SHALL BE COMPACTED TO 98% SPD.
  - C. FOR ALL SEWERS AND WATERMANS IN FILL SECTIONS, THE COMPACTION SHALL BE CERTIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO LAYING OF PIPE.

- SILTATION AND EROSION CONTROL
- A. SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.
  - B. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE OF CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.
  - C. ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE ENGINEER, THE CITY/TOWN AND/OR THE CONSERVATION AUTHORITY.

- RESTORATIONS
- A. ALL TRENCH EXCAVATION WITHIN EXISTING ROAD ALLOWANCES SHALL BE BACKFILLED WITH GRANULAR "A", COMPACTED TO 98% SPD. PAVEMENT RESTORATION SHALL BE PERFORMED AS PER RD-100.01 & 100.02.
  - B. ALL BOULEYARDS TO BE RESTORED WITH #1 NURSERY SOD ON 100mm MINIMUM THICK SELECT TOPSOIL.
  - C. BEDDING MATERIALS TO BE AS PER FORM 600. COMPACTION TO BE AS PER FORM 900.

- REMOVALS & ABANDONMENTS
1. COMPLETELY REMOVE ABANDONED SEWER/WATERMAIN WHERE POSSIBLE AND/OR AS DIRECTED BY THE CITY OF HAMILTON. IF MAINS TO BE ABANDONED IN PLACE, FOLLOW OPSD 510.
  2. WHERE ABANDONING A WATER SERVICE CONNECTION OR WATERMAIN CONNECTED TO A LIVE MAIN, THE PREFERRED METHOD IS TO REMOVE THE CURB STOP AND STEM, SHUT OFF MAIN STOP AND DISCONNECT/OUT WATER SERVICE AT MAIN STOP.



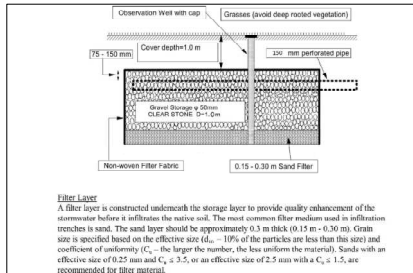
MUNICIPAL ADDRESS		
12 MELBOURNE STREET, HAMILTON		
LEGAL DESCRIPTION		
PART OF LOT 48 & 49 BLOCK G REGISTERED PLAN 253		
IN THE CITY OF HAMILTON		
ZONING		
LOW DENSITY RESIDENTIAL-SMALL LOT (R1a)		
SECONDARY DWELLING UNIT		
SITE STATISTICS	BYLAW	PROPOSED
LOT AREA	270 m <sup>2</sup>	494.08 m <sup>2</sup>
FRONT YARD SETBACK	4.0 m	7.40
REAR YARD SETBACK*	7.5 m	12.10 m
SIDE YARD SETBACK(W)	1.2 m	1.12 m
SIDE YARD SETBACK(E)	1.2 m	4.32 m
HEIGHT(PEAK OF ROOF)	6.0 m	6.98 m

\*(FROM REAR WALL OF PRINCIPAL DWELLING)

