

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-25:167	SUBJECT PROPERTY:	206 Fairleigh Ave South, Hamilton
ZONE:	R1a (Low Density Residential – Small Lot)	ZONING BY-LAW:	Hamilton Zoning By-law 05-200

APPLICANTS: Owner: Rachel Burton and Carl Austrom
Applicant: Rachel Burton

The following variances are requested:

1. A porch may project a maximum of 2.7 metres into the required front yard (and therefore being at least 1.3 metres from the front lot line) instead of the maximum permitted projection of 1.5 metres or half the distance of the required yard, whichever is the lesser.

PURPOSE & EFFECT: To facilitate the construction of a new roofed-over porch

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 4, 2025
TIME:	1:40 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

A-25:167

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

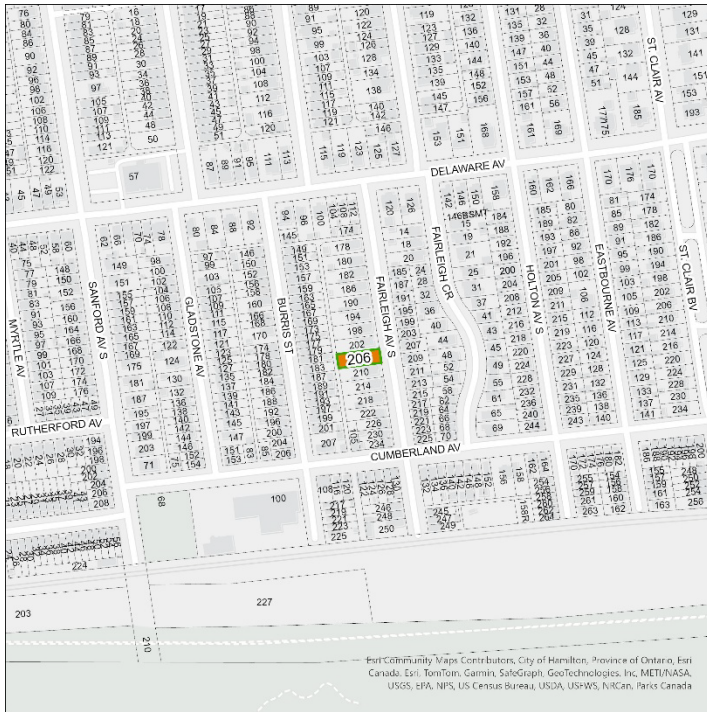
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon September 2, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon September 3, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:167, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: August 18, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATING PROCEDURES

1. Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by 12:00 p.m. (noon) on the deadline date for written comment submissions listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

All written comments received will be made available to the Committee and the public by the Tuesday prior to the Hearing.

2. Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

3. In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

4. Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the virtual oral submissions registration deadline date. This is listed on the Notice of Public Hearing.

- Committee of Adjustment file number
- Hearing date
- Name and mailing address of each person wishing to speak
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

5. Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only.

In-Person Presentations:

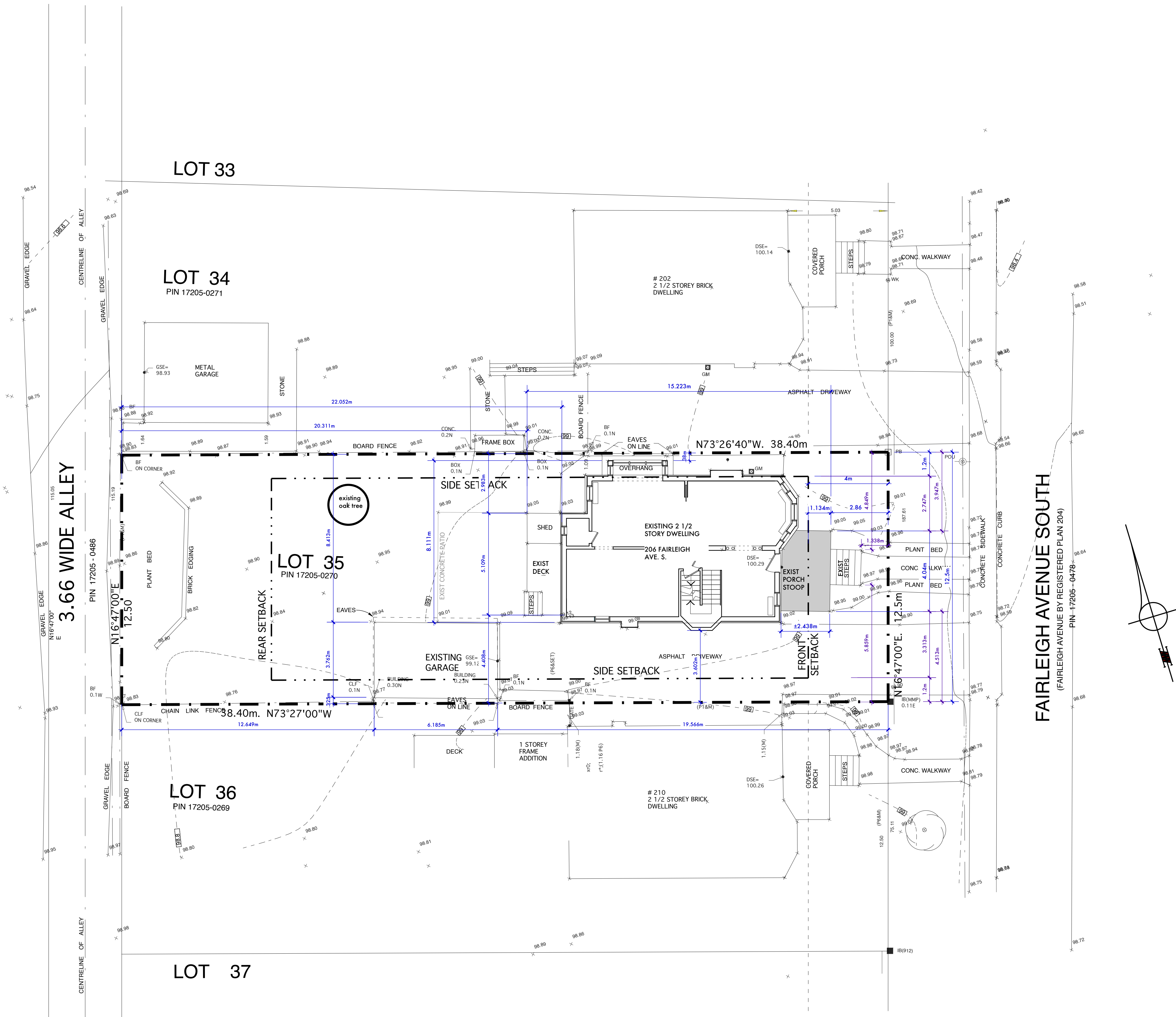
Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only. Handouts are permitted only if the same content can be displayed on the presentation screen.

6. Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.