AVERAGE GRADE= 96.06

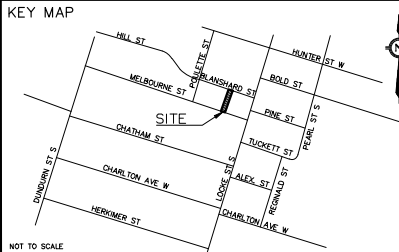
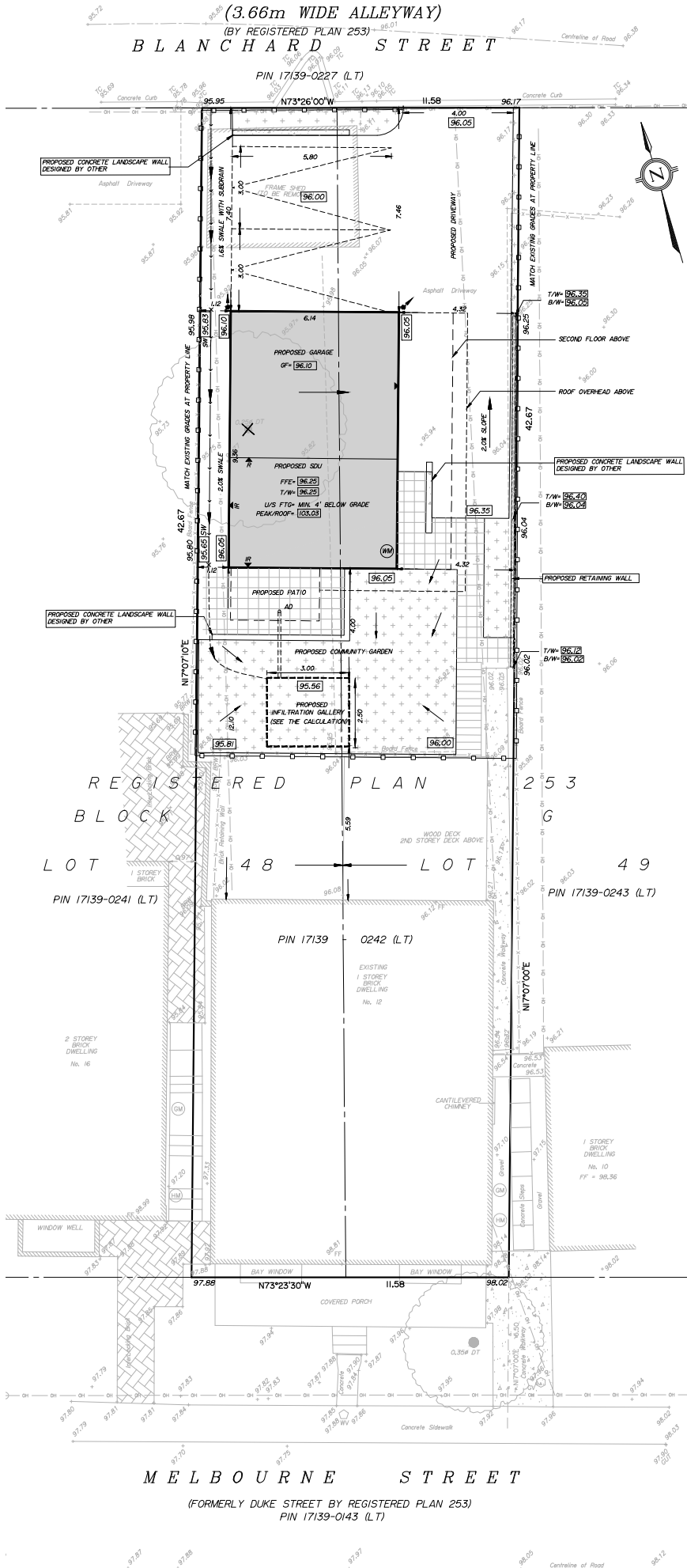
BUILDING HEIGHT TO BE CALCULATED TO DETERMINE A MINIMUM REAR YARD OR A MINIMUM SIDE YARD REQUIREMENT. BUILDING HEIGHT SHALL MEAN THE VERTICAL DISTANCE BETWEEN THE LOWEST FINISHED GRADE ELEVATION ALONG THE LOT LINE RELATED TO SUCH REQUIRED YARD AT THAT POINT CLOSEST TO THE BUILDING AND THE HORIZONTAL EXTENSION OF THE UPPERMOST POINT OF THE BUILDING.

LOWEST PROPOSED GRADE= 96.05



INFILTRATION GALLEY:

$$(TRENCH STONE VOLUME) 5.99 = \frac{95.84 (M^2) \times 0.025 M}{0.4 (STONE VOID RATIO)}$$
$$2.5M \times 3.0M \times 1.0 = 7.5 > 5.99 \quad OK.$$



NOT TO SCALE

ADDRESS: 12 MELBOURNE STREET, HAMILTON

SITE GRADING PLAN OF  
PART OF LOT 48 & 49  
BLOCK G  
REGISTERED PLAN 253  
IN THE  
CITY OF HAMILTON

BARICH GRENKIE SURVEYING LTD.  
A DIVISION OF GEOMAPLE  
© COPYRIGHT 2025  
METRIC  
DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND	
DT	DENOTES DECIDUOUS TREE
CT	DENOTES CONIFEROUS TREE
SV	DENOTES SERVICE VALVE
SL	DENOTES SUBJECT LANDS BOUNDARY
DL	DENOTES DEED LINE
LL	DENOTES LOT LINE
FL	DENOTES FENCE LINE
TR	DENOTES TREE TO BE REMOVED
N-E-S-W	DENOTES NORTH-EAST-SOUTH-WEST
100.00	DENOTES EXISTING ELEVATION
100.00	DENOTES PROPOSED ELEVATION
100.00	DENOTES PROPOSED SILT FENCE
WM	DENOTES WATER METER
FFE	DENOTES DOWN SPOUT WITH SPLASH PAD
T/W	DENOTES PROPOSED FINISH FLOOR ELEVATION
U/S FTG	DENOTES PROPOSED TOP OF FOUNDATION WALL-6" ABOVE GRADE
U/S FTG	DENOTES PROPOSED UNDERSIDE OF FOOTING ELEVATION
U/S FTG	(MIN. 4" BELOW GRADE)
PEAK/ROOF	DENOTES PROPOSED PEAK OF ROOF FROM TOP OF FOUNDATION WALL
B/W	DENOTES PROPOSED BOTTOM OF RETAINING WALL
T/W	DENOTES PROPOSED TOP OF RETAINING WALL
SW	DENOTES PROPOSED SWALE