3.66 WIDE ALLEY



BIIRTON-ALLSTROM RESINDENCE

FRONT PORCH VARIANCE APPLICATION

**206 FAIRLEIGH AVE S.
HAMILTON, ONTARIO CANADA**

No.	Issued For	Date
1	Porch Roof Variance	July 23, 2025
2		
3		
4		
4		

Plot Date	7/31/25
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Scale	
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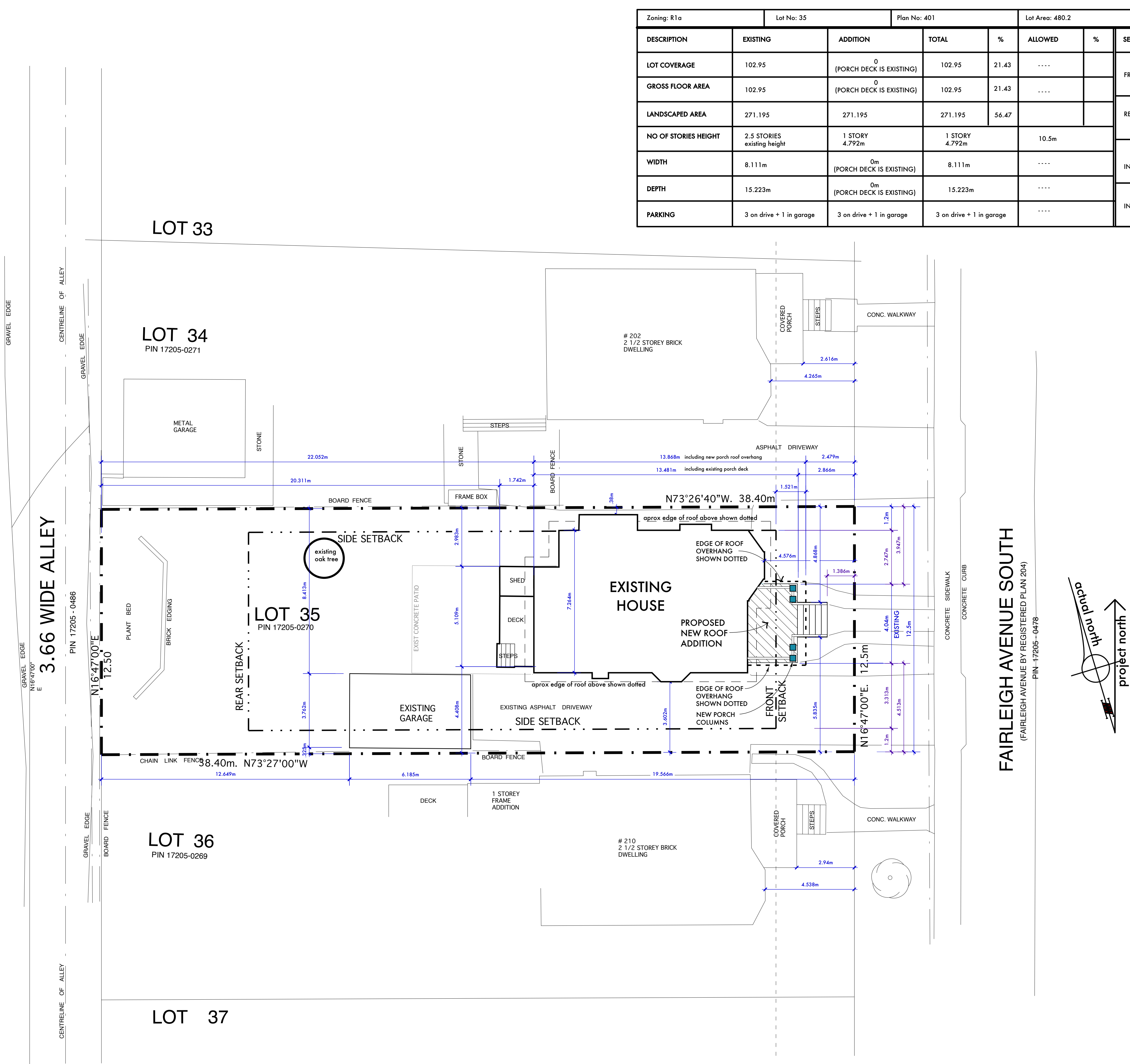
Drawing Title

Existing
Site Plan

Drawing No.

C1.0

LOT 61
REGISTERED
PLAN
LOT 60
215
LOT 59



Zoning: R1a		Lot No: 35		Plan No: 401		Lot Area: 480.2		Lot Frontage: 12.5m		Lot Depth 38.4m	
DESCRIPTION	EXISTING	ADDITION		TOTAL	%	ALLOWED	%	SETBACKS		EXISTING	PROPOSED PORCH
LOT COVERAGE	102.95	0 (PORCH DECK IS EXISTING)		102.95	21.43	----		FRONT YARD		2.866m	2.866m
GROSS FLOOR AREA	102.95	0 (PORCH DECK IS EXISTING)		102.95	21.43	----		REAR YARD		20.306m	n/a
LANDSCAPED AREA	271.195	271.195		271.195	56.47			INTERIOR SIDE NORTH		.38m at bay at dining room	3.947m
NO OF STORIES HEIGHT	2.5 STORIES existing height	1 STORY 4.792m		1 STORY 4.792m		10.5m		INTERIOR SIDE SOUTH		2.402m	4.5313m
WIDTH	8.111m	0m (PORCH DECK IS EXISTING)		8.111m		----					
DEPTH	15.223m	0m (PORCH DECK IS EXISTING)		15.223m		----					
PARKING	3 on drive + 1 in garage	3 on drive + 1 in garage		3 on drive + 1 in garage		----					

ZONING INFORMATION	
ZONING:	R1a
min lot size:	270 sm
min width:	9m
min front setback	4m
min side setback	1.2m
min rear setback	7.5m
max building height	10.5m
min landscaped area	30%

AREA CLACULATIONS	
AREA m ²	ELEMENT
480.2	TOTAL SITE AREA
EXISTING STRUCTURES AREAS in square meters	
81.95	Existing House
9.52	Existing Front Porch Deck
2.71	Existing Front Stairs
8.71	Exist Rear Deck and Shed
6.185	Exist Garage
PROPOSED STRUCTURE AREAS in square meters	
9.52	New roof on Front Porch

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BIRTON-AIISTROM RESIDNCE
FRONT PORCH VARIANCE APPLICATION

206 FAIRLEIGH AVE S.
HAMILTON, ONTARIO CANADA

Plot Date
7/31/25

Scale
Scale: 1:100

Drawing Title
Proposed
Site Plan

Drawing No.
C2.0

REQUEST FOR VARIANCE

206 FAIRLEIGH AVE S, HAMILTON

DRAWING LIST

- A0.0 Title Page
- C1.0 Survey
- C1.1 Existing Site Plan
- C2.0 Proposed Site Plan
- A2.0 Existing and Proposed Front Elevations
- A2.1 Existing and Proposed Right Side Elevations
- A2.2 Existing and Propsoed Left Side Elevations



EXISTING FRONT ELEVATION WITHOUT PORCH ROOF



EXISTING FRONT ELEVATION WITHOUT PORCH ROOF

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BIIRTON-AIISTROM RESIDENCE
FRONT PORCH VARIANCE APPLICATION
206 FAIRLEIGH AVE S.
HAMILTON, ONTARIO CANADA

Plot Date 7/31/25

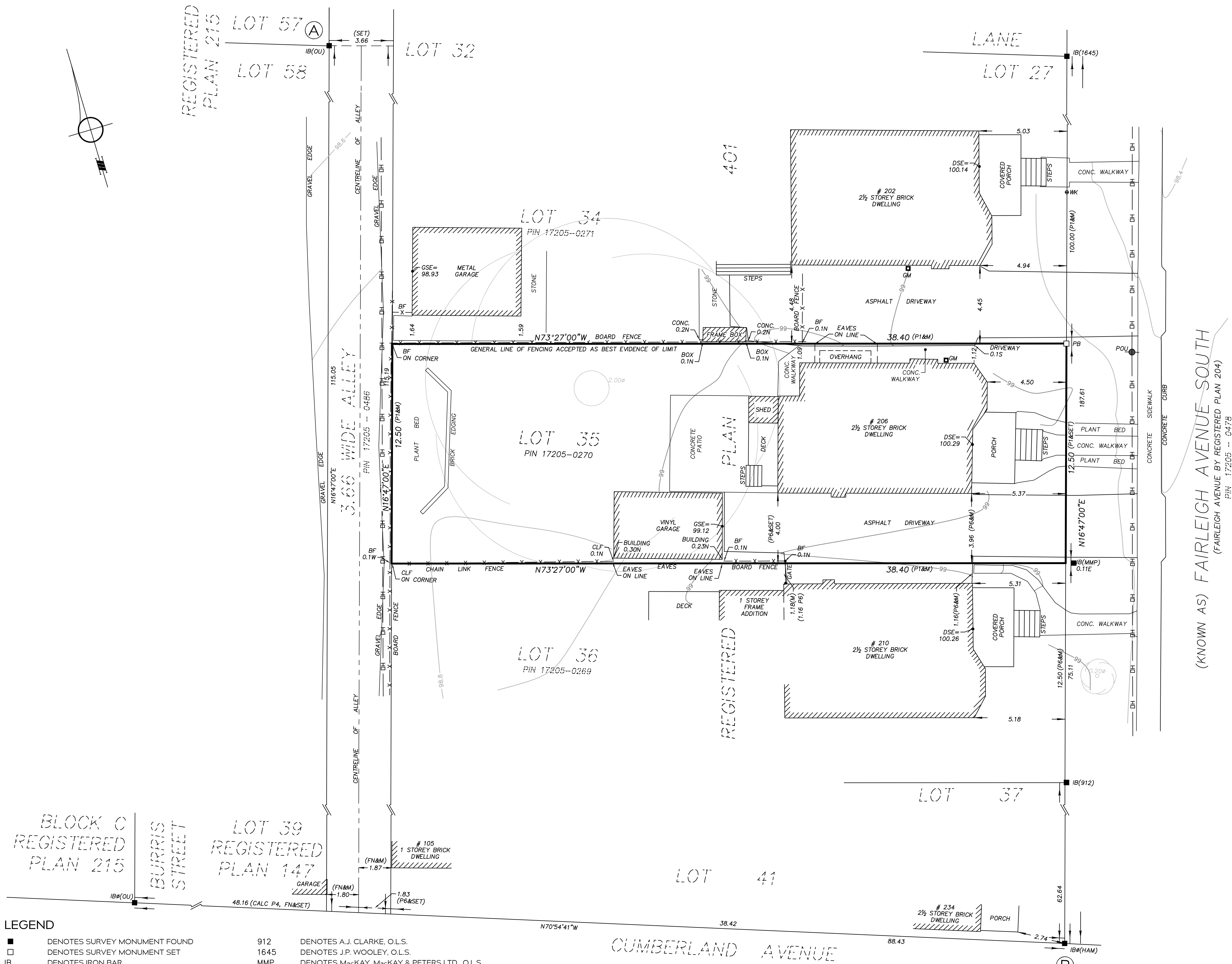
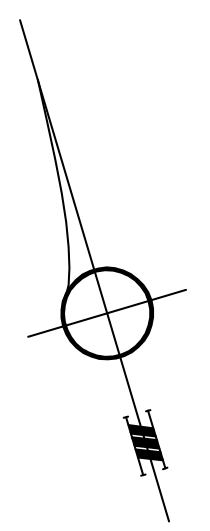
Scale N/A

Drawing Title

Title Sheet

Drawing No.

T1.0



LEGEND			
■	DENOTES SURVEY MONUMENT FOUND	912	DENOTES A.J. CLARKE, O.L.S.
□	DENOTES SURVEY MONUMENT SET	1645	DENOTES J.P. WOOLEY, O.L.S.
IB	DENOTES IRON BAR	MMP	DENOTES MacKAY, MacKAY & PETERS LTD., O.L.S.
⊙	DENOTES ROUND	HAM	DENOTES CITY OF HAMILTON
CALC	DENOTES CALCULATED	OU	DENOTES ORIGIN UNKNOWN
M	DENOTES MEASURED	BF	DENOTES BOARD FENCE
P1	DENOTES REGISTERED PLAN 401	CLF	DENOTES CHAIN LINK FENCE
P2	DENOTES SURVEY BY CITY OF HAMILTON, DATED DECEMBER 10, 1959. (SS-252)	CONC.	DENOTES CONCRETE
P3	DENOTES PLAN 62R-4990	DSE	DENOTES DOOR SILL ELEVATION
P4	DENOTES REGISTERED PLAN 215	GSE	DENOTES GAS METER
P5	DENOTES SURVEY BY A.T. McLAREN LTD., DATED OCTOBER 14, 1976. (7880)	POU	DENOTES GARAGE SILL ELEVATION
P6	DENOTES SURVEY BY MacKAY, MacKAY & PETERS LTD., DATED APRIL 22, 1998. (98-033-1B(Y))	DH	DENOTES UTILITY POLE
FN	DENOTES FIELD NOTES BY CITY OF HAMILTON, DATED MARCH 16, 1981.	⊙100	DENOTES OVERHEAD UTILITY WIRES
		⊙100	DENOTES DECIDUOUS TREE W/TRUNK DIAMETER
			BUILDING TIES SHOWN HEREON ARE TO THE FOUNDATION UNLESS OTHERWISE NOTED.