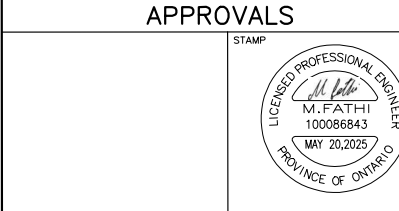
ELEVATION NOTE

ELEVATIONS ARE REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD-1928:1978) AND ARE DERIVED FROM CITY OF HAMILTON BENCHMARK No. 07720020012 HAVING AN ELEVATION OF 84.543 m.

1	05/20/2025	GF	ISSUED AS PER ARCHITECT'S REQUEST		
0	05/05/2025	GF	ISSUED FOR REVIEW		
NO.	DATE	BY	REVISIONS		
DESIGN		GF	CHK'D	RH	DATE
DRAWN		GF	CHK'D	RH	MAY 20,2025

Scale 1:100

0 10 20 30 40 50 60 70 80 90 100 METRES



Barich Grenkie  
Surveying Ltd.  
PROFESSIONAL SURVEYORS AND ENGINEERS  
301 HWY No. 8 (2ND FLOOR) STONEY CREEK, ON  
M9L 1S6-4S47  
A DIVISION OF GEOMAPLE

DWN BY: GF  
CHK BY: MF  
JOB No. 24-3290

CLIENT

DAVID JESSEAU

PROJECT NAME

PROPOSED SERVICING PLAN  
12 MELBOURNE STREET, HAMILTON

TITLE

SITE AND GRADING PLAN

PROJECT No. 24-3290

DRAWING No. 24-3290 SGP

June 18, 2025

Committee of Adjustment  
City of Hamilton  
71 Main Street West, 5<sup>th</sup> Floor  
Hamilton, Ontario, L8P 4Y5

**Re: Application for Minor Variance(s) to 12 Melbourne Street, Hamilton, ON.**

To Whom It May Concern,

On behalf of our client, we are pleased to submit this application for Minor Variance for the property mentioned above. The proposed development seeks to introduce a new residential unit within the City of Hamilton, contributing to the ongoing need for increased housing, that is both functional but also sensitive to the existing neighbourhood.

The variances requested are modest in nature and are primarily intended to enhance the livability of the proposed unit—supporting better layouts, improved natural light, and more usable interior and exterior spaces. These adjustments are in keeping with the intent of the Zoning By-law and Official Plan, and we believe they represent a balanced approach to intensification that aligns with the City's goals for sustainable growth.

The following is a list of Zoning Provisions from the Zoning By-law No. 05-200, along with requests for Minor Variance's being made by this application. Please read the following in tandem with the submitted drawings:

<b>Zoning Provision (By-Law No. 05-200)</b>	<b>Requested Variance(s)</b>
4.33.2 d) A minimum 1.2 metre setback shall be provided from the interior Side Lot Line and Rear Lot Line.	Reduce to 0.9 metre setback from Side Lot Line on West Side Lot Line.
4.33.2 h) A maximum height of 6.0 metres shall be permitted.	Increase the permitted height to 7.0m
4.33.2 i) The maximum gross floor area shall not exceed the lesser of 75 square metres or the gross floor area of the principal dwelling.	Increase the maximum maximum gross floor area to 93.0 square metres

<p>5.1 a)v) Unless otherwise regulated in this By-Law, parking spaces and aisles, giving direct access to abutting parking spaces, excluding driveways extending directly from the street, shall be subject to the following:</p> <p>a) Shall not be located within 3.0 metres of a street line</p> <p>b) Shall provide a 3.0 metre wide planting strip being required permanently maintained between the street line and the said parking spaces or aisle</p>	<p>Reduce the setback to parking and width of planting strip to 1.0m from the street line.</p>
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We appreciate your consideration of this application and look forward to continuing to work collaboratively with City staff throughout the process.