COPYRIGHT © IBW SURVEYORS LTD. 2025
SURVEYOR'S REAL PROPERTY REPORT
PART 1: PLAN OF SURVEY WITH TOPOGRAPHIC DETAIL OF
LOT 35,
REGISTERED PLAN 401
CITY OF HAMILTON

SCALE 1:150 METRES

PART 2: REPORT
DESCRIPTION:
PIN 17205-0270. LT 35, PL 401: HAMILTON
MUNICIPAL ZONING:
THIS SURVEY DOES NOT CERTIFY ZONING COMPLIANCE.
REGISTERED EASEMENTS:
NO REGISTERED EASEMENTS.
ADDITIONAL COMMENTS:
1) NOTE THE FENCE TYPE & THEIR LOCATIONS.
2) NOTE THE BOX, OVERHANG EAVES, AND WALKWAY ON THE NORTH BOUNDARY.

CURRENT OWNER: ETTY, LINDA; ETTY, RONALD
PREPARED FOR: RACHEL BURTON

BEARING NOTE
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17 (81° WEST LONGITUDE), NAD83(CSR5);7(2010). FOR BEARING COMPARISONS, THE FOLLOWING ROTATION WAS APPLIED: P1,P2,P3,P4,P5,FN - 1°13'00" COUNTER-CLOCKWISE

DISTANCE NOTES - METRIC
DISTANCES AND COORDINATES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999698.

CONTOUR NOTE
CONTOURS SHOWN HEREON ARE DRAWN AT 0.20 METRE INTERVALS.

ELEVATION NOTE
ELEVATIONS ARE GEODETIC AND REFERRED TO COSINE BENCHMARK 0011965U662 AND HAVING A GEODETIC ELEVATION OF 96.456m.


CAUTION
THE WORK AND DRAWINGS HEREIN WERE COMPLETED FOR THE EXCLUSIVE USE OF OUR CLIENT AND NO LIABILITY IS ASSUMED TO ANY THIRD PARTIES OR SUBSEQUENT OWNERS.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY'S ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON APRIL 7, 2025.

APRIL 15, 2025
DATE
ANDREJS LUCIKS, O.L.S.

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-105354

INTEGRATION DATA			
OBSERVED REFERENCE POINTS DERIVED FROM GPS OBSERVATIONS USING A REAL TIME NETWORK AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83(CRS95);7(2010). URBAN ACCURACY PER SEC. 14(2), O.REG. 216/10.			
POINT ID	NORTHING	EASTING	
A	4788777.21	593663.93	
B	4788653.34	593670.48	
CAUTION: COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN			



IBWSURVEYORS.COM | 1.800.667.0696
copies available at ProtectYourBoundaries.ca

PARTY CHECK-RK	DRAWNAB	CHECKEDAL	PLOT DATE: APR. 14, 2025	A-052436
FILE: A-052436-SRPR_V3				

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1	Porch Roof Variance	July 23, 2025
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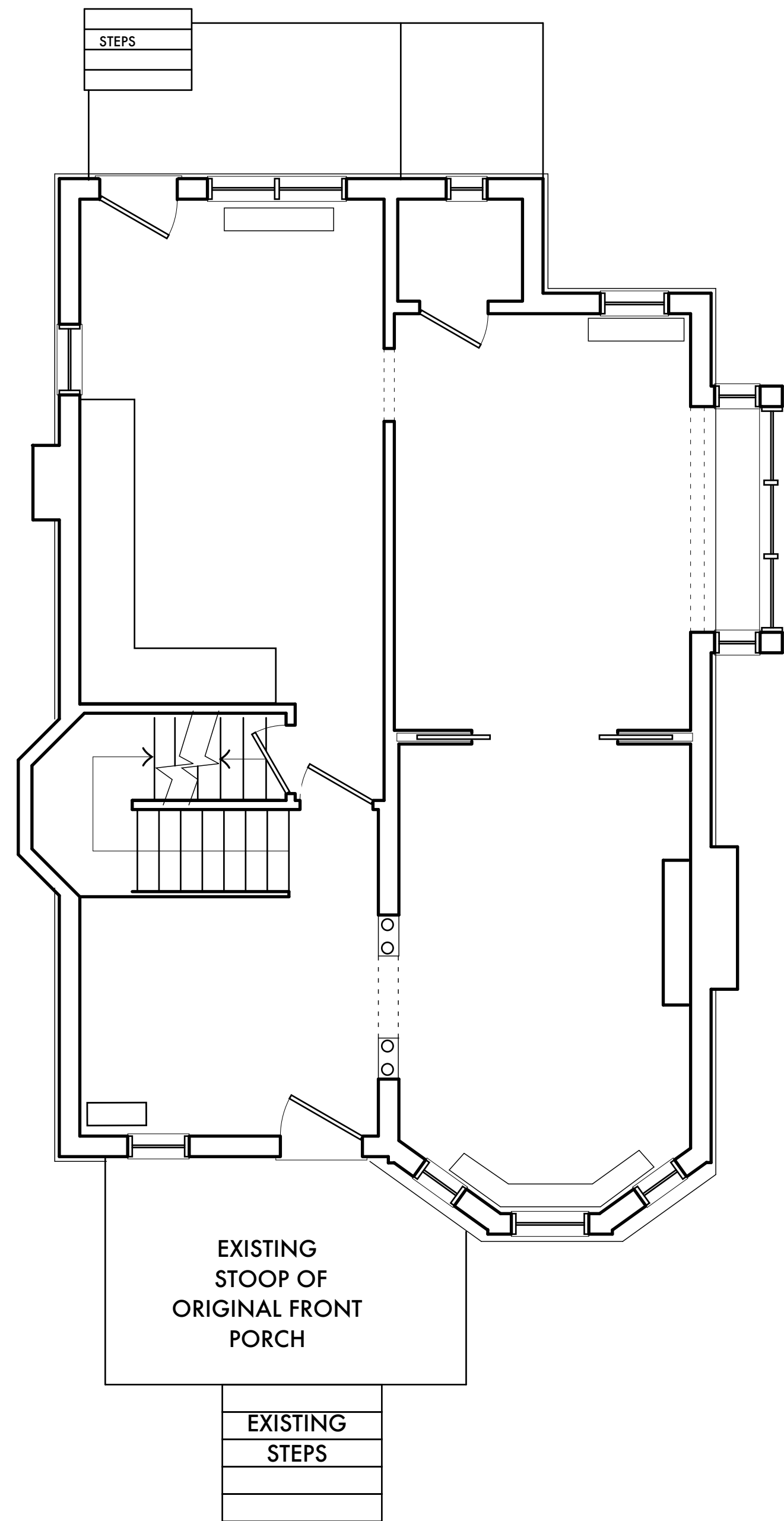
BURTON-AIISTROM RESIDENCE
FRONT PORCH VARIANCE APPLICATION

206 FAIRLEIGH AVE S.
HAMILTON, ONTARIO CANADA

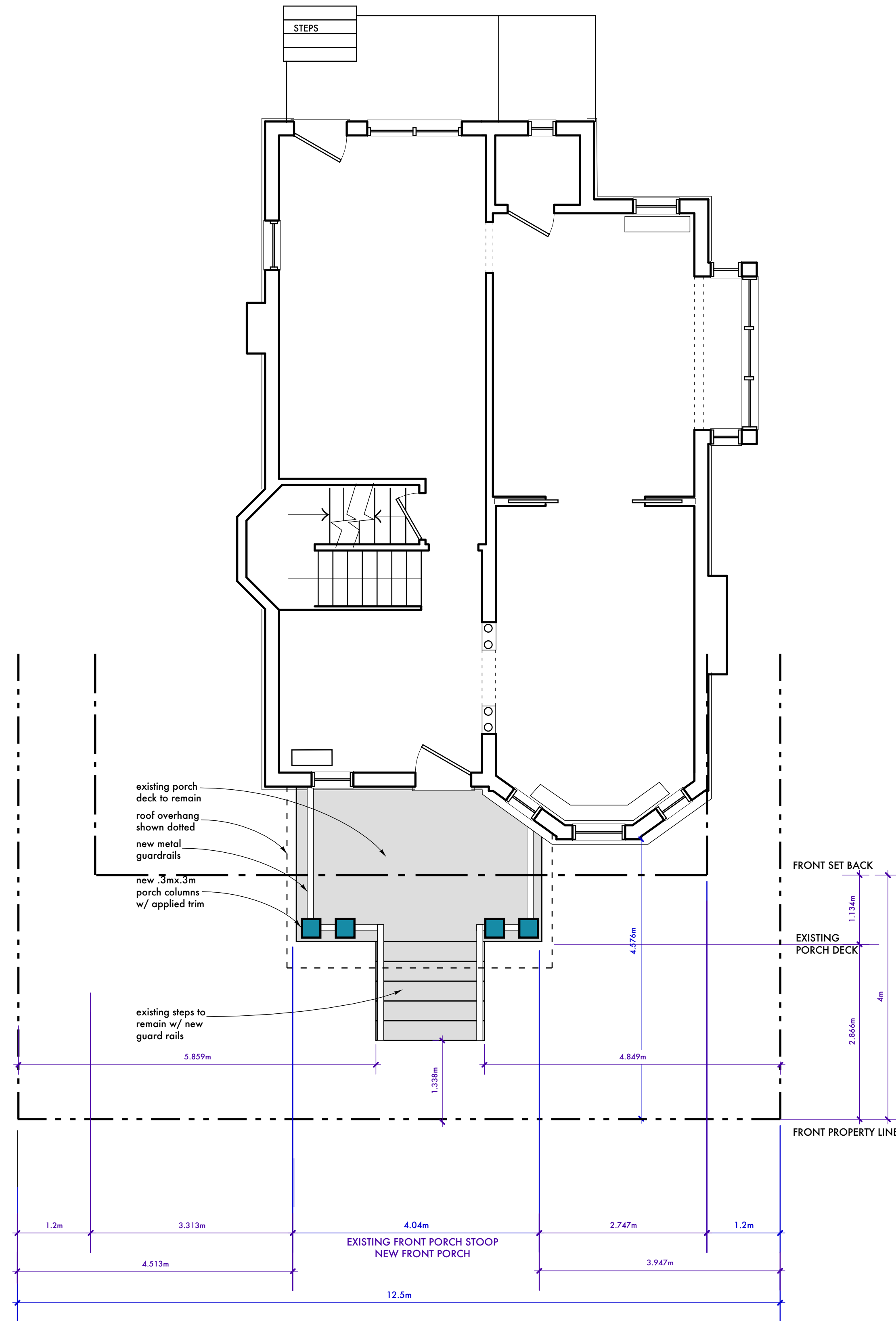
Plot Date	7/31/25
Scale	N/A
Drawing Title	Survey