Yours truly,



Philip Toms, OAA



Hamilton

**Committee of Adjustment**

City Hall, 5<sup>th</sup> Floor,  
71 Main St. W.,  
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: [cofa@hamilton.ca](mailto:cofa@hamilton.ca)

**APPLICATION FOR A MINOR VARIANCE/PERMISSION**  
UNDER SECTION 45 OF THE PLANNING ACT

**1. APPLICANT INFORMATION**

	NAME	MAILING ADDRESS
Registered Owners(s)	David + Lesley Jesseau	
Applicant(s)	Tyler Malone	
Agent or Solicitor		Phone:
		E-mail:

**1.2 Primary contact**

☒ Applicant

☐ Owner

☐ Agent/Solicitor

**1.3 Sign should be sent to**

☒ Applicant

☐ Owner

☐ Agent/Solicitor

**1.4 Request for digital copy of sign**

☒ Yes\*

☐ No

If YES, provide email address where sign is to be sent

**1.5 All correspondence may be sent by email**

☒ Yes\*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service.

This request does not guarantee all correspondence will be sent by email.

**1.6 Payment type**

☐ In person

☐ Cheque

☒ Credit over phone\*

\*Must provide number above



## 2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	12 Melbourne Street		
Assessment Roll Number	010091566400000		
Former Municipality	City of Hamilton		
Lot	48 & 49	Concession	
Registered Plan Number	253	Lot(s)	48 & 49
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

## 3. PURPOSE OF THE APPLICATION

**Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled**

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

This application is intending to improve the functionality and livability of a new two bedroom unit, by seeking relief on certain Zoning provisions as highlighted in the Cover Letter.

☒ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The provisions of the By-law limit the ability to create an Additional Dwelling unit that provides a higher quality of livable space.

3.3 Is this an application 45(2) of the Planning Act.

☒ Yes ☐ No

If yes, please provide an explanation:

The application is looking for minor variances, as noted above, related to the provisions of Section 4.33.2 of the City of Hamilton Zoning By-Law

## 4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
11.58m	42.67m	494.0m <sup>2</sup>	9.2m

4.2 Location of all buildings and structures on or proposed for the subject lands:  
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Detached Dwelling	0.45m	28.94m	0.68m (West), 0.68m (East)	01/11/1930

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Additional Dwelling Unit - Detached	23.89m	7.35m	1.0m (West), 2.35m (East)	

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Detached Dwelling	136.7m <sup>2</sup>	266.7m <sup>2</sup>	1 with Basement	4.5m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Additional Dwelling Unit - Detached	60m <sup>2</sup>	93m <sup>2</sup>	2	6.97m

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- \_\_\_\_\_

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- \_\_\_\_\_

4.6 Type of sewage disposal proposed: (check appropriate box)

☒ publicly owned and operated sanitary sewage

☐ system privately owned and operated individual

☐ septic system other means (specify) \_\_\_\_\_

4.7 Type of access: (check appropriate box)

☐ provincial highway

☐ right of way

☐ municipal road, seasonally maintained

☐ other public road

☒ municipal road, maintained all year \_\_\_\_\_

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):  
Single Detached Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):  
Single Detached Dwelling

## 7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

Nov 1, 2021

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Single Detached Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)  
Single Detached Dwelling

7.4 Length of time the existing uses of the subject property have continued:  
The property has been rented out since March 2018

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Not Applicable

Rural Settlement Area: No

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

This application does not intend to change the land use

7.6 What is the existing zoning of the subject land? R1a

7.8 Has the owner previously applied for relief in respect of the subject property?  
(Zoning By-law Amendment or Minor Variance)

☐ Yes

☒ No

If yes, please provide the file number: R1a

---

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: \_\_\_\_\_

## 8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 2

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

The property currently has an existing brick house (one storey with a basement) that has two dwelling units. The intent of this application is to allow for a third dwelling unit to be constructed in the rear yard as an Additional Dwelling Unit (ADU).

## 11 COMPLETE APPLICATION REQUIREMENTS

### 11.1 All Applications

- ☐ Application Fee
- ☐ Site Sketch
- ☐ Complete Application form
- ☐ Signatures Sheet

### 11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
  - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
  - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
  - ☐ Hydrogeological Assessment
  - ☐ Septic Assessment
  - ☐ Archeological Assessment
  - ☐ Noise Study
  - ☐ Parking Study
- 
-