Drawing No.
C1.00

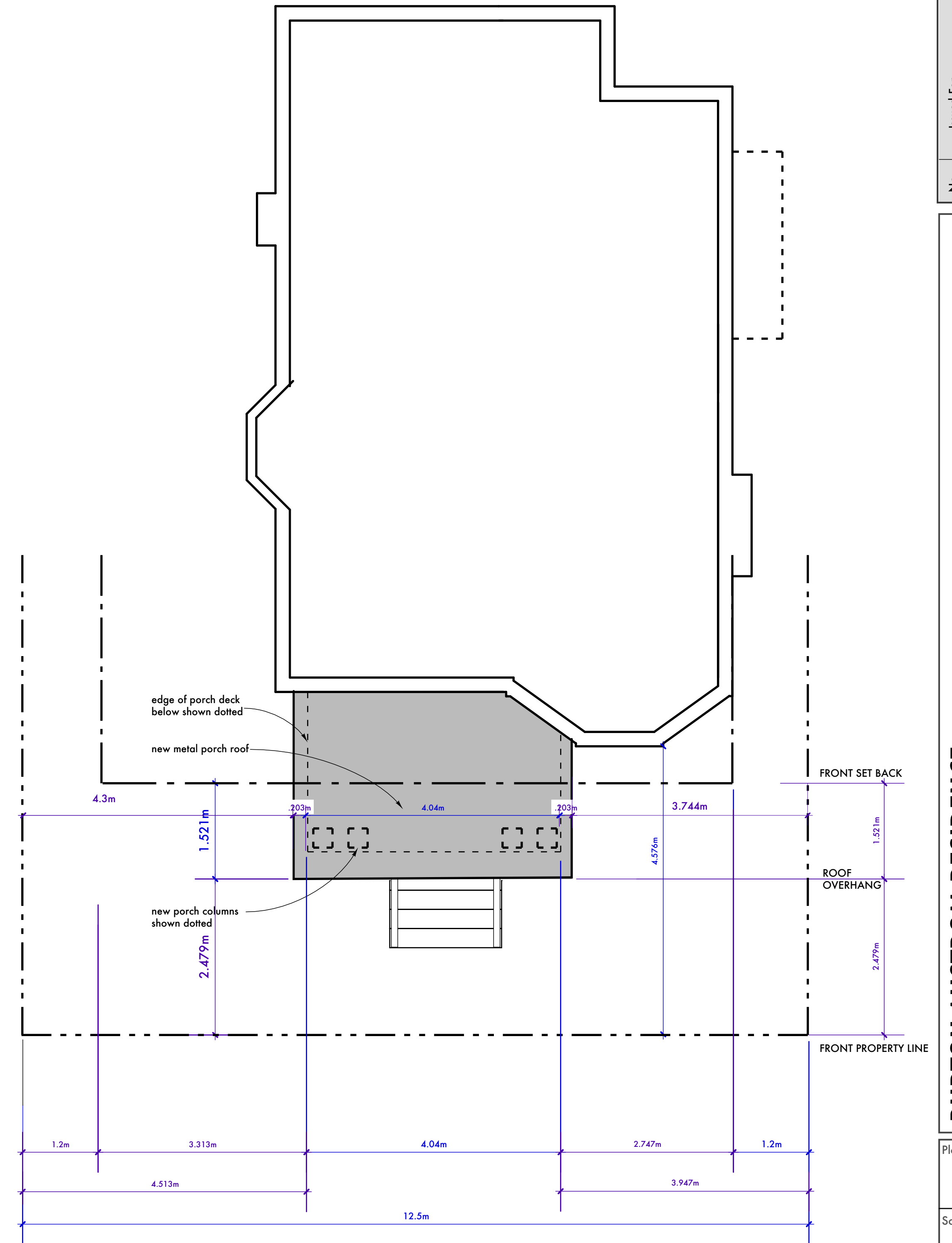
FOR REFERENCE ONLY NTS



1 Existing First Floor Plan
Scale: 1:50



2 Proposed First Floor Plan
Scale: 1:50



3 Proposed Porch Roof Plan
Scale: 1:50



No.	Issued For	Date
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BIIRTON-AIISTROM RESIDENCE
FRONT PORCH VARIANCE APPLICATION
206 FARLEIGH AVE S.
HAMILTON, ONTARIO CANADA

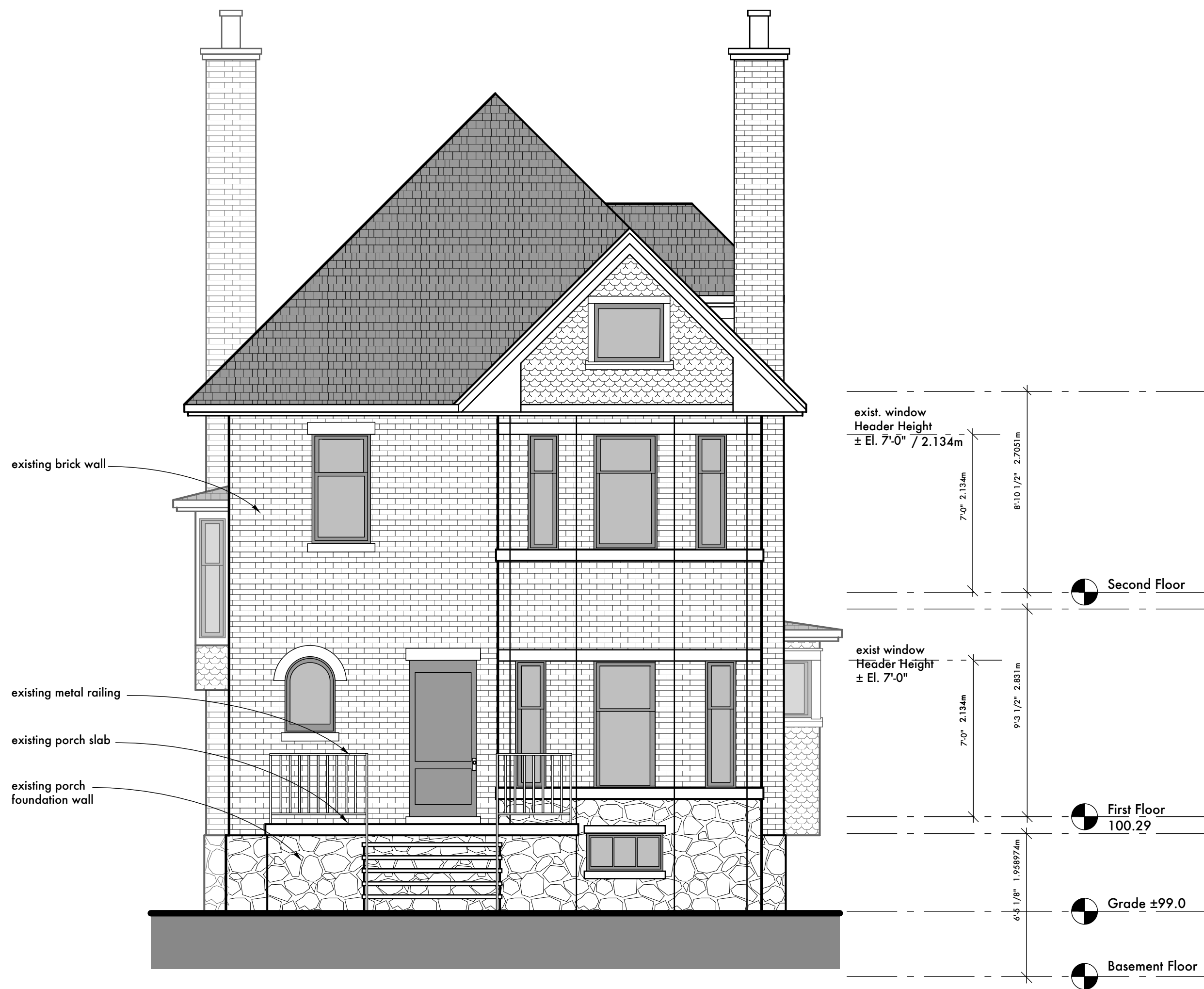
Plot Date 7/31/25

Scale
Scale: 1:50

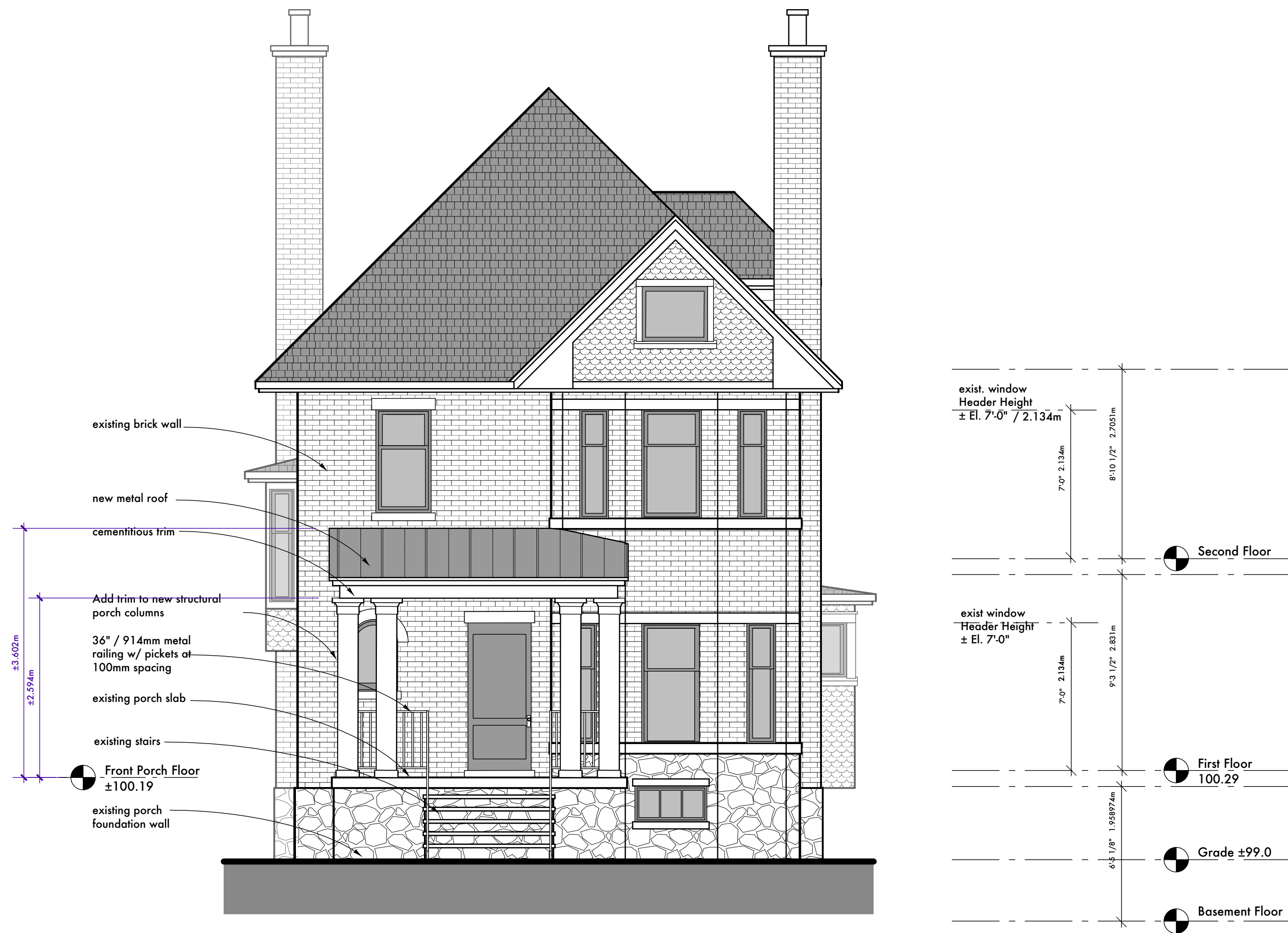
Drawing Title
**Existing Plan
and Propsoed
Porch and
Porch Roof
Plans**

Drawing No.

A1.1



1 Front ElevationFront Elevation
Scale: 1:50to 1:50



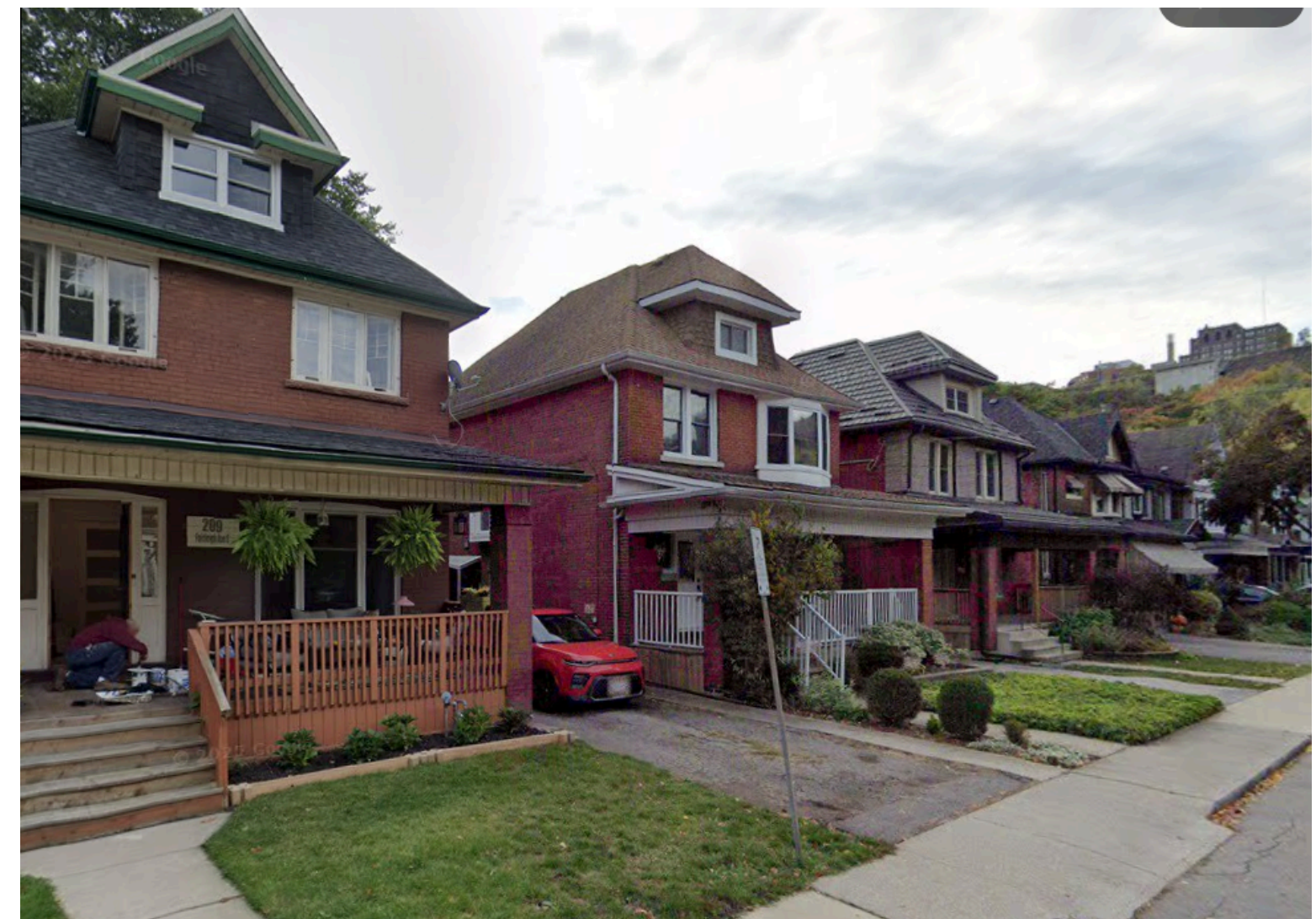
2 PROPOSED Front Elevation
Scale: 1:50



3 Front View From Street: note adjacent home with porch
Scale: NTS



4 Street View of House in context: Note adjacent homes with porches
Scale: NTS



5 Street View of Opposite Side of Road: Note the homes have porches
Scale: NTS



BIIRTON-AIISTROM RESIDNCE
FRONT PORCH VARIANCE APPLICATION
206 FARLEIGH AVE S.
HAMILTON, ONTARIO CANADA

Plot Date
7/31/25

Scale
Scale: 1:50

Drawing Title
**EXISTING
AND
PROPOSED
Front Porch
Elevations**

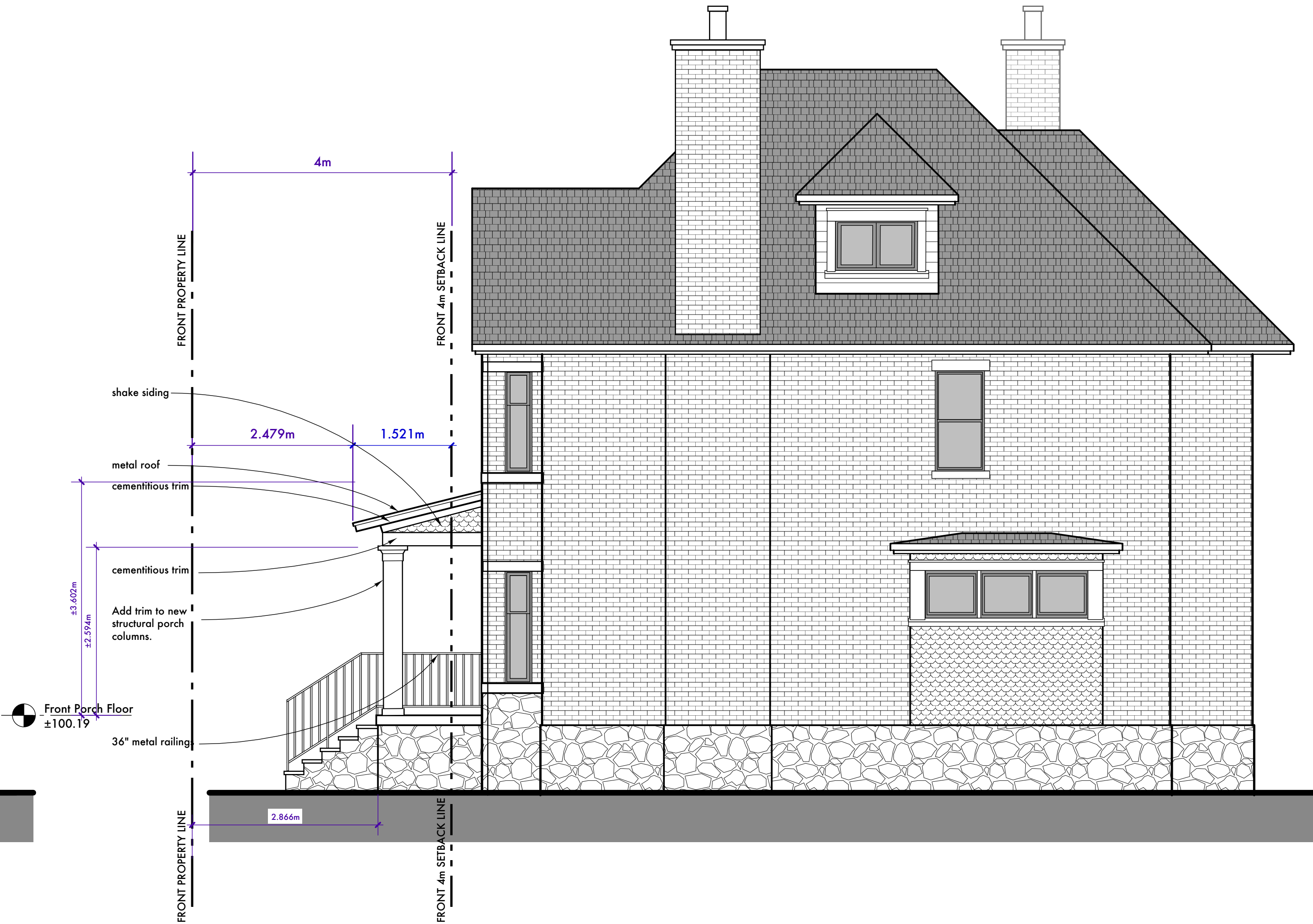
Drawing No.

A2.0

No.	Issued For	Date
1	Porch Roof Variance	July 23, 2025
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1 Existing Right Side Elevation
Scale: 1:50



2 Proposed Right Side Elevation with New Porch Roof
Scale: 1:50

No.	Issued For	Date
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BIIRTON-AIISTROM RESIDENCE
FRONT PORCH VARIANCE APPLICATION
206 FAIRLEIGH AVE S.
HAMILTON, ONTARIO CANADA

Plot Date
7/31/25

Scale
Scale: 1:50

Drawing Title

Existing
and Proposed
Right Side
Elevations

Drawing No.

A2.1



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT***

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)	Rachel Burton & Carl Austrom		
Applicant(s)	Rachel Burton		
Agent or Solicitor			Phone:
			E-mail:

1.2 Primary contact

☐ Applicant

☒ Owner

☐ Agent/Solicitor

1.3 Sign should be sent to

☒ Applicant

☒ Owner

☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service.

This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

☒ In person

☐ Credit over phone*

☒ Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	206 Fairleigh Ave S., Hamilton		
Assessment Roll Number			
Former Municipality			
Lot	35	Concession	
Registered Plan Number	401	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

This home was built in 1910 with a front porch. At some point the porch roof was removed, leaving the porch deck and stairs in place. We want to add the porch roof back to cover the exist. porch deck & the edge of roof will extend 1.521m over the front setback and be 4.344m wide

☐ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

The front setback line cuts though the existing porch stoop and the provisions allowed to extend a roof over a setback line is not enough to replace the front porch roof to cover the full depth of the porch.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
12.5m	38.4m	480.2sm	unknown

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
2 1/2 Story Brick Dwelling	4.576m	22.052m	.38m & 3.602m	1910
1 Story Garage	19.566m	12.649m	8.413m & .325m	unknown
Porch Stoop	2.866m	N/A	3.947m & 4.513m	1910
Front Stairs	1.338m	N/A	4.849m & 5.859m	1910
Rear Deck & Shed	N/A	20.311m	2.983m & 4.408m	unknown

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
New Porch Roof over Existing Front Porch deck	2.866 to deck edge 2.479 to edge of roof	N/A	3.947m & 4.513m to deck edge, 4.3m & 3.744m to edge of roof	as soon as possible

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Garage	6.185m ²	6.185m ²	1	existing, unknown
Single family home	81.95m ²	160.86m ²	2.5	existing, unknown
Shed & Rear Deck	8.71m ²	8.71m ²	1/2	± 2m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Front Porch	9.52	9.52	1	4.79m

- 4.4 Type of water supply: (check appropriate box)
☒ publicly owned and operated piped water system
☐ privately owned and operated individual well

- ☐ lake or other water body
☐ other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
☒ publicly owned and operated storm sewers
☐ swales

- ☐ ditches
☐ other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

☒ publicly owned and operated sanitary sewage

☐ system privately owned and operated individual

☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

☐ provincial highway

☐ right of way

☐ municipal road, seasonally maintained

☐ other public road

☒ municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
single detached dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
single detached dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

April 22, 2025

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:
1910 to present

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): N/A

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighborhoods

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R1a

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

☐ Yes

☒ No

If yes, please provide the file number: R1a

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study
